



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **17 Meika Place, Coles Bay**
CT 135803/11

PROPOSAL: **Outbuilding**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer.

Representations must be received before midnight on 29 April 2026.

APPLICANT: **P & J Sheds P/L**

DATE: **08/04/2026**

APPLICATION NO: **DA 2026 / 056**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	P & J sheds P/L		
Contact person: (if different from applicant)	Adrian Brown		
Address:	38 McIntyre Street		
Suburb:	Mornington, TAS	Post Code:	7018
Email:	a.brown@fairdinkumhobart.com.au	Phone: / Mobile:	62 444 300

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	17 Meika Place		
Suburb:	Coles Bay, TAS	Post Code:	7215
Size of site: (m ² or Ha)	1192m		
Certificate of Title(s):	135803 / 11		
Current use of site:	Residential		

General Application Details *Complete for All Applications*

Description of proposed use or development:	Outbuilding / Garage	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$.
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

For all Non-Residential Applications

Hours of Operation	N/A.
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

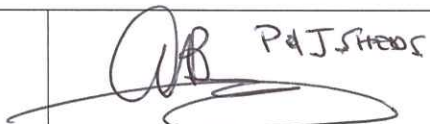
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	07/04/2026
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ADRIAN BROWN

Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 135803	FOLIO 11
EDITION 3	DATE OF ISSUE 12-Apr-2002

SEARCH DATE : 12-Mar-2026

SEARCH TIME : 09.45 am

DESCRIPTION OF LAND

Parish of MEREDITH, Land District of GLAMORGAN
 Lot 11 on Sealed Plan [135803](#)
 Derivation : Part of 655 acres Gtd. to S. W. Roberts
 Prior CT [122694/1](#)

SCHEDULE 1

[C362901](#) TRANSFER to
 Registered 12-Apr-2002 at noon

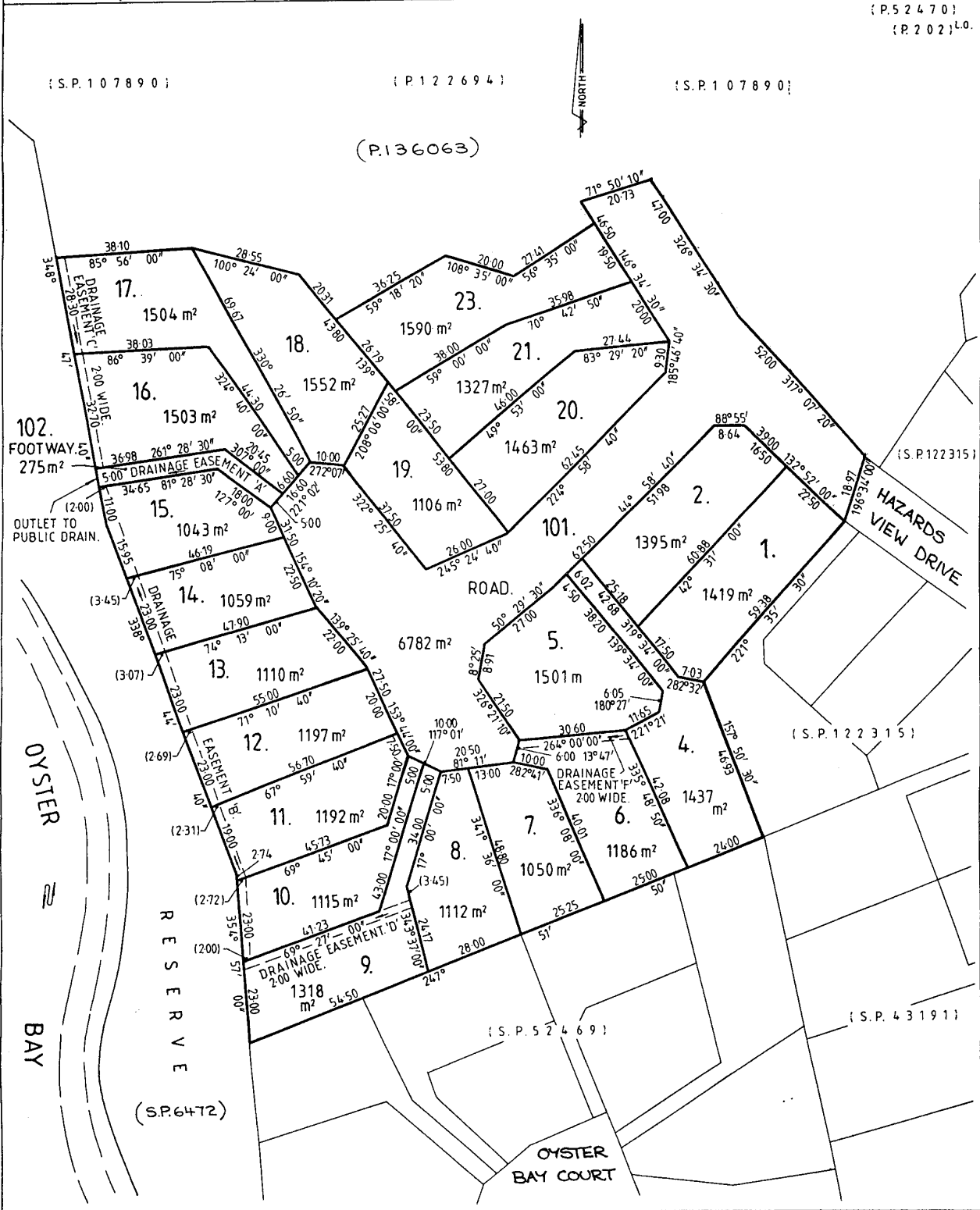
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [135803](#) EASEMENTS in Schedule of Easements
 SP [135803](#) COVENANTS in Schedule of Easements
 SP [135803](#) FENCING COVENANT in Schedule of Easements
 SP [135803](#) WATER SUPPLY RESTRICTION
 SP [135803](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP [6472](#) FENCING PROVISION in Schedule of Easements
 SP [107890](#) FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER AREESE HOLDINGS PROPRIETARY LIMITED <i>COOROLINA Pty LTD</i>	PLAN OF SURVEY BY SURVEYOR R.V.TAIT. — G.J.WALKEM & CO. LAUNCESTON.	REGISTERED NUMBER SP135803
FOLIO REFERENCE C.T.122694-1.	LOCATION LAND DISTRICT OF GLAMORGAN. PARISH OF MEREDITH.	APPROVED EFFECTIVE FROM 12 JUL 2001 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF 665 ACRES GTD. TO SAMUEL WELLS ROBERTS AND PETER JOHNSON SINCLAIR.	SCALE 1: LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No. 112. (6033-21)	LAST UPI No. FPB 21	LAST PLAN No. P.122694.
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP135803

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 101 on the Plan is together with a right of drainage over that part of Lot 102 marked "Drainage Easement A" on the Plan.

Lot 102 on the Plan is subject to a right of drainage (appurtenant to Lot 101 on the Plan) for the Glamorgan/Spring Bay Council over the "Drainage Easement A" shown on the Plan.

Lots 10, 11, 12, 13, 14 and 15 on the Plan are subject to a right of drainage in favour of the Glamorgan/Spring Bay Council over the area marked "Drainage Easement B" shown on the Plan.

Lots 16 and 17 on the Plan are subject to a right of drainage in favour of the Glamorgan/Spring Bay Council over the area marked "Drainage Easement C 2.00 wide" shown on the Plan.

Lot 9 on the Plan is subject to a right of drainage in favour of the Glamorgan/Spring Bay Council over the area marked "Drainage Easement D 2.00 wide" shown on the Plan.

COVENANTS

The owner of each Lot on the Plan (except the balance land) covenants with the Vendor (Cooroolina Pty. Ltd.) and the balance land to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit may be annexed to and devolve with each and every other part of every other Lot shown on the Plan and the balance land to observe the following stipulations:

- (a) That there shall not be erected on such Lot any buildings other than a private dwelling house and the buildings usually appurtenant thereto.

L Bain

[Signature]

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REF: C.T. 122694-1 SOLICITOR & REFERENCE: Douglas & Collins (G.W. Arnott)	PLAN SEALED BY: Glamorgan/Spring Bay Council DATE: REF NO. <i>[Signature]</i> Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP135803</p>
<p>SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 122694-1</p>	

- (b) That there shall not be erected on such Lot any dwelling house of a size less than 100 square metres exclusive of outbuildings.
- (c) Not to permit or allow any building (dwelling or otherwise) to be erected on the premises having outer walls made of second-hand or used building materials.
- (d) That there shall not be erected on such Lot or attached to any dwelling house or any outbuilding any advertisement hoarding bill or poster or any similar erection of an unsightly nature (except any notice or advertisement in the usual form for the sale or letting of such Lot or any building erected thereon).
- (e) Not to keep or allow to be kept on such Lot any greyhounds or poultry or any other animals for commercial purposes.
- (f) Not to permit or allow any engine or machinery worked or driven by steam, gas, electric or other mechanical power and used for any trade operation to be erected, affixed or placed on any part of such Lot.
- (g) Not to carry or permit to be carried on on such Lot or any part thereof any trade or business which may or become a public nuisance or private annoyance nor any noxious trade or business whatsoever.
- (h) Not to construct any "A Frame" style of building (for dwelling or otherwise).
- (i) Not to allow any caravan to be parked upon the Lot or any part thereof for any continuous period of 4 weeks or for any period greater than 6 weeks in any 12 month period.

The owner of Lot 5 on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) and the owners for the time being of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to observe the following stipulation, that is to say, not erect on any part of such Lot any building (whether dwelling house, garage, carport or other outbuilding) having a height greater than 1.5 metres above the highest part of the land forming such Lot.



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 122694-1	

The owner of Lot 18 on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) and the owners for the time being of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to observe the following stipulation, that is to say, not erect on any part of such Lot any building (whether dwelling house, garage, carport or other outbuilding) having a height greater than 1 metres above the highest part of the land forming such Lot.

The owner of Lot 19 on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) and the owners for the time being of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot on the Plan (other than the covenantor's Lot and the balance land) to observe the following stipulation, that is to say, not erect on any part of such Lot any building (whether dwelling house, garage, carport or other outbuilding) having a height greater than 2 metres above the highest part of the land forming such Lot.

FENCING COVENANT

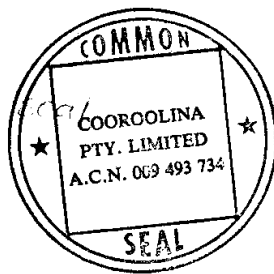
The owner of each Lot on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) that the Vendor shall not be required to fence.

INTERPRETATION

"the balance land" means the land remaining in Certificate of Title Volume 122694 Folio 1 after excepting thereout the Lots shown on the Plan.

THE COMMON SEAL of **COOROLINA PTY. LTD.** was hereunto affixed in accordance with its Constitution in the presence of:

Director *[Signature]*
 Print Full Name..... *FRANCIS LYNN BAIN*
 Director *[Signature]*
 Print Full Name..... *JOHN ALEXANDER BAIN*



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

NEW OUTBUILDING / GARAGE
17 MEIKA PLACE, COLES BAY
FOR

CERTIFICATE OF TITLE: VOLUME - 135803 FOLIO - 11
PID: 2044998
LAND AREA: 1192m²

PLANNING SCHEME: TASMANIAN PLANNING SCHEME
LOCAL PROVISIONS SCHEDULE
ZONE: 10.0 LOW DENSITY RESIDENTIAL
OVERLAYS: BUSHFIRE PRONE AREAS
LOW LANDSLIP HAZARD BAND
WATERWAY AND COSTAL PROTECTION AREA

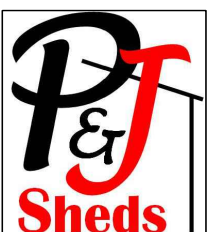
SOIL CLASSIFICATION: ASSUMED M
WIND REGION: A
TERRAIN CATEGORY: TC2
IMPORTANCE LEVEL: 2 (DOMESTIC)
SHIELDING: 1
TOPOGRAPHY: 1
CORROSIVE ENVIRONMENT: VERY HIGH
BAL: NOT REQUIRED (CLASS 10A STRUCTURE NOT WITHIN 6m OF DWELLING)

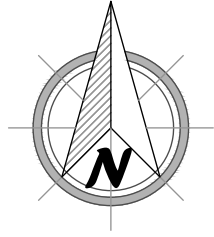
INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

PAGE 1 - SITE PLAN 1:200
PAGE 2 - ELEVATIONS 1:100
PAGE 3 - FLOOR PLAN 1:100
PAGE 4 - PLUMBING PLAN 1:100

ADDITIONAL DRAWINGS / ENGINEERING
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 100505





PROPOSED
OUTBUILDING / GARAGE
6m X 10.05m

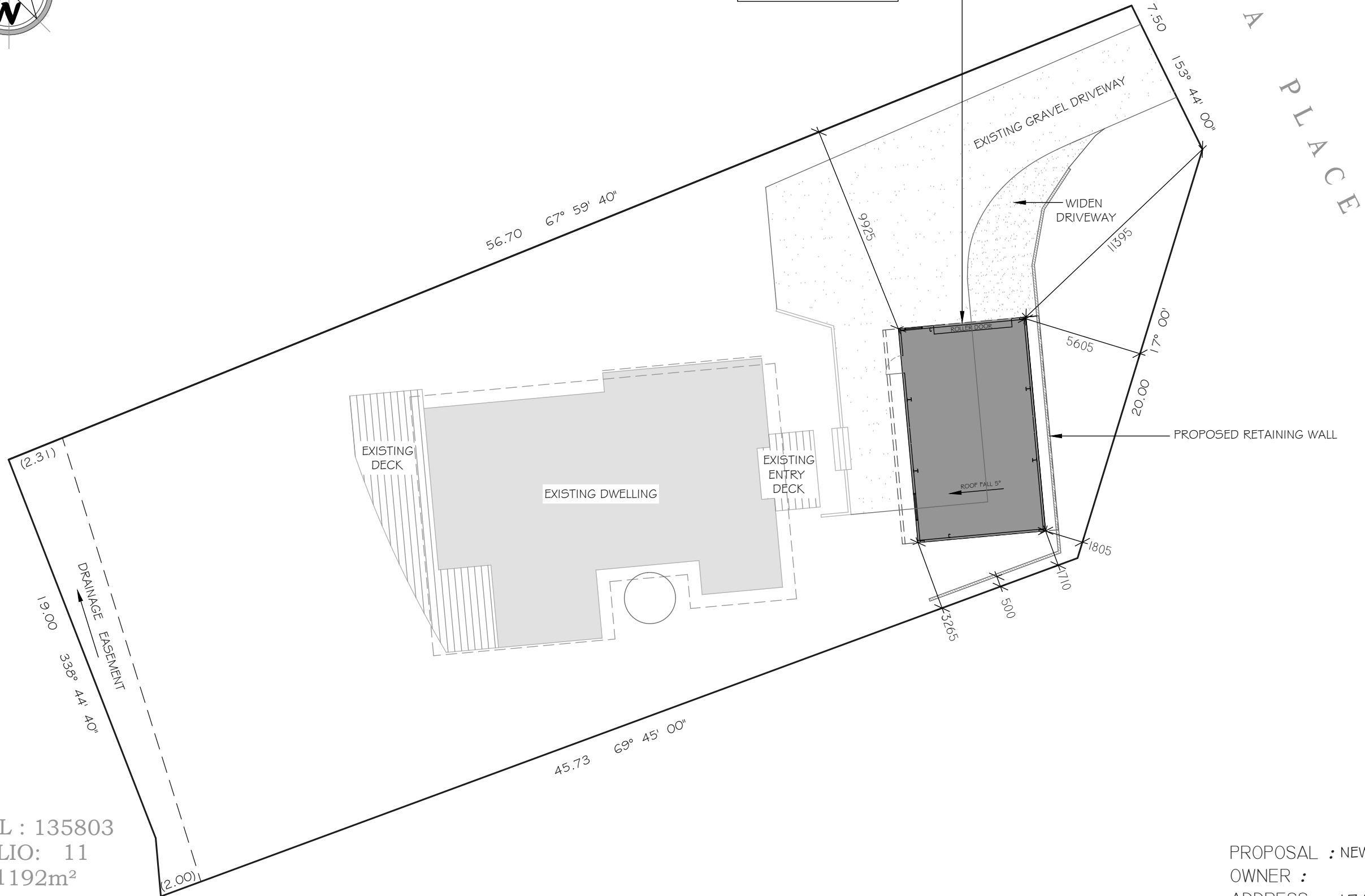
LOT AREA: 1192m²

EXISTING DWELLING AREA: 157.1m²

" ENTRY DECK AREA: 9m²

" MAIN DECK AREA: 35.2m²

PROPOSED OUTBUILDING / GARAGE AREA: 60.3m²

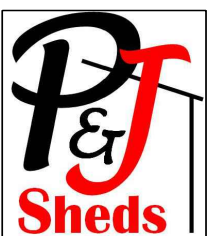


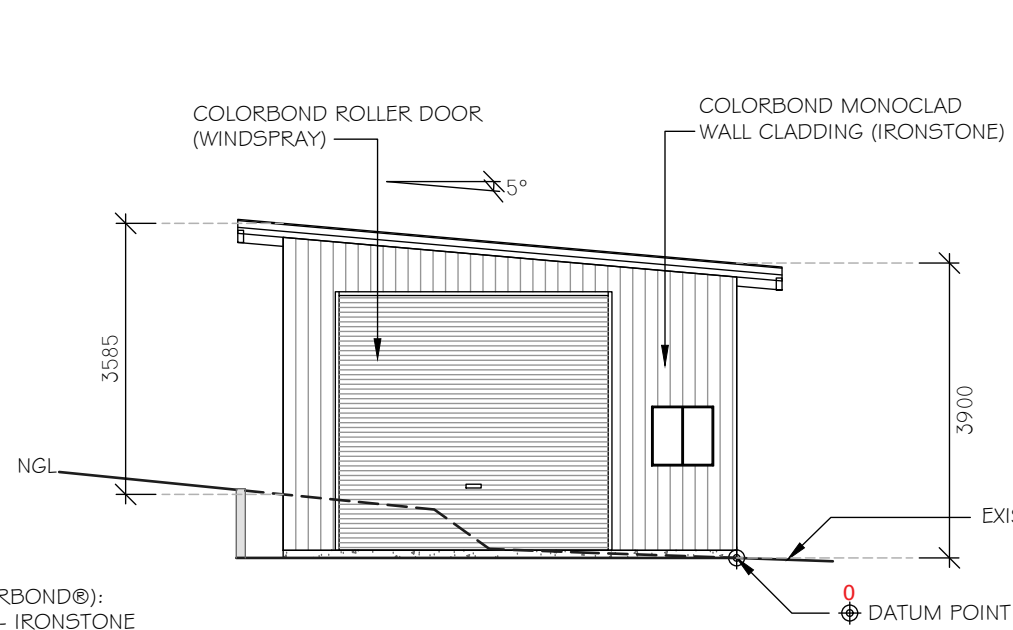
VOL : 135803
FOLIO: 11
1192m²

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

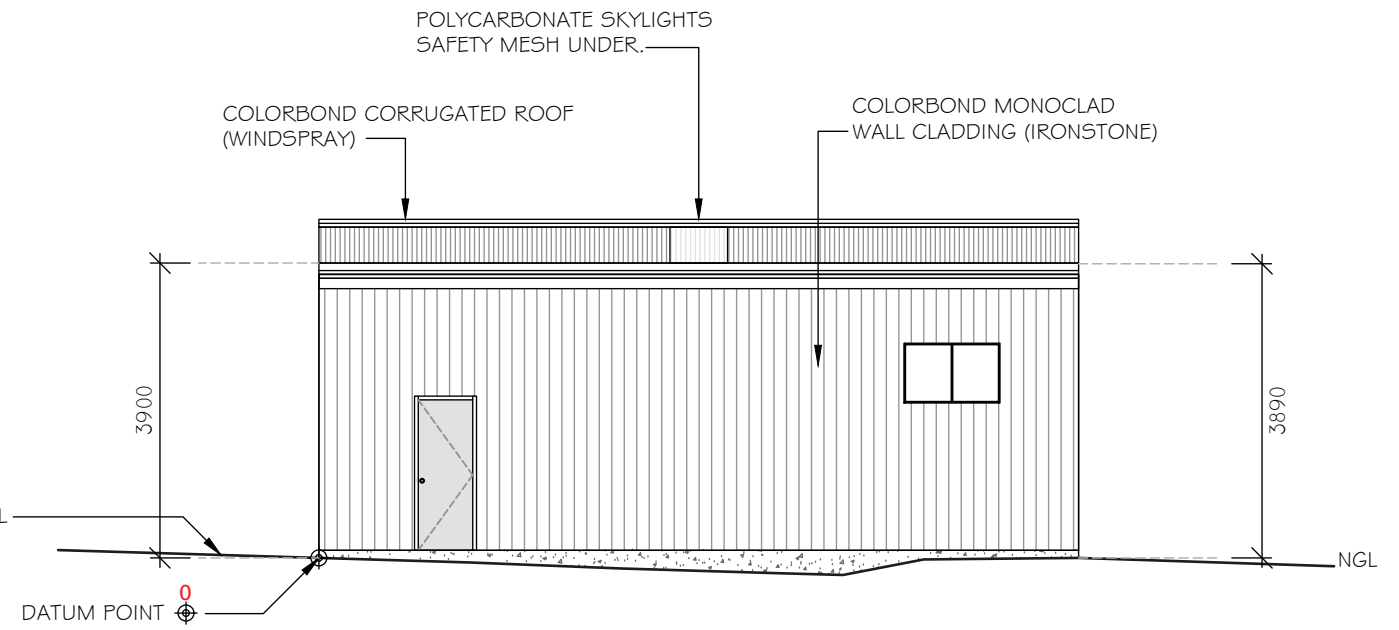
SITE PLAN 1:200

PROPOSAL : NEW OUTBUILDING / GARAGE
OWNER :
ADDRESS: 17 MEIKA PLACE, COLES BAY, 7215
SCALE: 1:200
DATE: 2nd APRIL 2026
AMENDED:
DRAWN BY: A. BROWN CC6003R
PAGE: 01/04
JOB NO : 100505



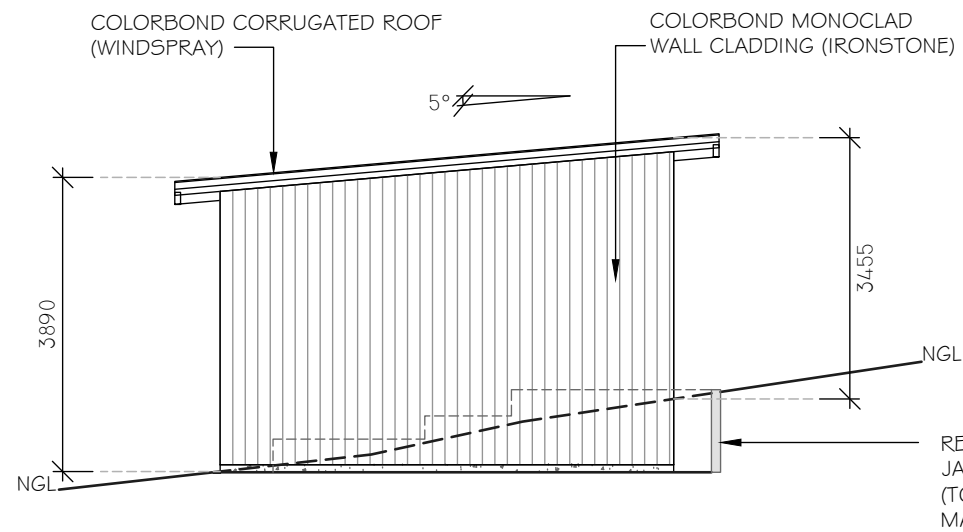


NORTH ELEVATION

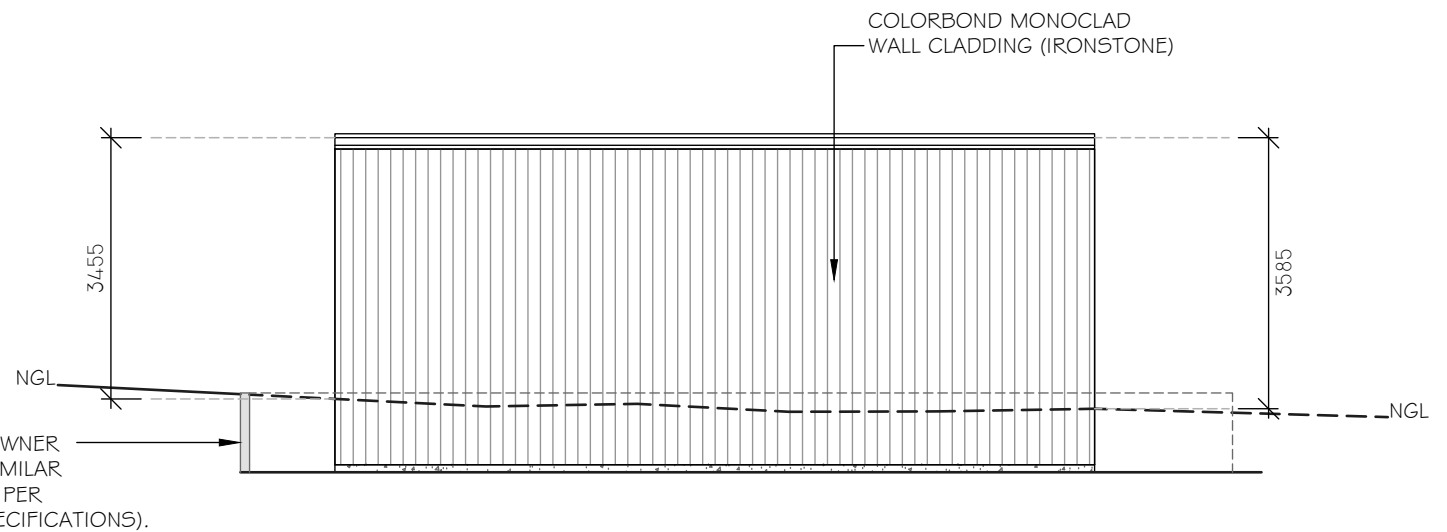


WEST ELEVATION

- COLOUR'S (COLORBOND®):
- EXT. WALLS - IRONSTONE
 - ROOF - WINDSPRAY
 - ROLLER DOOR - WINDSPRAY
 - PA DOOR - WINDSPRAY
 - WINDOW FRAME - WINDSPRAY
 - GUTTER - WINDSPRAY
 - CORNER FLASH - IRONSTONE
 - BARGE FLASHING - WINDSPRAY
 - OPENING FLASH - WINDSPRAY



SOUTH ELEVATION



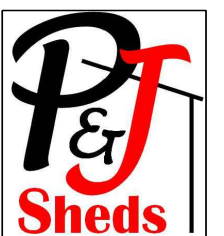
EAST ELEVATION

REFER TO DRAWINGS BY NORTHERN CONSULTING ENGINEERS FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

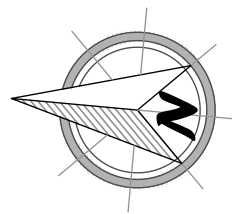
ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.

ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:
 SIDE WALL HEIGHT - 2400mm
 END WALL HEIGHT TO APEX - 2882mm

PROPOSAL : NEW OUTBUILDING / GARAGE
 OWNER :
 ADDRESS: 17 MEIKA PLACE, COLES BAY, 7215
 SCALE: 1:100
 DATE: 2nd APRIL 2026
 AMENDED:
 DRAWN BY: A. BROWN CC6003R
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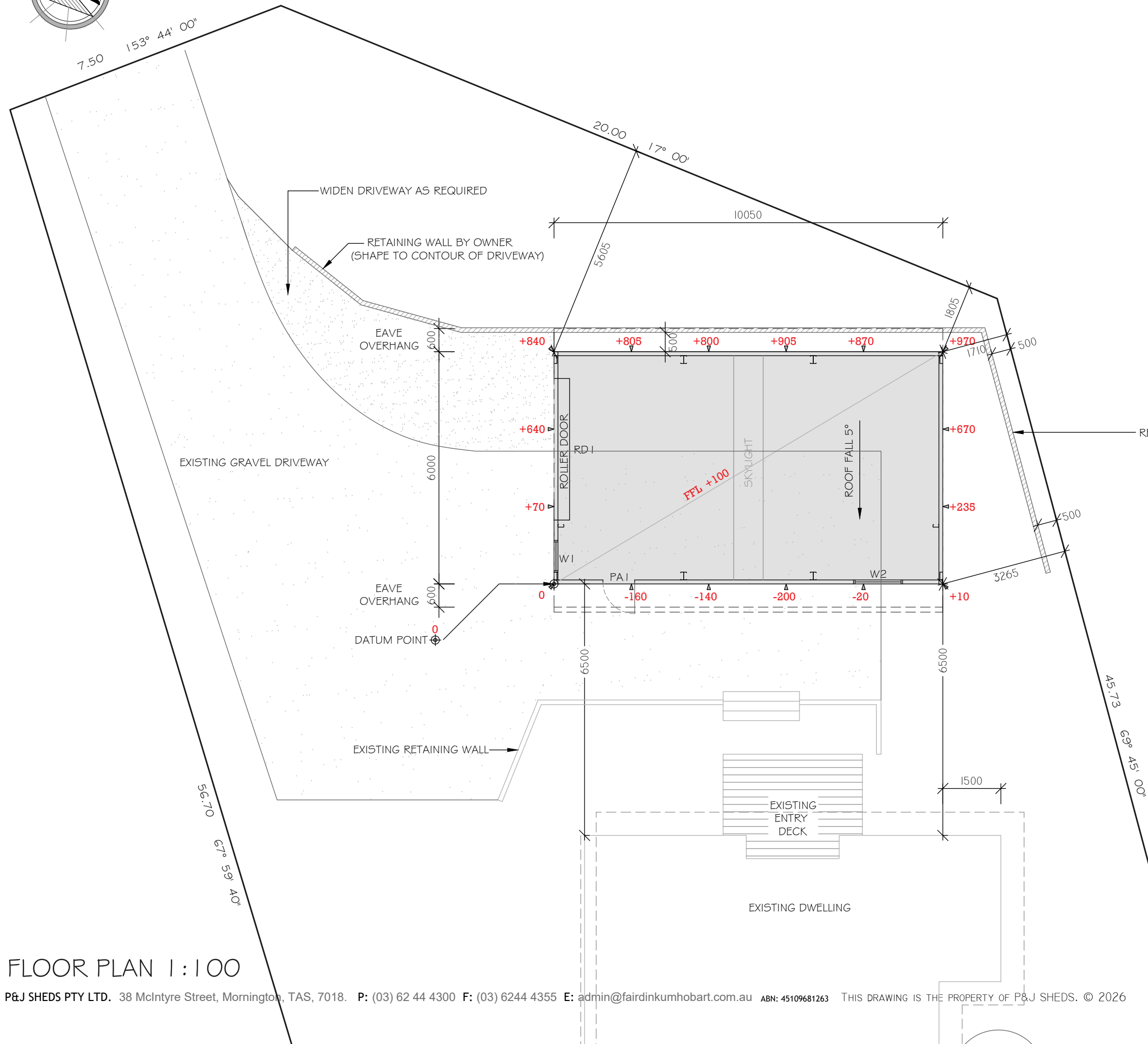


ELEVATIONS 1:100



WINDOW & DOOR SCHEDULE

	ID	HEIGHT	WIDTH
WINDOWS	W1	790mm	820mm
	W2	790mm	1270mm
ACCESS DOOR	PA1	2040mm	820mm
ROLLER DOORS	RD1	3420mm	3660mm



RETAINING WALL BY OWNER
 JACK RETAIN-IT OR SIMILAR
 (TO BE INSTALLED AS PER
 MANUFACTURERS SPECIFICATIONS).

PROPOSAL : NEW OUTBUILDING / GARAGE
 OWNER :
 ADDRESS: 17 MEIKA PLACE, COLES BAY, 7215
 SCALE: 1:100
 DATE: 2nd APRIL 2026
 AMENDED:
 DRAWN BY: A. BROWN CC6003R
 PAGE: 03/04
 JOB NO : 100505



FLOOR PLAN 1:100

CONSTRUCTION GENERALLY:
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS,
 BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL
 AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.
 UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM' BUILDS'
 DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR
 TO COMMENCEMENT OF WORK ON SITE.

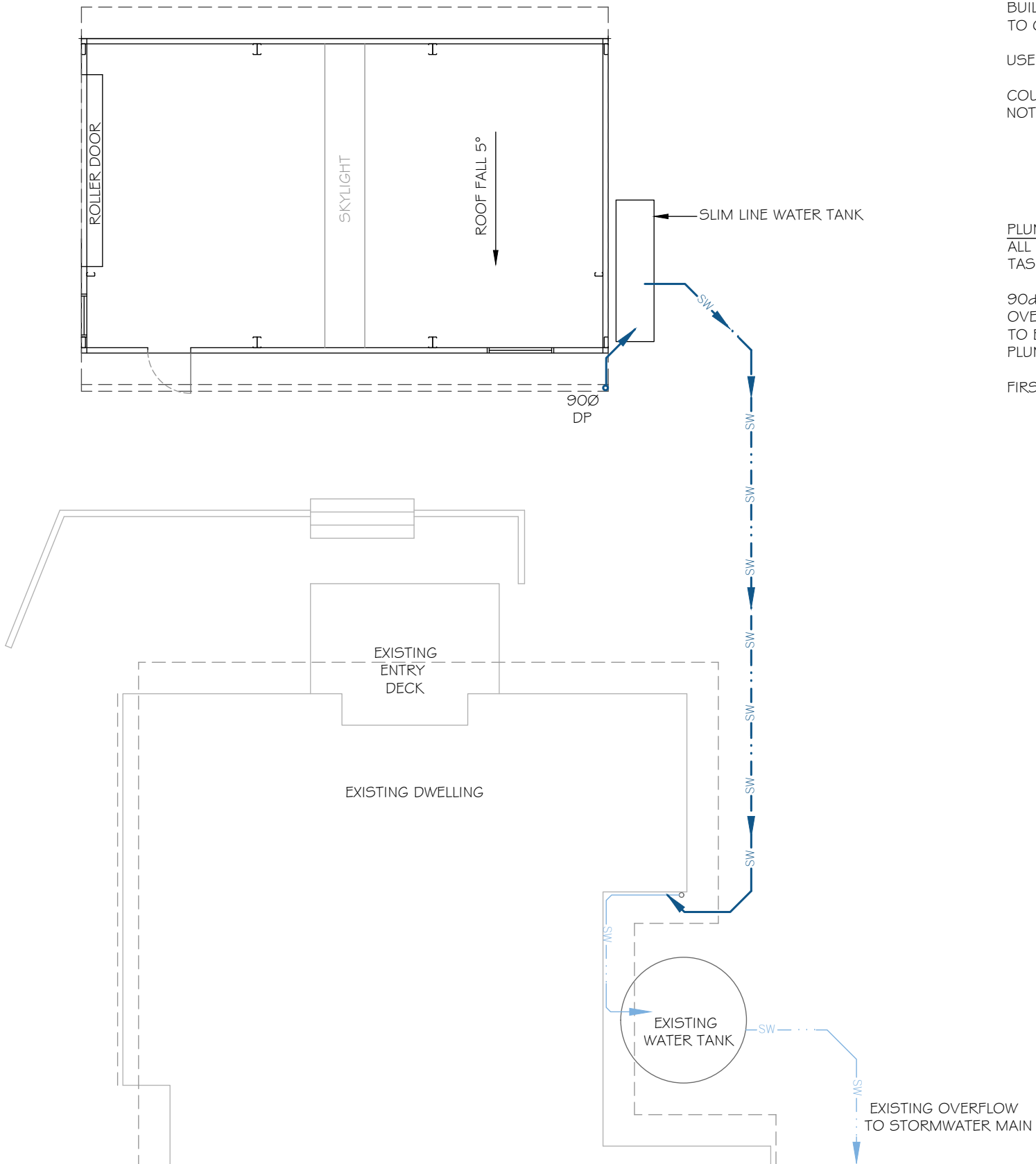
USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS
 NOT PROVIDED ON THIS SET OF PLANS.

PLUMBING GENERALLY:
 ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.
 TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

90dia DOWN PIPE TO NEW SLIM LINE WATER TANK.
 OVERFLOW TO EXISTING WATER TANK VIA 100dia UPVC STORM WATER
 TO EXISTING STORM WATER CONNECTION.
 PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.



PLUMBING PLAN 1:100

PROPOSAL : NEW OUTBUILDING / GARAGE
 OWNER :
 ADDRESS: 17 MEIKA PLACE, COLES BAY, 7215
 SCALE: 1:100
 DATE: 2nd APRIL 2026
 AMENDED:
 DRAWN BY: A. BROWN CC6003R
 PAGE: 04/04
 JOB NO : 100505

