



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **18 Lodi Court, Bicheno**
CT 181222/201

PROPOSAL: **Residential - Multiple Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer.

Representations must be received before midnight on 28 May 2026.

APPLICANT: **Stephen Lawes**

DATE: **11/12/2025**

APPLICATION NO: **DA 2025 / 224**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	18 Lodi Crt, Bicheno		
Suburb:		Post Code:	7215
Size of site: (m ² or Ha)	1125		
Certificate of Title(s):	181222 / 201		
Current use of site:	Single dwelling & plant nursery		

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	New dwelling - Multi dwelling
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	<i>Staves</i>	Date:	13/5/2026
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 181222	FOLIO 201
EDITION 2	DATE OF ISSUE 24-Nov-2021

SEARCH DATE : 12-Aug-2024

SEARCH TIME : 10.41 PM

DESCRIPTION OF LAND

Town of BICHENO
 Lot 201 on Sealed Plan 181222
 Derivation : Part of Lot 28402, 30A-3R-25P Gtd. to Frank
 Augustine Hill
 Prior CTs 168644/600 and 177161/505

SCHEDULE 1

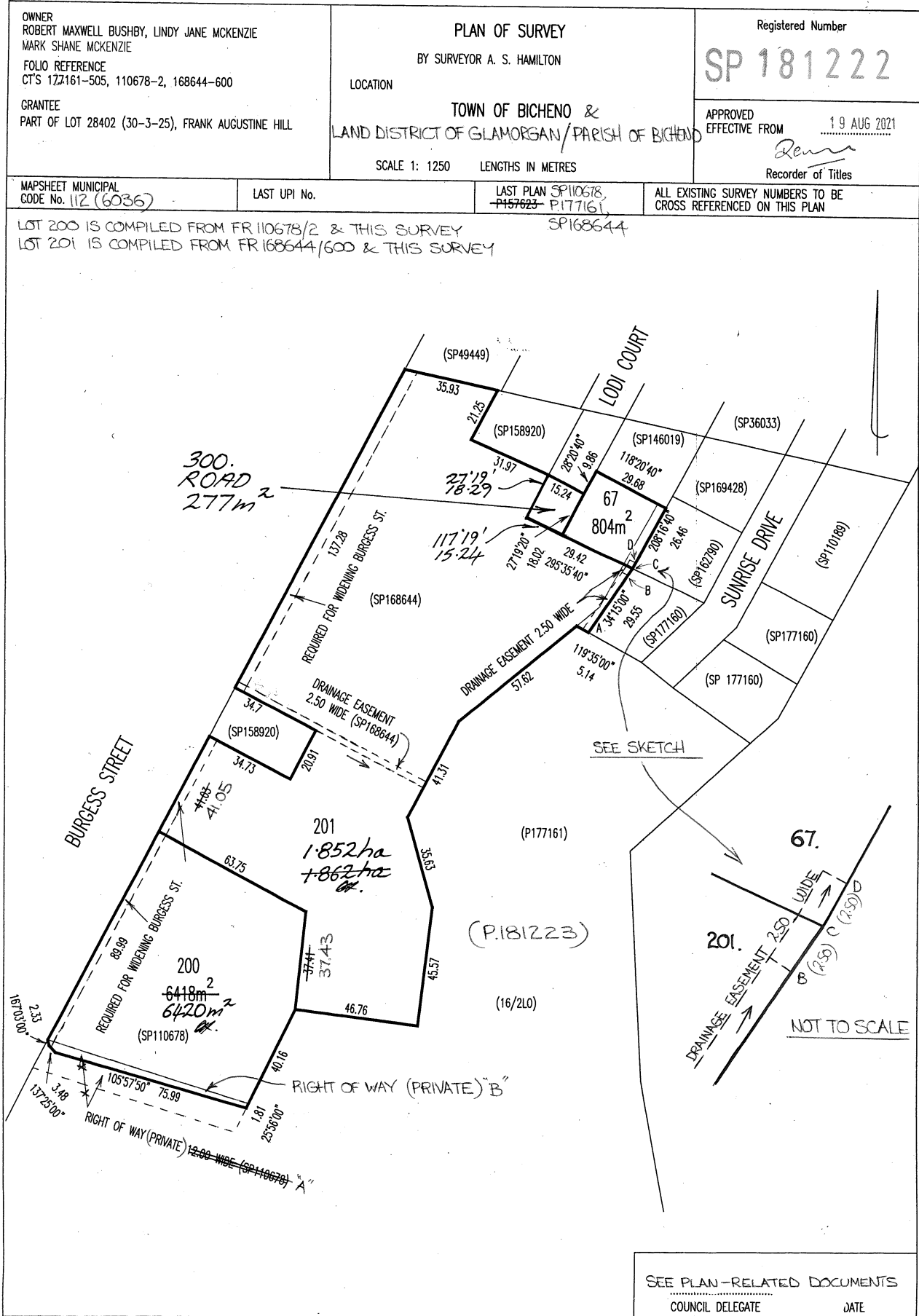
B403560, B782616 & M906854 TRANSFER to MARK SHANE MCKENZIE
 and LINDY JANE MCKENZIE Registered 19-Aug-2021 at
 noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP181222 EASEMENTS in Schedule of Easements
 SP181222 COVENANTS in Schedule of Easements
 SP181222 FENCING PROVISION in Schedule of Easements
 SP168644 FENCING PROVISION in Schedule of Easements
 SP110678 FENCING COVENANT in Schedule of Easements
 A35627 FENCING CONDITION in Transfer
 B782616 FENCING PROVISION in Transfer
 D150456 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 27-Feb-2015 at noon
 E167938 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 03-Jun-2019 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SEE PLAN-RELATED DOCUMENTS
COUNCIL DELEGATE DATE

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 181222

PAGE 1 OF 6 PAGE/S
6

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Fencing Provision IN RESPECT OF EACH LOT ON THE PLAN


The Owners Robert Maxwell Bushby, Lindy Jane Mckenzie & Mark Shane Mckenzie shall not be required to fence.

EASEMENTS

Lot 201 on the Plan is **SUBJECT TO** a Drainage Easement in gross over the land marked "**DRAINAGE EASEMENT 2.50 WIDE (AC)**" on the Plan in favour of Council

Lot 67 on the Plan is **SUBJECT TO** a Drainage Easement in gross over the land marked "**DRAINAGE EASEMENT 2.50 WIDE (CD)**" on the Plan in favour of Council

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: RM BUSHBY L & M MCKENZIE FOLIO REF: 177161-505 110678-2 168644-600 SOLICITOR & REFERENCE: R.P.A.G.	PLAN SEALED BY: Glamorgan Spring Bay Council DATE: 19/2/2021. SA 2005/08. REF NO.
 Council Delegate	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

Handwritten initials: MB, LM

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP 181222
SUBDIVIDER: RM BUSHBY, LJ & MS MKENZIE FOLIO REFERENCE: CT 177161-505, 110678-2, 168644-600	

Lot 201 ("the Lot") is subject to a **PIPELINE AND SERVICES EASEMENT** in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "**DRAINAGE EASEMENT 2.50 WIDE (BC)**" shown on the Plan ("the Easement Land").

Lot 67 ("the Lot") is subject to a **PIPELINE AND SERVICES EASEMENT** in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the land marked "**DRAINAGE EASEMENT 2.50 WIDE (CD)**" shown on the Plan ("the Easement Land").

(SP168644)

Lot 201 on the plan is subject to a Right of Drainage over Drainage Easement 2.50 Wide in favour of Council in Gross ~~more fully set forth in SP 168644.~~

Lot 200 on the plan is subject to a Right of Carriageway over Right Of Way (Private) ~~4.00 Wide 'B'~~ (appurtenant to lot 2 on SP 110678) ~~more fully set forth in SP 110678~~

Lot 200 on the Plan is together with a right of carriageway over the Right of Way (Private) 'A' shown on the Plan.

Covenant

The owner of lot 67 on the plan covenants with the Glamorgan Spring bay Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with the Glamorgan Spring bay Council to observe the following:

67

That no fences over 1.100 metres in height shall be erected on the said lot ~~60~~ within 3.00 metres of the front boundary.

In this Schedule of Easements, the following terms have the meanings ascribed to them below:

Council means the Glamorgan Spring Bay Council, its successors and assigns.

The **Pipeline and Services Easement** is defined as follows:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

17/2 2/4 RWB

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 181222</p>
<p>SUBDIVIDER: RM BUSHBY, LJ & MS MKENZIE FOLIO REFERENCE: CT 177161-505, 110678-2, 168644-600</p>	

- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or

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14/12/20 *[Handwritten signatures]*

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 181222</p>
<p>SUBDIVIDER: RM BUSHBY, LJ & MS MKENZIE FOLIO REFERENCE: CT 177161-505, 110678-2, 168644-600</p>	

- (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;

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Mr. X M K B

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 181222</p>
<p>SUBDIVIDER: RM BUSHBY, LJ & MS MKENZIE FOLIO REFERENCE: CT 177161-505, 110678-2, 168644-600</p>	

- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**Owner**” means the registered proprietors of the Lot in the folio of the Register from time to time.

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for the Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for the Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

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14 Feb 2025


<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 181222</p>
<p>SUBDIVIDER: RM BUSHBY, LJ & MS MKENZIE FOLIO REFERENCE: CT 177161-505, 110678-2, 168644-600</p>	

SIGNED BY THE REGISTERED PROPRIETOR OF
CERTIFICATE OF TITLE 177161-505

ROBERT MAXWELL BUSHBY



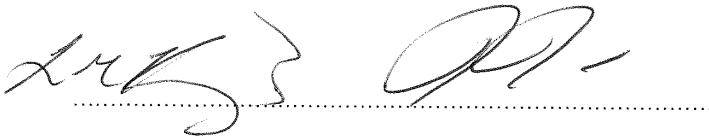
WITNESS SIGN.....

NAME *MICHAEL GARRETO*
ADDRESS *20 Dunbar St Burnie*
OCCUPATION *MANAGER*

SIGNED BY THE REGISTERED PROPRIETOR OF
CERTIFICATE OF TITLE 168644-600, 110678-2

LINDY JANE MCKENZIE

MARK SHANE MCKENZIE



WITNESS SIGN.....

NAME *MICHAEL GARRETO*
ADDRESS *20 Dunbar St.*
OCCUPATION *Burnie*

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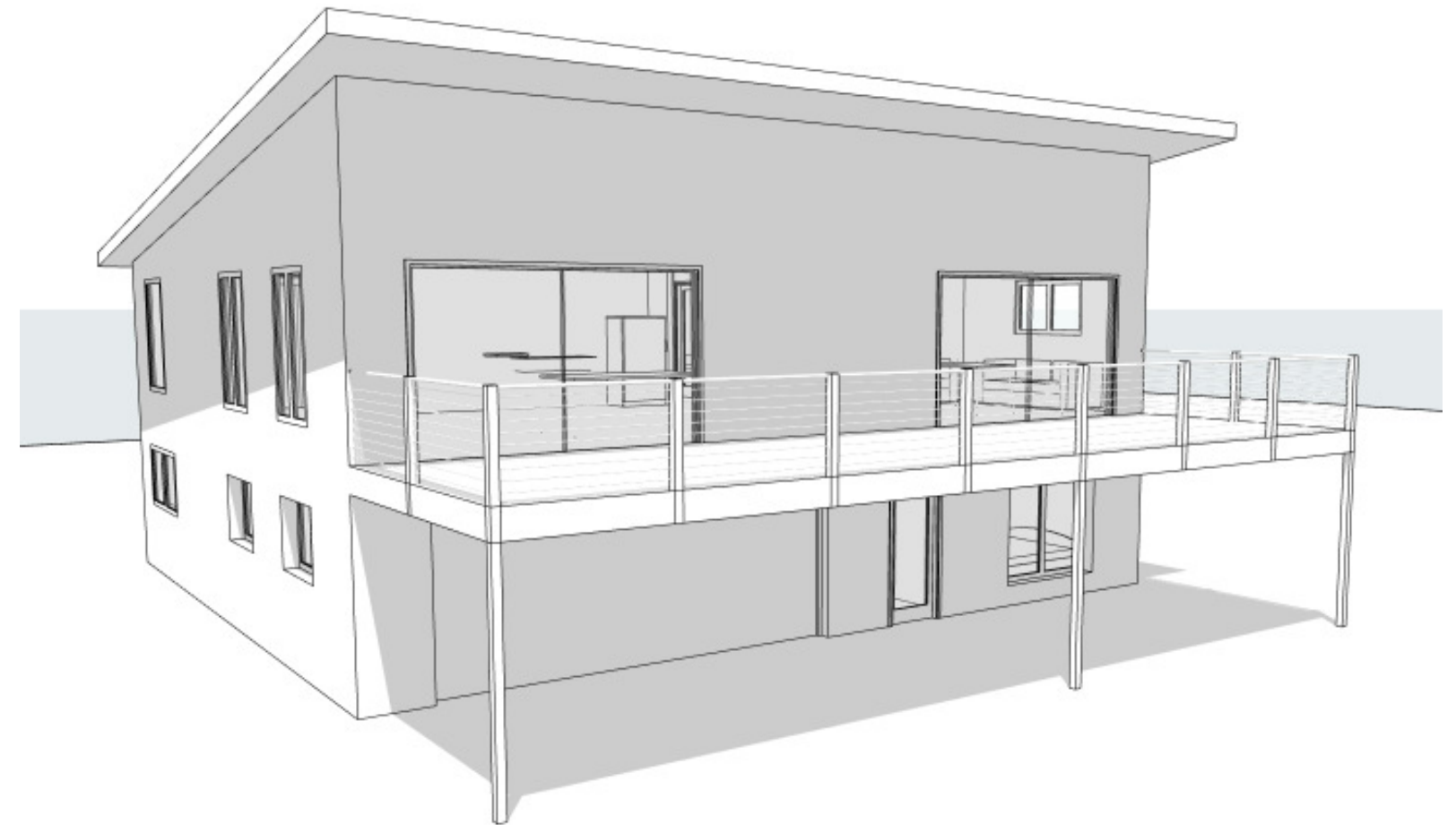
**PROPOSED MULTI DWELLING
18 LODI COURT
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE**

DRAWING SCHEDULE

DWG -SHEET 1	COVER SHEET
DWG -SHEET 2	SITE PLAN
DWG -SHEET 3	FLOOR PLAN / WINDOW SCHEDULE
DWG -SHEET 4	GROUND FLOOR PLAN
DWG -SHEET 5	ELEVATIONS
DWG -SHEET 6	ELEVATIONS
DWG -SHEET 7	SECTION A-A
DWG -SHEET 8	WALL CONSTRUCTION DETAILS
DWG -SHEET 9	WATER PROOFING DETAILS
DWG -SHEET 10	SPECIFICATION SHEET
DWG -SHEET 11	AERIAL VIEW
DWG -SHEET 12	FULL SITE PLAN

SITE INFORMATION

BUILDING DESIGNER	-	STEPHEN LAWES
ACCREDITATION	-	CC 4667 J
LAND TITLE REFERENCE No	-	VOLUME 181222 FOLIO 201
LAND AREA	-	1.852 ha
UPPER DWELLING AREA	-	132 m2
GROUND DWELLING AREA	-	138 m2
TOTAL DWELLING AREA	-	270 m2
TIMBER DECK AREA	-	45 m2
EXISTING DWELLING AREA	-	52 m2
DESIGN WIND SPEED	-	N2
SOIL CLASSIFICATION	-	S
CLIMATE ZONE	-	7
FLOODING	-	NO
BAL RATING	-	TBA
CORROSION ENVIROMENT	-	MEDIUM



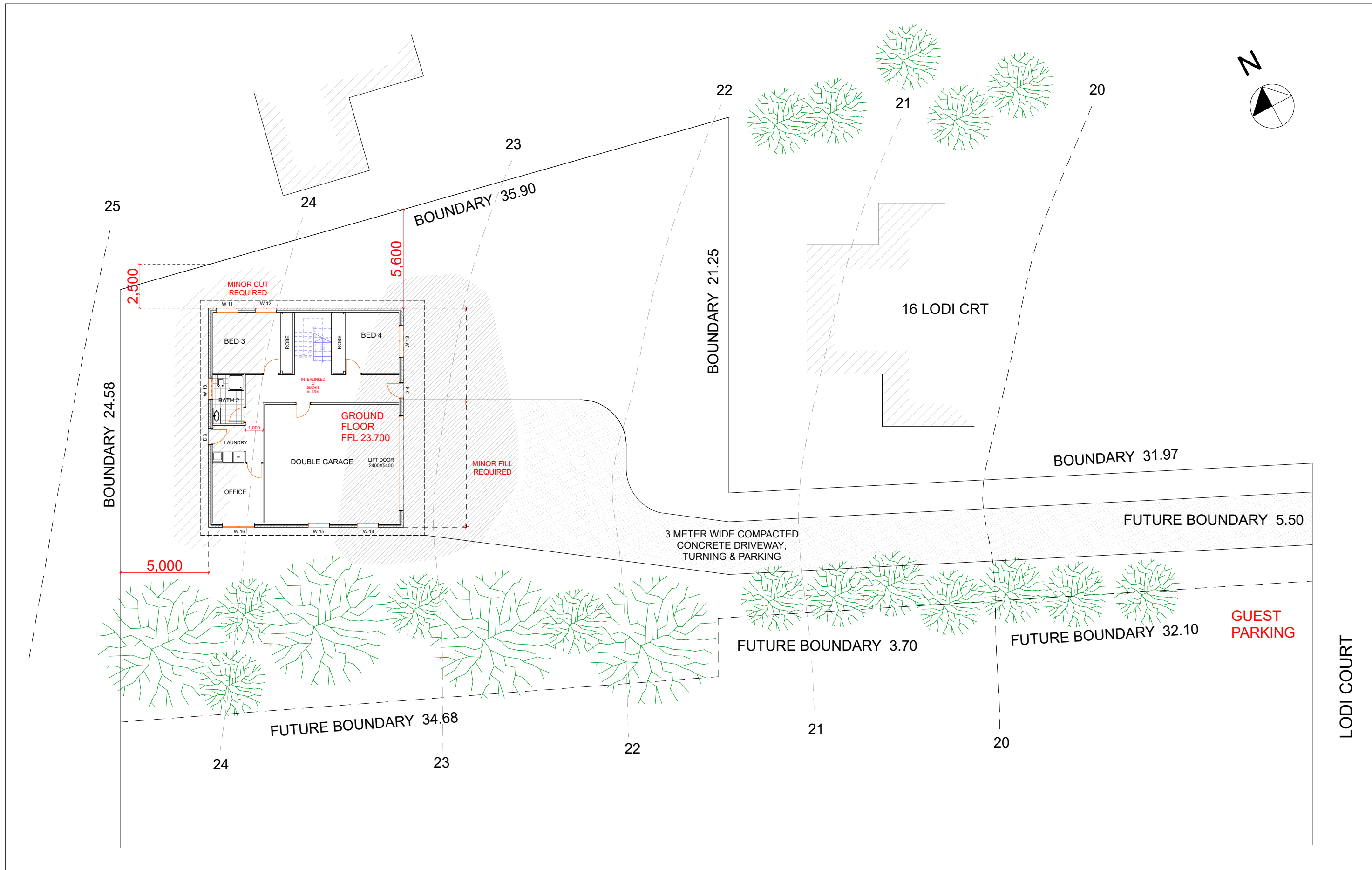
ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

**ADORN
DRAFTING**
MBL 0413 235 160
E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMeadOWS 7249
DRAWN BY FC

**PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE**

DRAWING	COVER SHEET
DATE	2/12/2025
DWG 754	SHEET 1
SCALE	



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
 ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
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 E-MAIL : stephenlawes@aapt.net.au

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 CC 4667 J
 CATEGORY ABP I
 25 JILLIAN ST
 KINGSMEADOWS 7249
 DRAWN BY FC

PROPOSED MULTI DWELLINGS
 18 LODI COURT,
 BICHENO, TAS 7215
 FOR MARK & LINDY MCKENZIE

DRAWING	SITE PLAN
DATE	2/12/2025
DWG 754	SHEET 2
SCALE	1:200

CONDENSATION MANAGEMENT

PROVIDE ROOF VENTILATION IN ACCORDANCE WITH NCC 2022 PART 10.8 -CONDENSATION MANAGEMENT

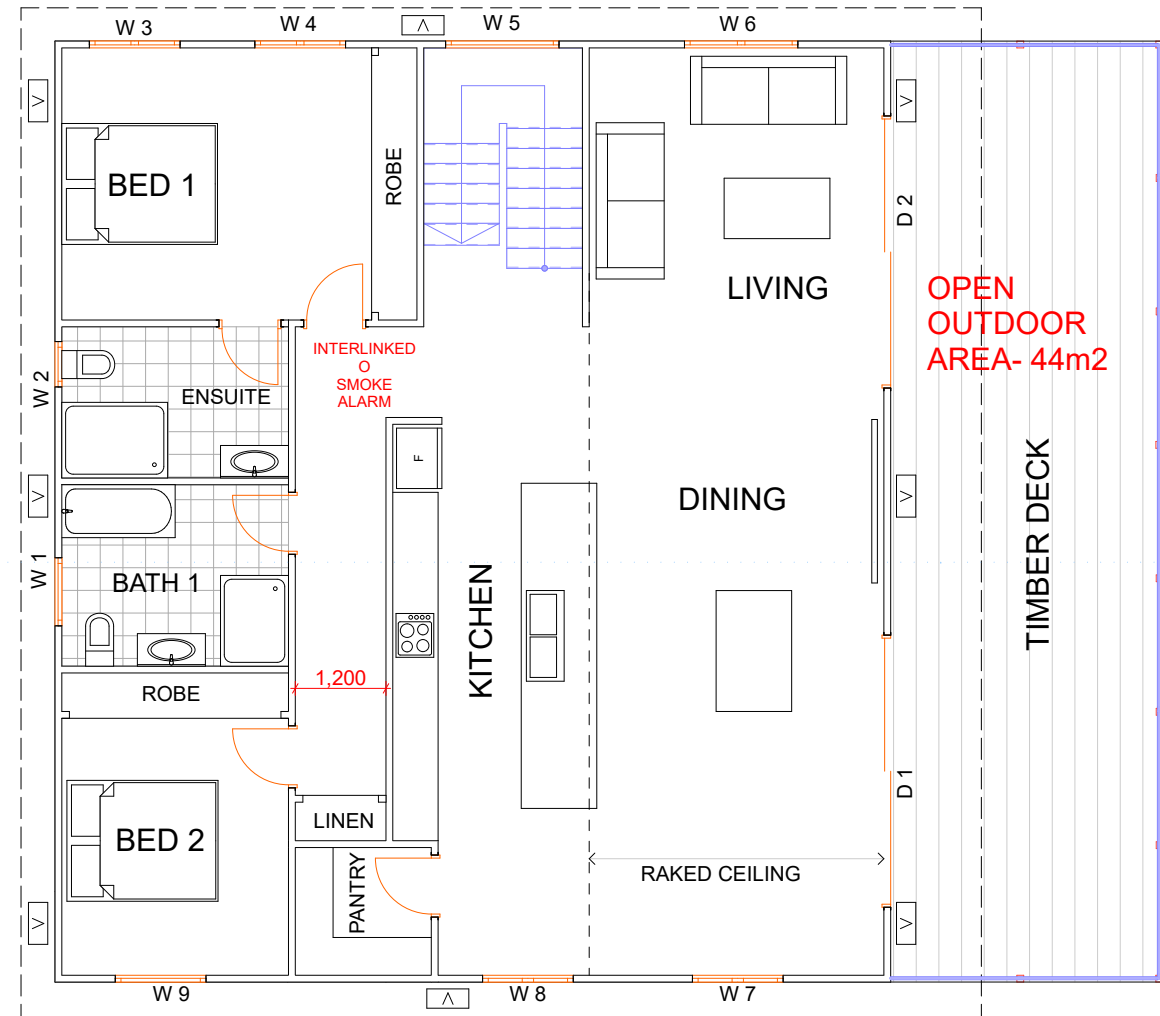
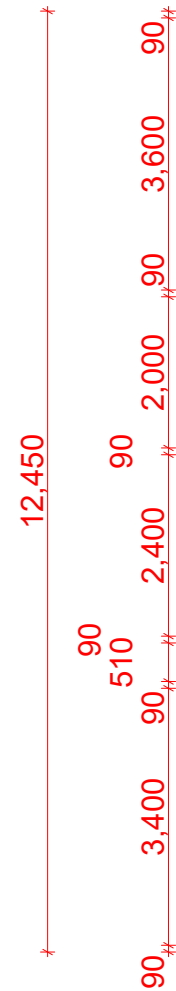
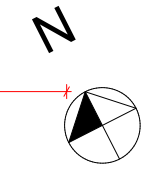
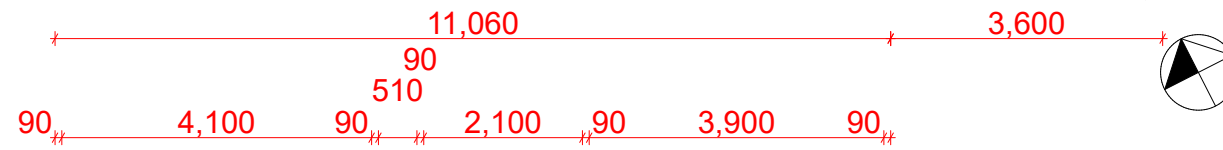
INSTALL VENTS TO EAVES AND GABLE ENDS WHERE SHOWN ON FLOOR PLAN AND ELEVATIONS 182.5 m2 - MINIMUM 1.21 m2 OF VENTS

EXHAUST SYSTEMS FROM KITCHEN, LAUNDRY, TOILETS AND BATHROOMS TO BE VENTED TO OUTDOOR AIR IN ACCORDANCE WITH NCC 2022 PART 10.8.2

PERMEABLE VAPOUR BARRIER TO WALLS AND GABLE ENDS

SARKING TO FINISH AT EACH TOP BATTEN TO ALLOW AIRFLOW THROUGH RIDGECAP

REFER TO GUIDANCE IN THE "GUIDE FOR CONTROL OF CONDENSATION AND MOULD IN TASMANIAN HOMES" THAT SHOULD BE ADHERED TO WHERE POSSIBLE.



WINDOWS AND DOOR SIZES WRITTEN IN SCHEDULE ARE TO BE CROSS CHECKED WITH FLOOR PLANS AND ELEVATIONS BY BUILDER FOR ANY ANOMALIES PRIOR TO QUOTING AND ORDERING

WINDOWS / DOORS TO COMPLY WITH THE NOTED BAL RATING

WINDOW AND DOOR SCHEDULE -ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED UNLESS NOTED OTHERWISE

WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE, WHERE ALTERNATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.

	HEIGHT	WIDTH	TYPE	GLASS
W 1	900x900		AWN	OBS
W 2	900x600		AWN	OBS
W 3	1800x1200		AWN	
W 4	1800x1200		AWN	
W 5	1500x1500		FIX	
W 6	900x1500		AWN	
W 7	1800x1200		AWN	
W 8	1800x1200		AWN	
W 9	1800x1200		AWN	
W 10	900x1200		AWN	OBS
W 11	1500x1200		AWN	
W 12	1500x1200		AWN	
W 13	1800x1800		AWN	
W 14	900x1200		AWN	
W 15	900x1200		AWN	
W 16	1000x1800		AWN	

DOORS			
D 1	2100X3600	SLD	FULL GLASS
D 2	2100X3600	SLD	FULL GLASS
D 3	2100X870		
D 4	2100X870		

INTERNAL DOORS
2040X870 UNLESS SHOWN OTHERWISE ON FLOOR PLAN

TIMBER LINTELS MGP IO	
0-1000	1/90X45
1000-1500	1/140X45
1500-2000	1/190X45
2000-2500	1/240X45
2500-3000	2/240X45

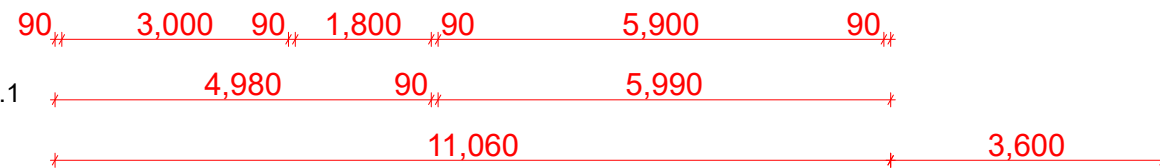
METAL LINTELS	
0-1200	75X10 BAR
1200-1500	75X75 10 ANGLE
1500-2400	125X75X10 ANGLE
2400-3000	150X90X10 ANGLE

FOR LINTELS OVER 3000 mm
SEE ENGINEER'S DRAWINGS

ROOF LOAD WIDTH
UP TO 4500 mm

ABCB - LIVABLE HOUSING DESIGN

- Reinforcement of bathroom in accordance with Figure 8.1
- Reinforcement of toilet walls in compliance with Figure 8.2
- Step-free shower access in accordance with Part 7.2.2 and Figure 7.1
- Front door width in accordance with Part 4.3 and Figure 4.1
- Internal doors and corridor width in accordance with Part 5.2, 5.3 and Figure 5.1
- Toilets to have circulation in accordance with Part 6.4 and Figure 3.6
- Step-free, level entry to compliance with Part 4.3 and Figure 4.2



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
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PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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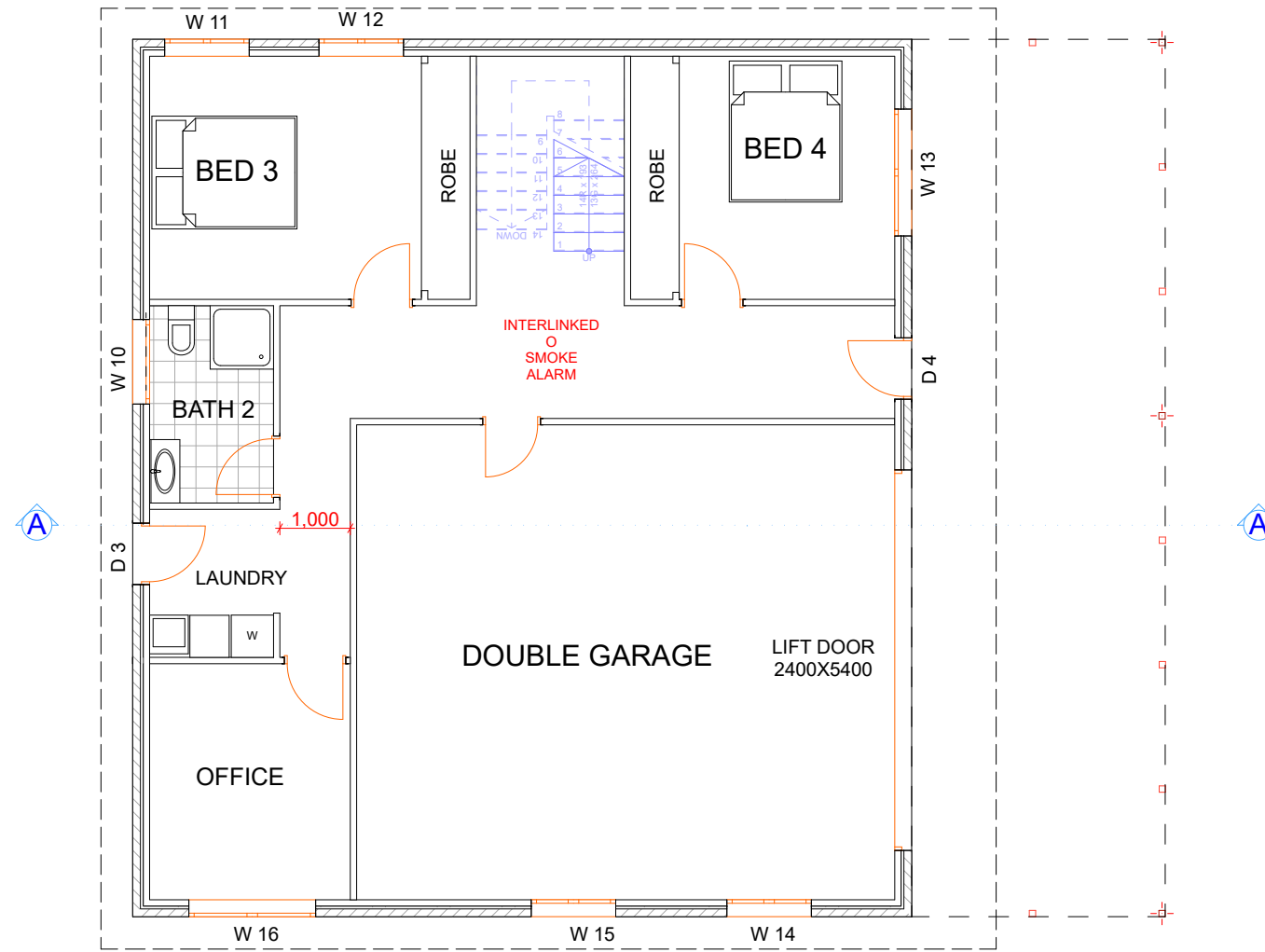
PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE

DRAWING	UPPER FLOOR PLAN
DATE	2/12/2025
DWG 754	SHEET 3
SCALE	1:100

11,060
 240 4,550 90 2,100 90 3,750 240



12,450
 3,590 90 8,770
 240 3,350 90 2,100 90 2,800 90 3,450 240



12,450
 6,740 90 1,600 90 3,450 240
 6,980 90 5,380

240 2,850 90 7,640 240
 11,060

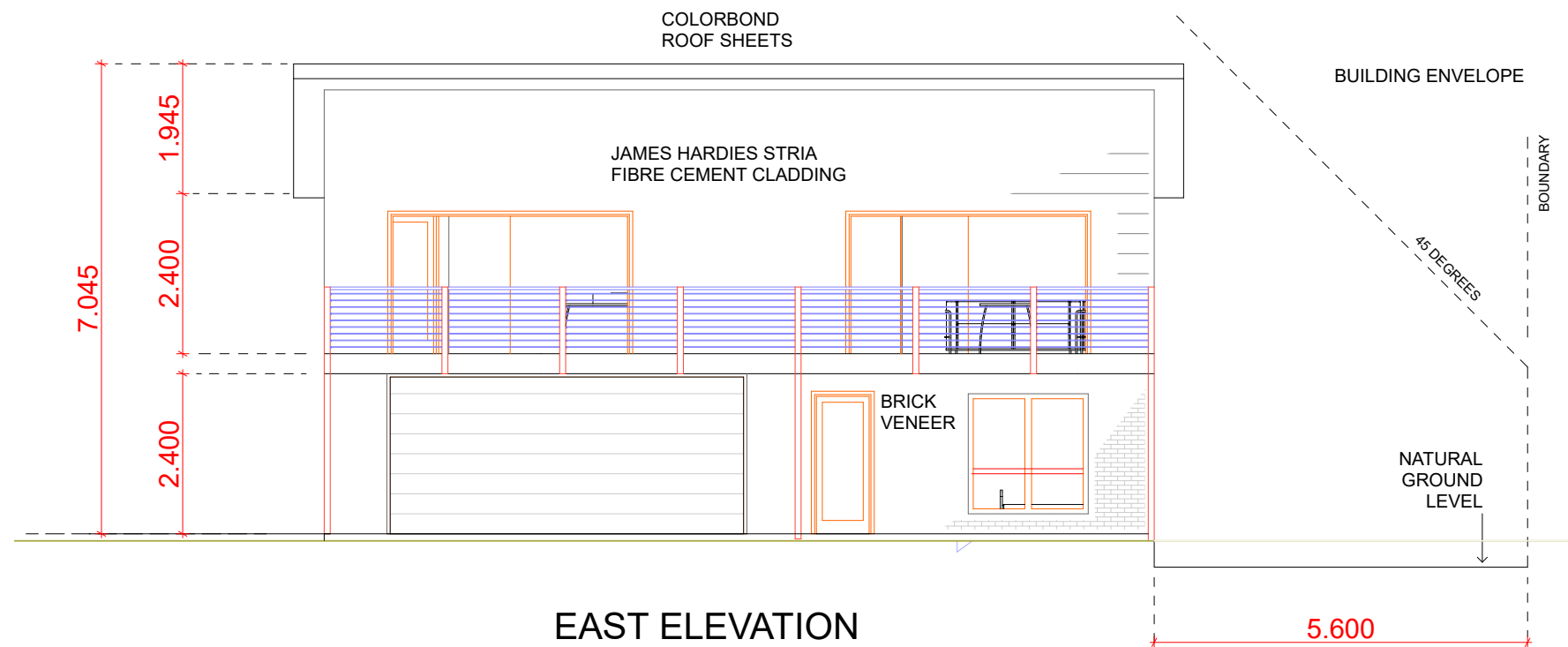
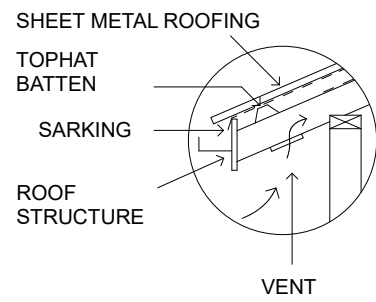
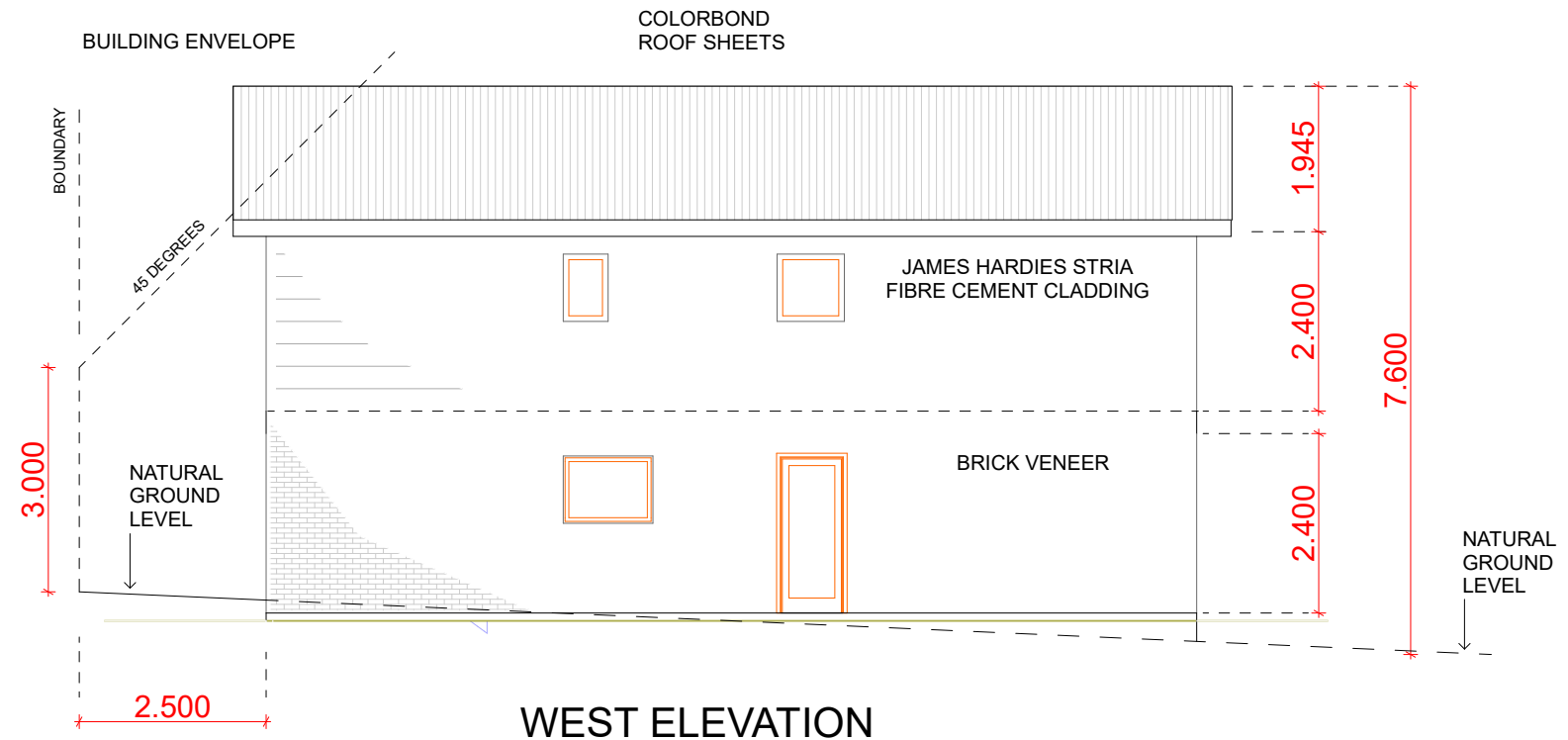
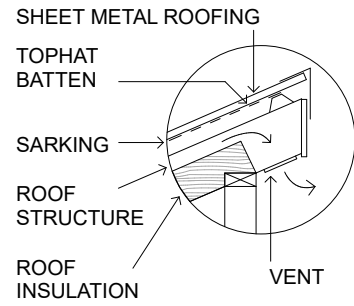
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DRAWING	GROUND FLOOR
DATE	2/12/2025
DWG 754	SHEET 4
SCALE	1:100



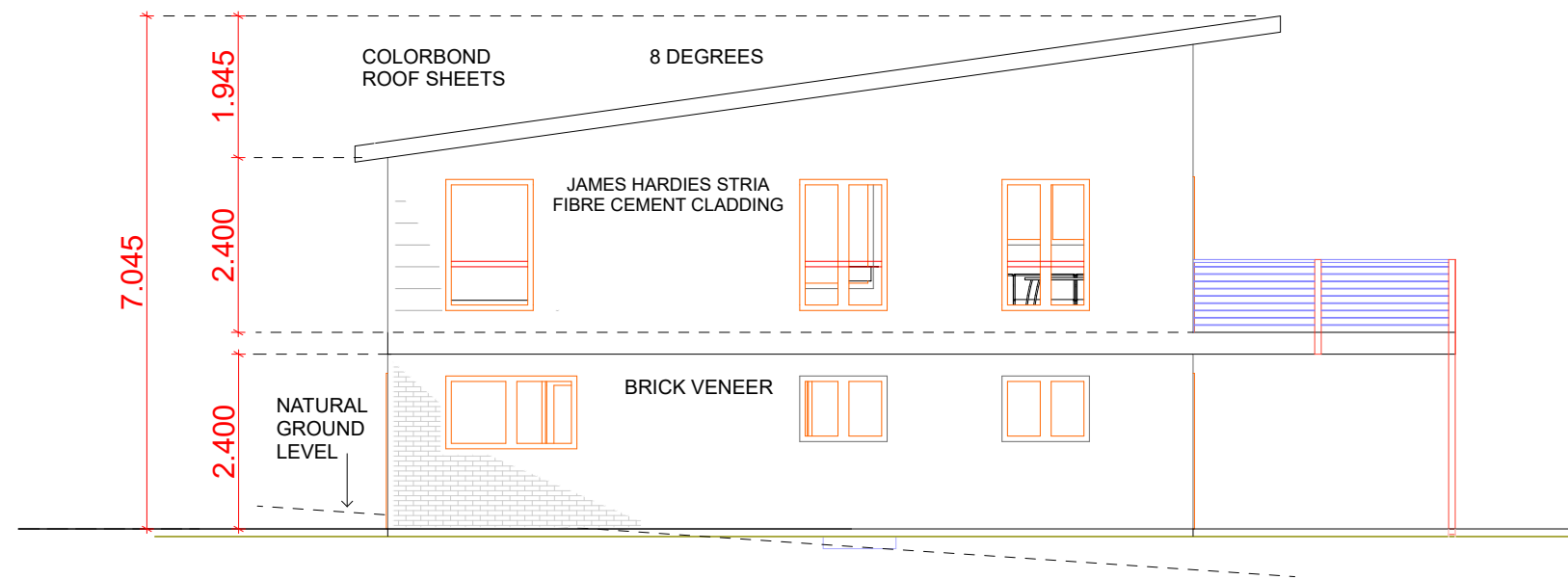
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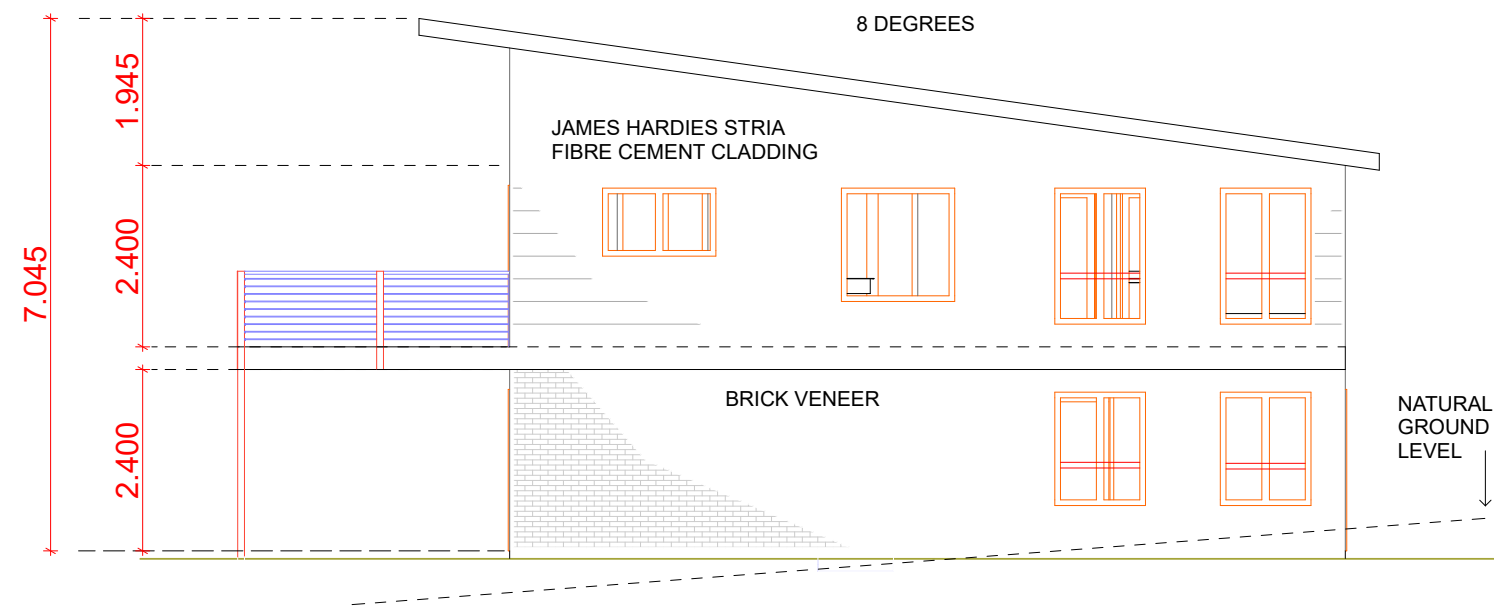
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KINGSMeadOWS 7249
DRAWN BY FC

PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
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DRAWING	NS ELEVATIONS
DATE	2/12/2025
DWG 754	SHEET 5
SCALE	1:100



SOUTH ELEVATION



NORTH ELEVATION

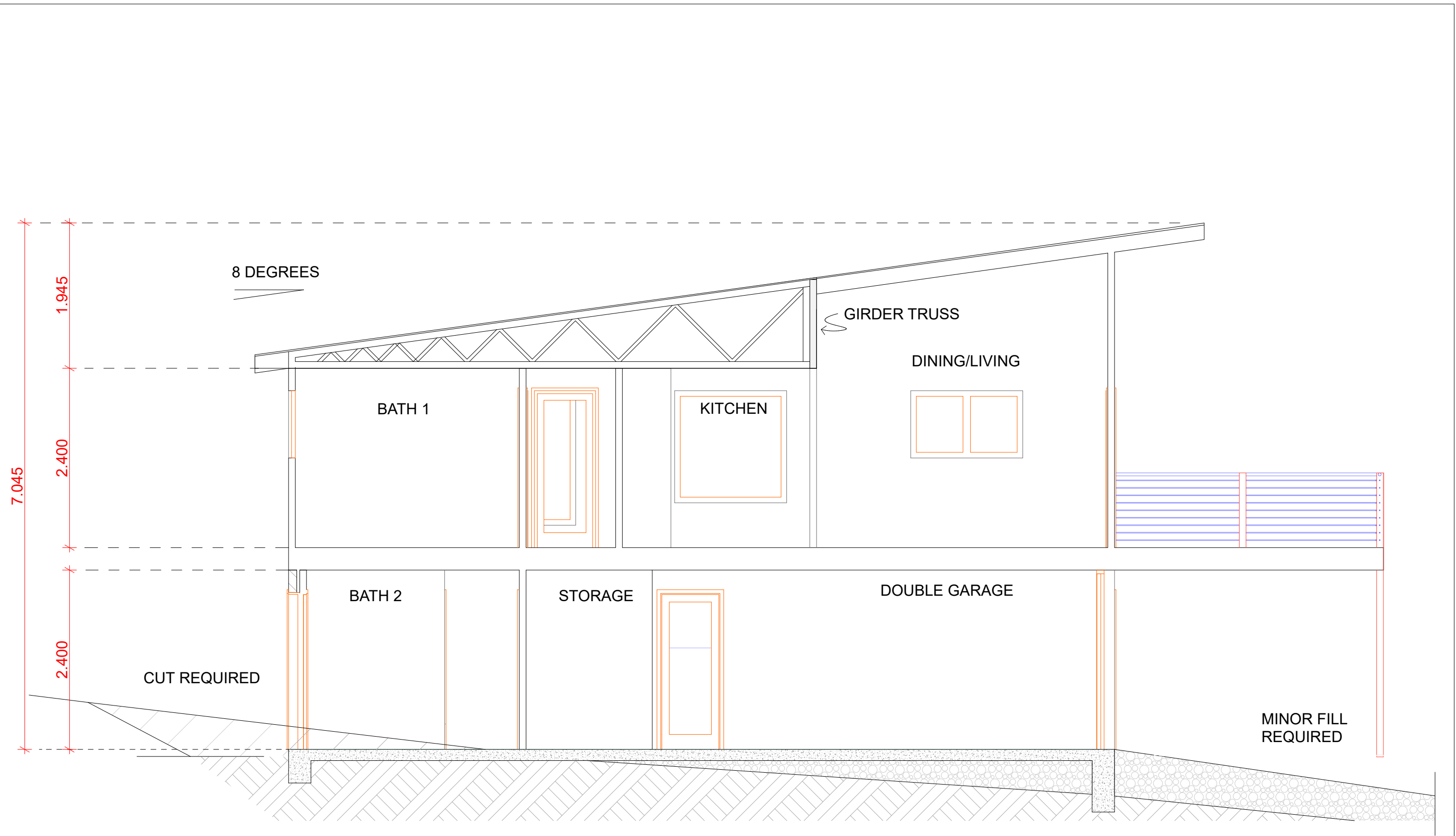
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 BICHENO, TAS 7215
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DRAWING	EW ELEVATIONS
DATE	2/12/2025
DWG 754	SHEET 6
SCALE	1:100



SECTION A-A

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
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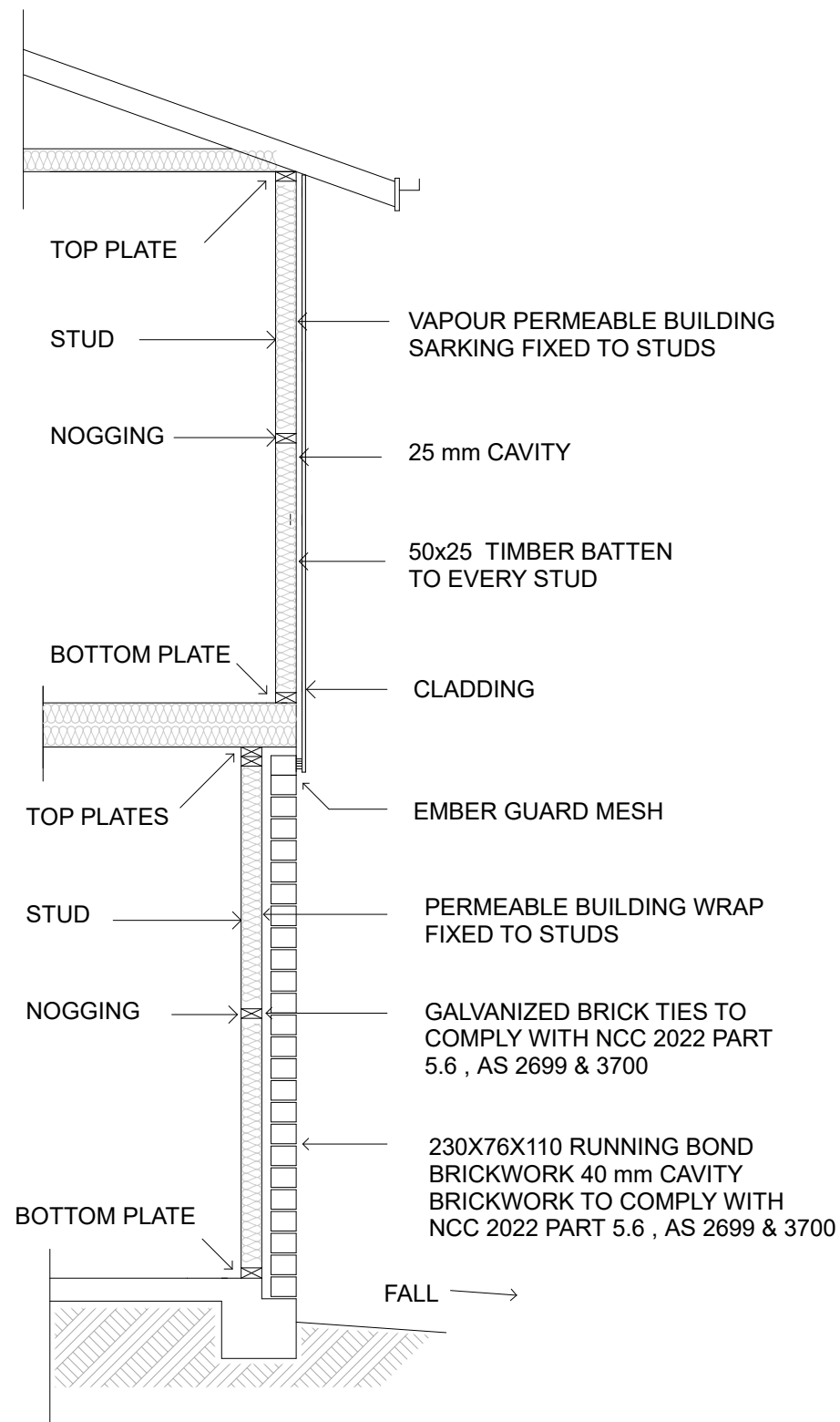
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PROPOSED MULTI DWELLINGS
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 BICHENO, TAS 7215
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DRAWING	SECTION AA
DATE	2/12/2025
DWG 754	SHEET 7
SCALE	1:50

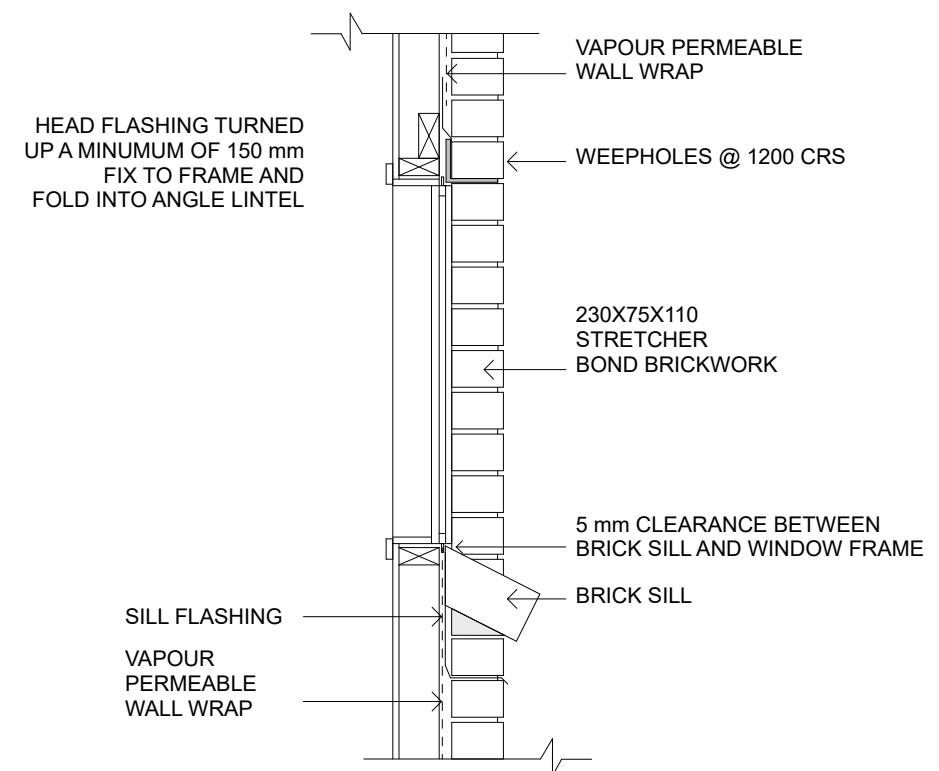
TYPICAL WALL SECTION



WALL CONSTRUCTION DETAILS

CONDENSATION MANAGEMENT
TO COMPLY WITH NCC PART 10.8
PERFORMANCE REQUIREMENTS
AND MAUFACTURERS
INSTALLATION GUIDE

TYPICAL WINDOW SECTION



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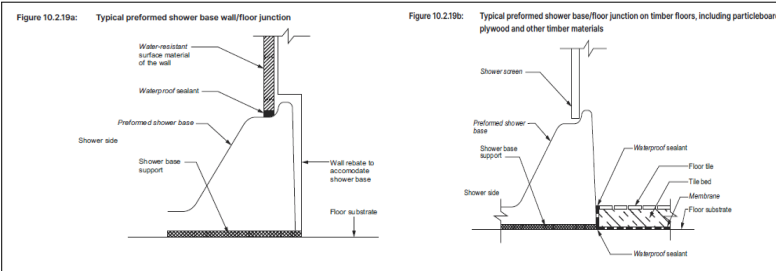
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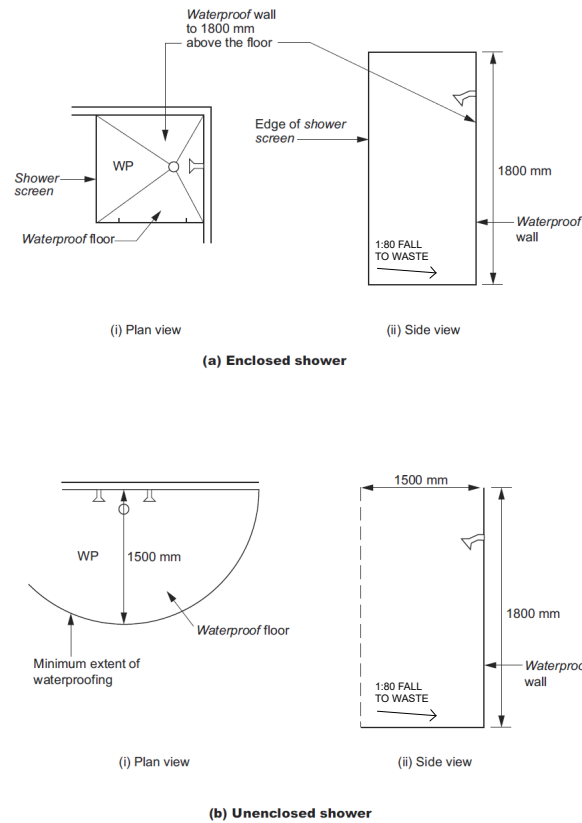
DRAWING	WALL CONST DETAILS
DATE	2/12/2025
DWG 754	SHEET 8
SCALE	NTS



10.2.19 Preformed shower bases

Preformed shower bases must- (a) have an upturn lip (see Figure 10.2.19a and Figure 10.2.19b); and (b) be recessed into the wall to allow the water resistant surface materials and substrate materials to pass down inside the perimeter upturn lip of the shower base (see Figure 10.2.19a and Figure 10.2.19b); and (c) be supported to prevent distortion or cracking.

Figure 10.2.2: Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors

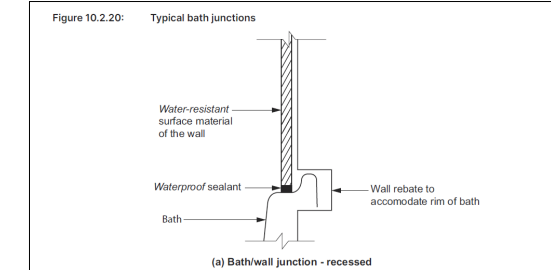


10.2.25 Shower area floor membrane application

For hobless showers, or showers with hobs or stepdowns, the membrane must be applied over the floor and up the vertical face of the wall substrate to a minimum height of 1800 mm above the finished tile level of the floor.

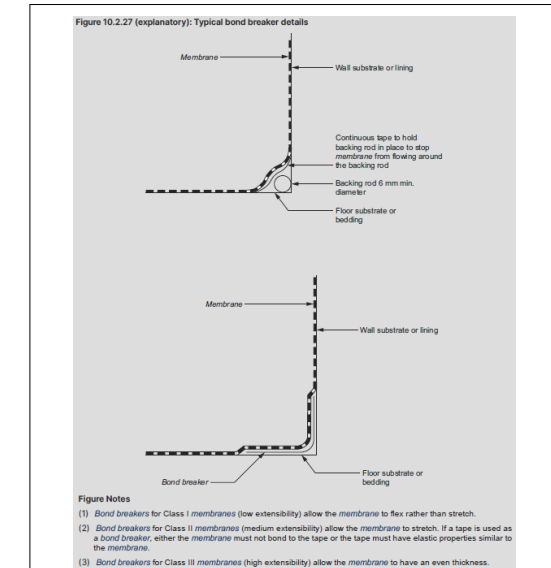
WET AREA WATERPROOFING ABCB HOUSING PROVISION Part 10.2

Compliance with AS 3740:2021 or Part 10.2 of the ABCB Housing Provisions satisfies Performance Requirement H4P1 for wet areas provided the wet areas are protected in accordance with the appropriate requirements of 10.2.1 to 10.2.6 and 10.2.12 of the ABCB Housing Provisions.



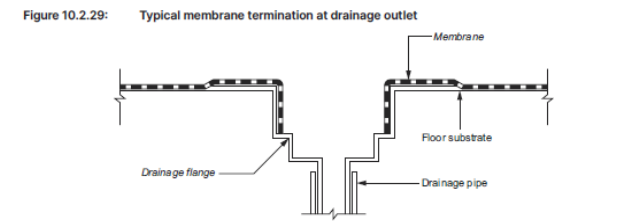
10.2.20 Baths and spas

Baths and spas, except freestanding baths and spas, must- (a) have an upturn lip; and (b) be recessed into the wall (see Figure 10.2.20); and (c) have the water resistant substrate materials of the wall pass down inside the upturn lip (see Figure 10.2.20).



10.2.27 Bond breaker installation for bonded membranes

(1) Bond breakers must be installed at all wall/wall, wall/floor, hob/wall junctions and at movement joints where the membrane is bonded to the substrate. (2) Bond breakers must be of the type compatible with the flexibility class of the membrane to be used.



10.2.29 Membrane to drainage connection

(1) Membrane drainage connections in concrete floors must comply with one of the following: (a) A drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29). (b) Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain. (2) For membrane drainage connections in other floors, a drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29). (3) Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain. (4) Floor wastes must be of sufficient height to suit the thickness of the tile and tile bed at the outlet position.

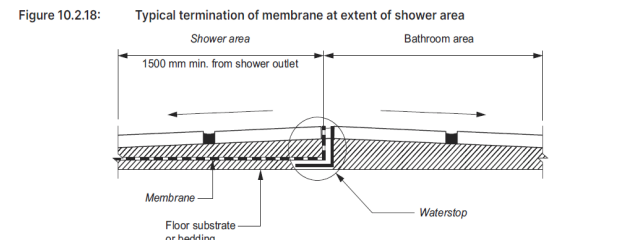


Figure Notes: Fall is to be provided in accordance with 10.2.12.

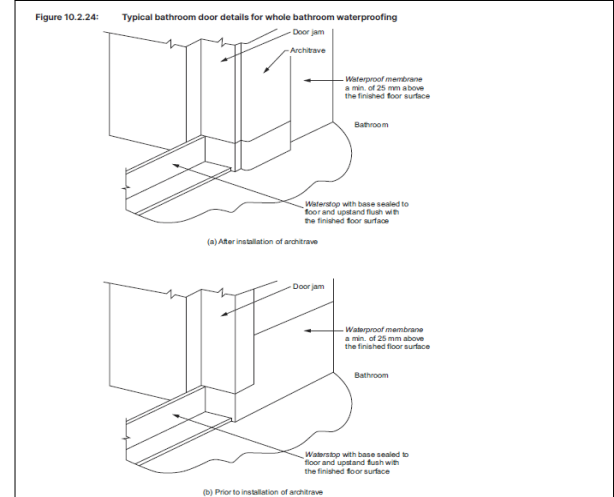
10.2.18 Unenclosed showers

(1) Unenclosed showers must be constructed as follows: (a) A waterstop must be installed a minimum horizontal distance of 1500 mm from the shower rose. (b) The vertical leg of the waterstop must finish- (i) flush with the top surface of the floor (see Figure 10.2.18); and (ii) where the waterstop intersects with a wall or is joined- (the junction must be waterproof; or (B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area. (2) In the case of (1)(b)(ii)(B), at doorways, where the height of the tiling angle needs to be adjusted for tiling purposes, the angle must be fixed with a sealant compatible with the waterproofing membrane without damaging the waterproofing system.

PERFORMANCE REQUIREMENTS FOR WET AREAS WHERE STANDARDS ARE NOT USED.

To protect the structure of the building and to maintain the amenity of the occupants, water must be prevented from penetrating- (a) behind fittings and linings; or (b) into concealed spaces,

of sanitary facilities, bathrooms, laundries and the like.



10.2.24 Flashings/junctions

Flashings must be installed in accordance with 10.2.2 to 10.2.5 and the following: (a) Perimeter flashing to wall/floor junctions must have a- (i) vertical leg that extends a minimum of 25 mm above the finished floor level, except across doorways; and (ii) horizontal leg that has a minimum width of not less than 50 mm. (b) Where a water resistant substrate is used in conjunction with a water resistant surface material, a waterproof sealant must be installed at the substrate junction at the wall/floor junction. (c) Perimeter flashings at a floor level opening must comply with the following: (i) Where the whole wet area floor is waterproof, at floor level openings, a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level with the floor membrane being terminated to create a waterproof seal to the waterstop and to the perimeter flashing (see Figure 10.2.24). (ii) In any other case, at a floor level opening a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level and waterproofed to the perimeter flashing. (d) A vertical flashing, either external to the wet area or internal, must extend a minimum of 1800 mm above the finished floor level.

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PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE

DRAWING	WATERPROOFING
DATE	2/12/2025
DWG 754	SHEET 9
SCALE	

GENERAL SPECIFICATIONS

BEFORE COMMENCING ANY WORK, QUOTING ON OR ORDERING ANY MATERIALS VERIFY DIMENSIONS, SETBACKS AND ALL EXISTING AND PROPOSED LEVELS.

IF DURING THE SETOUT AND CONSTRUCTION OF THE WORKS ANY DISCREPANCIES ARISE IN THE DIMENSIONS OR LOGIC THE DESIGNER SHOULD BE CONTACTED FOR CLARIFICATION AND ADVICE BEFORE WORK CONTINUES.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST "BUILDING REGULATIONS " AND "THE NCC 2022" AND AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR THE RELEVANT SITE WIND VELOCITY AND THE RELEVANT "AUSTRALIAN STANDARDS" FOR EACH ASPECT OF THE WORKS.

WHERE REQUIRED FOR BUILDING APPROVAL, THERE WILL ALSO BE A SOIL TEST AND STRUCTURAL DRAWINGS TO BE SUBMITTED AS PART OF THE THE BUILDING APPLICATION.

NOTE: DOOR AND WINDOW SIZES ARE NOMINAL ONLY/ OPENING SIZES ARE TO SUITE ACTUAL DOORS OR WINDOWS.

ENGINEERING

ARCHITECTURAL PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS WITH THE ENGINEERING DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL PLANS .

SITE WORKS AND GROUND LEVELS

EXCAVATION AND FILLING OF THE SITE TO BE IN ACCORDANCE WITH NCC 2022 PART 3.1 AND AS 2870 AND ANY SPECIAL DETAILS OR INSTRUCTIONS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.

SURFACE DRAINAGE-ALL FINISHED GROUND TO FALL AWAY FROM BUILDING 1 IN 50 (1 IN 100 MINIMUM). FINISHED SLAB LEVELS ARE TO BE 150 mm MINIMUM ABOVE FINISHED GROUND LEVEL AND 100 mm ABOVE PATHS AND A MINIMUM OF 50 mm BELOW HARD SURFACE AREAS . GARAGE DOORWAY TO BE SHAPED TO TAKE WATER AWAY.

FOOTINGS AND SLABS

GENERALLY TO BE IN ACCORDANCE WITH AS 2870 . PREPARATION AND PLACEMENT OF CONCRETE AND REINFORCEMENT TO BE TO AS 2870 CONCRETE AND STEEL REINFORCEMENT TO BE IN ACCORDANCE WITH AS 2870 - 2011 AND AS 3500.

ALTERNATIVELY FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS

THE SITE CLASSIFICATION TO BE IN ACCORDANCE WITH AS 2870- 2011. REFER TO SOIL REPORT FOR SITE CLASSIFICATION , IF ANY SOFT GROUND OR GROUND DIFFERENT FROM THE SOIL REPORT IS FOUND DURING EXCAVATION IT SHOULD BE REPORTED TO THE BUILDING SURVEYOR FOR INSTRUCTIONS.

FLOORS

TO COMPLY WITH 3.12.1.5 AND AS 1668.2 - SEE PLANS AND ENGINEERS DRAWINGS FOR MEMBER SIZES, SPACING AND RELEVANT SPECIFICATIONS

FRAMING

TIMBER FRAMING TO BE IN ACCORDANCE WITH AS 1684.2 2021 MANUFACTURED TIMBER MEMBERS TO BE IN ACCORDANCE WITH MANUFACTURERS PRESCRIBED FRAMING MANUAL.

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH NCC 2021 PART 6.2 SUBFLOOR AREA IS TO FREE OF ORGANIC MATERIAL AND RUBBISH. PROVIDE VENT OPENINGS IN SUBSTRUCTURE WALLS AT A RATE OF 7300 mm 2/M OF WALL LENGTH, WITH VENTS NOT MOE THAN 600 mm FROM CORNERS.

UNDERSIDE OF FLOOR FRAMING MEMBERS TO HAVE A MINIMUM CLEARANCE OF 150 mm WITHIN 2000 mm OF THE EXTERNAL SUBFLOOR WALLS AND 400mm TO ALL OTHER AREAS -SEE NCC TABLE 3.4.1.2 SUBFLOOR VENTILATION CLEARANCE.

TIE DOWN AND BRACING OF TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH SECTION 8 OF AS 1684.2 AND, AS 4055 AND ANY ENGINEERS DRAWINGS AND SPECIFICATIONS

STRUCTURAL STEEL FRAMING TO BE IN CCORDANCE WITH AS 1250, AS 4100 AND STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS.

ROOF TRUSSES

TO BE DESIGNED BY TRUSS MANUFACTURER ON APPROVED OR ACCREDITED SOFTWARE AND AN ENGINEERS CERTIFICATE, IS TO BE SUPPLIED BY THE MANUFACTURER. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES

TRUSSES SHALL BE HANDLED, ERECTED, INSTALLED AND BRACED IN ACCORDANCE WITH AS 4440 AND MANUFACTURERS SPECIFICATIONS.

TIE TRUSSES TO TOP PLATE OF EXTERNAL WALLS WITH PRYDA'S UNITIE BRACKETS -FIX WITH 4/35X3.15mm GALVANIZED CONNECTOR NAILS TO EACH END

TRUSS -BOTTOM CORD TO BE TIED TO INTERNAL WALLS WITH PRYDA HITCH STABILIZES -FIX WITH 3/35X3.15mm CONNECTOR NAILS TO TRUSS CORD AND 3 TO TOP PLATE

PRYDA SPEED BRACING INSTALLATION AS TO TRUSS MANUFACTURERS BRACING LAYOUT PLAN -FIX WITH 2/35X3.15mm CONNECTOR NAILS PER TRUSS AND TO MANUFACTURERS SPECIFICATIONS

MANUFACTURERS SPECIFICATION TO TAKE PRECEDENCE OVER THE ABOVE RECOMMENDED TIE DOWN OPTIONS

METAL FURRING CHANNEL SCREW FIXED @ 450 CRS TO BOTTOM CORD OF ROOF TRUSSES

BUILDING FABRIC

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 13.2 BUILDING FABRIC INSULATION INSULATION FITTED TO FORM CONTINUOUS BARRIER TO ROOF, CEILINGS WALLS AND FLOORS .

REFLECTIVE BUILDING MEMBRANE INSTALLED TO FORM 20 mm AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/CLADDING FITTED CLOSELY UP TO PENETRATIONS/OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED A MINIMUM OF 150 mm .

ROOF AND WALL CLADDING

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND : ROOF TILES AS 2049 AND AS 2050, METAL SHEET ROOFING AS 1562.1 , POLYCARB ROOF SHEETING AS/NZS 4256.1.2.3 AND AS 1562.3

GUTTERS AND DOWNPIPES, GENERALLY TO BE IN ACCORDANCE WITH THE NCC 3.5.2 AND AS/NZS 3500.3.2 AND THE PLUMBING CODE DOWNPIPES TO BE 90 mm DIA, OR 100 X 50 mm RECTANGULAR SECTION AT MAXIMUM 12,000mm CRS AND TO BE WITHIN 1200 mm OF A VALLEY WALL. CLADDING TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND MANUFACTURERS SPECIFICATIONS .

GLAZING

GENERALLY BE IN ACCORDANCE WITH AS 1288 - CLASS 'A' SAFETY GLASS TO BATHROOM WINDOWS BELOW 2000 mm , EXTERNAL GLAZING IN ACCORDANCE WITH THE NCC 3.1.2.2. . WINDOWS ARE TO COMPLY WITH THE NCC WINDOW SAFETY EQUIREMENTS. REFER ALSO TO DOOR AND WINDOW SCHEDULE

MASONRY

GENERALLY MASONRY WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 PART 5 AND AS 3700 UNREINFORCED MASONRY TO THE NCC 2022 5.4 MASONRY ACCESSORIES TO THE NCC 2022 NCC 2022 5.6 WEATHERPROOFING OF MASONRY TO THE NCC 2022 5.7

-SEE ENGINEERS DRAWINGS FOR SPECIFIC DETAILS AND POSITION OF CONTROL JOINTS.

INSULATION

TO MAINTAIN THICKNESS AND POSITION AFTER INSTALLATION INSURE CONTINUOUS COVER WITHOUT VOIDS EXCEPT AROUND SERVICES AND FITTINGS .

TYPICAL WALL FRAME

TO COMPLY WITH NCC 2022 PART 6 AND AS 1684. 200 mm HIGH BRICK VENEER WALLS 90X35 MGP IO PINE STUDS AND NOGGINGS, 90X35 MGP IO PINE TOP AND BOTTOM PLATES . BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS

10mm PLASTERBOARD TO WALLS AND CEILINGS INSULATION BATTS TO WALLS TO COMPLY WITH THE NCC 2022 13.2.3

ENERGY EFFICIENCY

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 PART 13 ENERGY EFFICIENCY TO COMPLY WITH THE CLIMATE ZONE AND STATES MINIMUM CURRENT STAR RATING REQUIREMENTS OR ABOVE.

SERVICES

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 13.7 HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH AS/NZS 3500

HEALTH AND AMENITY

GENERALLY IN ACCORDANCE WITH THE NCC 2022 SECTION 10

WET AREA WATERPROOFING

TO BE IN ACCORDANCE WITH AS 3740 AND WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, 1500 mm FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE TO A HEIGHT 1800 mm ABOVE FINISHED FLOOR

SHOWER AREA TO BE IN ACCORDANCE WITH THE NCC PART 10.2.2

WATERPROOFING TO COMPLY WITH NCC 10.2.6 WATERPROOFING SYSTEMS

FALL TO SHOWER WASTE TO BE 1:80 IN ACCORDANCE WITH AS 3740 4.4 AND NCC 10.2.12

WALL SURFACES ADJACENT TO PLUMING FIXTURES, BATHS ACT TO BE PROTECTED TO A HEIGHT OF 150 mm ABOVE FIXTURES, CEILING HEIGHTS TO BE IN ACCORDANCE WITH THE NCC 2022 PART H4

FACILITIES

GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 10.4 REQUIRED FACILITIES IN ACCORDANCE WITH 3.8.3.2 SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH THE NCC 2022 3.8.3.3 . PROVISIONS OF NATURAL LIGHT TO BE IN ACCORDANCE WITH THE NCC 2022 10.5.1 WINDOWS/ ROOF LIGHTS TO PROVIDE LIGHT TRANSMISSION ARE EQUAL TO 10 % OF FLOOR AREA OF THE ROOM.

VENTILATION TO BE IN ACCORDANCE WITH THE NCC 2022 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FROM BATHROOM/WC TO BE VENTED OUTSIDE FOR STEAL ROOF ANT TO ROOF SPACE FOR TILE ROOF, NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5 % OF THE FLOOR AREA, IN ACCORDANCE WITH THE NCC 2022 10.6.2

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

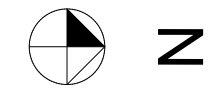
ADORN DRAFTING

MBL 0413 235 160
E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMEADOWS 7249
DRAWN BY FC

PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE

DRAWING	SPECIFICATIONS
DATE	2/12/2025
DWG 754	SHEET 10
SCALE	



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
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**ADORN
DRAFTING**

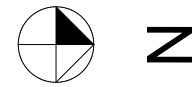
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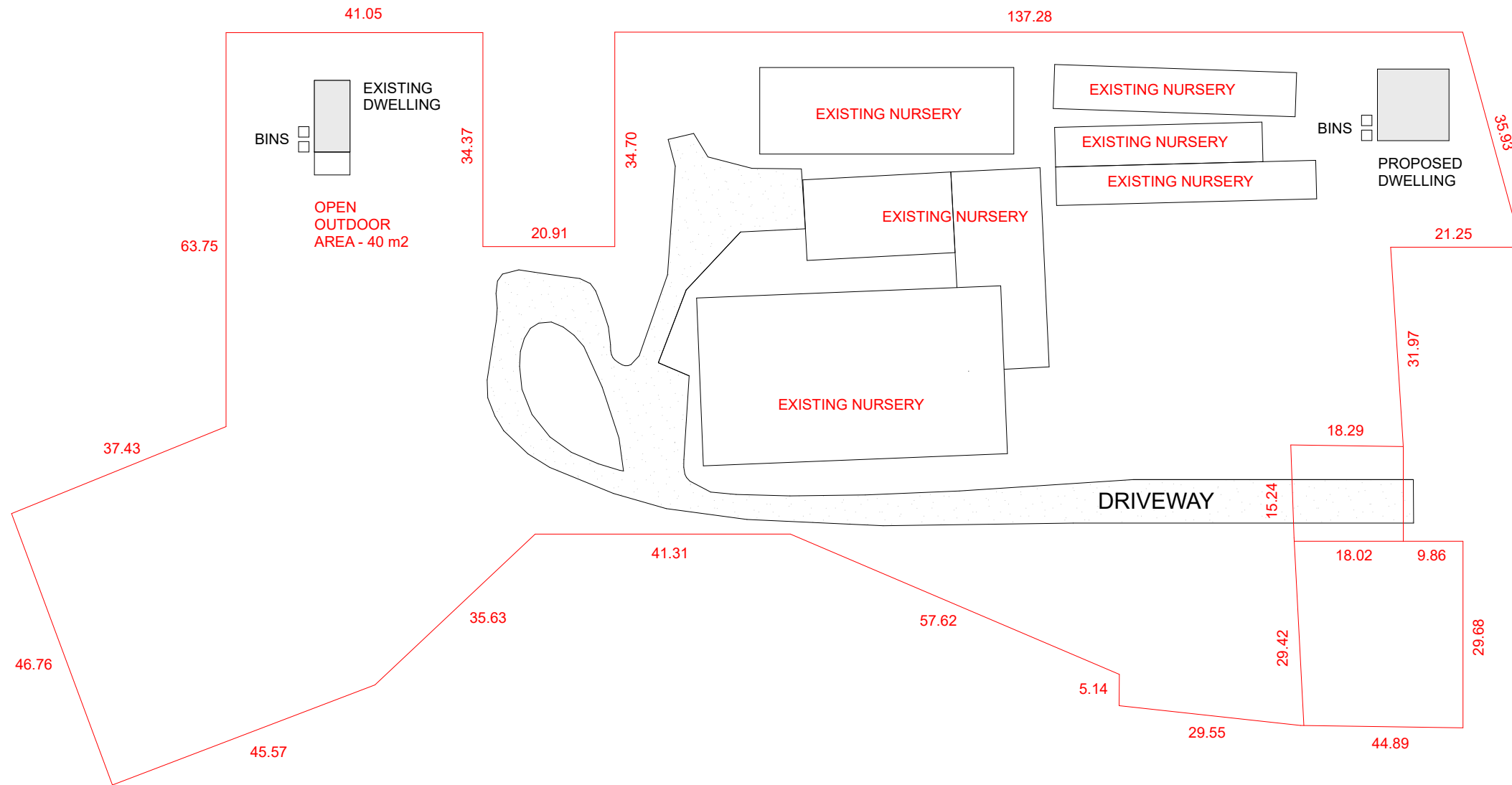
**PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE**

DRAWING
DATE
DWG 754
SCALE

AERIAL VIEW
2/12/2025
SHEET 11
NTS



BURGESS STREET



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

ADORN DRAFTING
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KINGSMEADOWS 7249
DRAWN BY FC

PROPOSED MULTI DWELLINGS
18 LODI COURT,
BICHENO, TAS 7215
FOR MARK & LINDY MCKENZIE

DRAWING	FULL SITE PLAN
DATE	2/12/2025
DWG 754	SHEET 12
SCALE	NTS

ADORN DRAFTING



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ACCREDITED
BUILDING
DESIGNER
CC 4667 J
CATEGORY ABP 1

18 Lodi Court, Bicheno – Planning application

Response to the 10.0 General Residential Zone which considers the multi dwellings.

The proposal for a multi dwelling is basically to allow the planning application to be lodged prior to the titles being completed for a portion of the land which is currently being subdivided.

That being said, I have shown guest parking on the full site plan, and the required minimum 24 m² open outdoor areas for both dwellings.

While the deck is not quite the minimum 4 meters wide, it is well over the area required. I have also shown the rubbish bin area which is generally required for multi dwelling Planning applications.

I hope this is adequate given the circumstances.

Yours Sincerely
Stephen Lawes