



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **27 Henry Street, Triabunna**
CT 47313/1

PROPOSAL: **Subdivision into Five (5) Lots**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 18 June 2026.

APPLICANT: **Rogerson & Birch Surveyors**
DATE: **06/05/2026**
APPLICATION NO: **SA 2026 / 006**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Rogerson & Birch Surveyors		
Contact person: (if different from applicant)			
Address:	1/2 Kennedy Drive		
Suburb:	Cambridge	Post Code:	7170
Email:	admin@rbsurveyors.com	Phone: / Mobile:	6248 5898

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	Henry Street		
Suburb:	Triabunna	Post Code:	7190
Size of site: (m ² or Ha)			
Certificate of Title(s):	47313/1		
Current use of site:	Vacant Block		

General Application Details *Complete for All Applications*

Description of proposed use or development:	5-Lot Subdivision
---	-------------------

Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	
--	--

Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No <input checked="" type="checkbox"/>
--	---

For all Non-Residential Applications

Hours of Operation	
--------------------	--

Number of Employees	
---------------------	--

Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
--	--

Describe any hazardous materials to be used or stored on site	
---	--

Type & location of any large plant or machinery used (refrigeration, generators)	
--	--

Describe any retail and/or storage of goods or equipment in outdoor areas	
---	--

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	6-05-2026
----------------------	---	-------	-----------

Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
--	--	-------	--

If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent via the Council Manager. Request for Ministerial consent is to be directed to the

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 47313	FOLIO 1
EDITION 4	DATE OF ISSUE 17-Apr-2020

SEARCH DATE : 06-May-2026

SEARCH TIME : 11.49 am

DESCRIPTION OF LAND

Town of TRIABUNNA

Lot 1 on Diagram [47313](#)

Derivation : Part of Lot 4 Sec. K. Gtd. to J. Deegan

Prior CT [4731/46](#)

SCHEDULE 1

[M803451](#) TRANSFER to TONY BACIC SUPERFUND PTY LTD Registered
17-Apr-2020 at 12.01 pm

SCHEDULE 2

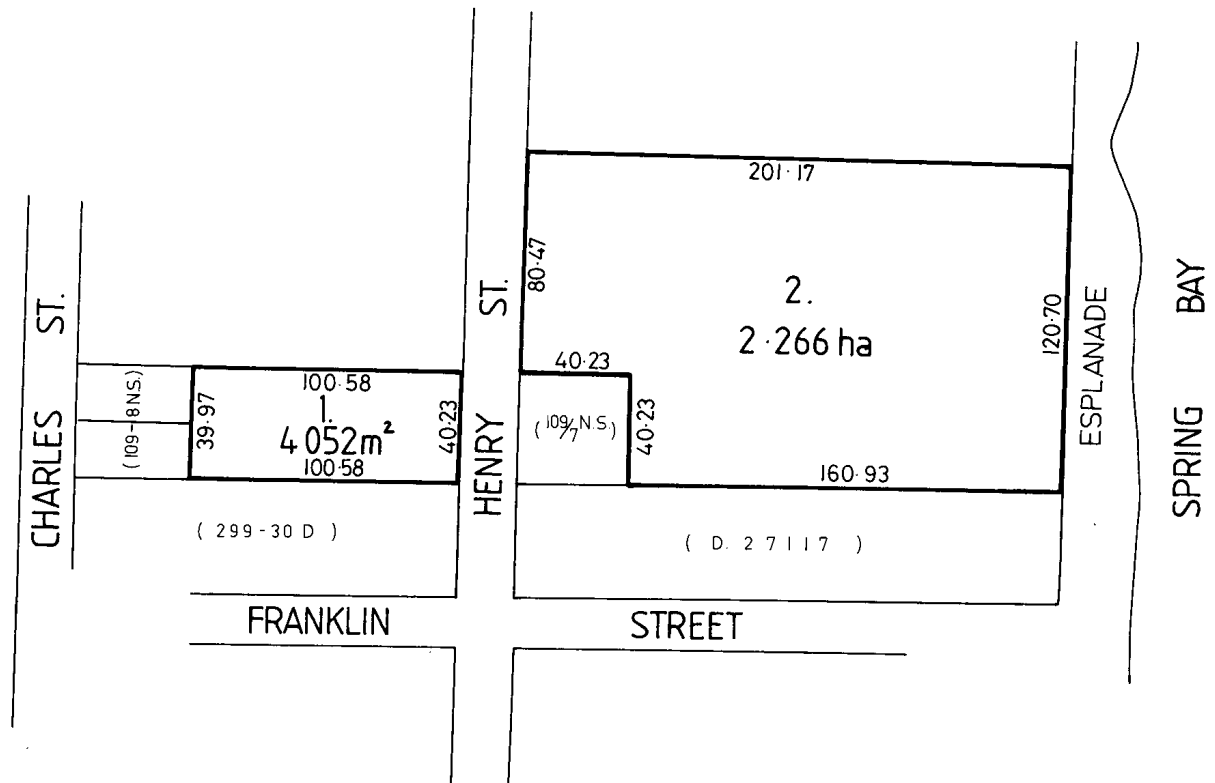
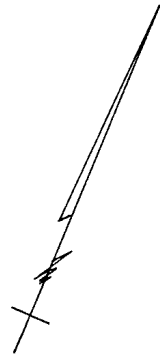
Reservations and conditions in the Crown Grant if any

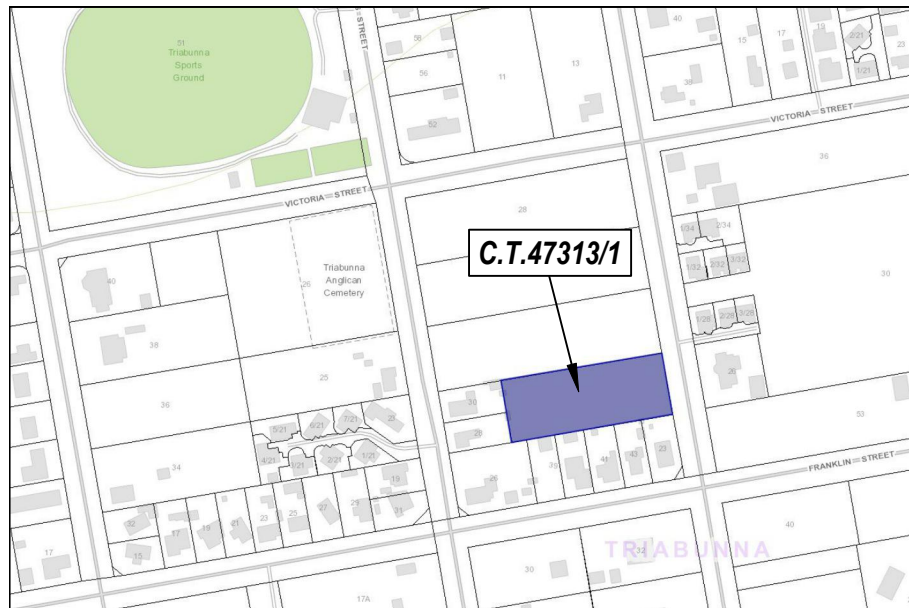
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OS-K 3910

Owner:	PLAN OF TITLE of land situated in the TOWN : TRIABUNNA SEC. J & K. COMPILED FROM..... SCALE 1:2000 MEASUREMENTS IN METRES	Registered Number: D47313
Title Reference: C.T. 2968-3		Approved.....
Grantee:		Recorder of Titles





LOCATION PLAN

This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval.
 All measurements and areas are subject to the final survey.
 Base image by TASMAR (www.tasmap.tas.gov.au), © State of Tasmania
 Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

Staging Legend

Stage 1 - Lots 1 & 2

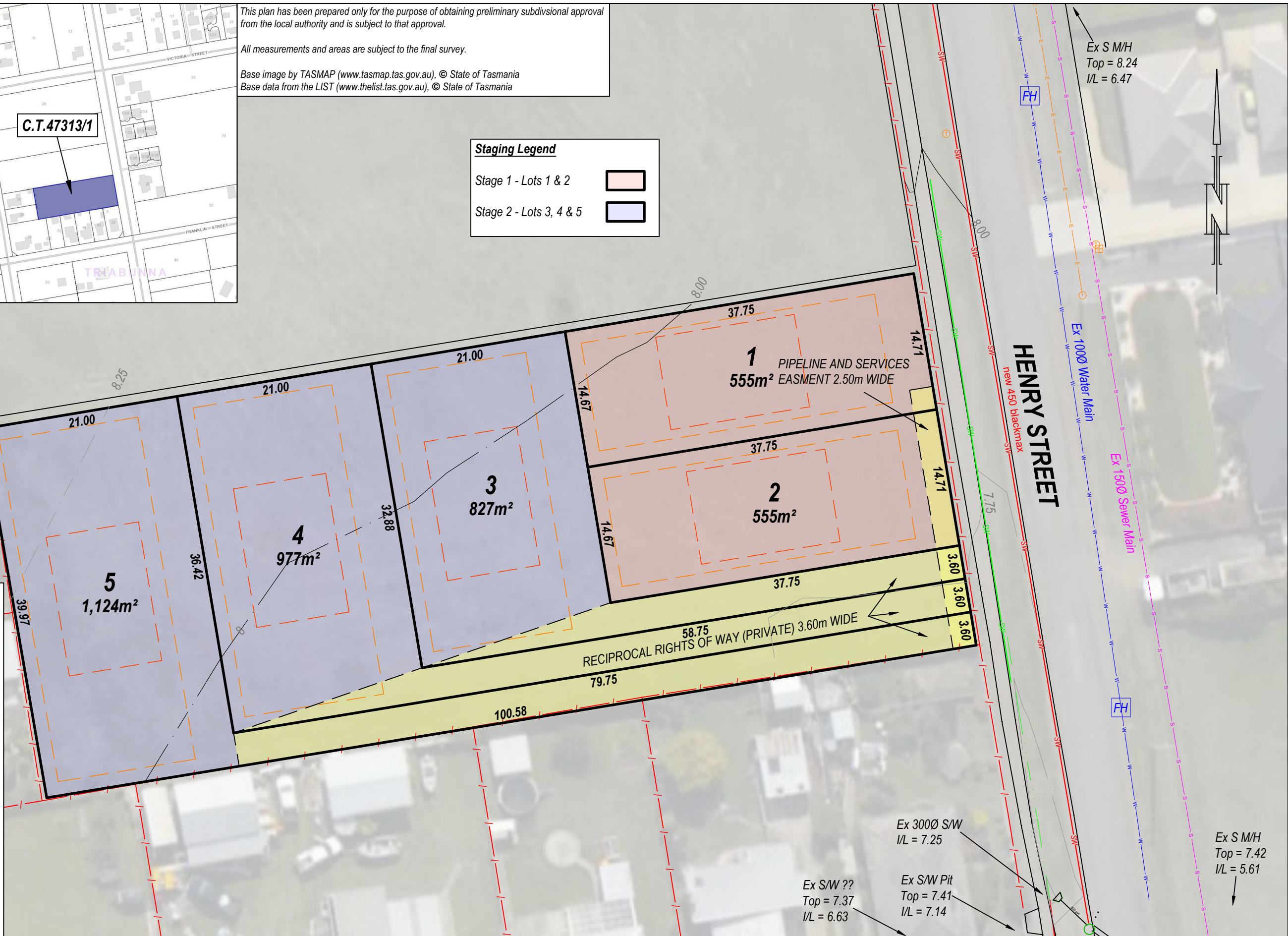
Stage 2 - Lots 3, 4 & 5

Development Standards for Subdivision General Residential!

8.6.1 Lot design
 A1- All lots comply - min. lot size 450m² with min 10m x 15m with gradient less than 1 in 5 and clear of setbacks & easements
 A2- Lots 1 & 2 comply
 P2- Lots 3, 4 & 5 comply - min 3.60 carriage way
 A3- All lots will comply
 A4- All lots comply - no new roads

8.6.2 Roads
 A1- All lots comply - no new roads

8.6.3 Services
 A1-Water All lots comply
 A2-Sewer All lots comply
 A3-Stormwater All lots comply



E				
D				
C				
B				
A	Staging	SH	18-11-25	SH
REV	AMENDMENTS	DRAWN	DATE	APPR.

ROGERSON & BIRCH SURVEYORS

UNIT 1, 2 KENNEDY DRIVE
 CAMBRIDGE 7170
 PHONE: (03)6248 5898
 EMAIL: admin@rbsurveyors.com
 WEB: www.rbsurveyors.com

OWNER: TONY BACIC SUPERFUND PTY LTD
TITLE REFERENCE: C.T.47313/1
LOCATION: HENRY STREET, TRIABUNNA

Proposed Subdivision

Date: 19/03/2024
Reference: BACIT01 13796-03
Scale: 1:400 (A3)
Municipality: GLAMORGAN-SPRING BAY

CIVIL DRAWINGS
HENRY STREET SUBDIVISION
27 HENRY STREET

C001	COVER	0	11/11/2025
C002	ENGINEERING NOTES	0	11/11/2025
C101	LOCALITY PLAN	0	11/11/2025
C102	SITE PLAN	0	11/11/2025
C103	STORMWATER & ROAD PLAN	0	11/11/2025
C104	SEWER AND WATER PLAN	0	11/11/2025
C105	JOINTING PLAN	0	11/11/2025
C106	SOIL AND WATER MANAGEMENT PLAN	0	11/11/2025
C201	STORMWATER LONG SECTIONS - SHEET 1	0	11/11/2025
C202	STORMWATER LONG SECTIONS - SHEET 2	0	11/11/2025
C203	STORMWATER LONG SECTIONS - SHEET 3	0	11/11/2025
C204	SEWER LONG SECTIONS - SHEET 1	0	11/11/2025
C205	SEWER LONG SECTIONS - SHEET 2	0	11/11/2025
C206	SEWER LONG SECTIONS - SHEET 3	0	11/11/2025
C301	LONG SECTIONS - SHEET 1	0	11/11/2025
C302	LONG SECTIONS - SHEET 2	0	11/11/2025
C401	CONSTRUCTION DETAILS	0	11/11/2025

COVER
AS INDICATED

			DRAWN:	JH
			CHECKED:	NM
			DESIGN:	JH
			CHECKED:	NM
0	BUILDING APPROVAL	11/11/2025	VERIFIED:	NM
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	HENRY STREET SUBDIVISION	ADDRESS:	27 HENRY STREET TRIABUNNA	SHEET:	COVER		
CLIENT:	TONY BACIC	SCALE:	AS INDICATED	TOTAL SHEETS:	17	SIZE:	A1
PROJECT No:	21E96-5	SHEET:	C001	REV:	0		

GENERAL NOTES:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, HYDRAULIC AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARDS REFERENCED ARE TO BE THE MOST CURRENT VERSION.
- THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE ACCORDINGLY.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA/LGAT STANDARD DRAWINGS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- IPWEA/LGAT STANDARD DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL EXCLUSION SHEETS TSD-E01-v3 & TSD-E02-v3.
- ALL WORKS ARE TO BE MAINTAINED IN A SAFE CONDITION.
- CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS
- CONTRACTOR TO OBTAIN APPROVALS, SERVICE CLEARANCES AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.
- A "START OF WORKS NOTICE" MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORKS COMMENCING.
- SURVEY DATA UNDERTAKEN AND PROVIDED BY ROGERSON & BIRCH SURVEYORS.
- SITE LAYOUT UNDERTAKEN AND PROVIDED BY ROGERSON & BIRCH SURVEYORS.
- COUNCIL APPROVED PLANNING PERMIT REFERENCE SA 2021/29
- TASWATER APPROVED PLANNING AUTHORITY NOTICE TWDA 2022/00773-GSB

WORKPLACE HEALTH & SAFETY NOTES:

BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM:

- THE TYPE OF WORK.
- HAZARDS AND RISKS TO HEALTH AND SAFETY.
- THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.
- THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT, POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTHS
- CONTAMINATED SOILS
- CONSTRUCTION IN GROUND WITH HIGH WATER TABLE
- FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION
- UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
- CONFINED SPACES
- OVERHEAD POWER LINES
- UNDERGROUND STORMWATER, WATER AND SEWER PIPES
- TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
- ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD
- WORKING AT HEIGHTS
- WORKING WITH ASBESTOS CONTAINING MATERIALS
- TRAFFIC MANAGEMENT

EARTHWORKS & DRIVEWAY NOTES:

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
- ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.
- NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-v3 & TSD-R14-v3 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
- EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED TO BE OTHERWISE.
- FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
 - THE SUB GRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
 - FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
 - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
 - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
- WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO CONFIRM AN APPROVED BASE.
- CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING A CURRENT BEST PRACTICE METHOD.
- SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELLING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
- BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW:

SOIL TYPE (* REFER BCA 3.2.4)	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK (A*)	2:3	8:1
SAND (A*)	1:2	1:2
SILT (P*)	1:4	1:4
CLAY	FIRM CLAY	1:2
	SOFT CLAY	NOT SUITABLE
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A BATTERED BANK CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

DRAINAGE AND SERVICES NOTES:

- ALL WORKS ASSOCIATED WITH PUBLIC STORMWATER INFRASTRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA (TAS) LGAT STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL.
- ALL WORKS ASSOCIATED WITH PUBLIC SEWER AND WATER ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO DEVELOPER UNLESS APPROVED OTHERWISE.
- HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA)
- INSTALL ALL SUB-SOIL DRAINS TO THE REQUIREMENTS OF AS3500, PART 3.1.3 OF THE NCC 2022 - VOLUME 2 AND PART FP2 OF THE NCC 2022 - VOLUME 3.
- PAVEMENT AND HARDSTAND AREAS SHALL FALL AT A MINIMUM OF 1% (1:100) TOWARD AN APPROVED DISCHARGE POINT.
- ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
- DRAINAGE PIPES TO BE MIN. uPVC CLASS SN4, PIPES UNDER TRAFFICABLE AREAS TO BE SN8 U.N.O.
- MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1% FOR STORMWATER AND 1.67% FOR SEWER U.N.O.
- MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE AS PROSCRIBED IN AS3500.2 FOR SEWER AND AS3500.3 FOR STORMWATER U.N.O.
- TASWATER SEWER MAINS TO BE MINIMUM DWV CLASS SN8 DN150 RRJ WITH MINIMUM CLASS SN10 DN100 PROPERTY CONNECTIONS.
- STORMWATER MAINS TO BE MINIMUM DWV CLASS SN8 DN225 RRJ OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- WATER PIPES TO BE MIN. DN20 POLY PN16 AND FITTINGS TO BE MIN. CLASS 16 U.N.O.
- WATER CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WSAA DRAWING MRWA-W-111 PROVIDED WITH METERAGE AND BACKFLOW PREVENTION AS PER TASWATER STANDARD DRAWINGS TWS-W-0002 SERIES.
- ALL PIPEWORK TO BE INSPECTED BY THE RELEVANT AUTHORITY PRIOR TO BACKFILL.
- PIT DIMENSIONS SHOWN HAVE BEEN DESIGNED BY PIT CAPACITY TABLES. THESE PITS MAY NEED TO BE INCREASED IN MINIMUM INTERNAL SIZE DUE TO THE DEPTH AS PER AS3500.3 AS PER TABLE BELOW WHICH IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO AS3500:

DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS mm		
	WIDTH	LENGTH	DIAMETER
≤450	350	350	-
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000


CIVIL INSPECTIONS / HOLD POINTS:

THE BUILDER IS TO ALLOW TO ENGAGE ALDANMARK ENGINEERS TO UNDERTAKE INSPECTIONS AT THE FOLLOWING HOLD POINTS OF A CIVIL WORKS NATURE:

- SUBGRADE/FORMATION LEVEL OF DRIVEWAY PAVEMENT INCLUSIVE OF PROOF ROLL
- BASE OF ROAD PAVEMENT INCLUSIVE OF PROOF ROLL
- DRIVEWAY REINFORCEMENT AND JOINTING PRIOR TO CONCRETE POUR
- LAYING OF PIPELINES FOR STORMWATER DRAINAGE AND BENCHING WITHIN PITS

ENGINEERING NOTES

AS INDICATED

			DRAWN:	JH	 <p>Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au</p>	PROJECT: HENRY STREET SUBDIVISION	ADDRESS: 27 HENRY STREET TRIABUNNA	SHEET: ENGINEERING NOTES		
			CHECKED:	NM						
			DESIGN:	JH						
			CHECKED:	NM						
0	BUILDING APPROVAL	11/11/2025	VERIFIED:	NM		CLIENT: TONY BACIC		SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
REV	ISSUE	DATE	APPROVAL					PROJECT No: 21E96-5	SHEET: C002	REV: 0



LOCALITY PLAN
SCALE 1:500 (A1)

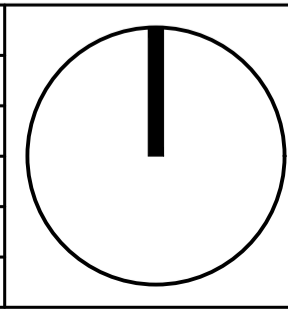


THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

0	BUILDING APPROVAL	11/11/2025	CHECKED: JH	NM
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: HENRY STREET SUBDIVISION

ADDRESS: 27 HENRY STREET TRIABUNNA

CLIENT: TONY BACIC

SHEET: LOCALITY PLAN		
SCALE: 1:500	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C101	REV: 0

STORMWATER LEGEND	
	PVC STORMWATER DN150 SM U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	HOUSE CONNECTION SERVICE LINE
	EXISTING STORMWATER
	INSPECTION OPENING
	GRATED PIT
	GRATED TRENCH WITH PIT

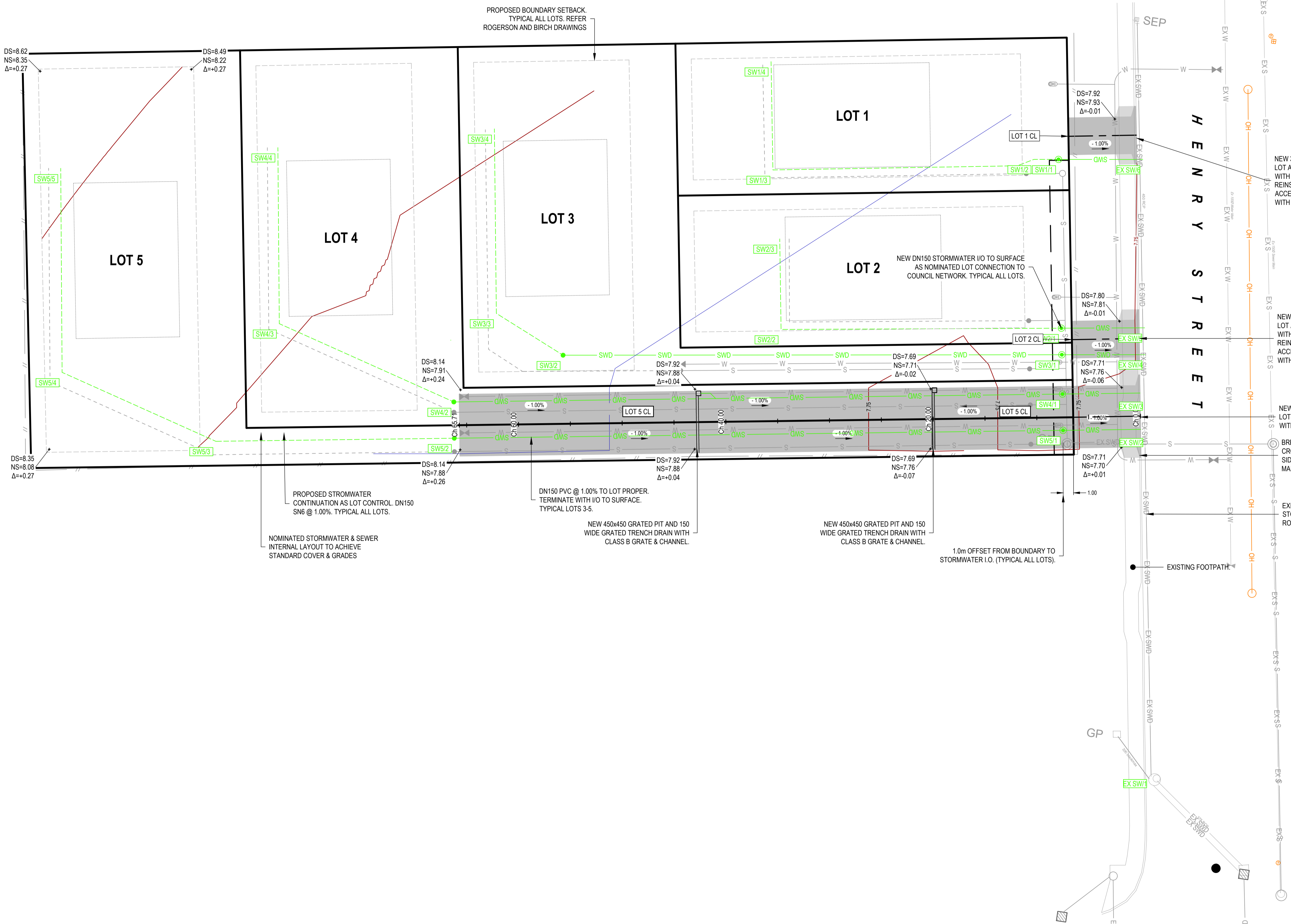
SITE & EXISTING SERVICES LEGEND	
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TEL/STRA
	EXISTING NBW
	EXISTING GAS

NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES:
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



NEW 3.6m WIDE CONCRETE ACCESS TO SERVICE LOT. LOT ACCESS TO BE CONSTRUCTED IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-V3. ALLOW TO REINSTATE FOOTPATH AND KERB EITHER SIDE OF NEW ACCESS PER TSD-R11-V3 & TSD-R14-V3 TO MAKE GOOD WITH EXISTING.

NEW 3.6m WIDE CONCRETE ACCESS TO SERVICE LOT. LOT ACCESS TO BE CONSTRUCTED IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-V3. ALLOW TO REINSTATE FOOTPATH AND KERB EITHER SIDE OF NEW ACCESS PER TSD-R11-V3 & TSD-R14-V3 TO MAKE GOOD WITH EXISTING.

NEW 6m WIDE CONCRETE ACCESS TO SERVICE MULTIPLE LOTS. ACCESS TO BE CONSTRUCTED IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-V3.

BREAK OUT AND REMOVE EXISTING LOT ACCESS AND CROSSOVER. REINSTATE FOOTPATH AND KERB EITHER SIDE OF NEW ACCESS PER TSD-R11-V3 & TSD-R14-V3 TO MAKE GOOD WITH EXISTING.

EXISTING DN450 RCP COUNCIL STORMWATER MAIN PER ROGERSON AND BIRCH SURVEY.

STORMWATER & ROAD PLAN
SCALE 1:200 (A1)

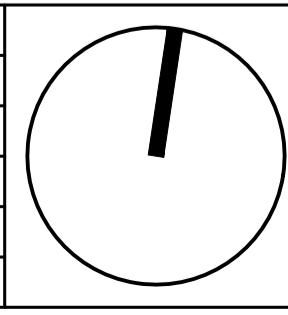


THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

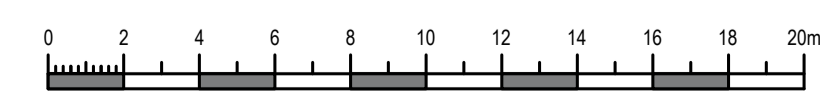
BEWARE OF UNDERGROUND SERVICES:
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

0	BUILDING APPROVAL	11/1/2025	CHECKED: NM	DESIGN: JH
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC



SHEET:	STORMWATER & ROAD PLAN
SCALE:	1:200
TOTAL SHEETS:	17
SIZE:	A1
PROJECT No:	21E96-5
SHEET:	C103
REV:	0

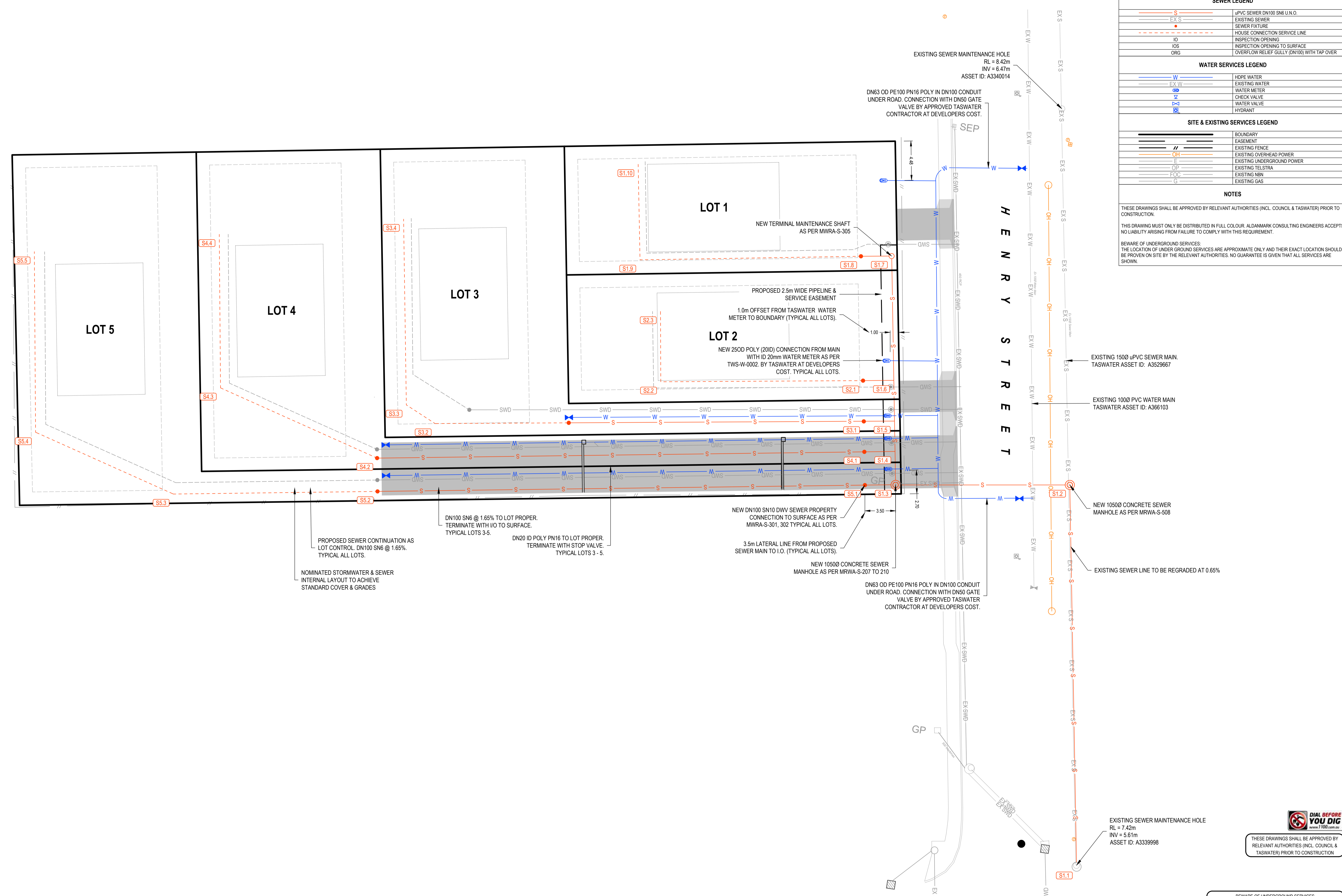
SEWER LEGEND	
	1500 uPVC SEWER DN100 SN6 U.N.O.
	EXISTING SEWER
	SEWER FIXTURE
	HOUSE CONNECTION SERVICE LINE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
	HDPE WATER
	EXISTING WATER
	WATER METER
	CHECK VALVE
	WATER VALVE
	HYDRANT
SITE & EXISTING SERVICES LEGEND	
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING FOC
	EXISTING NBN
	EXISTING GAS

NOTES

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



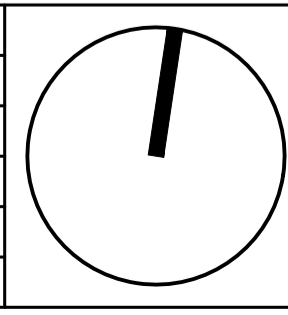
SEWER AND WATER PLAN
SCALE 1:200 (A1)



THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION

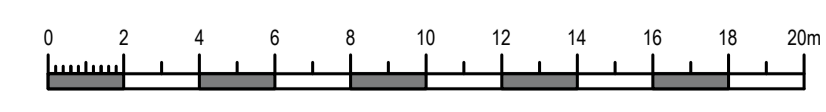
BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

REV	ISSUE	DATE	APPROVAL
0	BUILDING APPROVAL	11/11/2025	NM



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

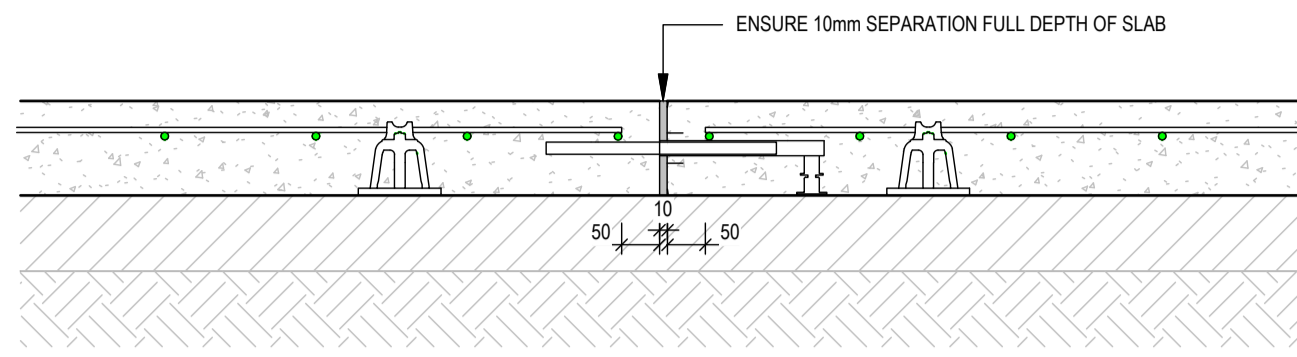
PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC



SHEET:	SEWER AND WATER PLAN
SCALE:	1:200
PROJECT No:	21E96-5

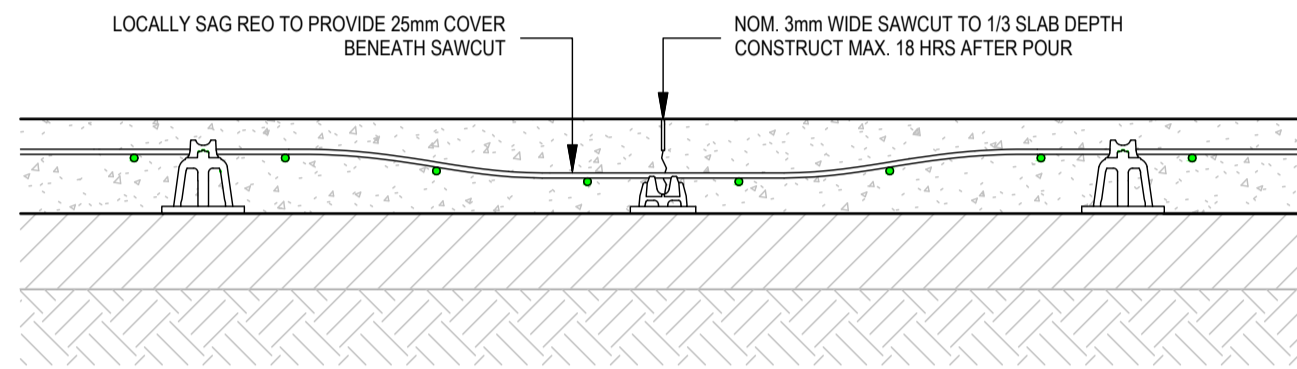
TOTAL SHEETS:	17	SIZE:	A1
SHEET:	C104	REV:	0

JOINT SPECIFICATION			
JOINT TYPE	EXPANSION - CONNOLLEY EXJ12530	CONC. GRADE	N32
JOINT SEAL	NONE	DOWEL MATERIAL	HOT DIPPED GALVANISED STEEL
MAX. LOADING		DOWEL LENGTH	450mm
MAX. EXPANSION	10mm	DOWEL DIA.	16mm
SLAB THICKNESS	125mm	DOWEL CENTRES	450mm

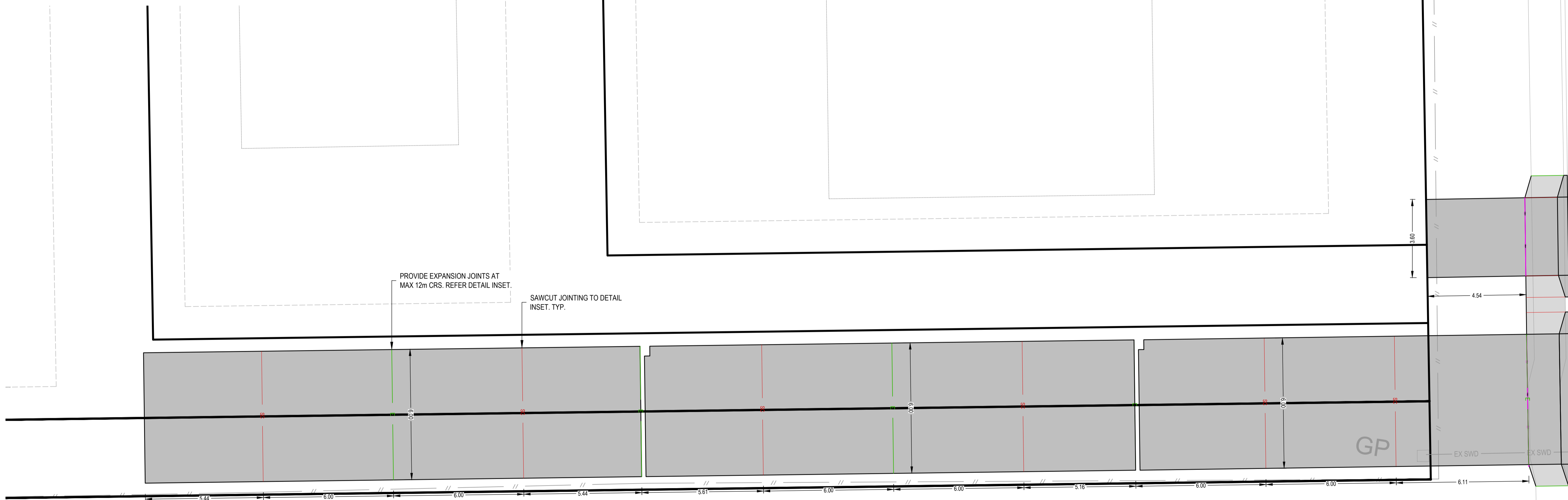


JT-EJ-02-001 - 125 EXPANSION JOINT
1:10

JOINT SPECIFICATION			
JOINT TYPE	CRACK CONTROL	CONC. GRADE	N32
JOINT SEAL	NONE	DOWEL MATERIAL	N/A
MAX. LOADING		DOWEL TYPE	N/A
REINFORCEMENT	SL82	DOWEL WIDTH	N/A
SLAB THICKNESS	125mm	DOWEL CENTRES	N/A



JT-SJ-01-001 - 125 SAWCUT JOINT



JOINTING LEGEND

- SAWCUT JOINT
- EXPANSION JOINT
- ISOLATION JOINT
- CONSTRUCTION JOINT
- REINFORCEMENT BAR

NOTES

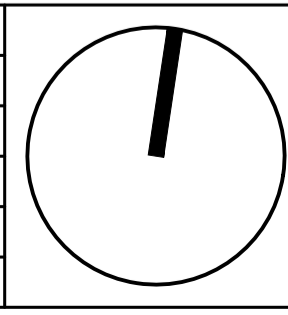
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TSWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

JOINTING PLAN
SCALE 1:200 (A1)

REV	ISSUE	DATE	APPROVAL
0	BUILDING APPROVAL	11/11/2025	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: HENRY STREET SUBDIVISION

ADDRESS: 27 HENRY STREET TRIABUNNA

CLIENT: TONY BACIC

SHEET: JOINTING PLAN		TOTAL SHEETS: 17		SIZE: A1
SCALE: 1:200	PROJECT No: 21E96-5	SHEET: C105	REV: 0	



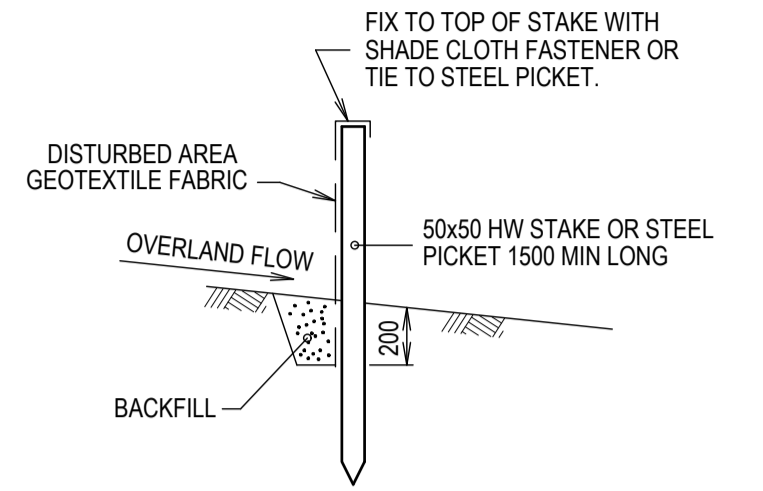
NOTES:

1. GENERAL:
 - A. CONTROL MEASURES TO BE IMPLEMENTED BY DEVELOPERS CONTRACTOR AND INSTALLED IN ACCORDANCE WITH "EROSION AND SEDIMENT CONTROL, THE FUNDAMENTALS FOR DEVELOPMENT IN TASMANIA AND ASSOCIATED GUIDELINE DOCUMENTS (TEER & DEP, 2023)".
 - B. TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
 - C. ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
 - D. ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
 - E. CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
 - F. IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
 - G. STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
 - H. ANY DISTURBED GROUND TO BE RE-VEGETATED AND MADE GOOD.
2. SEDIMENT FENCE:
 - A. NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
 - B. NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100m LENGTH OF FENCE.
 - C. WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
 - D. FENCES ARE REQUIRED 2m MIN FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.
3. STRAW BALE BANKS:
 - A. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - B. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 100mm ON THE DOWNSTREAM SIDE AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - C. BALES SHALL BE SECURELY ANCHORED IN PLACE WITH EITHER TWO STAKES OR STEEL PICKETS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE

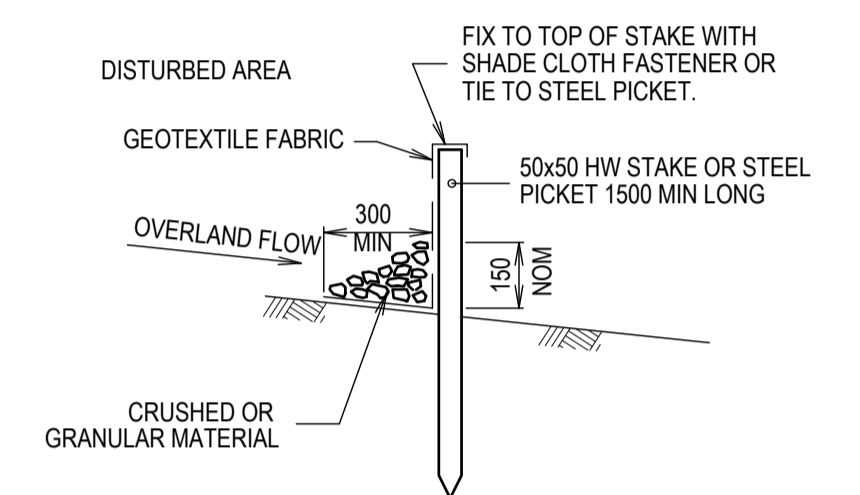
4. PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER.
5. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. REPLACE AT LEAST 3 MONTHLY.
6. SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.
7. ADVICE:
 - EROSION AND SEDIMENT TRANSPORTATION CONTROL DEVICES TO BE ESTABLISHED ON SITE PRIOR TO THE DISTURBANCE OF ANY SOIL OR EXCAVATION.
 - FORMAL CONNECTION TO THE STORMWATER NETWORK FROM IMPERVIOUS SURFACES SUCH AS ROOFS OR HARDSTAND ARE TO BE MADE AS EARLY AS POSSIBLE, EVEN IF ONLY TEMPORARY IN CONSTRUCTION
 - KEEP ANY EARTHWORKS TO THE MINIMUM AREA REQUIRED AND TIMED WITH THE COMMENCEMENT OF BUILDING AND CONSTRUCTION WORKS
 - ANY DISPERSIVE SOIL ON SITE TO BE TREATED AS PER RECOMMENDATION OF GEOTECHNICAL REPORT/SOIL REPORT
 - RETAIN AS MUCH NATURAL VEGETATION AS POSSIBLE THROUGHOUT CONSTRUCTION
 - ANY WASH DOWN OF EQUIPMENT ON-SITE TO BE COMPLETED IN DESIGNATED AREA WITH ADEQUATE CONTROLS IN PLACE
 - PLACE STOCKPILES AWAY FROM ON-SITE DRAINAGE OR STORMWATER FLOW. INSTALL SEDIMENT FENCING DOWNSLOPE OF STOCKPILES AND COVER WITH GEOFABRIC OR PLASTIC WHEN NOT IN USE.
 - IF A TEMPORARY SITE ACCESS IS TO BE USED, ENSURE THE ENTRANCE TO THE SITE IS STABILISED AND DESIGNATED AS THE SINGULAR ENTRY TO SITE. ANY DEBRIS TRACKED ONTO PUBLIC ROADS TO BE REMOVED VIA SHOVEL OR BROOM TO AVOID ENTRY TO THE PUBLIC STORMWATER SYSTEM
 - IF SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE ERECTED IN STAGES, CONTRACTOR IS TO ENSURE ADEQUATE PROTECTION IS PROVIDED AT ALL TIMES.

PLEASE REFER TO THE DERWENT ESTUARY WEBSITE FOR FURTHER INFORMATION REGARDING THE BEST PRACTICE FOR SOIL AND WATER MANAGEMENT ON SITE.

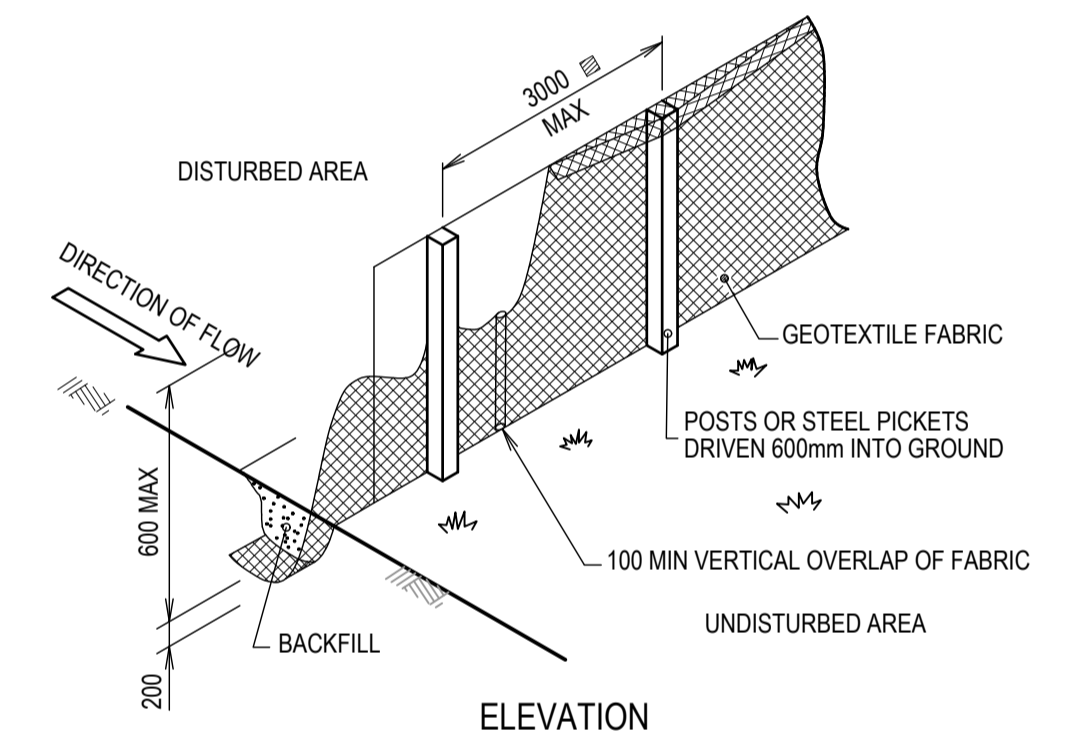
NOTES
 THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.
 THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 BEWARE OF UNDERGROUND SERVICES:
 THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



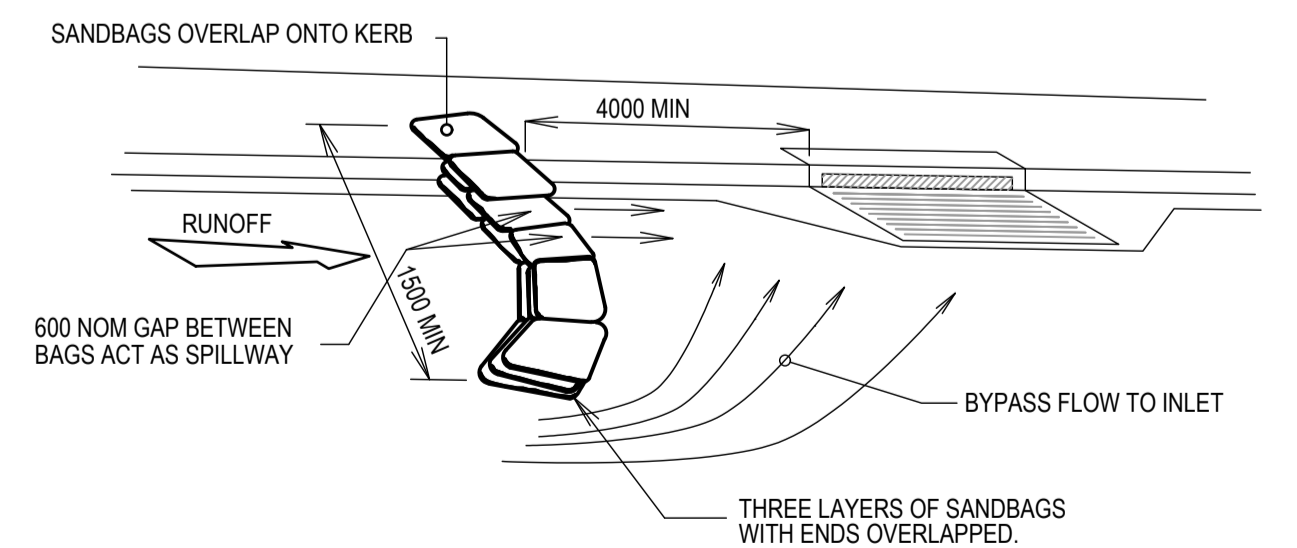
ALTERNATIVE 1



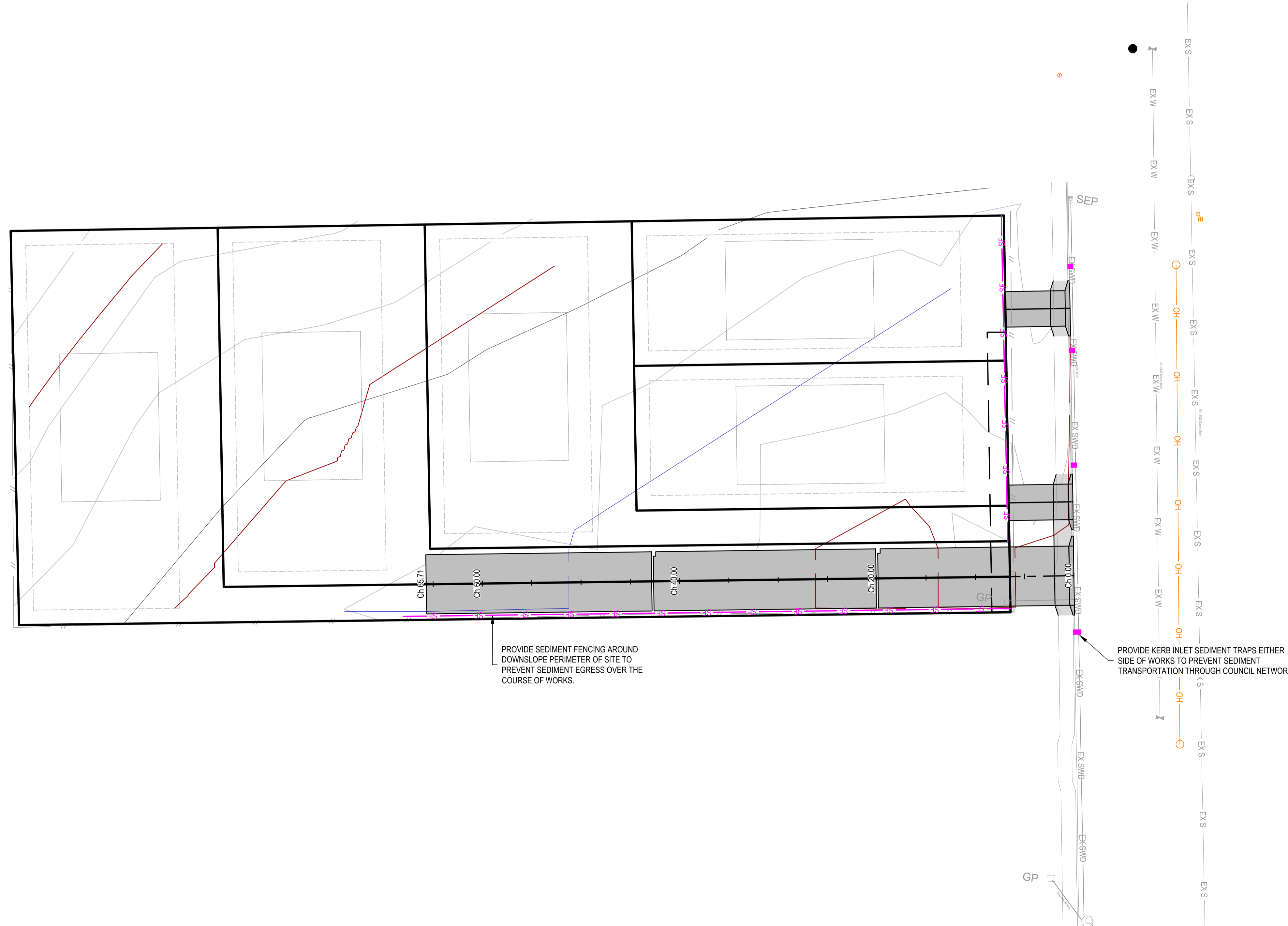
ALTERNATIVE 2



SEDIMENT FENCE
 NTS

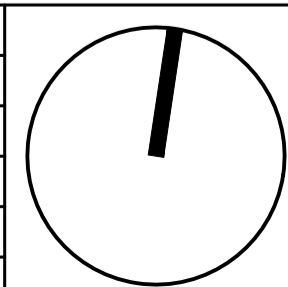


ON GRADE KERB INLET SEDIMENT TRAP
 NTS



SOIL AND WATER MANAGEMENT PLAN
 SCALE 1:250 (A1)

0	BUILDING APPROVAL	11/1/2025	CHECKED: NM	DESIGN: JH
REV	ISSUE	DATE	APPROVAL	

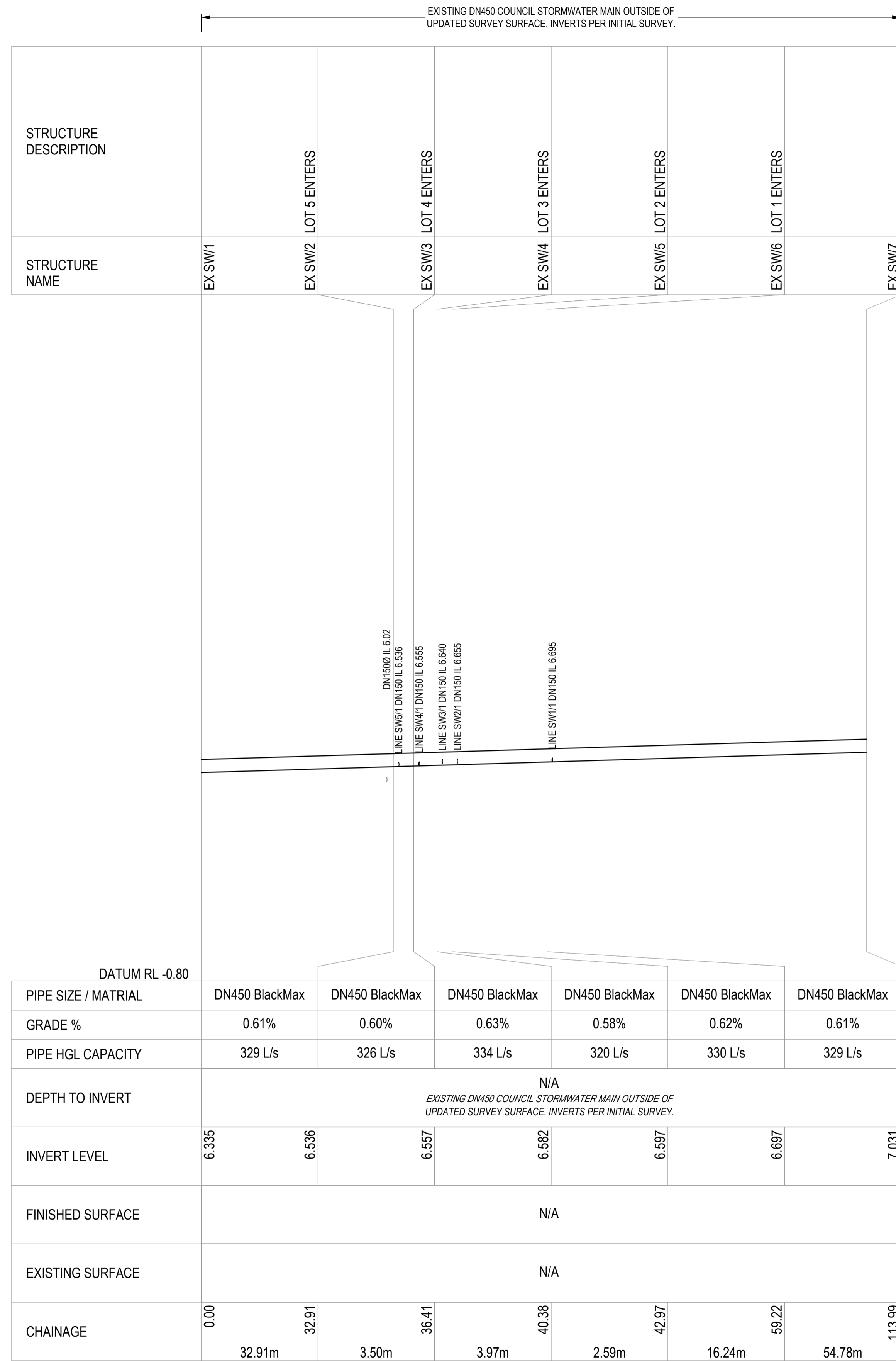


Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

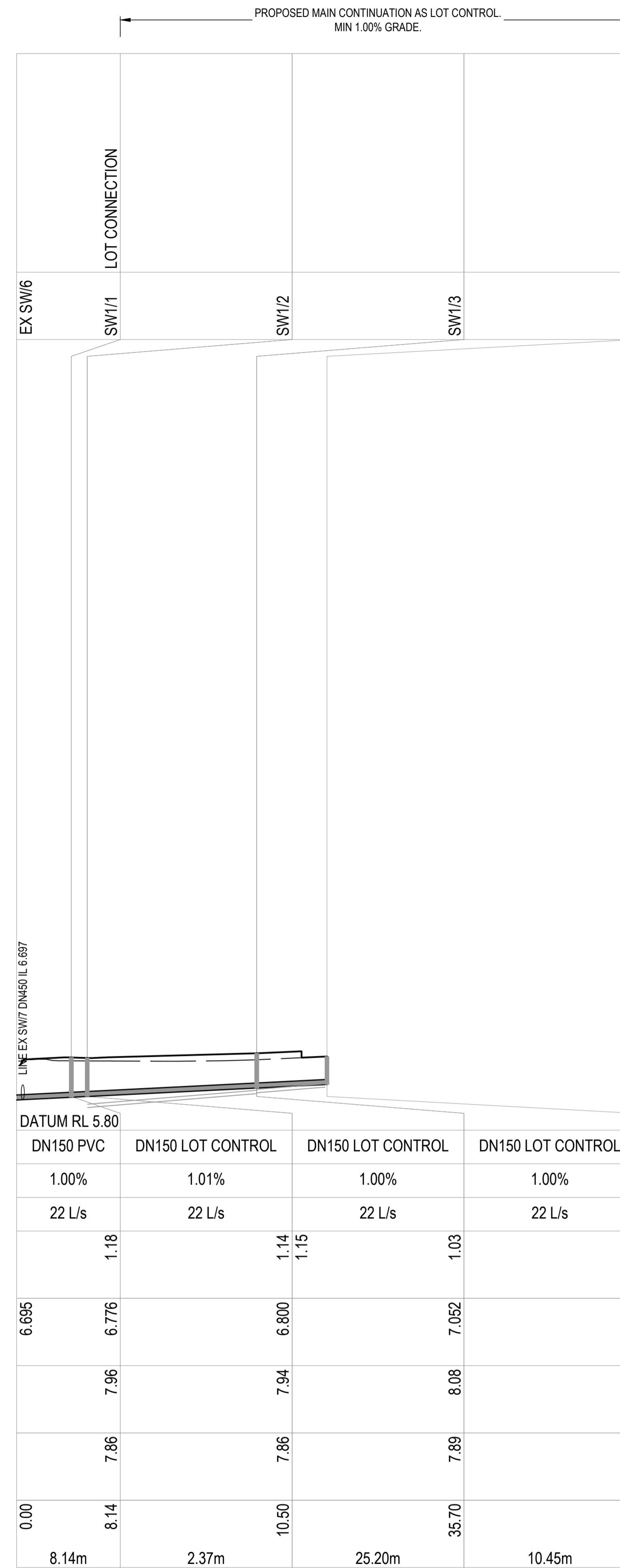
PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC

SHEET:	SOIL AND WATER MANAGEMENT PLAN
SCALE:	1:250
PROJECT No:	21E96-5

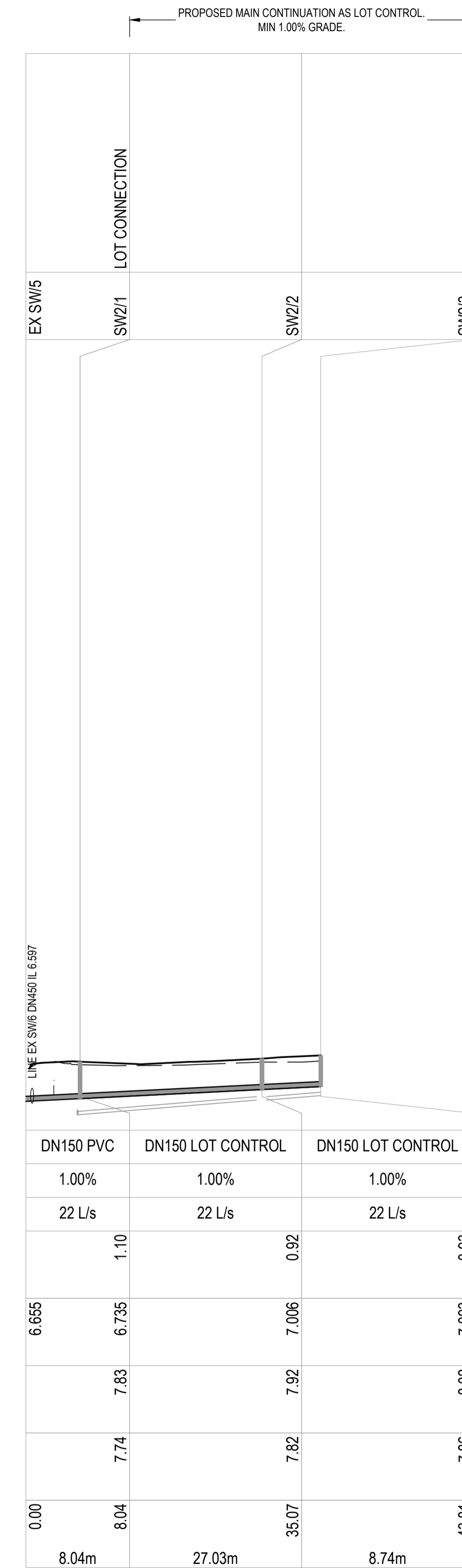
TOTAL SHEETS:	17	SIZE:	A1
SHEET:	C106	REV:	0



DRAINAGE LONGITUDINAL SECTION FOR LINE EX SW
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DRAINAGE LONGITUDINAL SECTION FOR LINE SW1
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DRAINAGE LONGITUDINAL SECTION FOR LINE SW2
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100

STORMWATER LONG SECTIONS - SHEET 1
 AS INDICATED

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

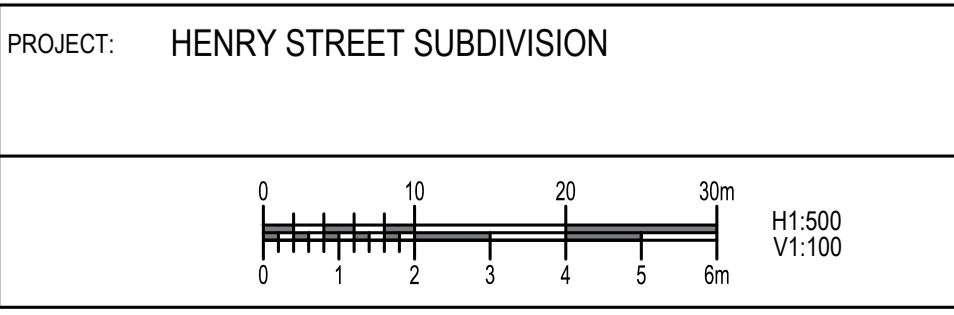
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

REV	0	BUILDING APPROVAL	11/11/2025	ISSUE	APPROVAL

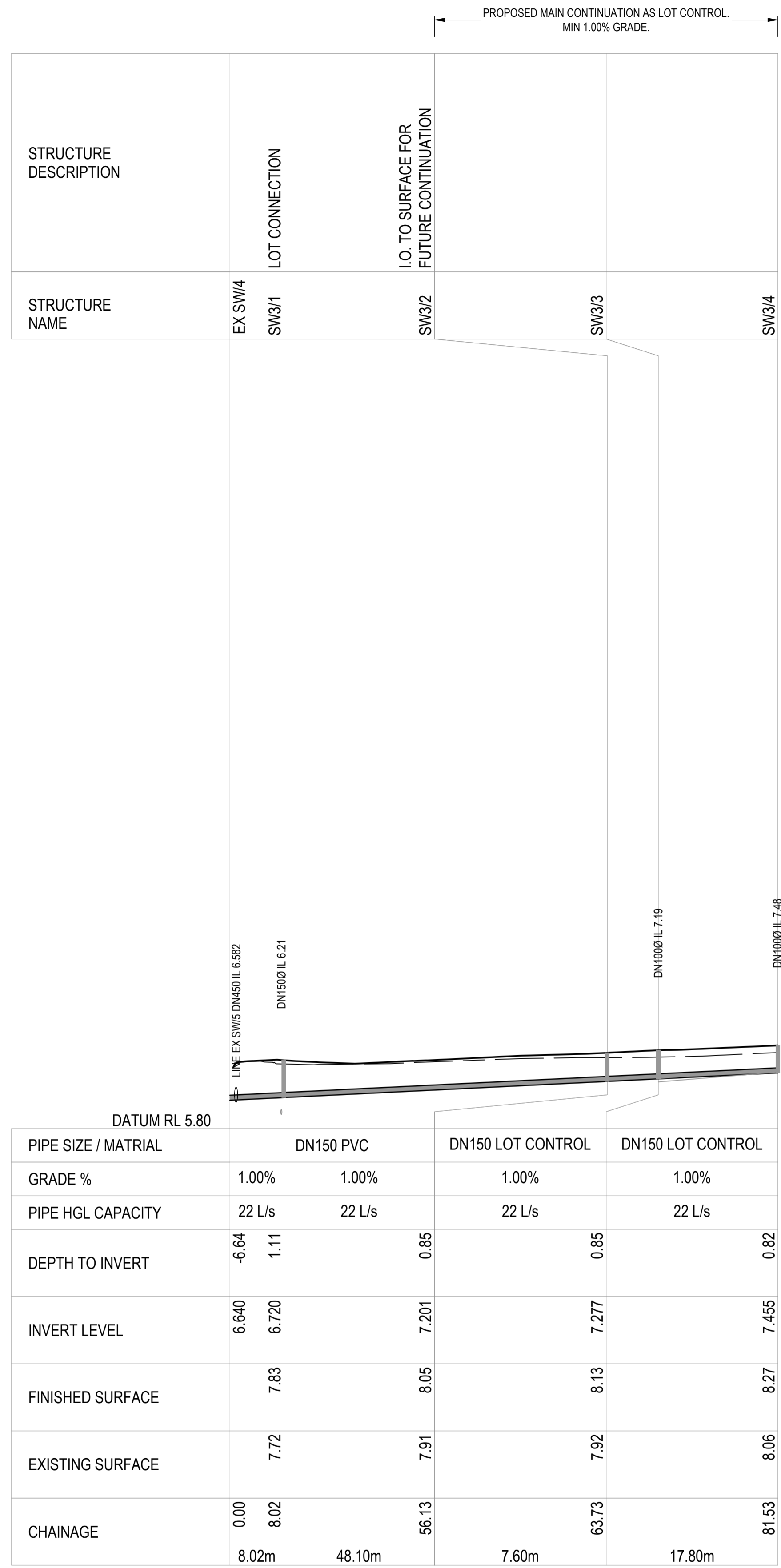


Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

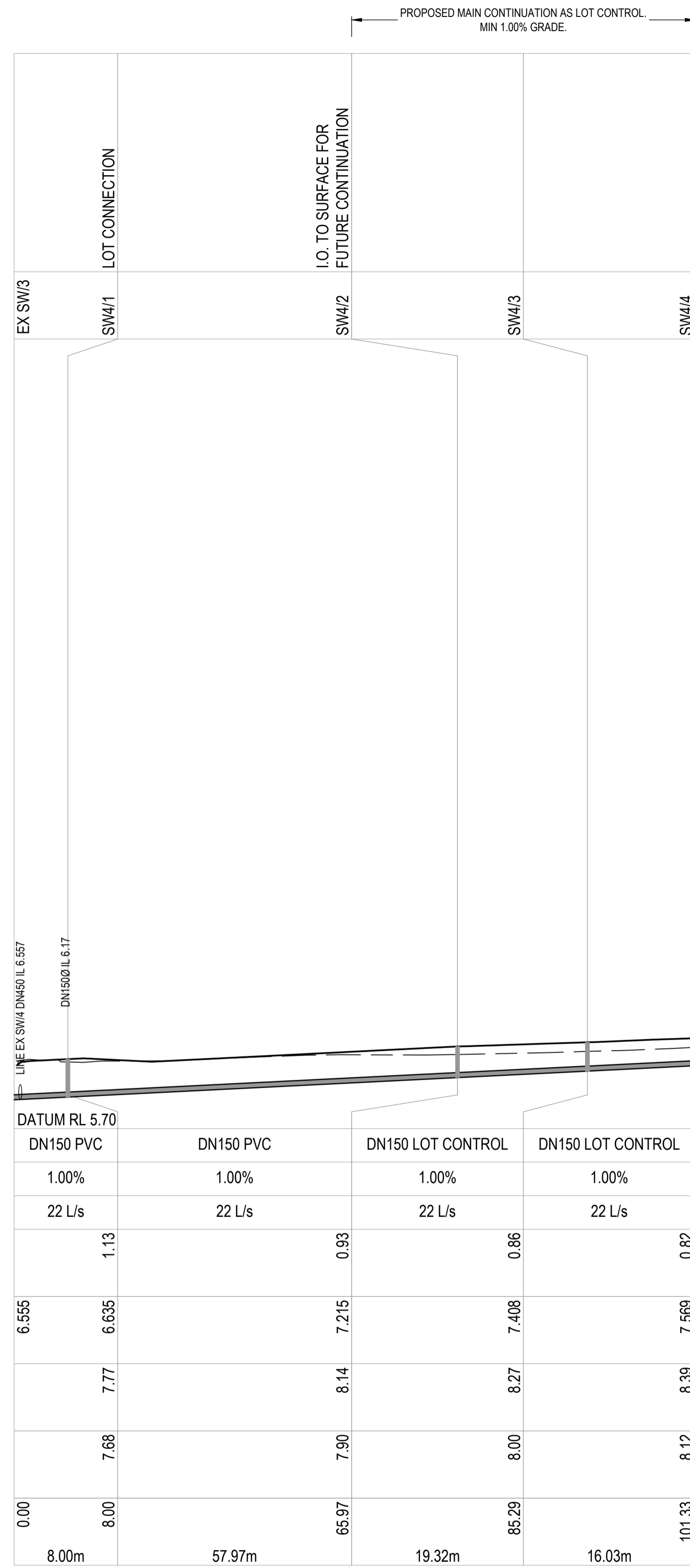


PROJECT: HENRY STREET SUBDIVISION
 ADDRESS: 27 HENRY STREET TRIABUNNA
 CLIENT: TONY BACIC

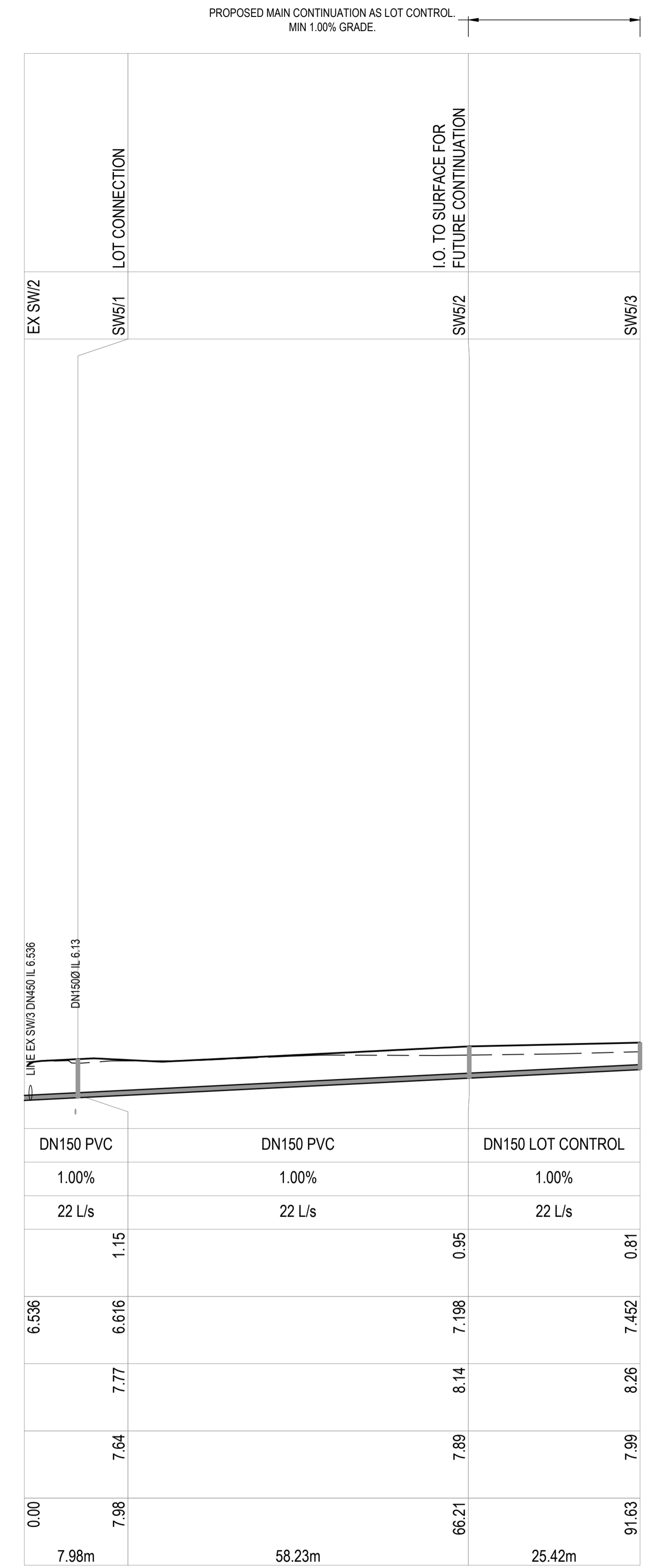
SHEET: STORMWATER LONG SECTIONS - SHEET 1	SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C201	REV: 0	



DRAINAGE LONGITUNDINAL SECTION FOR LINE SW3
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DRAINAGE LONGITUNDINAL SECTION FOR LINE SW4
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DRAINAGE LONGITUNDINAL SECTION FOR LINE SW5
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100

STORMWATER LONG SECTIONS - SHEET 2
 AS INDICATED

REV	ISSUE	DATE	APPROVAL
0	BUILDING APPROVAL	11/11/2025	

DRAWN: JH
 CHECKED: NM
 DESIGN: JH
 CHECKED: NM
 VERIFIED: NM

Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

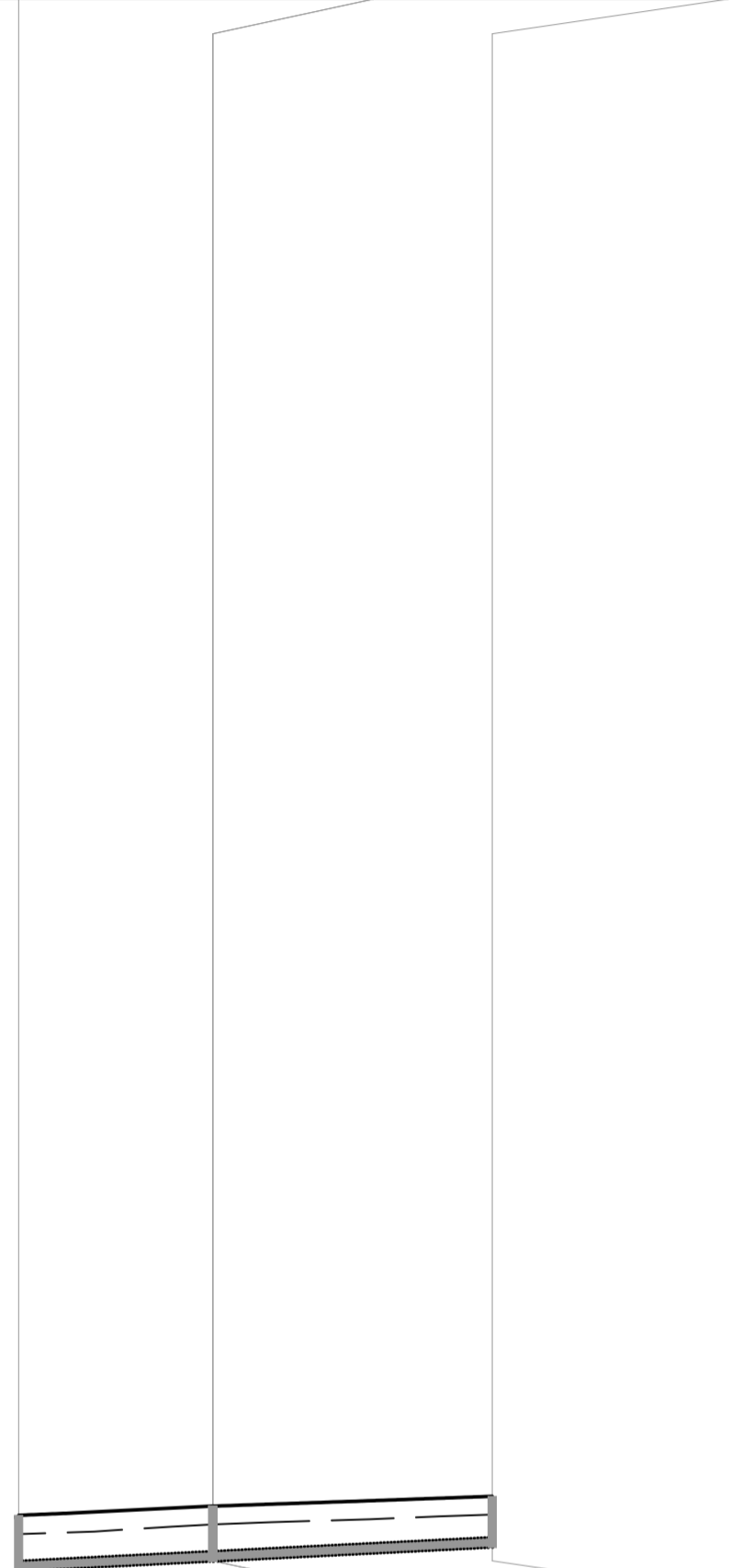
PROJECT: HENRY STREET SUBDIVISION
 ADDRESS: 27 HENRY STREET TRIABUNNA
 CLIENT: TONY BACIC

H1:500
 V1:100

SHEET: STORMWATER LONG SECTIONS - SHEET 2	
SCALE: AS INDICATED	TOTAL SHEETS: 17
PROJECT No: 21E96-5	SIZE: A1
SHEET: C202	REV: 0

PROPOSED MAIN CONTINUATION AS LOT CONTROL.
MIN 1.00% GRADE.

STRUCTURE DESCRIPTION			
STRUCTURE NAME	SW53	SW54	SW55



DATUM RL 6.60			
PIPE SIZE / MATERIAL	DN150 LOT CONTROL	DN150 LOT CONTROL	
GRADE %	1.00%	1.00%	
PIPE HGL CAPACITY	22 L/s	22 L/s	
DEPTH TO INVERT	0.81	0.80	0.74
INVERT LEVEL	7.452	7.592	7.793
FINISHED SURFACE	8.26	8.39	8.53
EXISTING SURFACE	7.99	8.13	8.27
CHAINAGE	91.63	105.62	125.74
	13.99m	20.12m	

DRAINAGE LONGITUNDINAL SECTION FOR LINE SW5
SCALES: HORIZONTAL 1:500 VERTICAL 1:100

STORMWATER LONG SECTIONS - SHEET 3
AS INDICATED

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

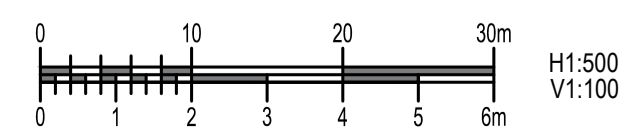
BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

0	BUILDING APPROVAL	11/11/2025	CHECKED: NM	VERIFIED: NM
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC

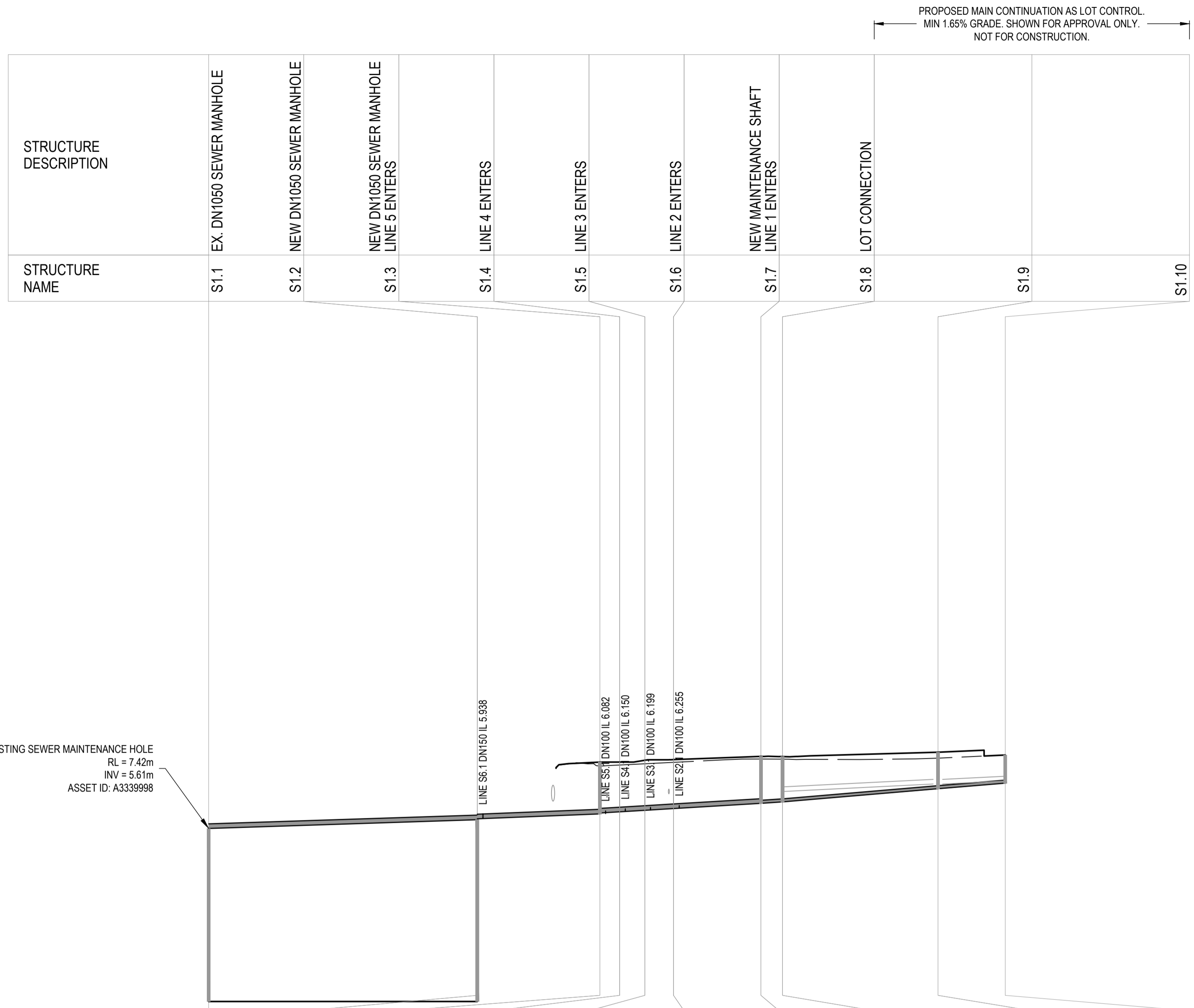


SHEET:	STORMWATER LONG SECTIONS - SHEET 3		
SCALE:	AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No:	21E96-5	SHEET: C203	REV: 0

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

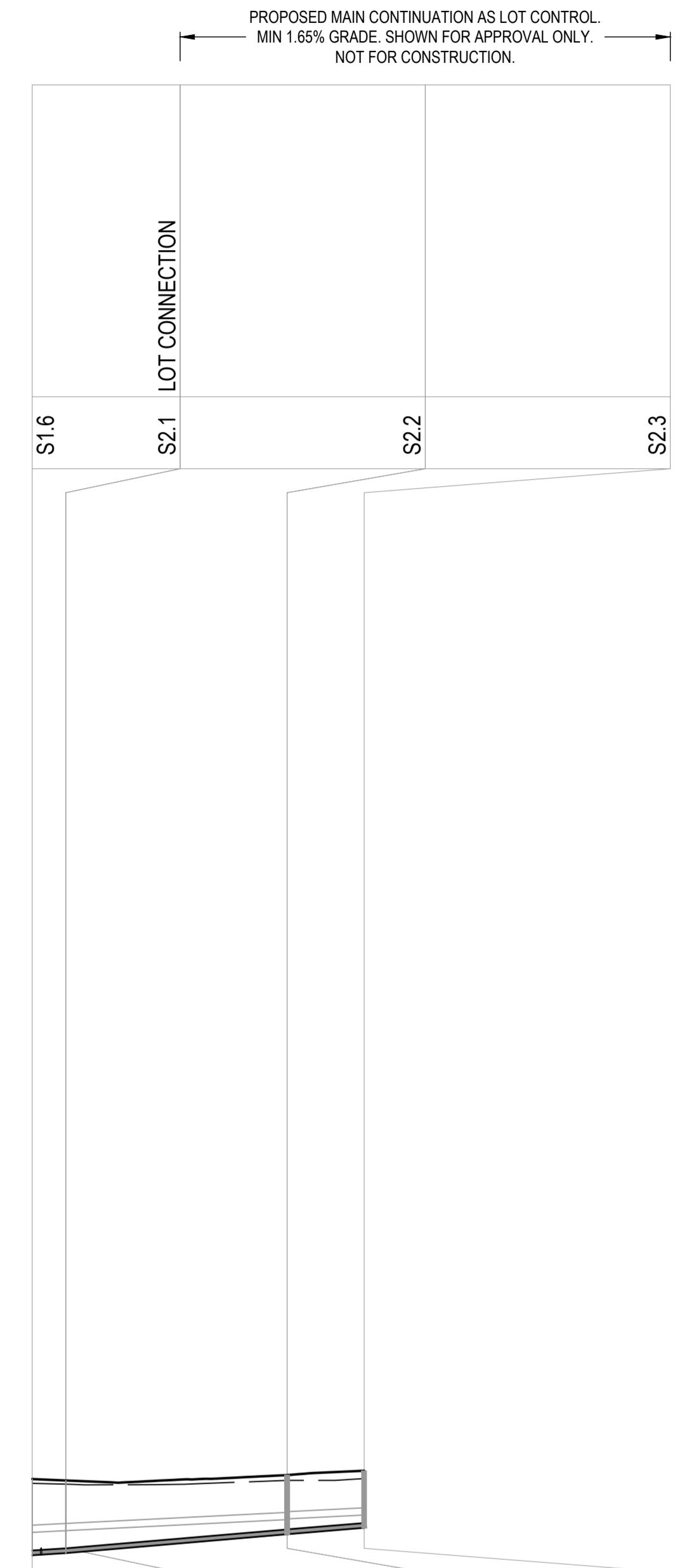
THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.



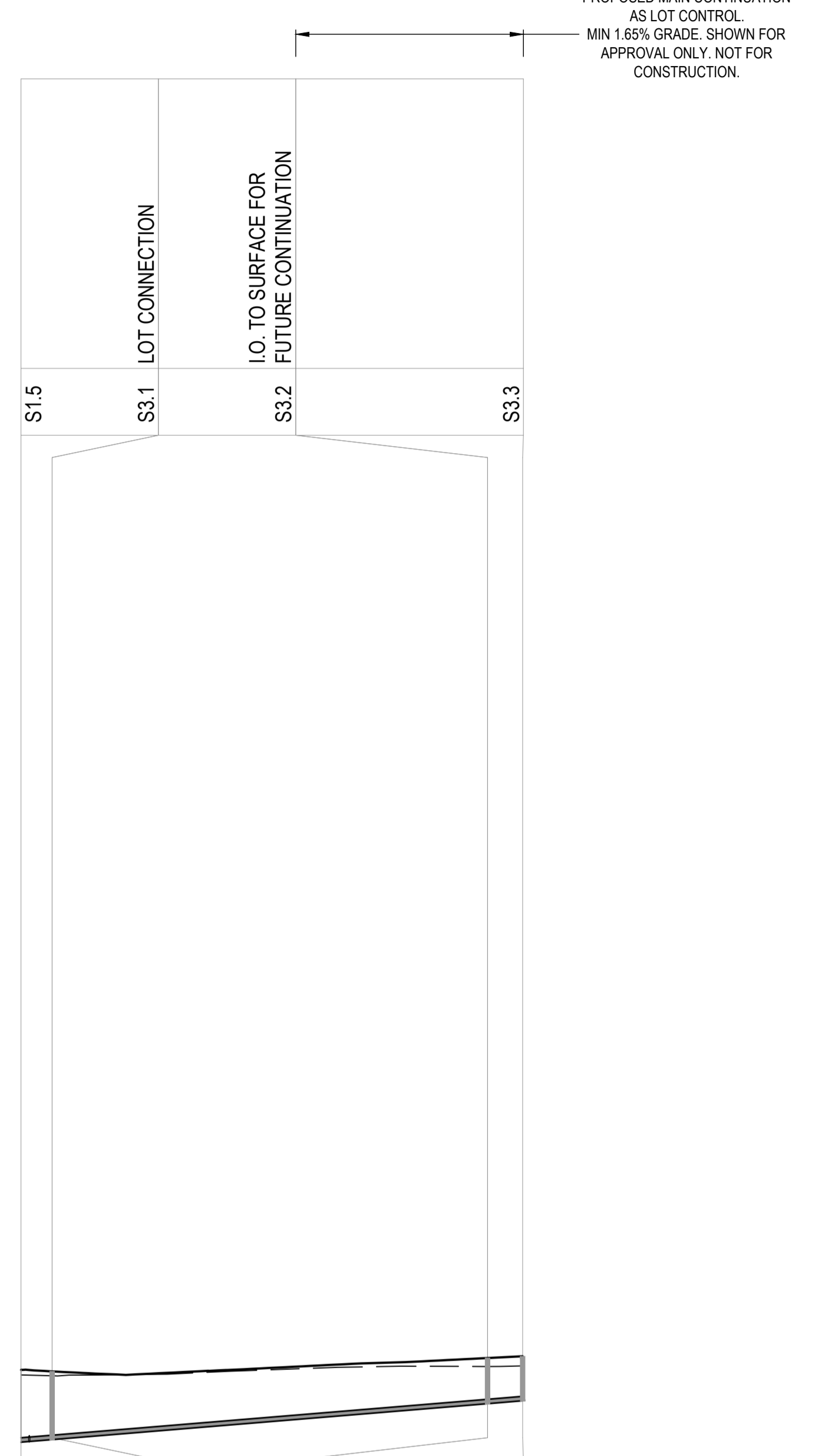
DATUM RL -0.80										
PIPE SIZE / MATERIAL	DN150 PVC	DN150 PVC	DN150 PVC	DN150 PVC	DN150 PVC	DN150 PVC	DN150 PVC	DN100 PVC	DN100 LOT CONTROL	DN100 LOT CONTROL
GRADE %	0.65%	0.80%	1.20%	1.20%	1.21%	1.20%	1.30%	1.70%	1.65%	
DEPTH TO INVERT	-5.61	-5.89 -5.92	1.68 1.65	1.61		1.62		1.18		0.91
INVERT LEVEL	5.610	5.893 5.923	6.082 6.112	6.150		6.199		6.899		7.079
FINISHED SURFACE			7.76	7.76		7.82		8.08		7.99
EXISTING SURFACE			7.64	7.67		7.71		7.89		7.99
CHAINAGE	0.00	43.55	63.44	66.63	70.72	75.37	89.54	93.04	118.25	129.15
	43.55m	19.88m	3.20m	4.09m	4.65m	14.18m	3.50m	25.21m	10.90m	

DRAINAGE LONGITUNDINAL SECTION FOR LINE S1
SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DATUM RL 5.40			
PIPE SIZE / MATERIAL	DN100 PVC	DN100 LOT CONTROL	DN100 LOT CONTROL
GRADE %	1.29%	1.71%	1.65%
DEPTH TO INVERT	1.59	1.51	1.23
INVERT LEVEL	6.255	6.300	6.694
FINISHED SURFACE	7.84	7.81	7.93
EXISTING SURFACE	7.75	7.74	7.81
CHAINAGE	0.00	3.50	26.58
	3.50m	23.08m	8.02m

DRAINAGE LONGITUNDINAL SECTION FOR LINE S2
SCALES: HORIZONTAL 1:500 VERTICAL 1:100



DATUM RL 5.30			
PIPE SIZE / MATERIAL	DN100 PVC	DN100 PVC	DN100 LOT CONTROL
GRADE %	1.66%	1.65%	1.65%
DEPTH TO INVERT	1.62	1.53	1.02
INVERT LEVEL	6.199	6.257	7.063
FINISHED SURFACE	7.82	7.79	8.09
EXISTING SURFACE	7.71	7.69	7.90
CHAINAGE	0.00	3.49	52.36
	3.49m	48.87m	3.94m

DRAINAGE LONGITUNDINAL SECTION FOR LINE S3
SCALES: HORIZONTAL 1:500 VERTICAL 1:100

SEWER LONG SECTIONS - SHEET 1
AS INDICATED

0	BUILDING APPROVAL	11/1/2025	CHECKED: NM	DESIGN: JH	DRAWN: JH
REV	ISSUE	DATE	VERIFIED: NM		



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

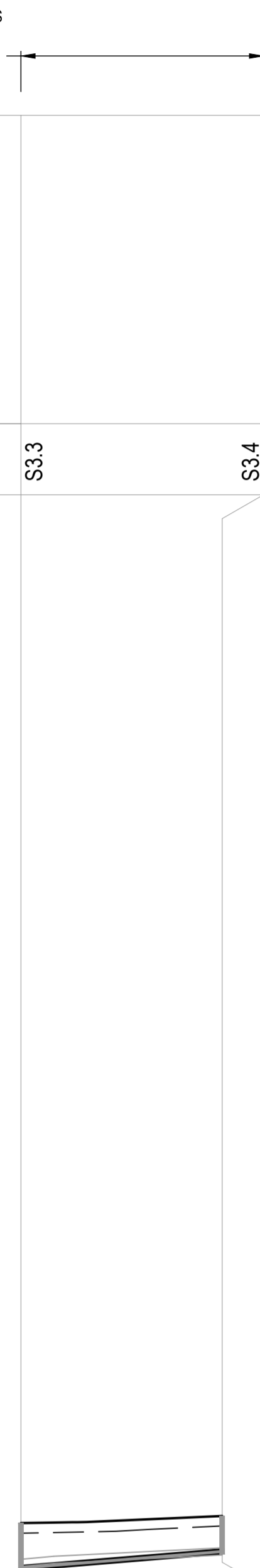
PROJECT: HENRY STREET SUBDIVISION
ADDRESS: 27 HENRY STREET TRIABUNNA
CLIENT: TONY BACIC

H1:500
V1:100

SHEET: SEWER LONG SECTIONS - SHEET 1		SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C204	REV: 0		

PROPOSED MAIN CONTINUATION AS LOT CONTROL.
MIN 1.65% GRADE. SHOWN FOR APPROVAL ONLY. NOT FOR CONSTRUCTION.

STRUCTURE DESCRIPTION	
STRUCTURE NAME	S33 S34

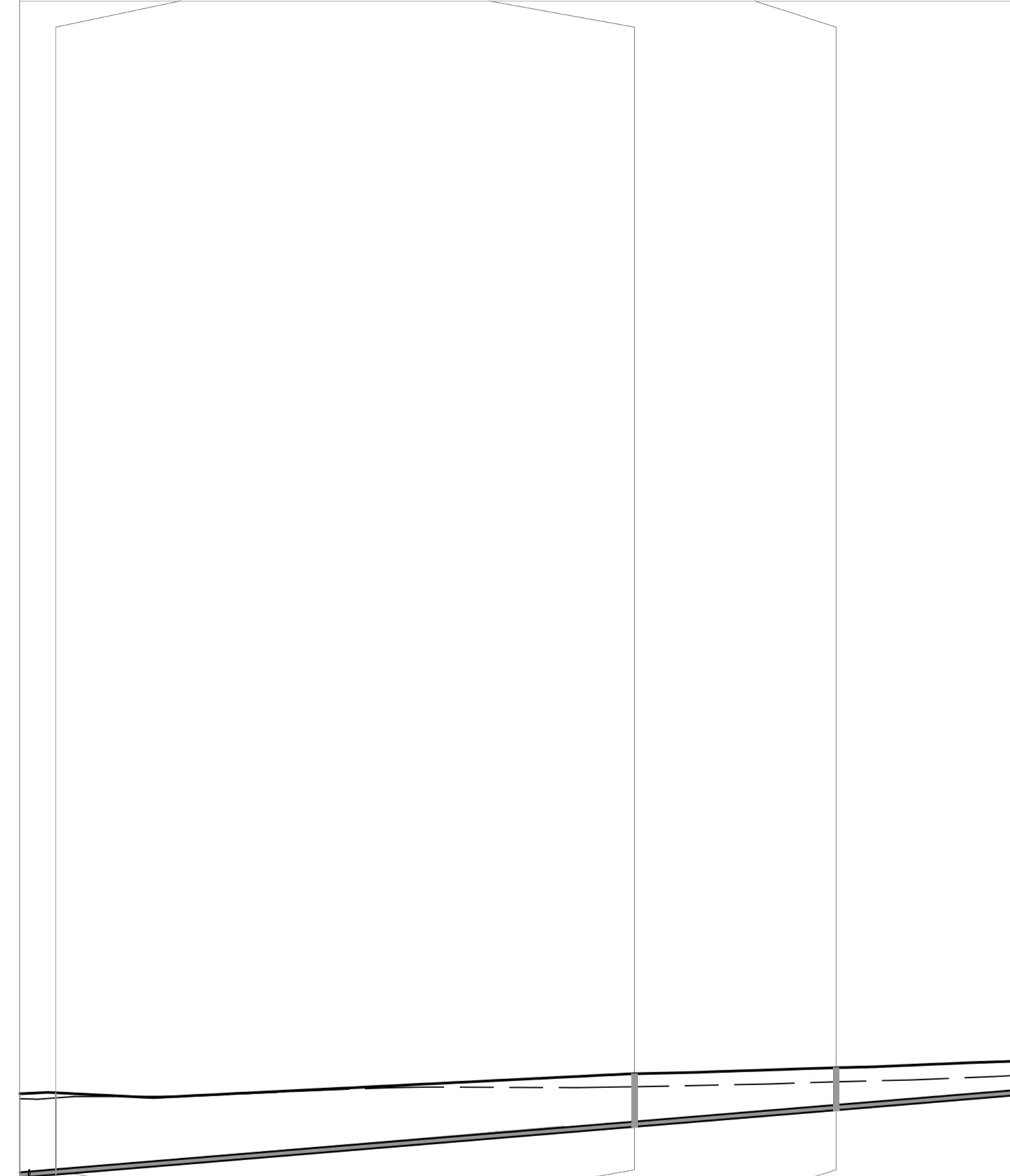


DATUM RL 6.30	
PIPE SIZE / MATERIAL	DN100 LOT CONTROL
GRADE %	1.65%
DEPTH TO INVERT	1.00 0.80
INVERT LEVEL	7.128 7.478
FINISHED SURFACE	8.13 8.28
EXISTING SURFACE	7.91 8.07
CHAINAGE	56.30 77.50
	21.20m

DRAINAGE LONGITUNDINAL SECTION FOR LINE S3
SCALES: HORIZONTAL 1:500 VERTICAL 1:100

PROPOSED MAIN CONTINUATION AS LOT CONTROL.
MIN 1.65% GRADE. SHOWN FOR APPROVAL ONLY. NOT FOR CONSTRUCTION.

S1.4	S4.1	I.O. TO SURFACE FOR FUTURE CONTINUATION	S4.2	S4.3	S4.4
------	------	---	------	------	------

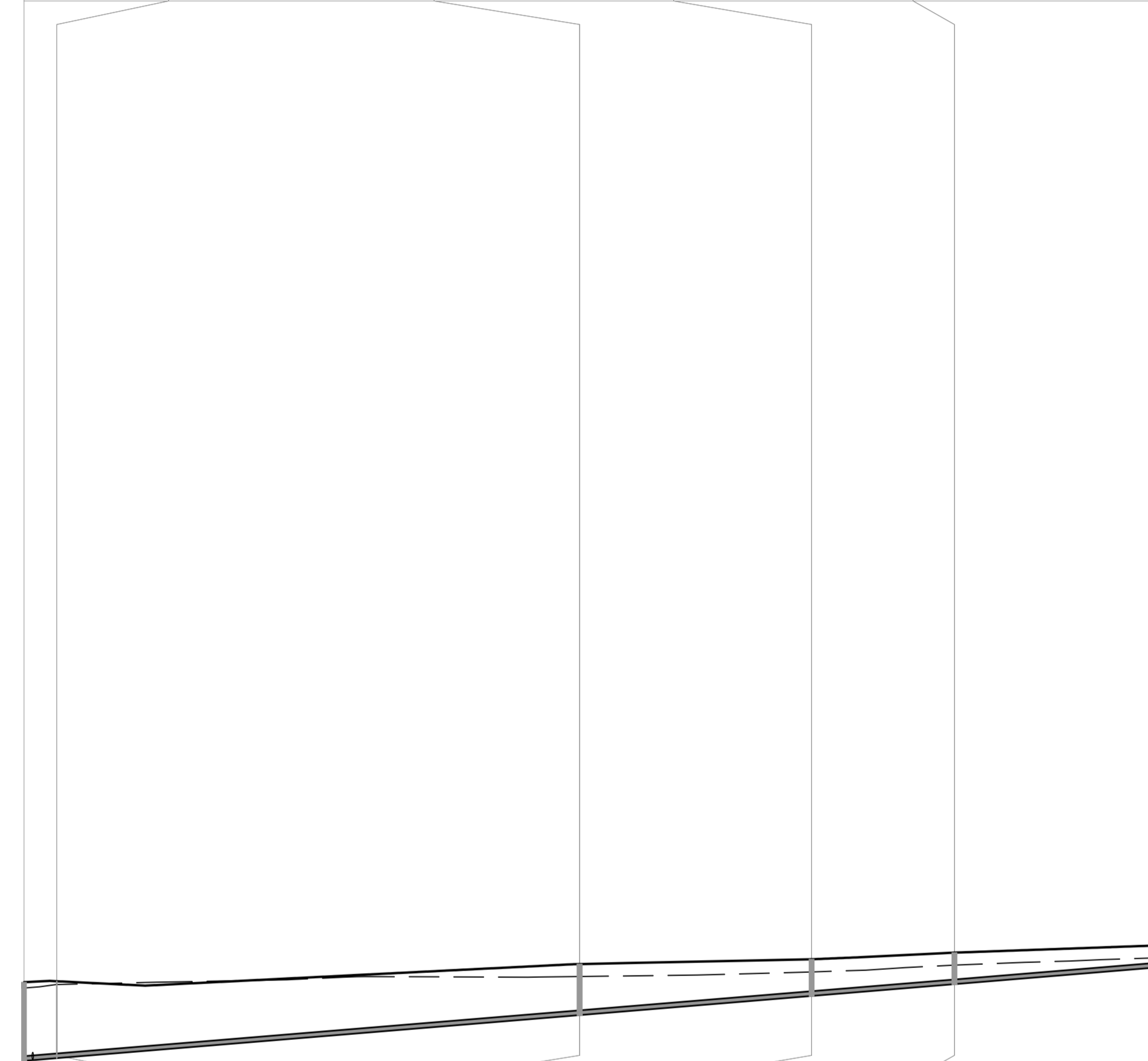


DATUM RL 5.30				
DN100 PVC	DN100 PVC	DN100 LOT CONTROL	DN100 LOT CONTROL	
1.65%	1.65%	1.65%	1.65%	
1.61	1.57	1.02	0.82	0.65
6.150	6.208	7.127	7.448	7.740
7.76	7.78	8.15	8.27	8.39
7.67	7.68	7.90	7.99	8.12
0.00	3.49	59.23	78.65	96.38
	3.49m	55.74m	19.42m	17.73m

DRAINAGE LONGITUNDINAL SECTION FOR LINE S4
SCALES: HORIZONTAL 1:500 VERTICAL 1:100

PROPOSED MAIN CONTINUATION AS LOT CONTROL.
MIN 1.65% GRADE. SHOWN FOR APPROVAL ONLY. NOT FOR CONSTRUCTION.

S1.3	S5.1	I.O. TO SURFACE FOR FUTURE CONTINUATION	S5.2	S5.3	S5.4	S5.5
------	------	---	------	------	------	------



DATUM RL 5.20				
DN100 PVC	DN100 PVC	DN100 LOT CONTROL	DN100 LOT CONTROL	DN100 LOT CONTROL
1.65%	1.65%	1.65%	1.65%	1.65%
1.68	1.64	1.09	0.78	0.67
6.082	6.140	7.060	7.468	8.069
7.76	7.78	8.15	8.25	8.54
7.64	7.71	7.88	7.98	8.13
0.00	3.49	59.28	84.03	99.27
	3.49m	55.79m	24.75m	15.24m
				21.15m
				120.42

DRAINAGE LONGITUNDINAL SECTION FOR LINE S5
SCALES: HORIZONTAL 1:500 VERTICAL 1:100

SEWER LONG SECTIONS - SHEET 2
AS INDICATED

REV	0	BUILDING APPROVAL	11/1/2025	VERIFIED: BUILDING APPROVAL
		ISSUE	DATE	APPROVAL

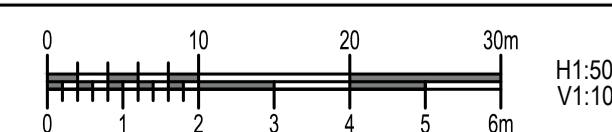


Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: HENRY STREET SUBDIVISION

ADDRESS: 27 HENRY STREET
TRIABUNNA

CLIENT: TONY BACIC



H1:500
V1:100

SHEET: SEWER LONG SECTIONS - SHEET 2

SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C205	REV: 0

STRUCTURE DESCRIPTION	
STRUCTURE NAME	S12 S6.1

EXISTING SEWER MAINTENANCE HOLE
 RL = 8.42m
 INV = 6.47m
 ASSET ID: A3340014

DATUM RL -0.80	
PIPE SIZE / MATERIAL	DN150 PVC
GRADE %	0.75%
DEPTH TO INVERT	
INVERT LEVEL	5.938 6.470
FINISHED SURFACE	
EXISTING SURFACE	
CHAINAGE	0.00 70.55

DRAINAGE LONGITUNDINAL SECTION FOR LINE S6
 SCALES: HORIZONTAL 1:500 VERTICAL 1:100

SEWER LONG SECTIONS - SHEET 3
 AS INDICATED

REV	ISSUE	DATE	APPROVAL
0	BUILDING APPROVAL	11/11/2025	VERIFIED: BUILDING APPROVAL

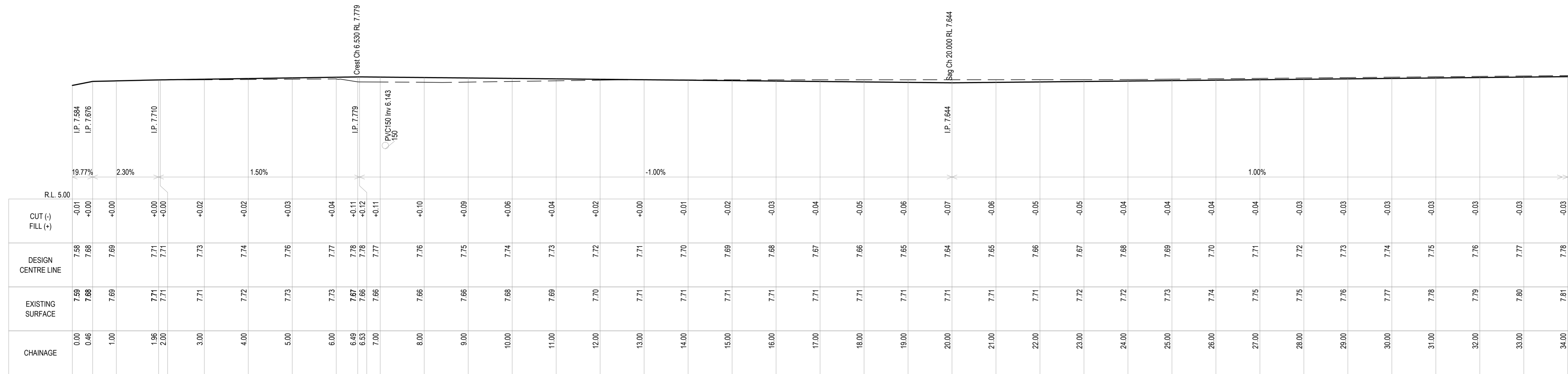


Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC

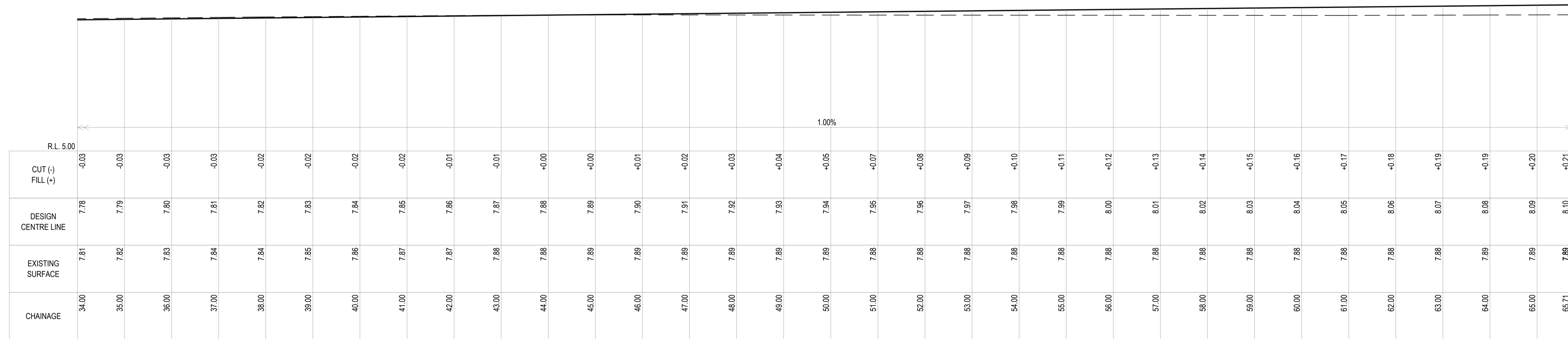


SHEET: SEWER LONG SECTIONS - SHEET 3		
SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C206	REV: 0



From 0.000m To 34.000m Scales: H 1:50 V 1:50

LOT 5 CL



From 34.000m To 65.708m Scales: H 1:50 V 1:50

LOT 5 CL

LONG SECTIONS - SHEET 1
AS INDICATED

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

0	BUILDING APPROVAL	11/11/2025	CHECKED: NM	DESIGN: JH
REV	ISSUE	DATE	APPROVAL	

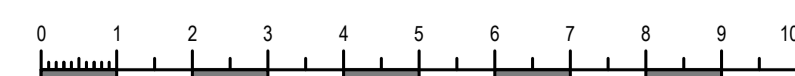


Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: HENRY STREET SUBDIVISION

ADDRESS: 27 HENRY STREET
TRIABUNNA

SHEET: LONG SECTIONS - SHEET 1



CLIENT: TONY BACIC

SCALE: AS INDICATED

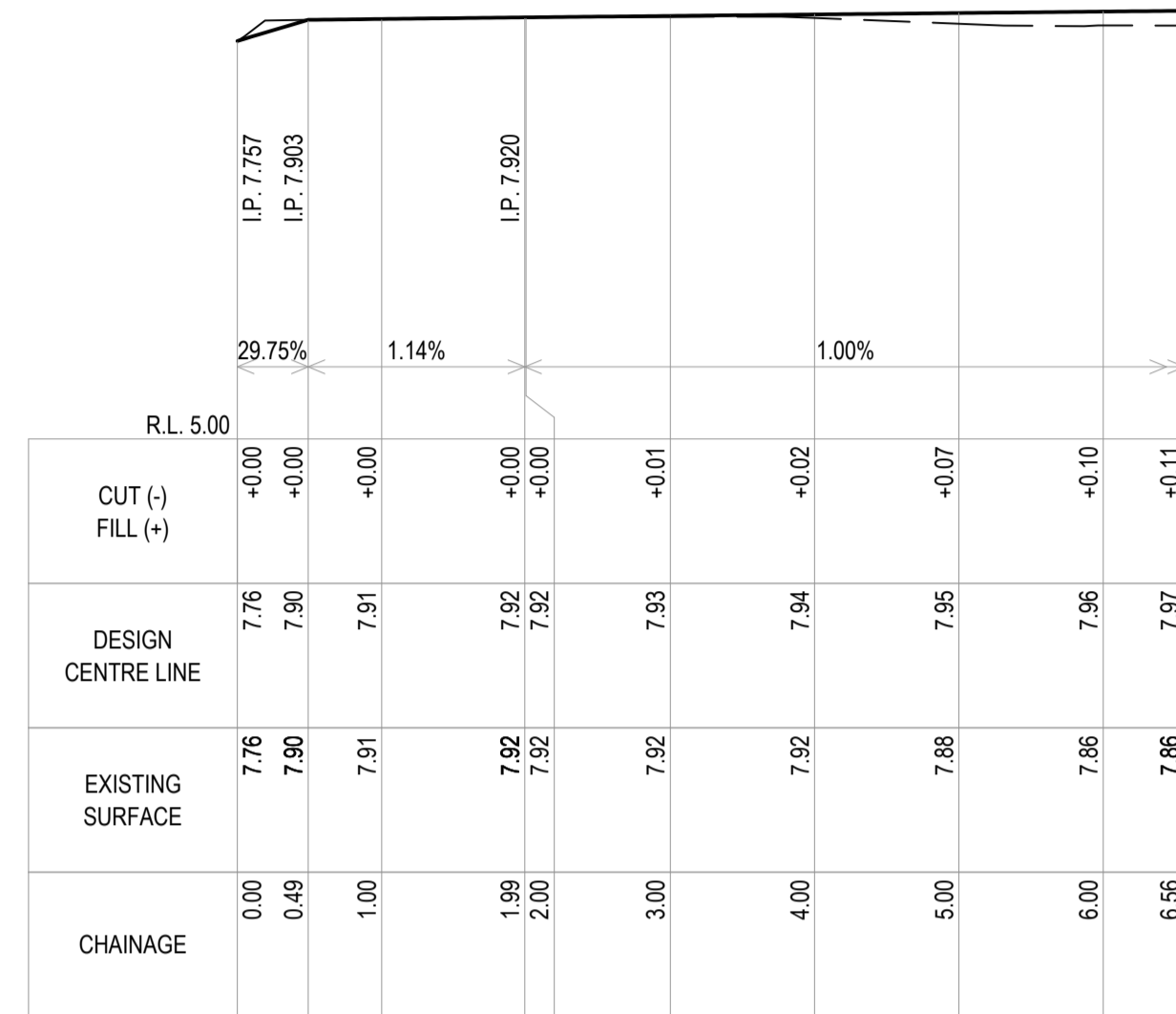
TOTAL SHEETS: 17

SIZE: A1

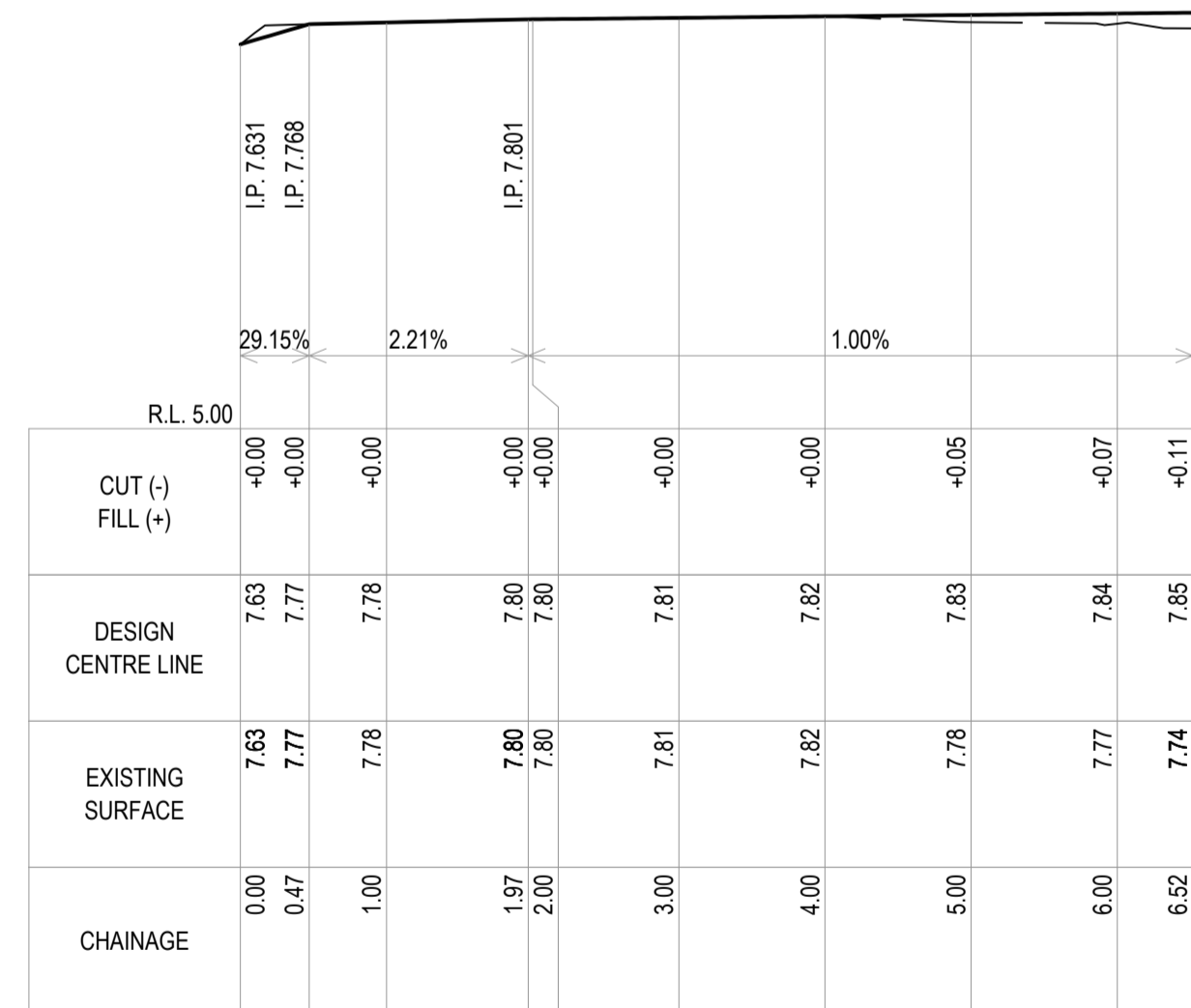
PROJECT No: 21E96-5

SHEET: C301

REV: 0



From 0.000m To 6.563m Scales: H 1:50 V 1:50
LOT 1 CL



From 0.000m To 6.516m Scales: H 1:50 V 1:50
LOT 2 CL

LONG SECTIONS - SHEET 2
AS INDICATED

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

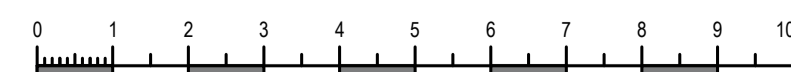
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

0	BUILDING APPROVAL	11/11/2025	CHECKED: JH	VERIFIED: NM
REV	ISSUE	DATE	CHECKED: JH	VERIFIED: NM
			CHECKED: NM	VERIFIED: NM
			CHECKED: NM	VERIFIED: NM

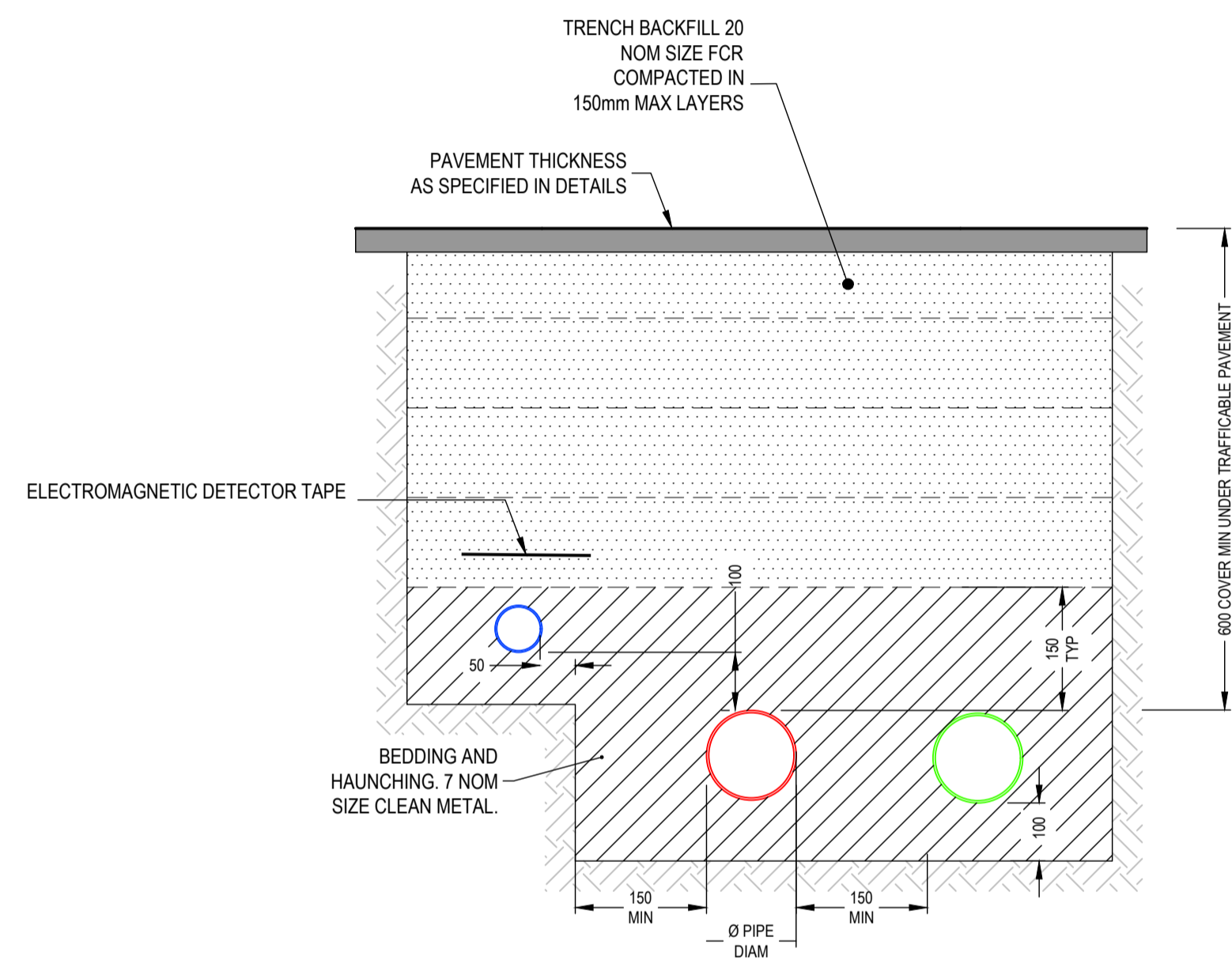


Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

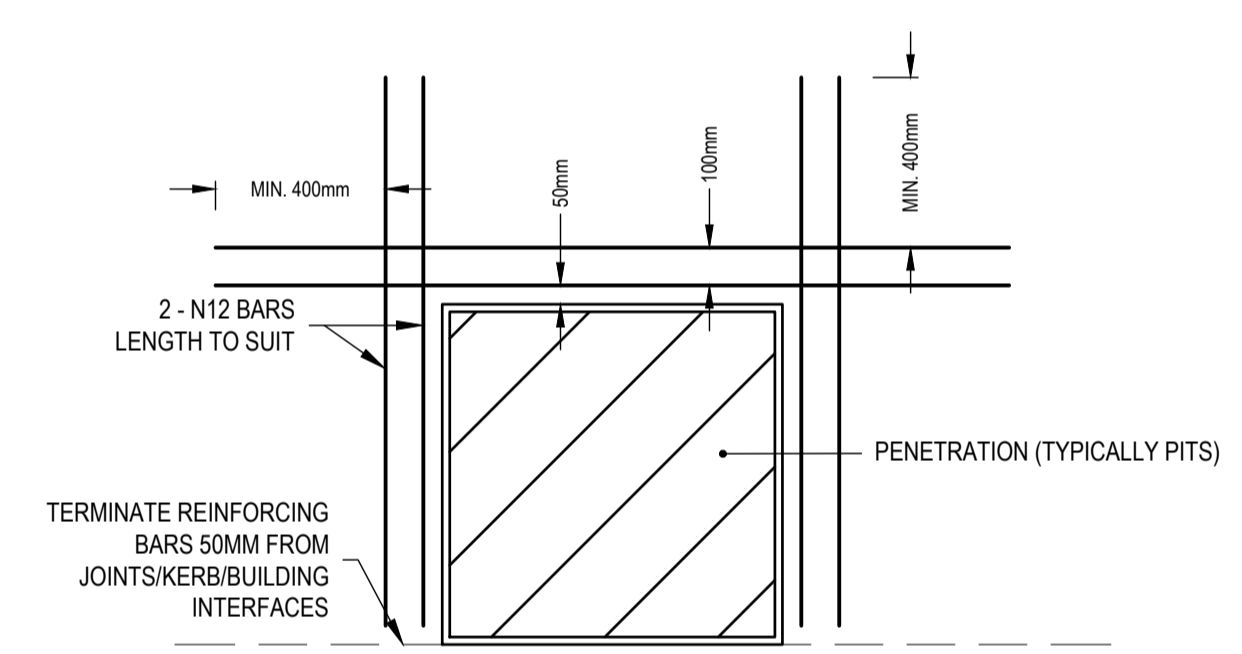
PROJECT:	HENRY STREET SUBDIVISION
ADDRESS:	27 HENRY STREET TRIABUNNA
CLIENT:	TONY BACIC



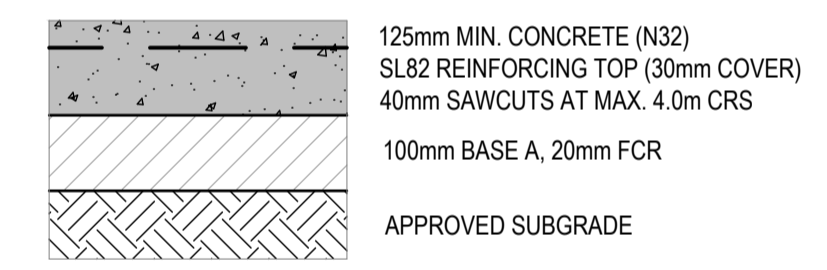
SHEET:	LONG SECTIONS - SHEET 2
SCALE:	AS INDICATED
TOTAL SHEETS:	17
SIZE:	A1
PROJECT No:	21E96-5
SHEET:	C302
REV:	0



SHARED SERVICE TRENCH DETAIL - TRAFFICABLE
SCALE 1:10 (A1)



DRIVEWAY PENETRATION DETAIL
SCALE 1:20 (A1)



NOTE: CONCRETE PAVEMENT NOT DESIGNED FOR SPECIAL SURFACE FINISHES SUCH AS EXPOSED AGGREGATE.

CONCRETE PAVEMENT DETAIL

CONSTRUCTION DETAILS
AS INDICATED

THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

			DRAWN:	JH
			CHECKED:	NM
			DESIGN:	JH
			CHECKED:	NM
0	BUILDING APPROVAL	11/11/2025	VERIFIED:	NM
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT: HENRY STREET SUBDIVISION

ADDRESS: 27 HENRY STREET TRIABUNNA

CLIENT: TONY BACIC

SHEET: CONSTRUCTION DETAILS		
SCALE: AS INDICATED	TOTAL SHEETS: 17	SIZE: A1
PROJECT No: 21E96-5	SHEET: C401	REV: 0