



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **17A Harvey's Farm Road, Bicheno**
CT 125993/1

PROPOSAL: **Residential - Outbuilding**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 28 May 2026.

APPLICANT: **Jennifer Binns**

DATE: **27/04/2026**

APPLICATION NO: **DA 2026 / 069**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:	
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Estimated value of works: (design & construction)	\$	
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Is the property on the State Heritage Register? (Tick one)	Yes	No
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For all Non-Residential Applications

Hours of Operation	
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Number of Employees	
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Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
--	--

Describe any hazardous materials to be used or stored on site	
---	--

Type & location of any large plant or machinery used (refrigeration, generators)	
--	--

Describe any retail and/or storage of goods or equipment in outdoor areas	
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Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council’s website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

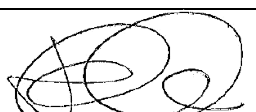
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	27.04.26
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 125993	FOLIO 1
EDITION 7	DATE OF ISSUE 18-Apr-2023

SEARCH DATE : 23-Apr-2026

SEARCH TIME : 03.17 pm

DESCRIPTION OF LAND

Town of BICHENO

Lot 1 on Sealed Plan [125993](#)

Derivation : Part of Lot 15986 Gtd to M Hill and Part of Lot 28402 Gtd to F A Hill

Prior CT [35536/11](#)

SCHEDULE 1

[N126976](#) TRANSFER to MARCUS JOHN WALKEM and SARA LOUISE WALKEM
Registered 18-Apr-2023 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [125993](#) FENCING PROVISION in Schedule of Easements

[C589296](#) BURDENING WAYLEAVE EASEMENT with the benefit of a restriction as to user of land in favour of Aurora Energy Pty Ltd over the Wayleave Easement 12.00 wide shown passing through the said land within described
Registered 02-June-2005 at noon

[A35627](#) FENCING CONDITION in Transfer

[E341862](#) MORTGAGE to Australia and New Zealand Banking Group Limited Registered 18-Apr-2023 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS

REGISTERED NUMBER

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

SP 125993

~~EASEMENTS AND PROFITS~~

PAGE 1 OF 1 PAGES

~~Each lot on the plan is together with:-
 (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
 (2) any easements or profits a prendre described hereunder.
 Each lot on the plan is subject to:-
 (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
 (2) any easements or profits a prendre described hereunder.
 The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.~~

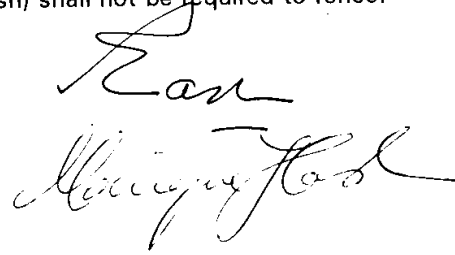
EASEMENTS AND PROFITS

No easements or profits a prendre are intended to be created by the Plan.

FENCING PROVISION

The Vendors (Ronald Anthony Cash and Monique Francoise Cash) shall not be required to fence.

SIGNED by the said RONALD ANTHONY CASH
 and MONIQUE FRANCOISE CASH as registered
 proprietors of the land comprised in Certificate of
 Title Regd. Vol. 35536 Fol. 2 in the presence of:



Signature of Witness:
 Occupation: BUILDER LIFESTYLE
 Address: DEVON HILLS POOLS

SUBDIVIDER :
 FOLIO REF :
 SOLICITOR
 & REFERENCE :

PLAN
 SEALED BY : Glamorgan/Spring Bay Council
 DATE : 18th March, 1994.

 REF No. General Manager

NOTE: THE COUNCIL GENERAL MANAGER MUST SIGN THE CERTIFICATE FOR THE PURPOSE OF IDENTIFICATION.

general notes

general

all dimensions are in millimetres unless otherwise specified.
dimensions are to structure not finish.
verify dimensions and measurements prior to commencement of work.
reference to manufacturer's specification is to a current approved specification appropriate for the proposed use.
engineer's specifications take precedence over drawing notes.
all work to generally comply with the national construction code of australia (NCC), relevant australian standards, codes of practice + the practices set out in the guide to standards and tolerances 2007.
it is the responsibility of the builder to ensure that suitable materials and construction methods are used, work is undertaken in accordance with the required standards and specifications and that work is finished in a professional manner.

work health + safety

contractors to comply with state work health + safety act and all relevant codes of practice.

vehicle access

vehicle crossovers to be provided in accordance with local authority requirements
contractor to obtain relevant permits for works in road reserve and comply with relevant planning conditions.
council infrastructure services to be notified prior to commencing works.
provide 3% crossfall to driveways with stormwater runoff directed to on-site absorption or approved stormwater discharge point.
concrete driveways to be minimum 120mm 25mpa concrete with saw cuts @ max 4m cen. 24 hours after pour.

site works

check boundaries, easements + service locations on site prior to commencing works.
site to be filled/excavated to levels indicated on drawings.
excavation works to comply with NCC part 3.2 and AS 2870 residential slabs + footings.
construction area to be cleared of vegetation, top soil and upper strata containing organic matter.
prepare foundation so footings can be placed on level undisturbed material.
drains and pipes to be provided as required or indicated to facilitate drainage of water away from building and foundations.
install site drainage prior to footing excavation where possible.
grade finished ground levels away from building footings, including areas under decks, 1:20 for 1m around building to a point where ponding won't occur.
finished ground level below concrete slabs to be as follows:

- 100mm in sandy and well drained areas
- 50mm for paved and concreted areas drained away from building @ 1:20
- 150mm in all other cases

electricity, communication, water, sewer, stormwater + gas services to be connected as per local authority requirements, verify connection locations on site in consultation with owner.
verify setout of building on site. no part of building works, including eaves, fascia, downpipes, drainage, excavations or any building element, to encroach over property boundary.
where a building is located on or near a property boundary and the boundary cannot be accurately identified, a registered land surveyor is to be engaged to establish + mark the property boundary/ies.
where excavation work is to a level below that of an adjoining property, on the property boundary or within 3m of a building on an adjoining property, protection work is to be carried out in accordance with section 121 of the building act and relevant building regulations. where required, obtain agreement with adjoining property owners for protection work in accordance with form 6 prior to commencing works.

soil + water management notes

connect downpipes to stormwater system as soon as practical.
works to be scheduled appropriately and stopped if conditions are not suitable, such as during and after heavy rain.
phase works as required to minimise wind erosion.
limit disturbance of vegetation to that required for construction of the development
stockpile top soil separately from subsoil.
protect stockpiles with geotextile sediment fencing on the low side of stockpiles.
minimise the time service trenches are left open + progressively backfill trenches with compacted backfill finished 100mm above adjacent ground level.
limit vehicle movement on disturbed areas.
prevent transfer of sediment to roadway by sealing crossover where possible, using bunds or parking construction vehicles on street.
store pollutants well clear of poorly drained areas.
remove sorted waste in an approved manner by means of suitable transport to an acceptable disposal area.
maintain waste disposal and collection systems.
on completion, erosion matting to be installed to slopes and disturbed areas for natural revegetation.

project information

building designer:	jennifer binns
accreditation no:	CC 1269L
title reference:	c.t. 125993/1
design wind speed:	design for N3
soil classification:	design for M
climate zone:	n/a
bushfire prone BAL rating:	n/a
alpine area:	n/a
corrosion environment:	very high
other hazards:	n/a
datum level at kerb:	unknown
ground level:	min. 150 below f.f.l
finished floor level:	project datum
overflow relief gully level:	min. 150 below lowest fixture

associated documents

shed plans by ranbuild
footing plan by mv consulting

note

these drawings are for permit approval purposes and additional information may be required to inform construction.

drawings are subject to owner discretion.

contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.

drawings used for construction must carry building surveyor certification.

contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or unclarity of all documents applicable to this construction.

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering.

IF IN DOUBT ASK

Building Areas

proposed shed	168.00
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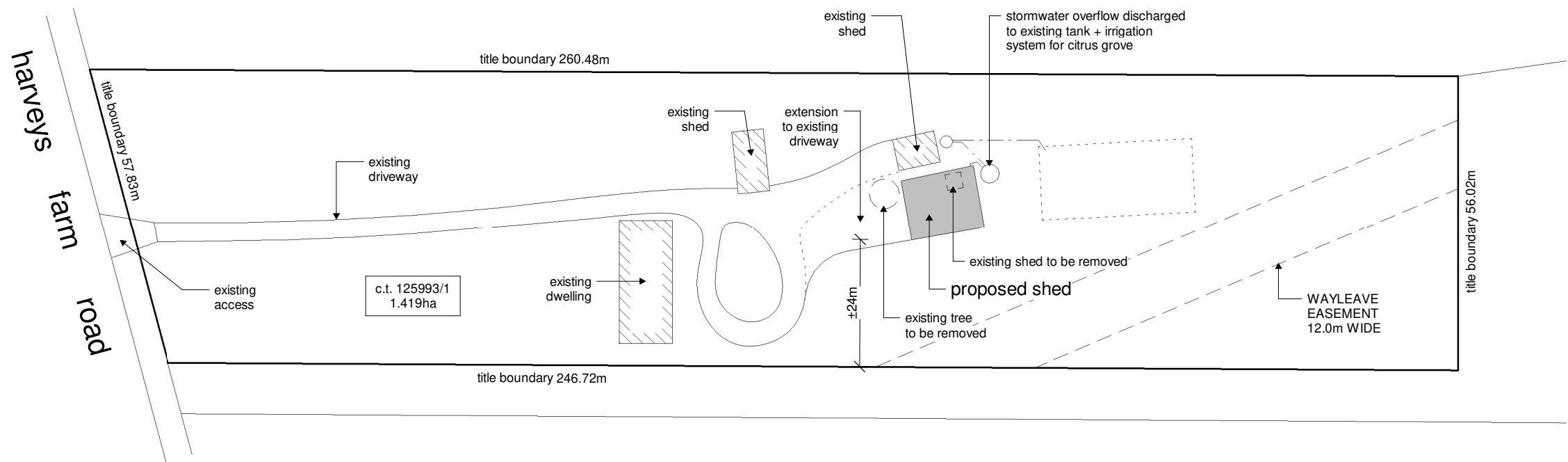
proposed shed

marcus walkem
17a harveys farm road bicheno tasmania 7215

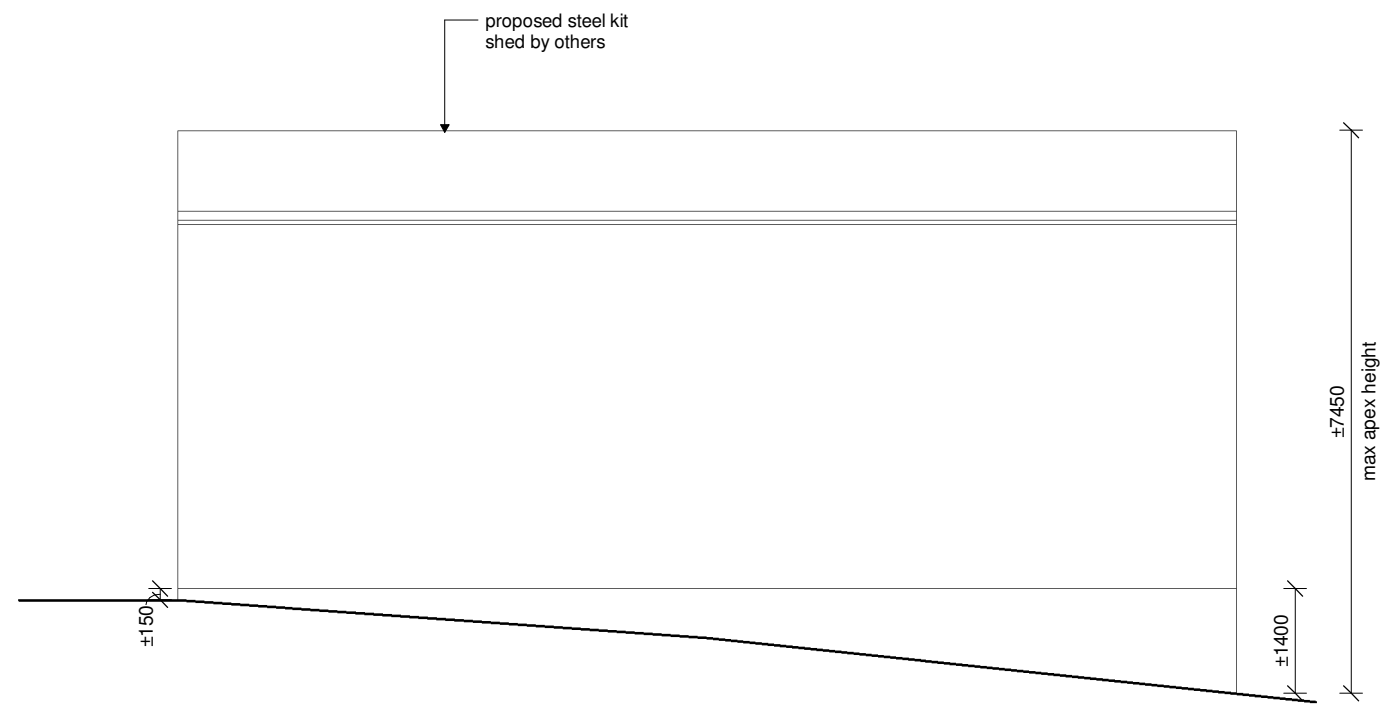
site plan a01



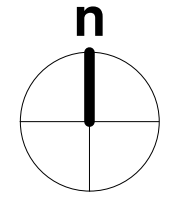
www.jenniferbinnsdesign.com.au
0439 765 452 : mail@jenniferbinnsdesign.com.au
52 cecilia street st helens tasmania 7216



1 site plan
1 : 1000



2 shed south elevation
1 : 100

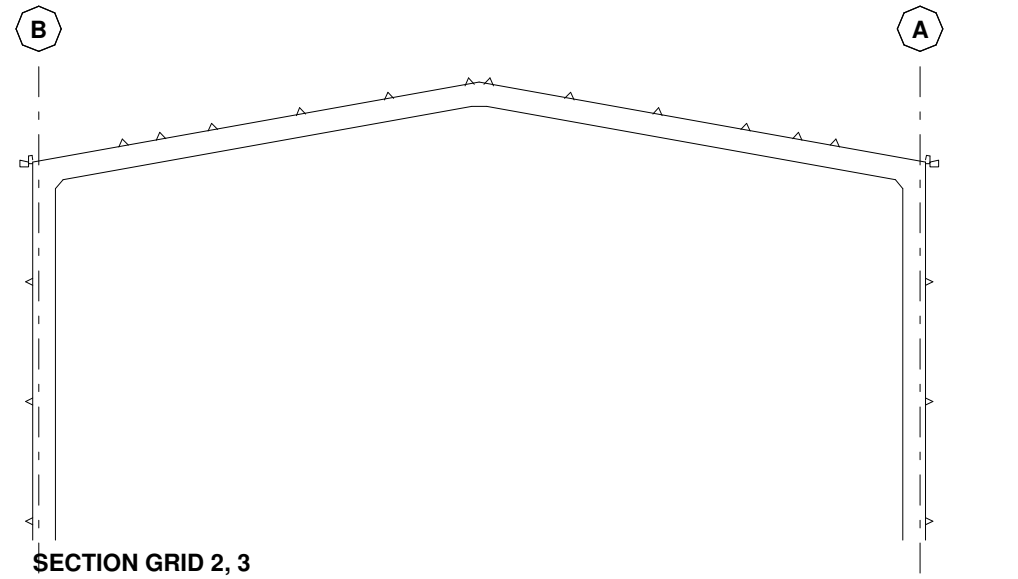
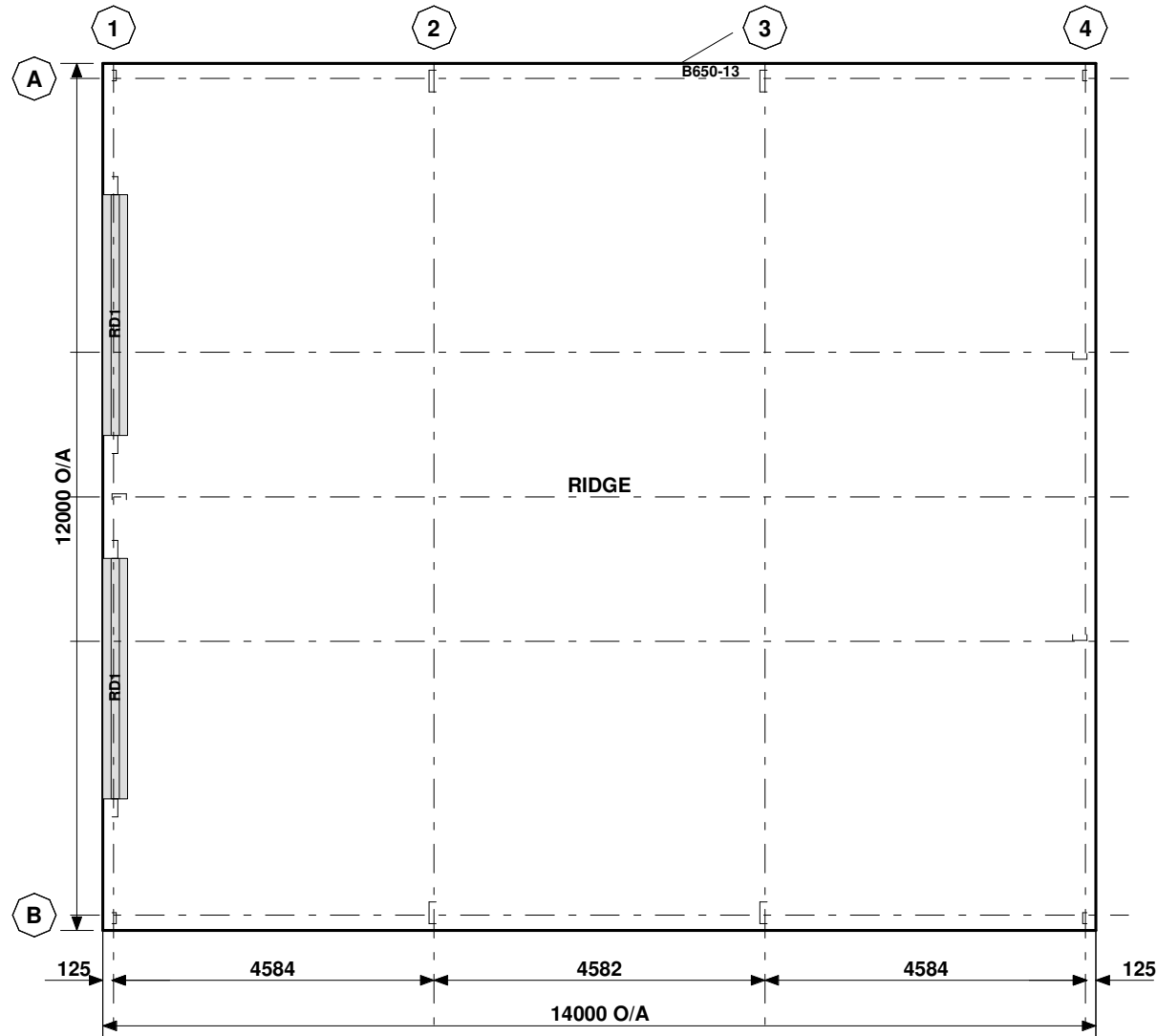


REV:	DESCRIPTION:	DATE:
PROJECT: proposed shed		
FOR: m. walkem 17a harveys farm road bicheno tasmania 7215		
DRAWING TITLE: site plan		
DRAWING NO: a01	DRAWN BY: JB	DATE: 23.04.26
SCALE: As indicated	PROJECT: 0426WA	

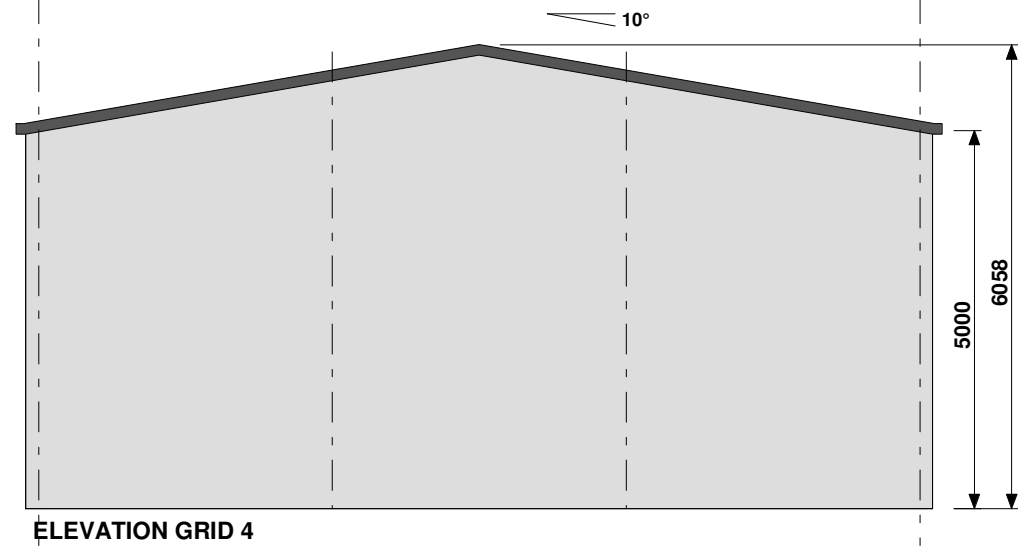
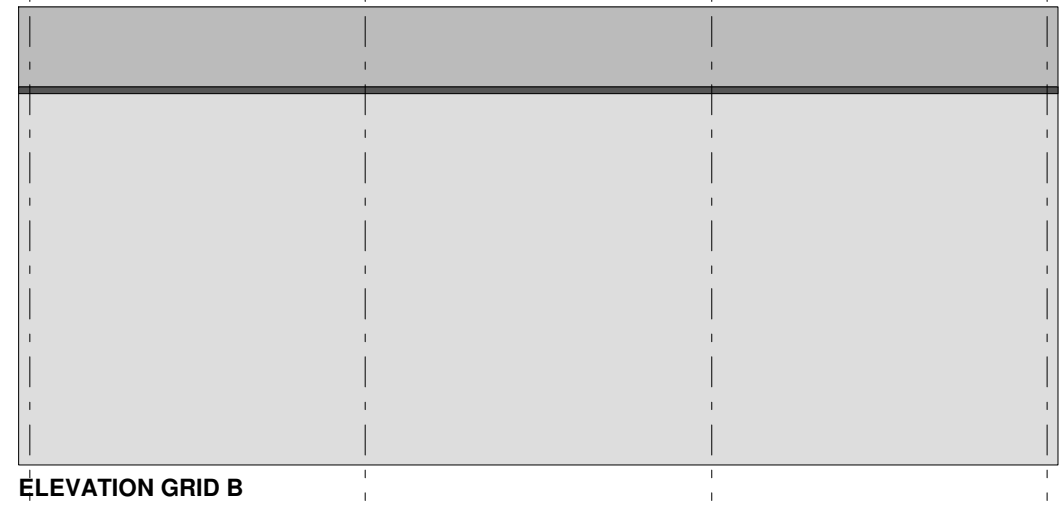
 **jennifer binns**
 www.jenniferbinnsdesign.com.au
 0439 765 452 : mail @ jenniferbinnsdesign.com.au
 52 cecilia street st helens tasmania 7216

 **BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

ACCREDITATION NO:
CC 1269L



GROUND FLOOR PLAN



CLADDING			
ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	CUSTOM ORB 0.42 BMT	CB	AA
WALLS	TRIMDEK 0.42 BMT	CB	AA
CORNERS	-	CB	AA
BARGE	-	CB	AA
GUTTER	HI-QUAD	CB	AA

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND		
QTY	MARK	DESCRIPTION
2	RD1	S/Line R.D - W/Lock C2. B 4600 high x 3330 wide Clear Opening C/B
1	B650-13	Larneec Door & Frame Kit, 650/37, Std. 2040 x 820 C/Bond

Accredited Practitioner
Alexander Filonov
CC4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
+61 2 4962 4311
10/04/2026

ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

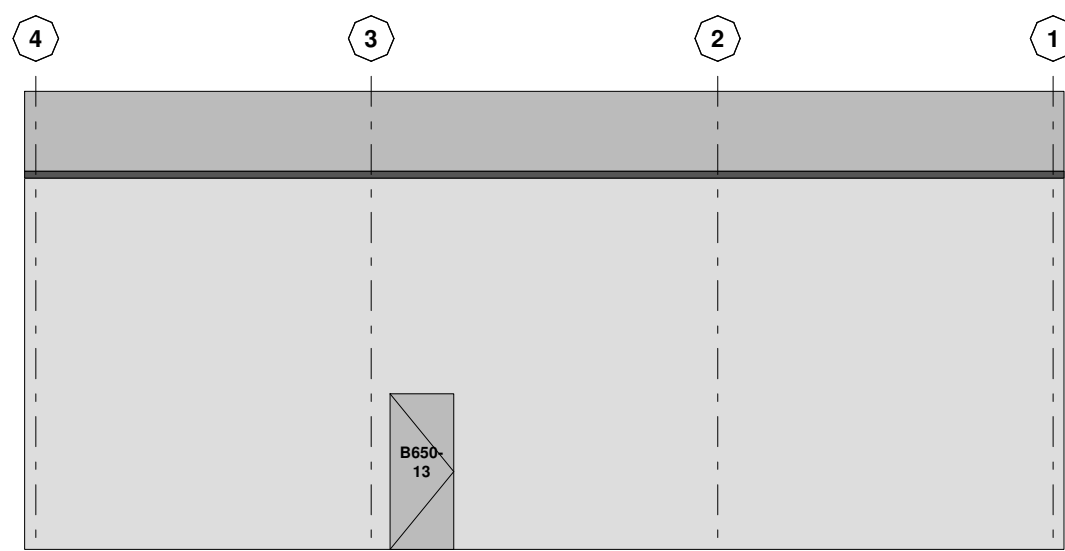
CLIENT
Marcus Walkem

SITE
17A Harveys Farm Road
BICHENO TAS 7215

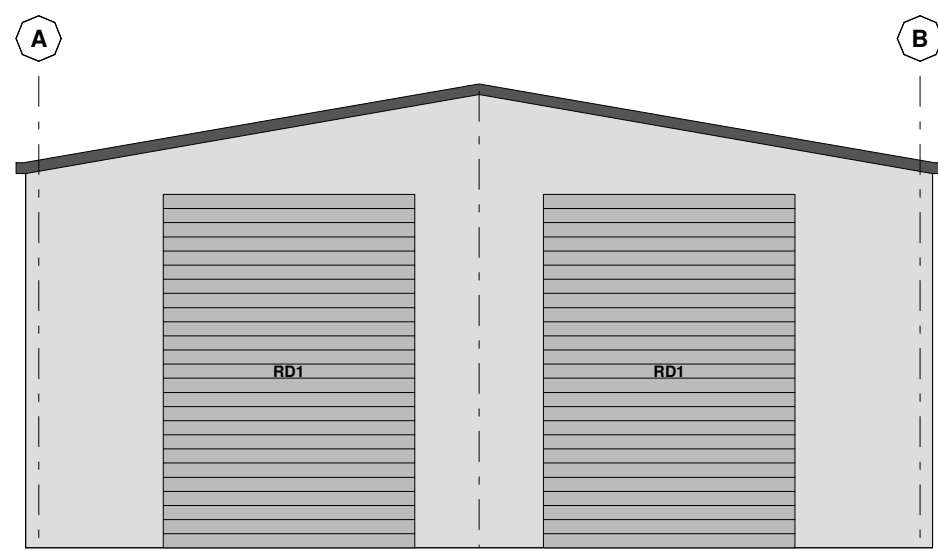
BUILDING
BIG G
12000 SPAN x 5000 EAVE x 14000 LONG

TITLE
GENERAL ARRANGEMENT

SCALE A3 SHEET 1:100	DRAWING NUMBER 443386-GA1	REV B	PAGE 1/8
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ELEVATION GRID A



ELEVATION GRID 1

Accredited Practitioner
Alexander Filonov
CC4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
+61 2 4962 4311
10/04/2026

ARCHITECTURAL DRAWING ONLY, FOR BUILDING PERMIT STAGE

CLIENT
Marcus Walkem

SITE
17A Harveys Farm Road
BICHENO TAS 7215

BUILDING
BIG G
12000 SPAN x 5000 EAVE x 14000 LONG

TITLE
GENERAL ARRANGEMENT

SCALE A3 SHEET 1:100	DRAWING NUMBER 443386-GA2	REV B	PAGE 2/8
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STRUCTURAL STEELWORK SCHEDULE			CONNECTIONS		
MARK	DESCRIPTION	SECTION	BASE	EAVES	TOP
C1	COLUMN - MAIN	C30019	FB4	KN4	
C2	COLUMN - CORNER	C15015	FB1	KN1	
C3	COLUMN - E/W, PARTITON	C20024	EB2	ER1	
R1	RAFTER - MAIN	C30019		KN4	AP4
R2	RAFTER - END WALL	C15010		KN1	AP1
DM1	MULLION - ROLLER DOOR	C25019	MB3		
RH1	HEAD - ROLLER DOOR	TS6175+TS96075			
OM1	DOOR OPENING MULLION	96x35x1.2 C-Channel			
OH1	DOOR OPENING HEAD	96x35x1.2 C-Channel			
Br1	BRACING - ROOF	68x1.6 strap	SB2		
Be	BRACING - END WALL	68x1.6 strap	SB2		
Bw	BRACING - SIDE WALL	68x1.6 strap	SB2		
SS1	BRACE - LATERAL FLY	100x0.4 STRAP +	SS1		
LB1	BRACE - LATERAL FLY	100x0.4 STRAP	LB1		
F1	FASCIA	C15012		FK1	
P1	PURLIN - PERIPHERY	TS96075 @ 1200	BC1,3		
P1a		TS96120 @ 1200	BC1,4		
P2	PURLIN - INTERNAL	TS96075 @ 1200	BC1,3		
P3	PURLIN - END	TS96075 @ 1200	BC1,3		
G1	GIRT - END BAY	TS96100 @ 1700	BC1,3		
G2	GIRT - INTERNAL BAY	TS96100 @ 1700	BC1,2		
G2	GIRT - END WALL	TS96075 @ 1700	BC1,2		

GENERAL

- THIS IS A STANDARDISED DESIGN SUITABLE FOR LIGHT INDUSTRIAL, COMMERCIAL & RURAL BUILDINGS TO STANDARDS & REQUIREMENTS PROVIDED BY RANBUILD.
- THESE DRAWINGS WILL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS & WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH RELEVANT & CURRENT SAA CODES & WITH BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- ALL DIMENSIONS SHOWN SHOULD BE VERIFIED BY THE BUILDER ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES & ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT SAA CODES & NORMAL ENGINEERING PRACTICE.
- ARCHITECTURAL ELEMENTS TO HAVE A MINIMUM OF 20mm CLEARANCE OF THE STRUCTURE & ARE TO BE ARTICULATED.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

STRUCTURAL STEEL SPECIFICATION

- ALL STRUCTURAL STEELWORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SAA CODES & SPECIFICATIONS. AS4100 STEEL STRUCTURES CODE AS/NZS 4600 COLD FORMED STEEL STRUCTURES CODE. AS1111 COMMERCIAL BOLTS & SCREWS. AS2887 FARM STRUCTURES (WHERE APPLICABLE).
- PROPRIETARY PRODUCTS ARE TO BE IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURERS INSTRUCTIONS.

HIGH STRENGTH BOLTS

- CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
 - HIGH STRENGTH FRICTION GRIP BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS4100 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS.
- | BOLT SIZE | SHANK TENSION (kN) |
|-----------|--------------------|
| M12 | 50 |
| M16 | 90 |
- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

COLD FORMED STEEL FRAMING

- ALL STRUCTURAL STEEL FRAMING TO BE MANUFACTURED FROM HOT DIP ZINC COATED STEEL CONFORMING TO AS1397 U.N.O.
- MATERIAL GRADES SHALL BE AS FOLLOWS:-
1.0 BMT - GRADE G550, Z350
1.2 BMT - GRADE G500, Z350
1.5 BMT TO 3.0 BMT - GRADE G450, Z350
- PURLIN/GIRT ARRANGEMENT - TOPHAT TYPE BATTENS TEK SCREWED DIRECTLY TO THE FRAME SECTIONS WITH FLY BRACES AS SPECIFIED.

FRAME ASSEMBLY

- CORRECT FRAME ASSEMBLY IS IMPORTANT TO ACHIEVE OPTIMUM PERFORMANCE OF THE STRUCTURE
- FULLY TENSION BOLTS AT KNEE & APEX JOINTS AS SPECIFIED BEFORE STANDING FRAMES.
- FULLY TENSION BOLTS AT BASE CONNECTIONS AS SPECIFIED IMMEDIATELY AFTER STANDING THE FRAME.
- ROOF & WALL BRACING PROVIDE STRUCTURAL STABILITY WHERE SPECIFIED & MUST BE INSTALLED BEFORE THE CLADDING.

ROOF & WALL CLADDING

- ROOF & WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562 & THE MANUFACTURERS INSTRUCTIONS TO THE SAME WIND LOAD RATING AS THE BUILDING STRUCTURE.
- THE ROOF & WALL CLADDING FORMS AN INTEGRAL PART OF THE STRUCTURE & SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER WHO ASSUMES FULL RESPONSIBILITY FOR THE DESIGN.

DOORS & WINDOWS

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2021 AND AS/NZS 4505-2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOWS A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOOR ACCORDING TO AS/NZS 4505-2012 REQUIREMENTS.

DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 1170.2:2021

IMPORTANCE LEVEL	2
AS 1170.2 REGION	A1-A5
TERRAIN CATEGORY	2.88
Ms	1.0
Mt	1.0
INTERNAL PRESSURE Cpi	+0.0 or -0.3 (ENCLOSED)
ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	0.25 kPa PLUS 1.4 kN
FLOOR LIVE LOAD	RESIDENTIAL 3kPa
SITE CLASS	M (CLAY)
COASTAL DISTANCE	N/A



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Solutions Pty Ltd
trading as RANBUILD

DRAWING SCHEDULE

- 443386-GA1 GENERAL ARRANGEMENT
- 443386-GA2 GENERAL ARRANGEMENT
- ENG1/1-443386 STEEL FRAME SCHEDULE AND NOTES, COVER PAGE
- ENG2/1-443386 STEEL FRAME DIAGRAMS
- ENG2/2-443386 STEEL FRAME DIAGRAMS
- ENG3/1-443386 CONNECTION DETAILS
- ENG4/1-443386 INTEGRAL PAD FOOTING PLAN & DETAILS
- ENG5/1-443386 RC SLAB DETAILS, CONCRETE SPECIFICATION, SITE NOTES

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FOR BUILDING PERMIT STAGE

CLIENT

Marcus Walkem

SITE

17A Harveys Farm Road
BICHENO TAS 7215

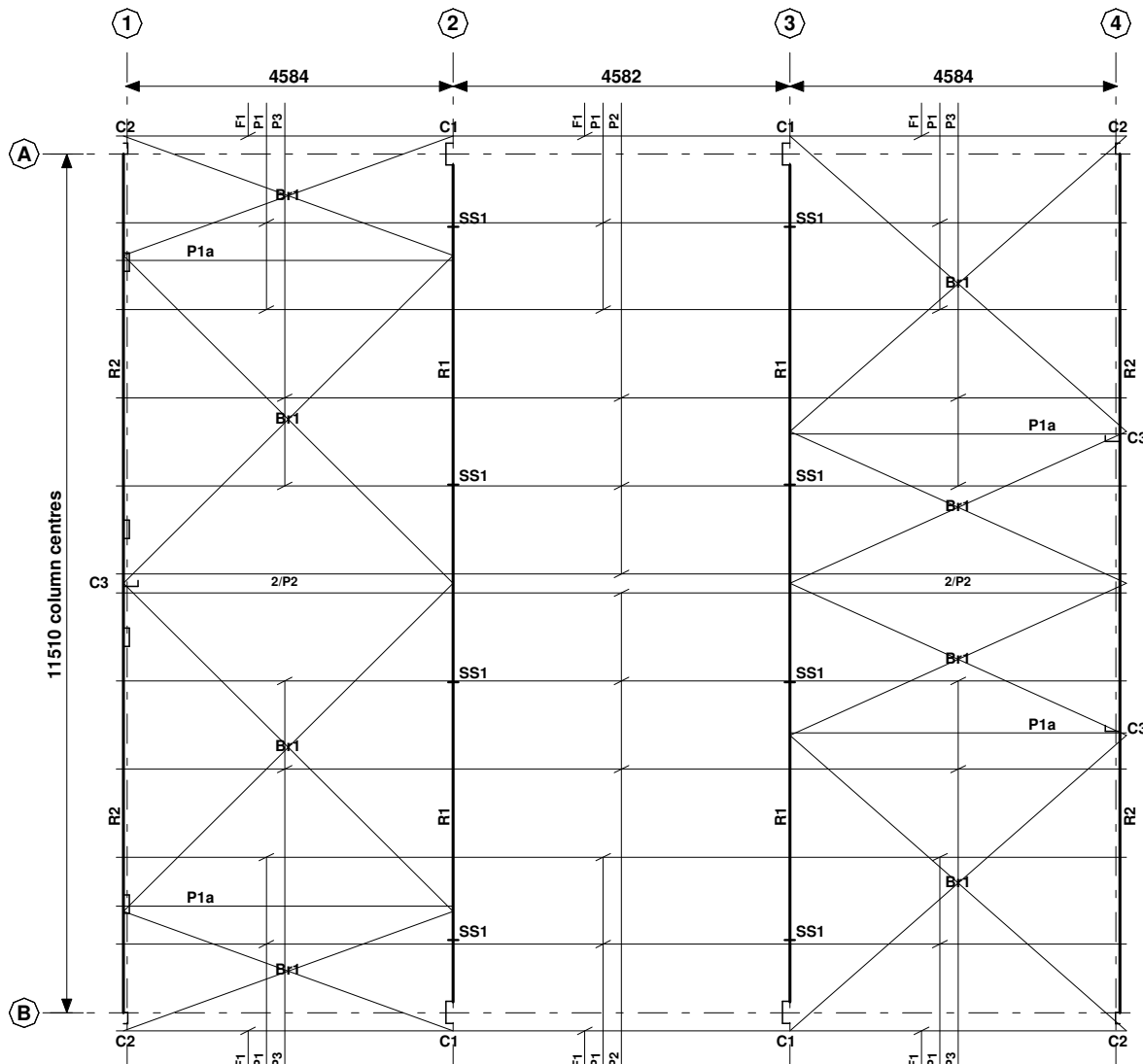
BUILDING

BIG G
12000 SPAN x 5000 EAVE x 14000 LONG

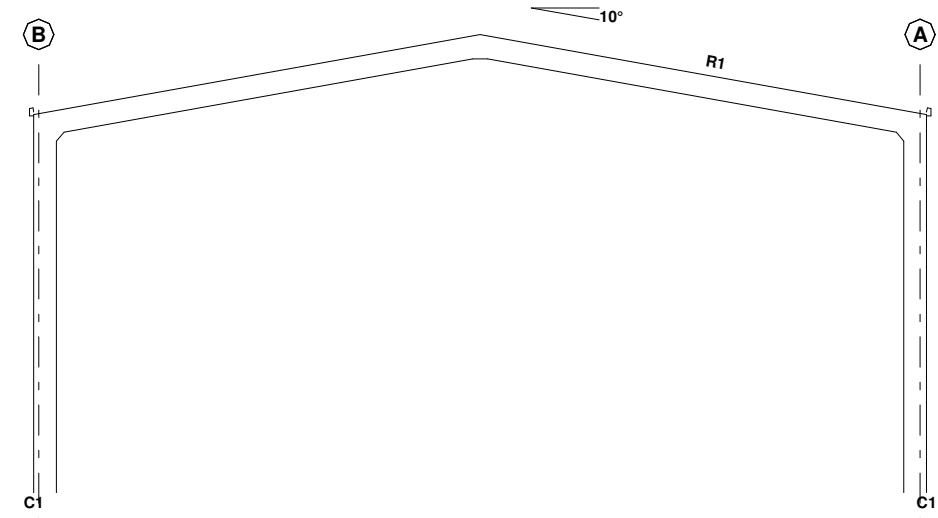
TITLE

STEEL FRAME SCHEDULE AND NOTES,
COVER PAGE

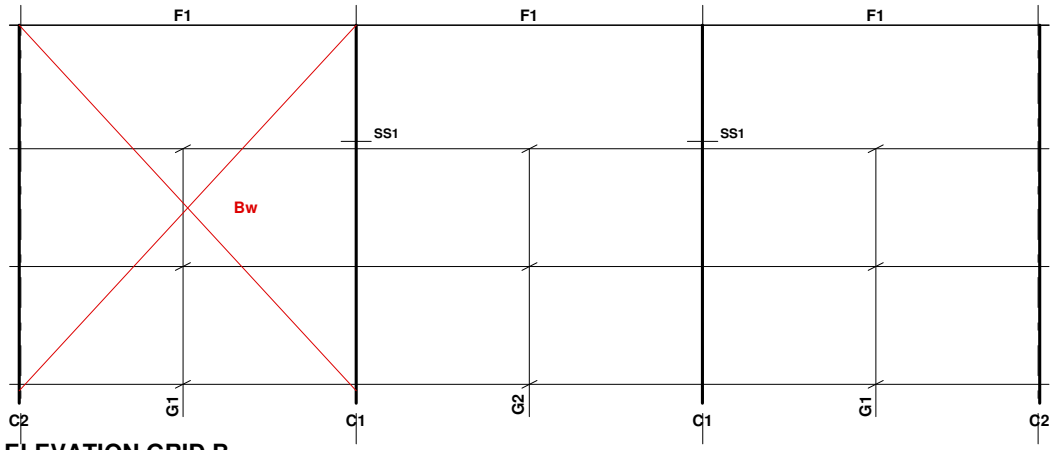
SCALE	DRAWING NUMBER	REV	PAGE
N/A	ENG1/1-443386	B	3/8



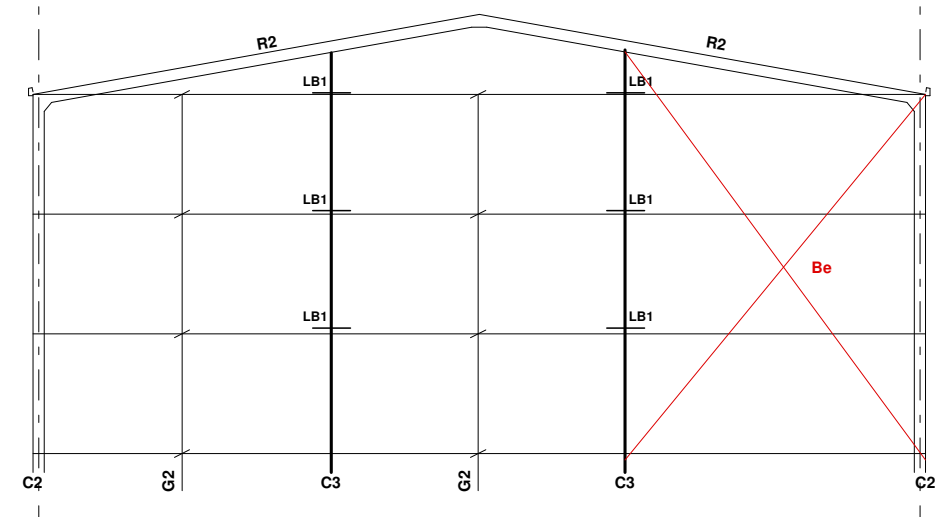
ROOF PLAN



SECTION GRID 2, 3



ELEVATION GRID B



ELEVATION GRID 4

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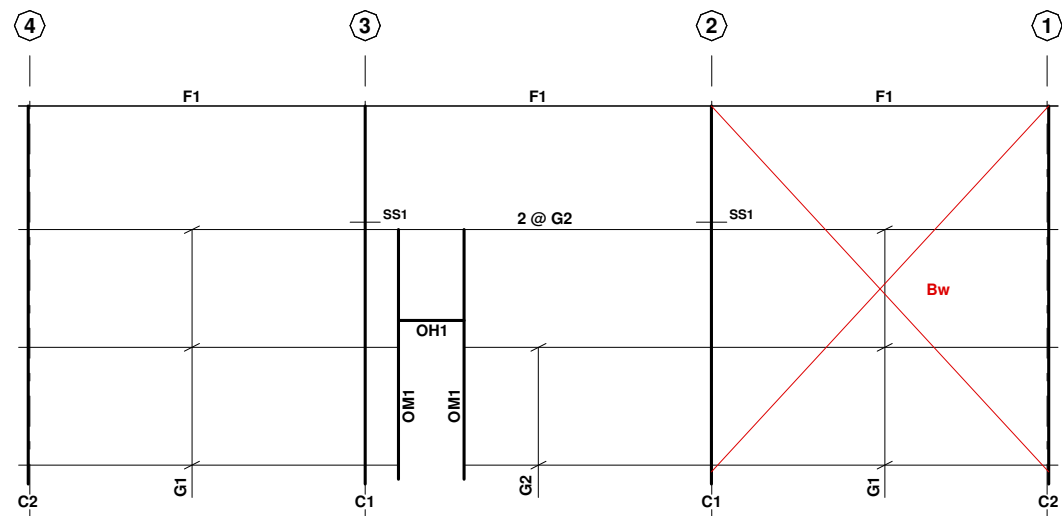
CLIENT
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SITE
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BICHENO TAS 7215

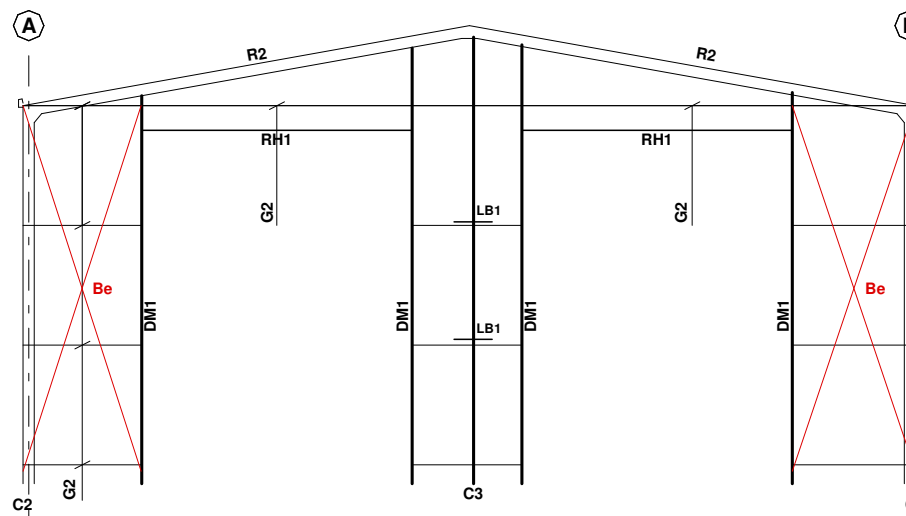
BUILDING
BIG G
12000 SPAN x 5000 EAVE x 14000 LONG

TITLE
STEEL FRAME DIAGRAMS

SCALE A3 SHEET 1:100	DRAWING NUMBER ENG2/1-443386	REV B	PAGE 4/8
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ELEVATION GRID A



ELEVATION GRID 1

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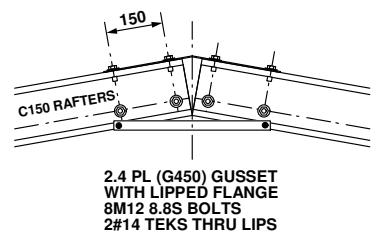
CLIENT
Marcus Walkem

SITE
**17A Harveys Farm Road
BICHENO TAS 7215**

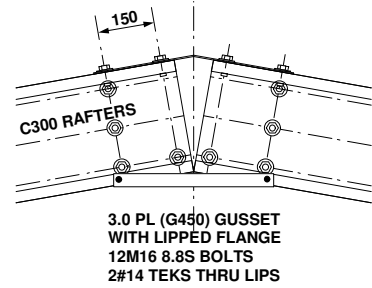
BUILDING
**BIG G
12000 SPAN x 5000 EAVE x 14000 LONG**

TITLE
STEEL FRAME DIAGRAMS

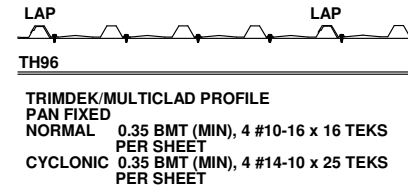
SCALE A3 SHEET 1:100	DRAWING NUMBER ENG2/2-443386	REV B	PAGE 5/8
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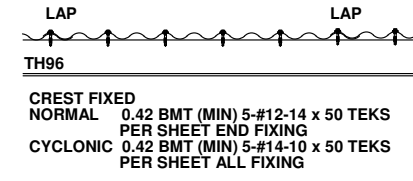
APEX CONNECTION - AP1



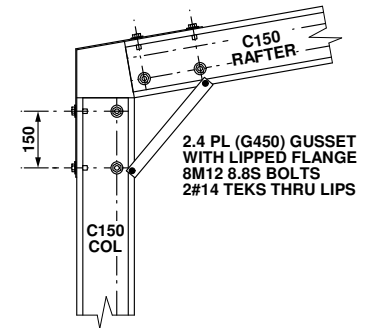
APEX CONNECTION - AP4



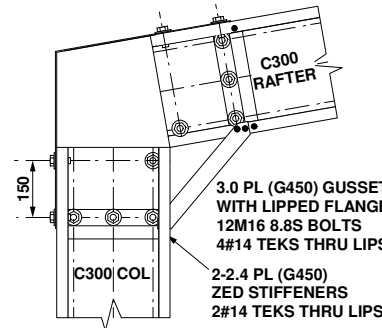
WALL CLADDING SHEAR DIAPHRAGM - SD1



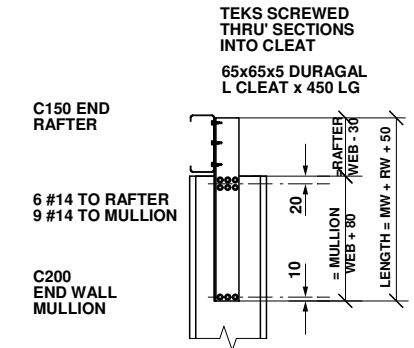
ROOF CLADDING SHEAR DIAPHRAGM - SD4



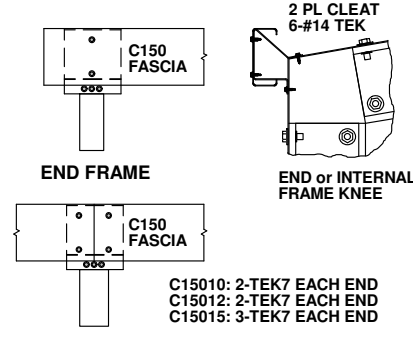
KNEE CONNECTION - KN1



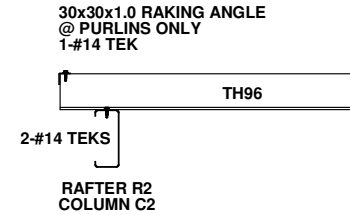
KNEE CONNECTION - KN4



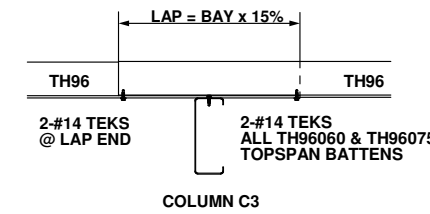
E/W COLUMN TO RAFTER CONNECTION ER1



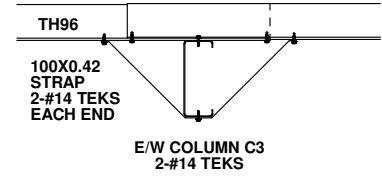
FASCIA CONNECTION - FK1



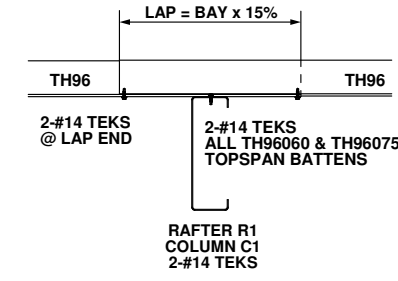
BATTEN CONNECTION - BC1



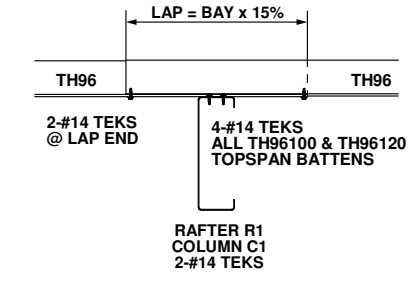
BATTEN CONNECTION - BC2



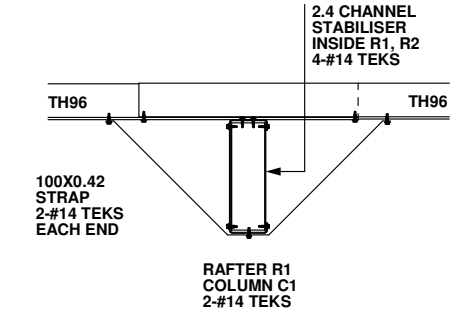
LATERAL BRACE DET - LB1



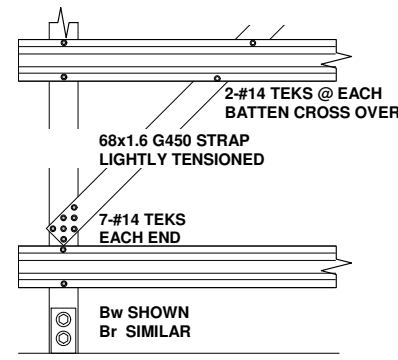
BATTEN CONNECTION - BC3



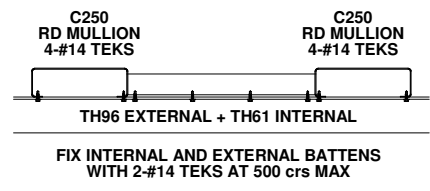
BATTEN CONNECTION - BC4



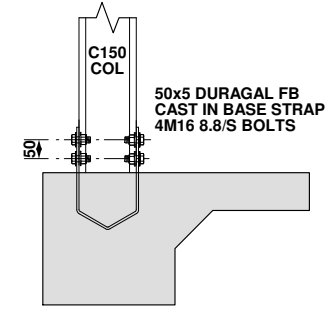
SECTION STABILISER DET - SS1



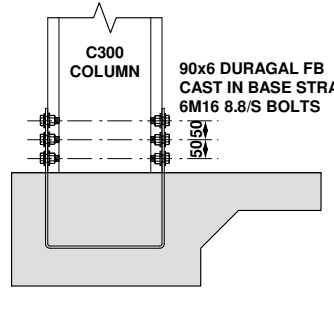
STRAP BRACING - SB2



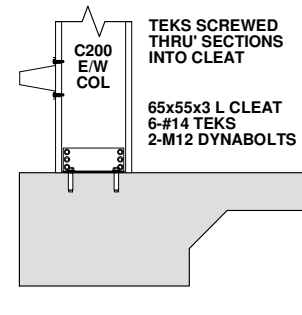
RH HEAD - RH1



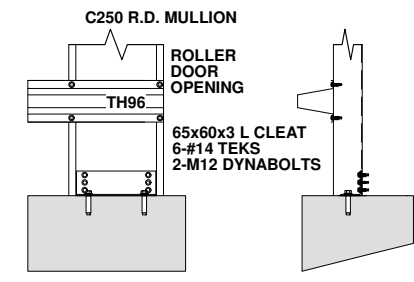
FIXED BASE - FB1



FIXED BASE - FB4



E/W COLUMN BASE - EB2



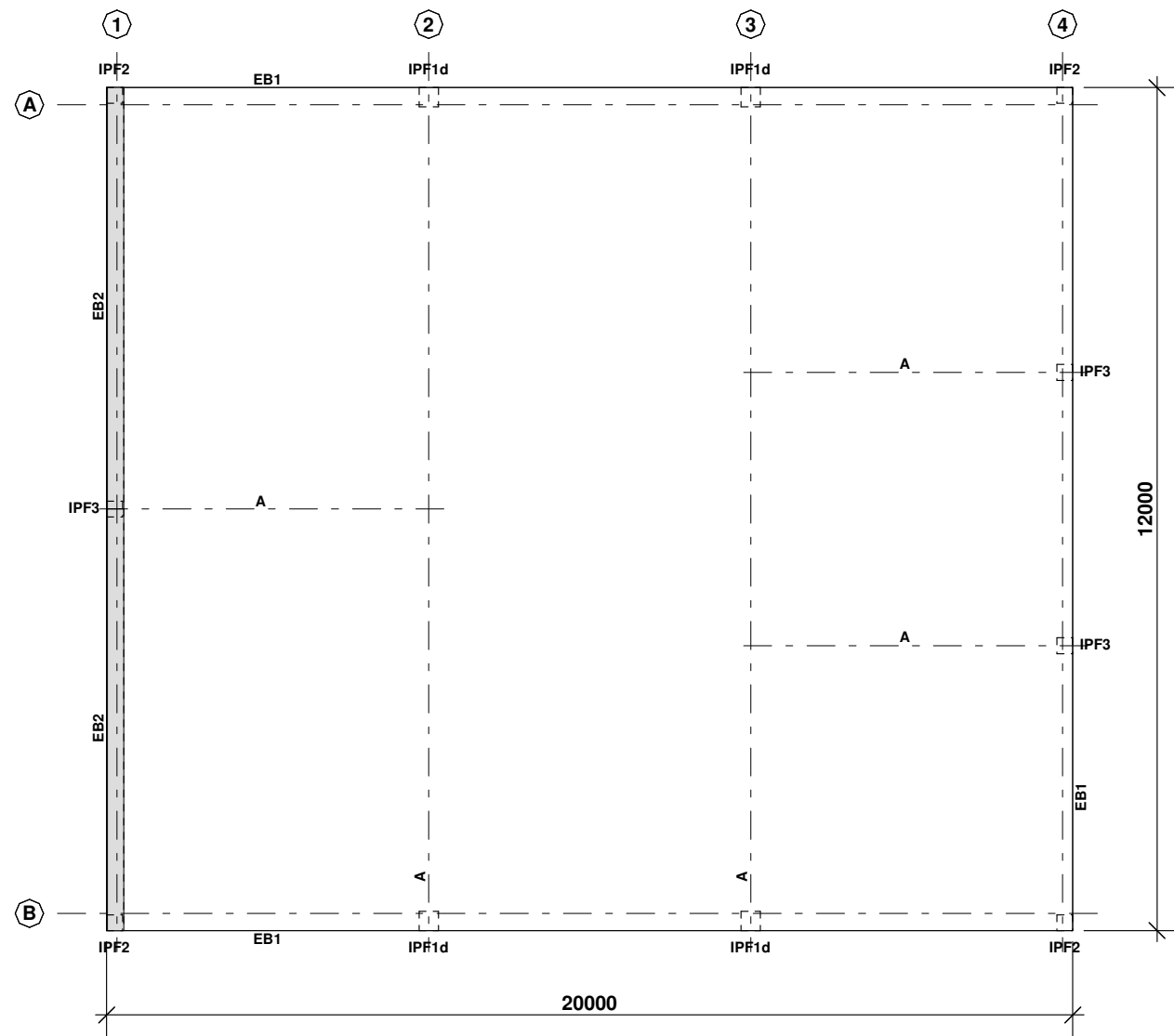
RD MULLION BASE - MB3

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FOR BUILDING PERMIT STAGE

CLIENT
Marcus Walkem
SITE
17A Harveys Farm Road
BICHENO TAS 7215
BUILDING
BIG G
12000 SPAN x 5000 EAVE x 14000 LONG
TITLE
CONNECTION DETAILS

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG3/1-443386	REV B	PAGE 6/8
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INTEGRAL PAD FOOTINGS

MASS CONCRETE FOOTINGS CAST INTEGRAL WITH FLOOR & EDGE BEAM ARE ECONOMICALLY SUITED FOR SHEDS ON SANDY GROUND.

- THIS DESIGN MAY ALSO BE USED FOR CLAYEY SOIL OR WHERE ROCK IS ENCOUNTERED.
- ALL PAD FOOTINGS TO BE FOUNDED IN NATURAL GROUND WITH A SAFE BEARING CAPACITY OF 100 kPa AT DEPTH INDICATED.

THE DEPTH "d" MAY BE REDUCED TO A MINIMUM OF 400mm PROVIDED THAT "b" DIMENSIONS ARE ADJUSTED TO MAINTAIN THE SAME VOLUME OF CONCRETE.

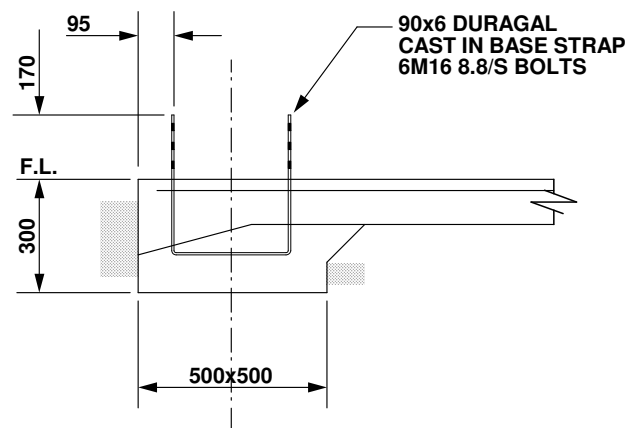
REFERENCE

SEE SLAB DETAIL DRAWING FOR:-

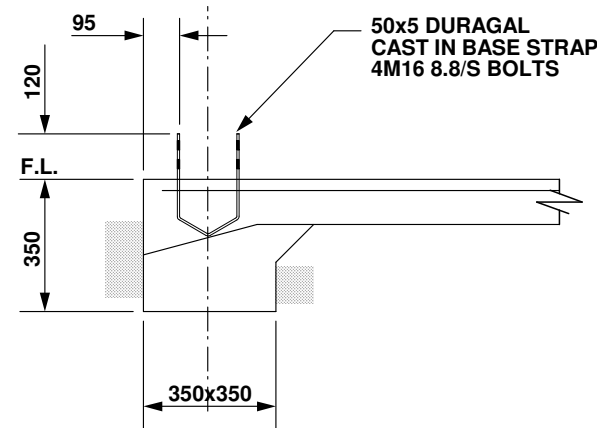
- MINIMUM SITE PREPARATION NOTES
- MINIMUM SITE PREPARATION NOTES
- CONCRETE SPECIFICATION NOTES
- CONCRETE REINFORCEMENT NOTES
- SLAB ON GRADE NOTES
- DETAIL S1/EB1 - SLAB EDGE TYPE 1
- DETAIL S1/EB2 - SLAB EDGE TYPE 2
- DETAIL S1/A - SLAB CONTROL JOINT
- DETAIL S1/C - SLAB CONSTRUCTION JOINT

INTEGRAL PAD FOOTING SCHEDULE

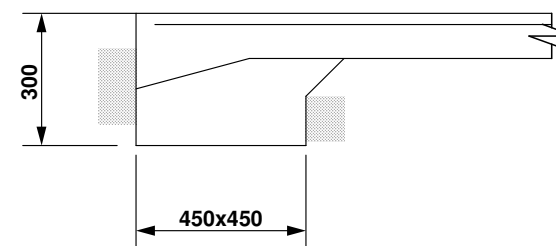
CENTRE LINE REFERENCE	FRAME REFERENCE(S)	LABEL	STRAP	d x b x b
A	1, 4	IPF2	SGRB15	350 x 350 x 350
A	2, 3	IPF1d	SGRB30_24	300 x 500 x 500
AB	1, 4	IPF3		300 x 450 x 450
B	1, 4	IPF2	SGRB15	350 x 350 x 350
B	2, 3	IPF1d	SGRB30_24	300 x 500 x 500



TYP DET IPF1d



TYP DET IPF2



TYP DET IPF3

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SITE

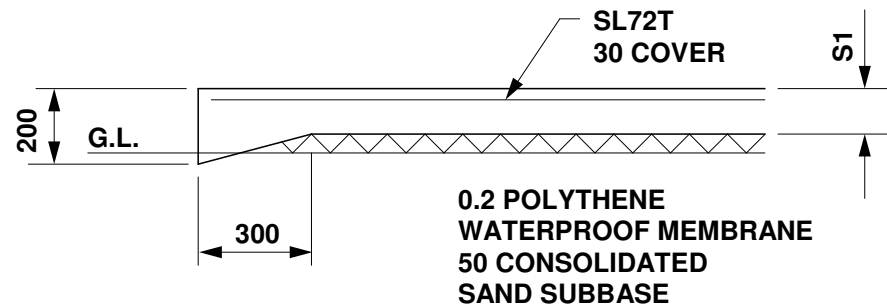
17A Harveys Farm Road
BICHENO TAS 7215

BUILDING

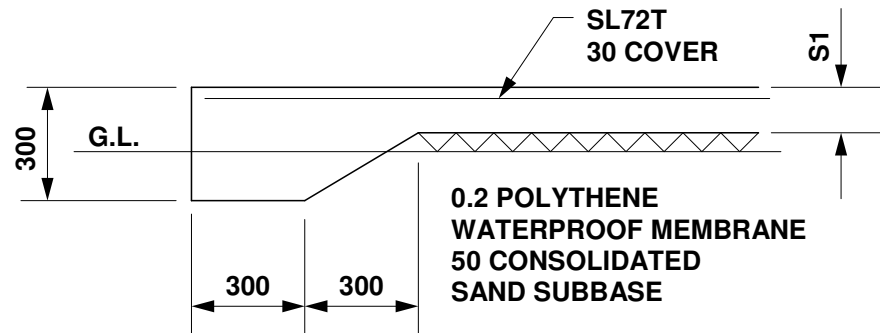
BIG G
12000 SPAN x 5000 EAVE x 14000 LONG

TITLE **INTEGRAL PAD FOOTING PLAN & DETAILS**

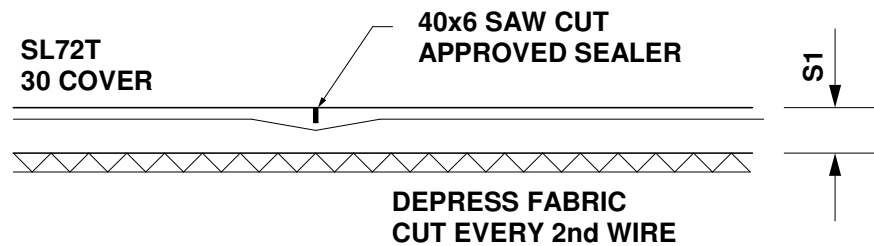
SCALE A3 SHEET 1:100 1:20	DRAWING NUMBER ENG4/1-443386	REV B	PAGE 7/8
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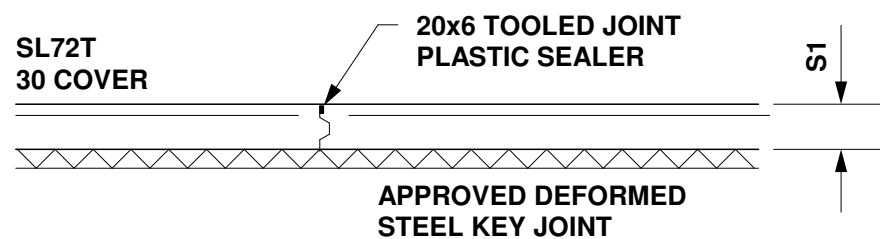
DET S1/EB1
NOT SUITABLE AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/A
CONTROL JOINT



DET S1/C
CONSTRUCTION JOINT

SLAB THICKNESS (S1) = 120mm

PROVIDE CONSTRUCTION JOINTS SO THAT THE
MAXIMUM UNBROKEN RUN OF CONCRETE IS 20m
IN EITHER DIRECTION

- SITE FOUNDATION CLASSIFICATION**
TWO COMMON FOUNDATION CONDITIONS & SITE CLASSIFICATIONS
IN ACCORDANCE WITH AS2870 ARE USED FOR THE STANDARDISED
FOOTING DESIGNS AS FOLLOWS:-
- STIFF CLAY CONFORMING TO AS2870 CLASS M.
MINIMUM SAFE BEARING CAPACITY - 100 kPa.
SHAFT ADHESION - 20 kPa
 - DENSE SAND CONFORMING TO AS2870 CLASS A/S.
MINIMUM SAFE BEARING CAPACITY - 100 kPa.
 - A SITE SPECIFIC GEOTECHNICAL INVESTIGATION IS
RECOMMENDED & IF CONDITIONS OTHER THAN ASSUMED ARE
ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED
& SHOULD BE REFERED TO A QUALIFIED LOCAL ENGINEER.
 - ALL FOOTINGS TO BE FOUNDED IN NATURAL GROUND.
 - NO FOOTING TO BE FOUNDED ON FILL MATERIAL.
 - REFERENCE SHOULD BE MADE TO CSIRO PUBLICATION 10.91
GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE &
FOOTING PERFORMANCE

- MINIMUM SITE PREPARATION**
- STRIP SITE OF ALL TOP SOIL & DISCARD TO SPOIL. THE EXPOSED
SURFACE TO BE PROOF ROLLED & AREAS REMAINING SOFT OR
SPONGY ARE TO BE EXCAVATED TO SPOIL.
 - PLACE APPROVED GRANULAR FILL MATERIAL TO THE REQUIRED
BUILDING PLATFORM LEVEL IN LAYERS NOT EXCEEDING 200mm
AND COMPACT BY ROLLING WITH SUITABLE EQUIPMENT TO
ACHIEVE A DRY DENSITY RATIO OF 98% STANDARD COMPACTION
TO AS1289 - E1.1 AT OPTIMUM MOISTURE CONTENT. THE TOP
200mm TO BE COMPACTED TO 100% STANDARD DRY DENSITY.
 - THE COMPACTION OF ALL FILL MATERIAL TO BE INSPECTED AND
APPROVED BY A RESPONSIBLE GEOTECHNICAL CONSULTANT.

- CONCRETE REINFORCEMENT**
- REINFORCEMENT IS REPRESENTED DIAGRAMATICALLY & NOT
NECESSARILY IN TRUE PROJECTION.
 - REINFORCEMENT NOTATION:-
 - N DENOTES HOT ROLLED DEFORMED BAR.
 - SL DENOTES HARD DRAWN WELDED WIRE FABRIC. THE
NUMBER IMMEDIATELY FOLLOWING BAR NOTATION IS THE
NOMINAL DIAMETER IN mm.
 - PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING
COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.
- | | |
|----------|---|
| FOOTINGS | 80 BOTTOM, 65 TOP & SIDES |
| SLABS | 30 BOTTOM, 20 TOP |
| BEAMS | 40 BOTTOM & SIDES TO STIRRUPS. TOP COVER AS
DETAILED |
- PROVIDE 2N12 DIAGONAL CORNER BARS 900 LONG AT ALL
RE-ENTRANT CORNERS OF OPENINGS IN SLABS AND THESE BARS
TO BE POSITIONED 30mm FROM THE CORNER.

- CONCRETE SPECIFICATION**
- CARRY OUT ALL WORK IN ACCORDANCE WITH THE CURRENT
ISSUE OF AS3600 & THE SPECIFICATION.
 - CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH & MUST NOT
BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEERS
APPROVAL. DEPTH OF BEAMS INCLUDE SLAB THICKNESS.
 - SLABS & BEAMS ARE TO BE POURED TOGETHER.
 - CONSOLIDATE BY VIBRATION.
 - SLAB CONCRETE TO BE AS SHOWN IN SLAB ON GRADE
CRITERIA.
 - BORED PIER CONCRETE SHALL HAVE F'c = 25 MPa, MAXIMUM
AGGREGATE SIZE = 20 mm, SLUMP = 100 mm,
EXCEPT FOR BCA CLASSES 2 TO 9 BUILDINGS CONCRETE
SHALL HAVE F'c = 32MPa.

- SLABS ON GRADE**
- SLABS TO BE PLACED OVER 25 CONSOLIDATED SAND OVER
PREPARED SUBGRADE.
 - PROVIDE 0.2 POLYTHENE FORTICON WATERPROOF MEMBRANE
UNDER ALL SLABS WITH LAPPED & TAPED JOINTS.
 - PLACE PUMP MIX CONCRETE AS SPECIFIED BELOW TO
ACCURATE LEVELS AS PER ARCHITECTS SPECIFICATION.
 - PROVIDE CONTROL JOINTS AS INDICATED BY NEATLY SAW
CUTTING 40 x 6 GROOVES WITHIN 12 HOURS OF THE FINAL
FLOAT OF THE CONCRETE.
 - CURE SLAB FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A
CONTINUOUSLY WET SURFACE BY APPROVED METHODS.
FLOODING & COVERING WITH POLYTHENE IMMEDIATELY AFTER
FINISHING IS AN APPROVED METHOD.
 - SEALING OF JOINTS TO BE CARRIED OUT ONE MONTH MINIMUM
AFTER CURING IS COMPLETE.
 - PROVIDE PROPER STORMWATER DRAINAGE AWAY FROM THE
BUILDING.

SLAB ON GRADE CRITERIA	
CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	25
FLEXURAL STRENGTH AT 90 DAYS (MPa)	5
SLUMP (mm)	100
AGGREGATE MAXIMUM SIZE (MM)	20
CEMENT TYPE	SL
CEMENT CONTENT (kg/cubic metre) MIN	320
FLY ASH CONTENT (kg/cubic metre) MAX	70
WATER / CEMENT RATIO (MAX)	0.45
MICROSTRAIN AT 56 DAYS	600
FLOOR FINISH - BURNISHED STEEL TROWEL	NON SLIP
FLOOR TOLERANCE	CLASS B

- FOR OTHER LOAD CONDITIONS A DESIGN VARIATION IS
REQUIRED & SHOULD BE REFERED TO A QUALIFIED LOCAL
ENGINEER.

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BUILDING
**BIG G
12000 SPAN x 5000 EAVE x 14000 LONG**

TITLE **RC SLAB DETAILS, CONCRETE
SPECIFICATION, SITE NOTES**

SCALE A3 SHEET 1:20	DRAWING NUMBER ENG5/1-443386	REV B	PAGE 8/8
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