



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **3/6 Champ Street, Bicheno**
CT 108993/3

PROPOSAL: **Visitor Accommodation - Change of Use to a**
Holiday Unit

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 28 May 2026.

APPLICANT: **Lisa and Anthony Cosentino**
DATE: **01/05/2026**
APPLICATION NO: **DA 2026 / 076**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Lisa and Anthony Cosentino		
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site (Note: If your application is discretionary, the following will be placed on public exhibition)			
Address of proposal:	3/6 Champ Street		
Suburb:	Bicheno	Post Code:	7215
Size of site: (m ² or Ha)	245m ²		
Certificate of Title(s):	108993/3		
Current use of site:	holiday home		

General Application Details Complete for All Applications

Description of proposed use or development:	short term accommodation	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No	<input checked="" type="checkbox"/>

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	30/04/2026
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 108993	FOLIO 3
EDITION 7	DATE OF ISSUE 20-Aug-2015

SEARCH DATE : 30-Apr-2026

SEARCH TIME : 09.32 am

DESCRIPTION OF LAND

Town of BICHENO

Lot 3 on Strata Plan 108993 and a general unit entitlement operating for all purposes of the Strata Scheme being a 32 undivided 1/1000 interest

Derived from Strata Plan 108993

Derivation : Part of 5 Acres Gtd to G Fisher

SCHEDULE 1

C460503 TRANSFER to COLIN JOHN GRIEVE Registered
30-July-2003 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 108993 folio 0

C474629 MORTGAGE to Commonwealth Bank of Australia
Registered 30-July-2003 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

N131486 PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE Commonwealth Bank of Australia to Colin
John Grieve
TRANSFER Colin John Grieve to Anthony Thomas
Cosentino and Lisa Cosentino
MORTGAGE Anthony Thomas Cosentino and Lisa Cosentino
to Commonwealth Bank of Australia Lodged by OGILVIE
JENNINGS on 27-Jan-2026 BP: N131486

E451159 DISCHARGE OF MORTGAGE C474629 Lodged by DYE & DURHAM
(CBA) on 27-Feb-2026 BP: E451159

E451160 MORTGAGE to Commonwealth Bank of Australia Lodged
by DYE & DURHAM (CBA) on 27-Feb-2026 BP: E451159

N131464 TRANSFER to ANTHONY THOMAS COSENTINO and LISA
COSENTINO Lodged by DYE & DURHAM (CBA) on
27-Feb-2026 BP: E451159

SEARCH OF TORRENS TITLE

VOLUME 108993	FOLIO 0
EDITION 5	DATE OF ISSUE 27-Oct-2009

SEARCH DATE : 19-Nov-2025

SEARCH TIME : 04.40 PM

DESCRIPTION OF LAND

Town of BICHENO
The Common Property for Strata Scheme 108993
Derivation : Part of 5 Acres Gtd to G Fisher
Prior CT 104439/2

SCHEDULE 1

STRATA CORPORATION NUMBER 108993, CHAMP STREET VILLAS BICHENO

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

C70347 APPLICATION by owners to amend strata plan

C93656 APPLICATION by owners to amend strata plan
Registered 03-Jul-1998 at noon

C596474 APPLICATION to change name of scheme Registered
10-Jan-2005 at noon

C740913 APPLICATION by owners to amend strata plan by
amending Lot 12 adding Lot 17 Registered 30-Jan-2007
at noon

C929836 ORDER FOR RELIEF by the Recorder of Titles
Registered 06-Nov-2009 at noon

C929837 ORDER FOR RELIEF by the Recorder of Titles
Registered 06-Nov-2009 at noon

C951792 APPLICATION for registration of change of by-laws
Registered 02-Feb-2010 at noon

C988753 ORDER FOR RELIEF by the Recorder of Titles
Registered 15-Dec-2010 at noon

D9959 ORDER FOR RELIEF by the Recorder of Titles
Registered 16-May-2011 at noon

D4254 APPLICATION by owners to amend strata plan 108993 by
amending Lot 15, creating Lot 18 & adjusting unit
entitlements Registered 09-Jul-2013 at noon

D128346 Order of the Recorder of Titles Registered
14-Aug-2014 at noon

D127018 ORDER of the Recorder of Titles Registered
19-Aug-2014 at noon

D152185 ORDER of the Recorder of Titles under Part 9 Strata

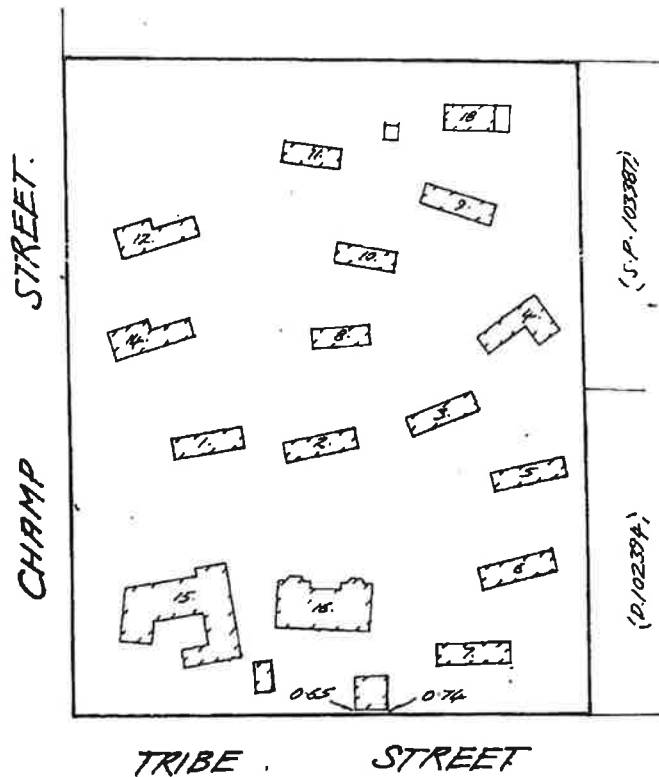
E19782 Titles Act 1998 Registered 10-Aug-2015 at noon
ORDER of the Recorder of Titles Registered
08-Oct-2015 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

TOWN BICHENO SUBURB FOLIO REFERENCE C.T. 104439-2 SITE COMPRISES THE WHOLE OF LOT / ON PLAN No. P. 108698		D4254 NEW SHEET 1 OF 4 SHEETS		Registered Number 108993.
MAPSHEET MUNICIPAL CODE No. 112 (1036-42)		LAST UPI No. 1605291	NAME OF BUILDING SCHEME CHAMP STREET AMBERSE FIELDS VILLAS, BICHENO	REGISTERED 20 JAN 1994 Recorder of Titles.
SCALE 1: 750		LENGTHS IN METRES		

SITE PLAN



 COUNCIL/DELEGATE	4/12/12 DATE	 REGISTERED LAND SURVEYOR	20.2.12 DATE
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NOTES: ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1.
 BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN
 2.00 METRES TO BE SHOWN ON SHEET 1.
 THE FEE SIMPLE OF THE SITE IS CONTAINED WITHIN
 THE STRATUM PLAN/BODY CORPORATE FOLIO.
 FLAT FOLIOS ARE HELD SUBJECT TO STRATUM PLAN ENDORSEMENTS.

STRATA DEVELOPMENT CONTRACT No.
 (IF APPLICABLE)

LODGED BY **CLARKE & GEE**

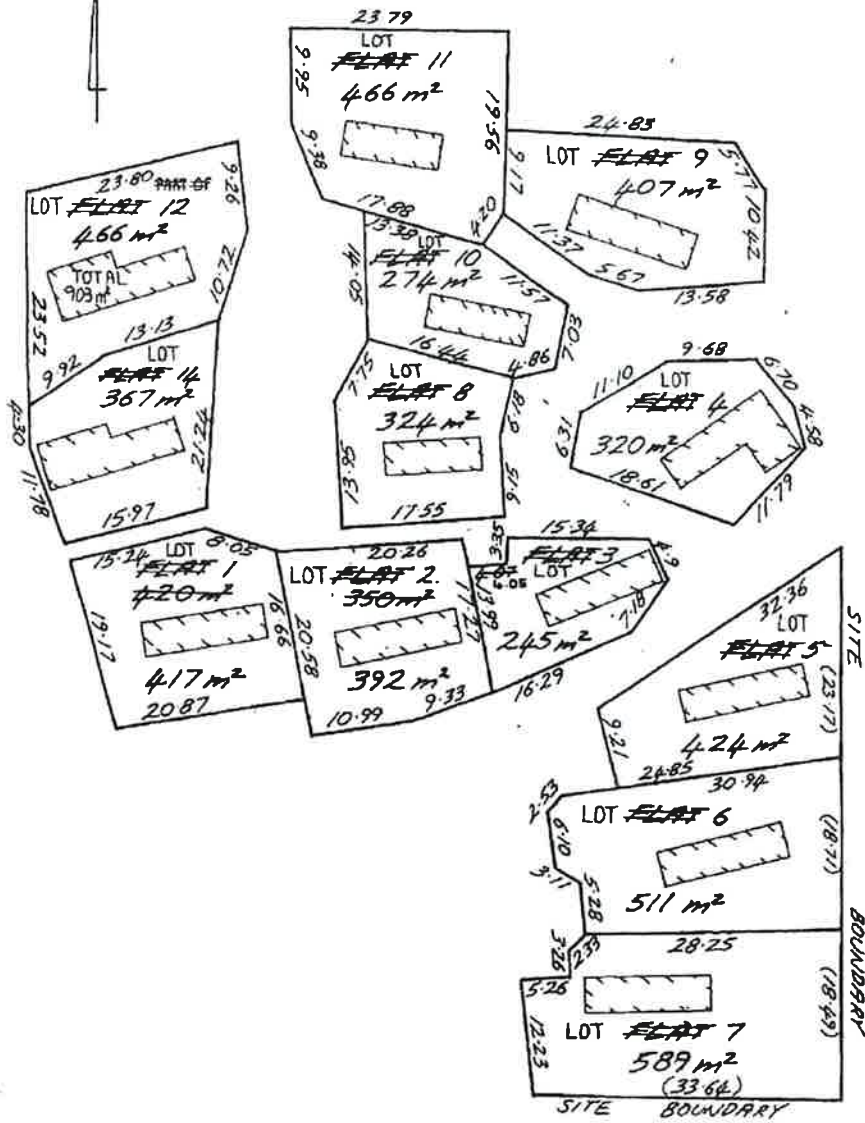
NEW SHEET 2 of 4
C740913

No. STR 108993

Town Clerk/Council Clerk

GROUND FLOOR

SCALE
1:500

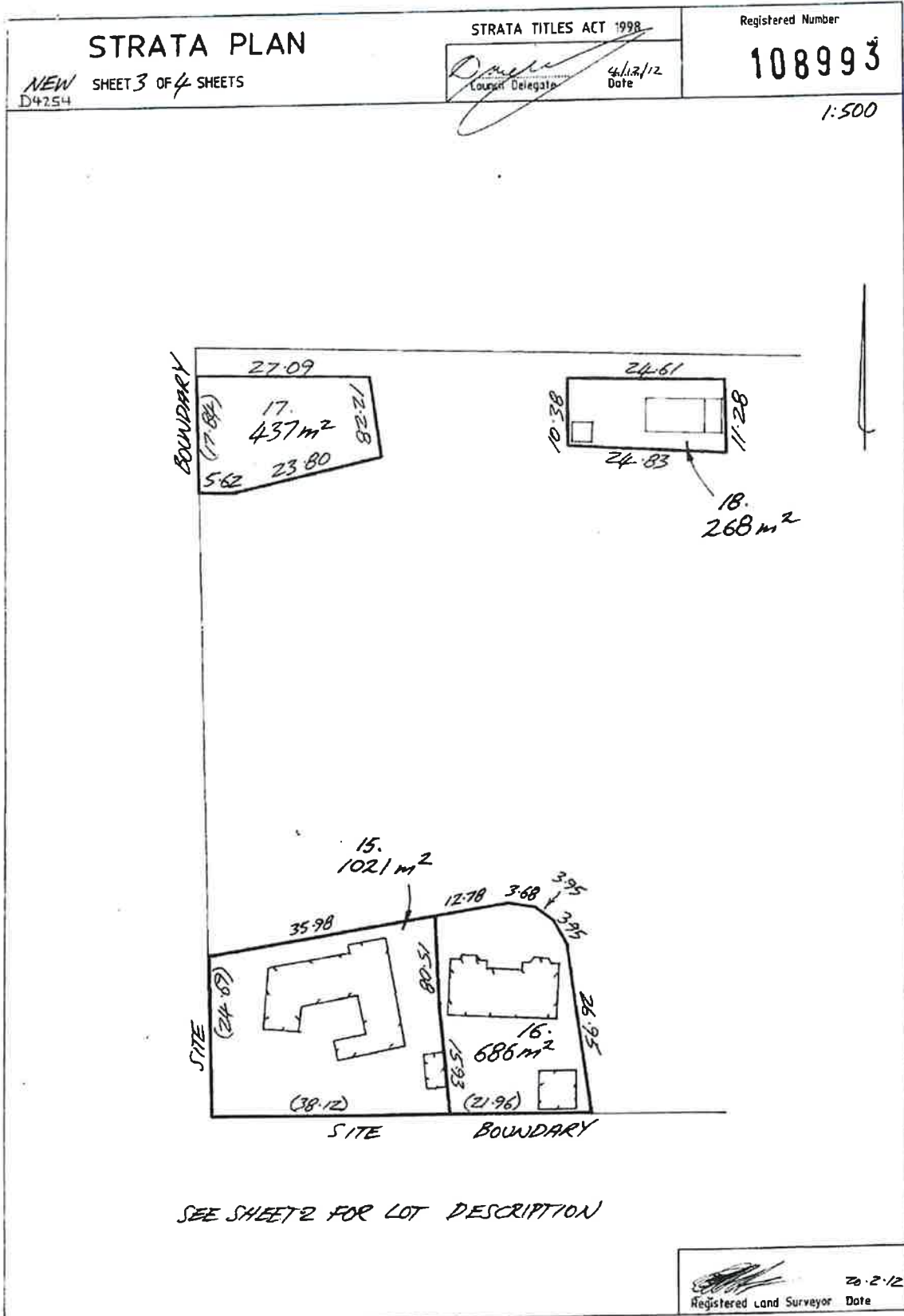


LOTS
HORIZONTAL BOUNDARIES OF ~~FLATS~~ ARE SHOWN BY HEAVY UNBROKEN LINES
THE BOUNDARIES OF EACH ~~FLAT~~ EXTEND

(A) HORIZONTALLY ALONG THE OPEN BOUNDARIES AS DEFINED
BY MEASUREMENT NOT WITHIN BRACKETS OR ALONG THE SITE
BOUNDARY AS THE CASE MAY BE. MEASUREMENTS IN BRACKETS
ARE FOR BOUNDARY FIXATION ONLY.

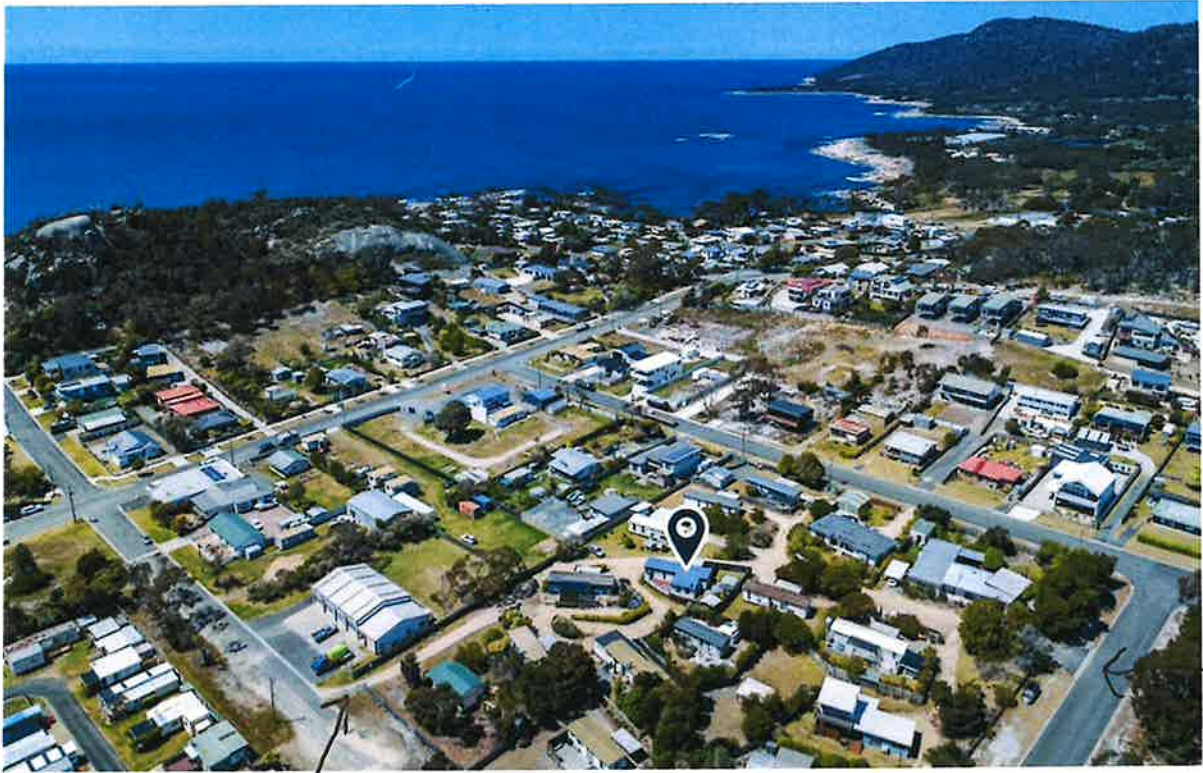
(B) VERTICALLY FROM 30 METRES BELOW GROUND LEVEL
TO A HEIGHT OF 150 METRES ABOVE GROUND LEVEL.

SEE FILE FOR FIXATION OF OPEN BOUNDARIES.



3/6 Champ Street, Bicheno





2 access points:

① Access via Champ street

② Access via Burgess Sreet



Our reference: 108707

Your reference: 260035

19 January 2026

Infotrack Pty Ltd
Infotrack Pty Ltd
GPO Box 4029
Sydney NSW 2001

Dear Infotrack Pty Ltd,

Regarding your request dated 19 January 2026 that a search be made of the following property:

"UNIT 3"
6 CHAMP STREET
BICHENO

Volume 108993 / Folio 3
Property ID 1513326

A map showing the location of the property is attached.

Aus Property Search consulted a number of government and private databases on 19 January 2026 to satisfy the following requests:

- Proclaimed Landslip Areas	Not affected
- Advisory Landslip Areas	Not affected
- Hazard Bands	Not affected
- Mining Leases & Tenements	Not affected
- Engineering Geology	See attachment

For details please refer to the additional information including supplementary notes, maps and diagrams attached to this report.

If you have any questions related to this report, or we can be of further assistance, please do not hesitate to contact our Help Desk on 1800 248 999.

For and on behalf of Aus Property Search Pty Ltd:



Lyn Rochford LLB (Hons)

87 Rowbottoms Road
Granton Tasmania 7030
ABN: 17 105 577 240
info@auspropertysearch.com.au

Map Display

The maps below show the location, boundary and dimensions of:

"UNIT 3"
6 CHAMP STREET
BICHENO

Volume 108993 / Folio 3
Property ID 1513326



87 Rowbottoms Road
Granton Tasmania 7030
ABN: 17 105 577 240
info@auspropertysearch.com.au

Engineering Geology Factsheet

The entire property falls within a single type of engineering geology, described as:

Undifferentiated granitic rocks. (Source: 1:250 000 Tasmanian Geology.)

Sedimentary deposits, rocks and their component particles are subject to weathering and erosion. Where the rate of weathering exceeds the rate of erosion a soil profile will accumulate. All soils are affected by water. Clays and silts are weakened by water. Soils with 'soft' clay or silt layers should be assessed for adequate bearing capacity prior to development. Clays within the soil profile may be reactive (i.e. swell and shrink due to changes in moisture content). Some sands can settle if heavily watered. The density of 'loose' sand should be assessed and, if necessary, modified during development.

The local Council may require a site classification in accordance with AS 2870 to assess the reactivity of the soil at any development site on the property. Building footings should be designed according to the site classification and the owner is responsible for the maintenance of the building site.

The owner should be familiar with the performance and maintenance requirements set out in the CSIRO Building Technology File 18 (formerly known as Information Sheet 10-91), 'Foundation Maintenance and Footing Performance: A Homeowner's Guide'. Owner builders may also be interested in Building Technology File 19, 'Builder's Guide to Preventing Damage to Dwellings: Part 1 Site Investigation and Preparation' and Building Technology File 22 'Builder's Guide to Preventing Damage to Dwellings: Part 2 Sound Construction Methods'. These documents are available to purchase from CSIRO Publishing online at <http://www.publish.csiro.au/>

Some clays may be dispersive and subsurface erosion may result in the formation of pipes or tunnels. Rills or gullies may form where the roof of pipes or tunnels collapse and break through to the surface. Sands and silts that are disturbed may be more prone to erosion and care should be taken to protect exposed surfaces on these materials from surface run-off.

Sloping land with deep soil, loose rock and/or poor drainage could be subject to land movement. Indiscriminant clearing of development sites, bulk earthworks and floor plans for movement intolerant structures, or structures requiring extensive cutting and filling should be avoided. Retaining structures should be provided with subsurface drainage within the wall backfill and surface drainage on the slope above.

Generally, natural drainage lines should be retained. If seepage is observed, determine the causes or seek advice on consequences.

Ponds of water, discharges of roof run-off into absorption trenches, discharge of sillage directly onto or into slopes, and discharges at top of fills or cuts should all be avoided.

Should you be concerned that the property exhibits some of these aspects we recommend that you consider seeking professional advice by contacting an engineering geologist or geotechnical engineer. They are usually listed in the Yellow Pages under Geologists or Geotechnical Engineers.