



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **RA160 Triangle Marsh Road, Swansea
CT 106357/1**

PROPOSAL: **Visitor Accommodation - Change of Use to a
Holiday Unit**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 29 April 2026.

APPLICANT: **Elliott Timothy Noye**

DATE: **24/03/2026**

APPLICATION NO: **DA 2026 / 047**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:	Post Code:		
Email:	Phone: / Mobile:		

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:	Post Code:		
Email:	Phone: / Mobile:		

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:	Post Code:		
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 106357	FOLIO 1
EDITION 4	DATE OF ISSUE 25-Nov-2020

SEARCH DATE : 14-Apr-2026

SEARCH TIME : 10.39 am

DESCRIPTION OF LAND

Parish of CAMBRIA, Land District of GLAMORGAN
 Lot 1 on Diagram [106357](#)
 Derivation : Whole of 100 acres Granted to Bernard McGuin
 Derived from A12022

SCHEDULE 1

[M854080](#) TRANSFER to
 as tenants in common in equal shares Registered
 25-Nov-2020 at noon

SCHEDULE 2

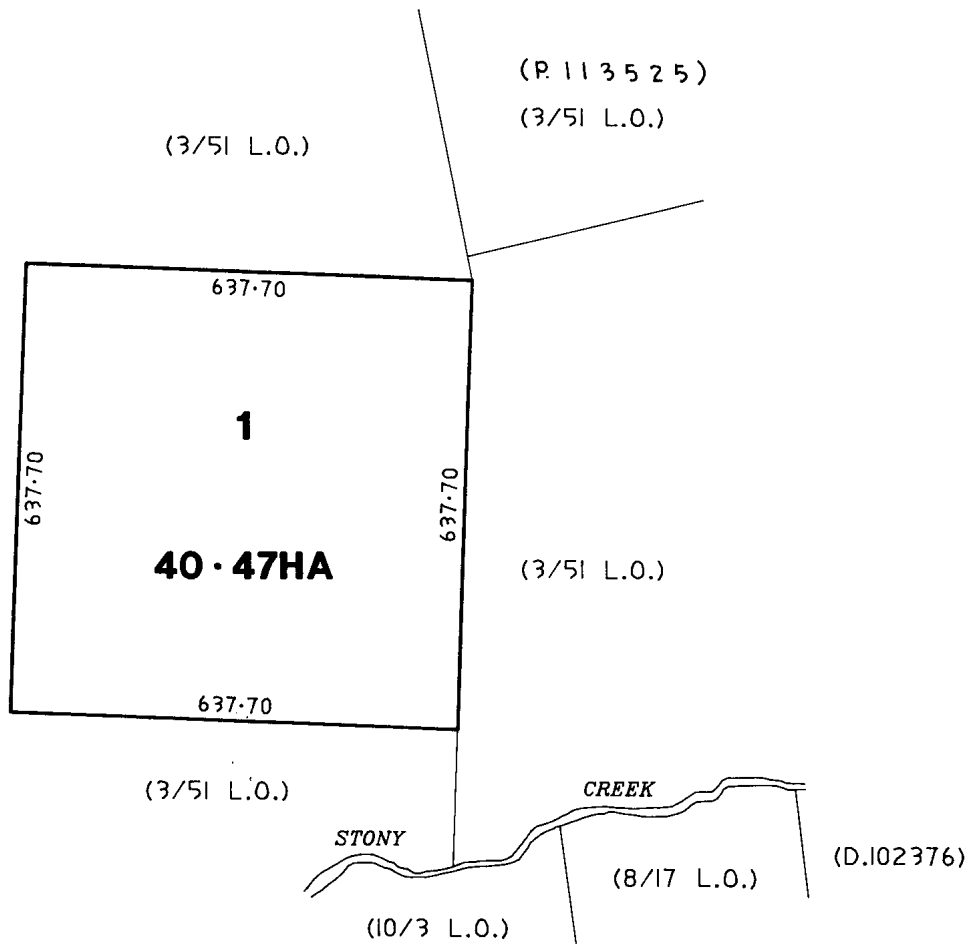
Reservations and conditions in the Crown Grant if any
[E240623](#) MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 25-Nov-2020 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

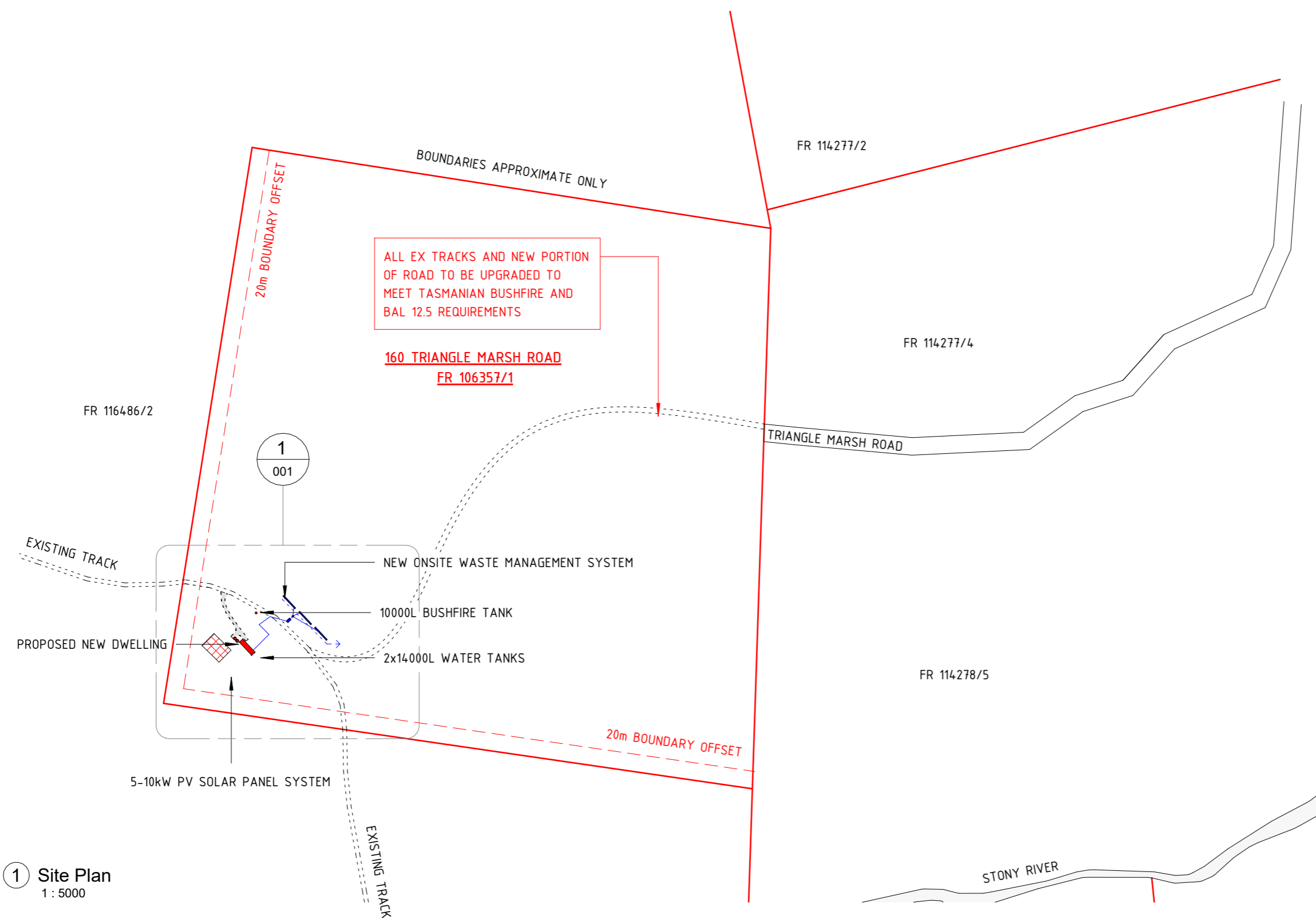
OWNER L.T.ACT 1980		PLAN OF TITLE		D.106357
FOLIO REFERENCE A.12022				
GRANTEE		LOCATION	APPROVED 14 JUL 1993	
WHOLE OF 100 ACRES		GLAMORGAN CAMBRIA	<i>Michael Dini</i> Recorder of Titles	
GTD TO BERNARD McGUIN		COMPILED FROM 3/85 L.O.		
		COMPILED BY		
		SCALE 1: 7500	LENGTHS IN METRES	
STATE MUNICIPAL CODE No. 16	LAST UPI No. 1080	LAST SURVEY PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

~~BALANCE PLAN~~



C. Fra
14.7.93

K 9820



ALL EX TRACKS AND NEW PORTION OF ROAD TO BE UPGRADED TO MEET TASMANIAN BUSHFIRE AND BAL 12.5 REQUIREMENTS

160 TRIANGLE MARSH ROAD
FR 106357/1

1
001

1 Site Plan
1 : 5000

SWANSEA HOUSE

160 Triangle Marsh Rd, Swansea TAS 7190

Scale

2 / 397 Riley Street
Surry Hills, NSW 2010
p + 61 2 9280 2180
www.scalearchitecture.com

date:	rev:	description:
24.07.01	A	FOR CONSTRUCTION

project:
Swanssea House
160 Triangle Marsh Road, Swansea, TAS 7190

client:

date commenced:
09.04.23



title :
Site Plan + Title Page

project no. 010-SWAN
drawn: GFS
checked: GFS

DA Material Schedule	
Mark	Name
CO-01	- Concrete - Cast In Situ
DK-01	- Decking
FC-01	- FC Cladding
GL-01	- Glass
PV-01	- Paving
RF-01	- Roof - Metal Deck
TM-01	- Timber

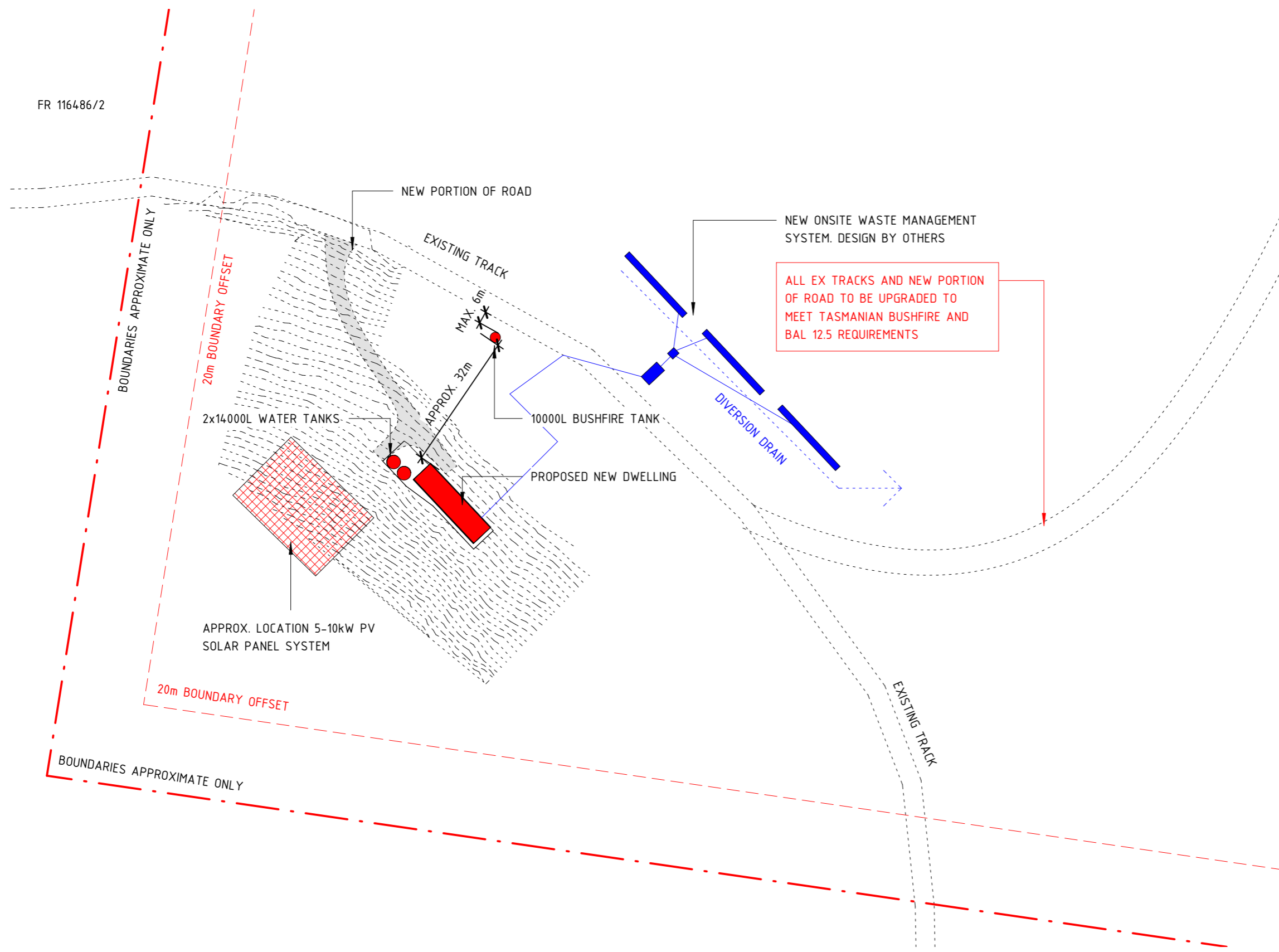
Drawing Sheet List		
Sheet Number	Sheet Name	Current Revision
000	Site Plan + Title Page	A
001	House Site Plan	A
002	Structural - Notes + Typical Details	A
101	Structural - Foundations + Bracing Plan	A
102	Structural - Framing Plan	A
103	GF Plan	A
104	Roof Plan	A
201	Elevations	A
202	Elevations	A

FOR CONSTRUCTION

drawing no. : **000**
scale: 0 50 100 150 200m 1 : 5000@ A3

NOTE: Do not scale from drawing. Contractor to verify all dimensions on site prior to construction. Refer any discrepancies to Architect. Drawings to be read in conjunction with specification + Consultant drawings. All works are to be compliant with BCA and relevant Australian Standards. Tasmanian Registered Architect: Georgia Forbes-Smith 1229 ABN 50 108 204 191. Copyright Scale Architecture Pty Ltd 2013

FR 116486/2



DA Material Schedule	
Mark	Name
CO-01	- Concrete - Cast In Situ
DK-01	- Decking
FC-01	- FC Cladding
GL-01	- Glass
PV-01	- Paving
RF-01	- Roof - Metal Deck
TM-01	- Timber

1 House Site Plan
1 : 1000

Scale
2 / 397 Riley Street
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date:	rev:	description:
24.07.01	A	FOR CONSTRUCTION

project:
Swansea House
160 Triangle Marsh Road, Swansea, TAS 7190

client:

date commenced:
09.04.23



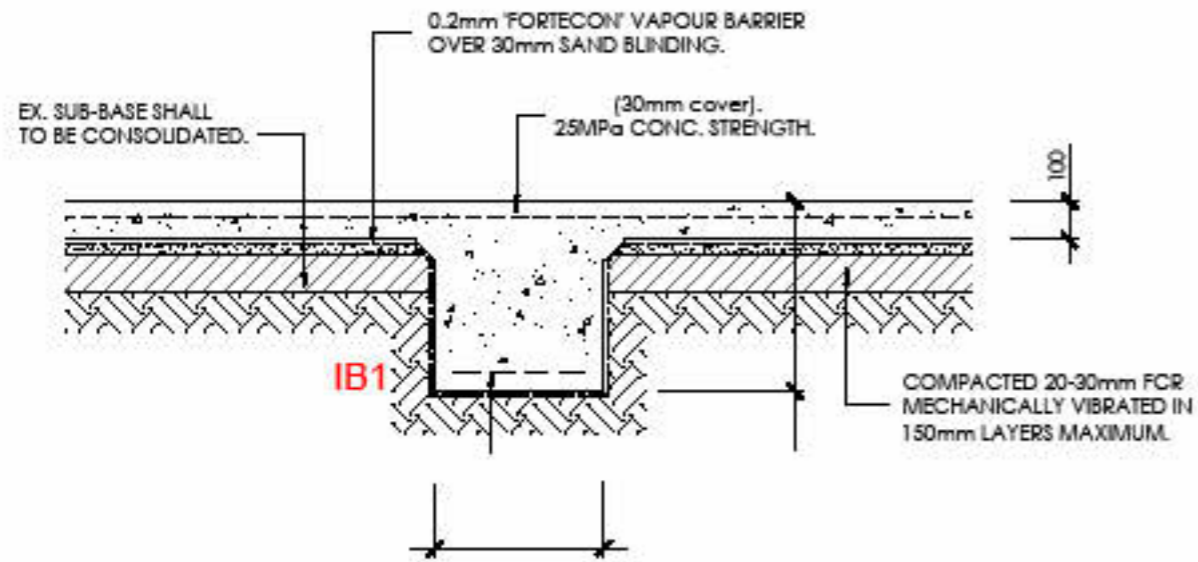
title :
House Site Plan

project no. 010-SWAN
drawn: GFS
checked: GFS

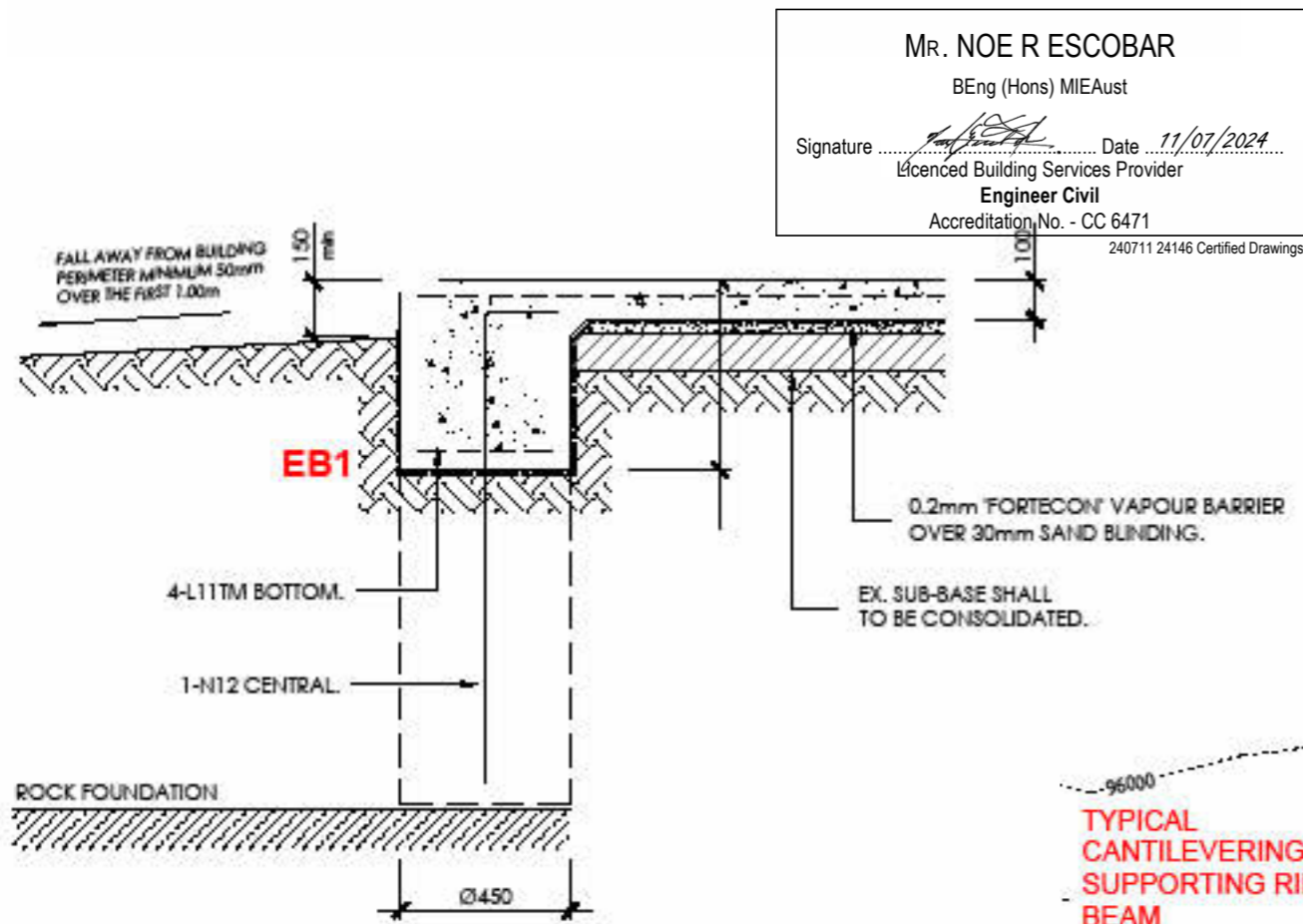
FOR CONSTRUCTION

drawing no. **001**
scale: 0 10 20 30 40m 1 : 1000@ A3

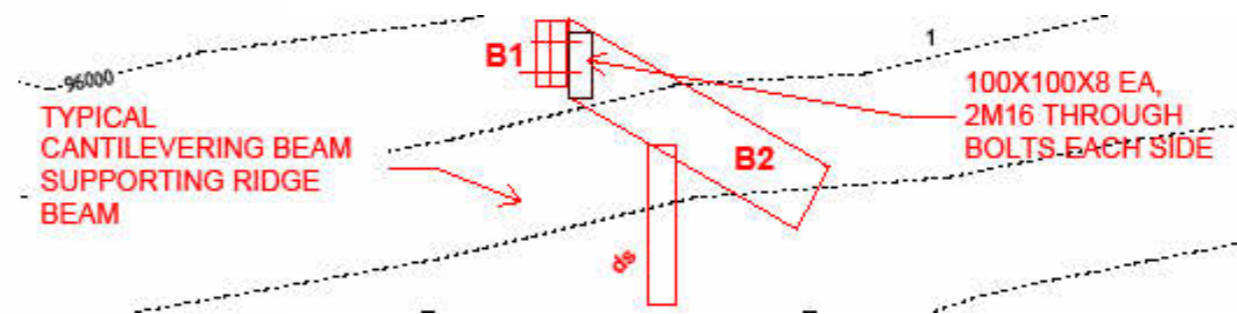
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TYP INTERNAL BEAM DETAIL



TYP EDGE BEAM DETAIL



STRUCTURAL ENGINEERING NOTES:

STRUCTURAL FILL

1. CONSTRUCTION OF STRUCTURAL FILL SHALL BE IN ACCORDANCE WITH AS 3798.
2. ALL ORGANIC MATERIAL (IE. TREES, STUMPS, ROOTS AND BRUSH) TO BE CLEARED AND THE SOIL PROFILE TO BE GRUBBED TO A DEPTH OF 300MM BELOW NATURAL SURFACE.
3. THE SUBGRADE SHALL BE COMPACTED AND PROOF ROLLED PRIOR TO FILLING.
4. EXCAVATED SITE OR IMPORTED MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO USE AS STRUCTURAL FILL AND SHALL CONSIST OF ESSENTIALLY GRANULAR MATERIAL. REPRESENTATIVE SAMPLES OF PROPOSED SITE RECOVERED MATERIAL SHALL BE SELECTED BY S&E, AND SENT FOR SIEVE ANALYSIS BY THE CONTRACTOR. THE MAXIMUM PARTICLE SIZE SHALL NOT EXCEED TWO THIRDS THE LIFT THICKNESS. MATERIAL NOT CONFORMING TO THE ABOVE SHALL BE DISCARDED.
5. THE LOOSE LIFT THICKNESS SHALL NOT EXCEED 200MM, PLACED IN HORIZONTAL LAYERS.
6. LIFTS SHALL BE COMPACTED TO 95% MODIFIED DRY DENSITY.
7. STRUCTURAL FILL SHALL BE PLACED AT WITHIN 1% OF THE OPTIMUM MOISTURE CONTENT. THE MATERIAL SHALL BE SPRAYED (IF TOO DRY) AERATED (IF TOO WET) OR MIXED TO ACHIEVE THIS.
8. COMPACTION METHODS REQUIRED TO ACHIEVE THE TARGET DENSITY SHALL BE DETERMINED DURING THE INITIAL STAGES OF CONSTRUCTION. AS A GUIDE, 8 - 10 PASSES OF A 10 TONNE VIBRATING ROLLER IS LIKELY TO BE SUFFICIENT.
9. NOTIFICATION SHALL BE GIVEN AFTER COMPACTION OF EACH LIFT FOR INSPECTION BY S&E.
10. FIELD DENSITY TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3798 FOR TYPE 2.0 EARTHWORKS, UNLESS OTHERWISE NOMINATED BY S&E. METHODS OF TESTING WILL BE DEPENDENT UPON THE NATURE OF THE MATERIAL BUT MAY INCLUDE NUCLEAR DENSITY TESTING AND/OR PROOF ROLLING.

Structural Legend

All structural sizing, notes and specifications are to structural engineer's detail

- EB1** 450w x 400d EDGE BEAM. 4-11TM(B), 50 COVER. PROVIDE 450DIA MASS CONC BORED PIERS AT ALL CORNERS & AT 2.50m. N12 CENTRAL (TYP). PIERS TO BE TAKEN DOWN TO REFUSAL.
- IB1** 300w x 400d INTERNAL BEAM 3-11TM(B), 50 COVER

100 100 SLAB TO STRUCT ENG'S DETAIL

450Ø MASS CONC BORED PIERS TO REFUSAL

3N12 - 2000 LONG CORNER BARS

BR1 PLY BRACING 5.2kN/m

BR2 DOUBLE DIAGONAL STRAP BRACING 3kN/m

BR3 30x0.8 GI STRAP BRACING

FB1 2/140x45 F7 TP BEARER

FB2 2/140x45 F7 TP LEDGER WITH M12 MASONRY ANCHORS AT 600C/C

J1 140x45 F7 TP JOISTS AT 400C/C

L1 90x45 LVL14 SPAN <=1200

L2 120x45 LVL14 SPAN >1200 <=1500

L3 140x45 LVL14 SPAN >1500 <=1800

L4 190x45 LVL14 SPAN >1800 <=2400

L5 240x45 LVL14 SPAN >2400 <=3000

L6 2/240x45 LVL14 SPAN >3000 <=3600

R1 240x45 LVL RAFTERS AT 900C/C

B1 2/240x45 RIDGE BEAM - CONT

B2 2/240x45 SUPPORTING RIDGE BEAMS

DS DOUBLE STUD

T1 ROOF TRUSS - BY TRUSS COMPANY

FOR CONSTRUCTION

Scale

2 / 397 Riley Street
 Surry Hills, NSW 2010
 p + 61 2 9280 2180
 www.scalearchitecture.com

date:	rev:	description:
24.07.01	A	FOR CONSTRUCTION

project:
 Swansea House
 160 Triangle Marsh Road, Swansea, TAS 7190

client:

date commenced:
 09.04.23

title :
**Structural - Notes +
 Typical Details**

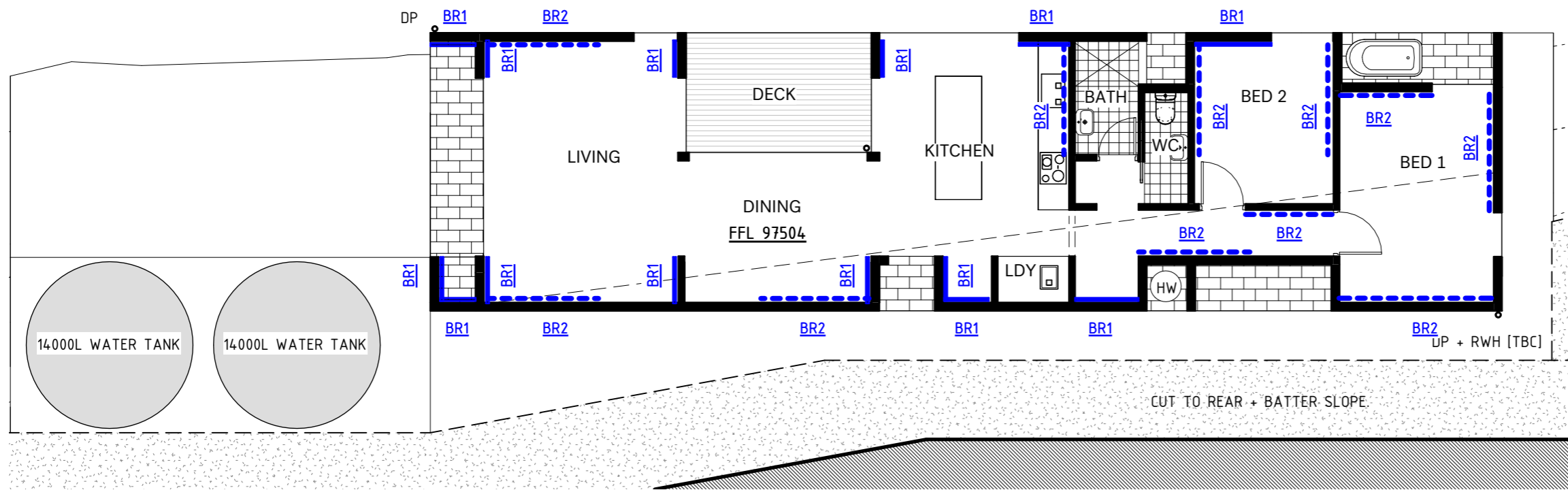
project no.
 010-SWAN

drawn:
 GFS

checked:
 GFS

drawing no. **002**
 scale: 1 : 100@ A3

NOTE: Do not scale from drawing. Contractor to verify all dimensions on site prior to construction. Refer any discrepancies to Architect. Drawings to be read in conjunction with specification + Consultant drawings. All works are to be compliant with BCA and relevant Australian Standards. Tasmanian Registered Architect: Georgia Forbes-Smith 1229 ABN 50 108 204 191. Copyright Scale Architecture Pty Ltd 2013



Structural Legend

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EB1 450w x 400d EDGE BEAM. 4-11TM(B), 50 COVER. PROVIDE 450DIA MASS CONC BORED PIERS AT ALL CORNERS & AT 2.50m. N12 CENTRAL (TYP). PIERS TO BE TAKEN DOWN TO REFUSAL.

IB1 300w x 400d INTERNAL BEAM 3-11TM(B), 50 COVER

100 100 SLAB TO STRUCT ENG'S DETAIL

450Ø 450Ø MASS CONC BORED PIERS TO REFUSAL

3N12 3N12 - 2000 LONG CORNER BARS

BR1 PLY BRACING 5.2kN/m

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R1 240x45 LVL RAFTERS AT 900C/C

B1 2/240x45 RIDGE BEAM - CONT

B2 2/240x45 SUPPORTING RIDGE BEAMS

DS DOUBLE STUD

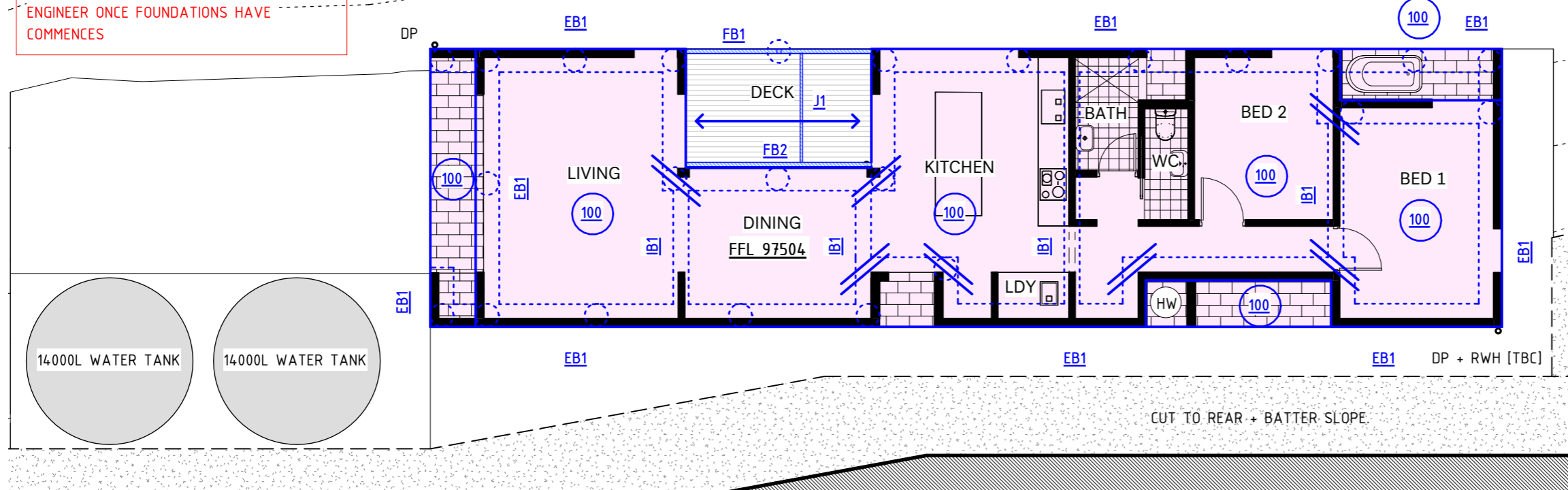
T1 ROOF TRUSS - BY TRUSS COMPANY

STRUCTURAL ENGINEERING NOTES:

1. FILL UNDER SLAB TO BE APPROVED AND COMPACTED AND BE IN ACCORDANCE WITH STRUCTURAL FILL NOTE ON DRAWING 002 - STRUCTURAL NOTES + DETAILS

2. PIER HOLES ONLY REQUIRED IF SUITABLE BASE NOT FOUND IN FOUNDATION. CONSULT ENGINEER ONCE FOUNDATIONS HAVE COMMENCES

Mr. NOE R ESCOBAR
 BEng (Hons) MIEAust
 Signature: _____ Date: 11/07/2024
 Licenced Building Services Provider
 Engineer Civil
 Accreditation No. - CC 6471
 240711 24146 Certified Drawings



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project:
 Swansea House
 160 Triangle Marsh Road, Swansea, TAS 7190

client:

date commenced:
 09.04.23



title:
Structural - Foundations + Bracing Plan

project no.
 010-SWAN

drawn:
 GFS

checked:
 GFS

drawing no. **101**

scale: 0 1 2 3 4m 1 : 100@ A3

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STRUCTURAL ENGINEERING NOTES:

1. MAX ROOF LOAD WIDTH IS 6.0m
2. MAX ROOF LOAD 40kg/m²
3. ALLOW FOR DOUBLE STUDS EACH SIDE OF LINTEL FOR SPANS GRATER THAN 1200mm
3. REFER TO 002 - STRUCTUAL NOTES + TYPICAL DETAILS FOR 'TYPICAL CANTILEVERING BEAM SUPPORTING RIDGE BEAM' DETAIL

MR. NOE R ESCOBAR

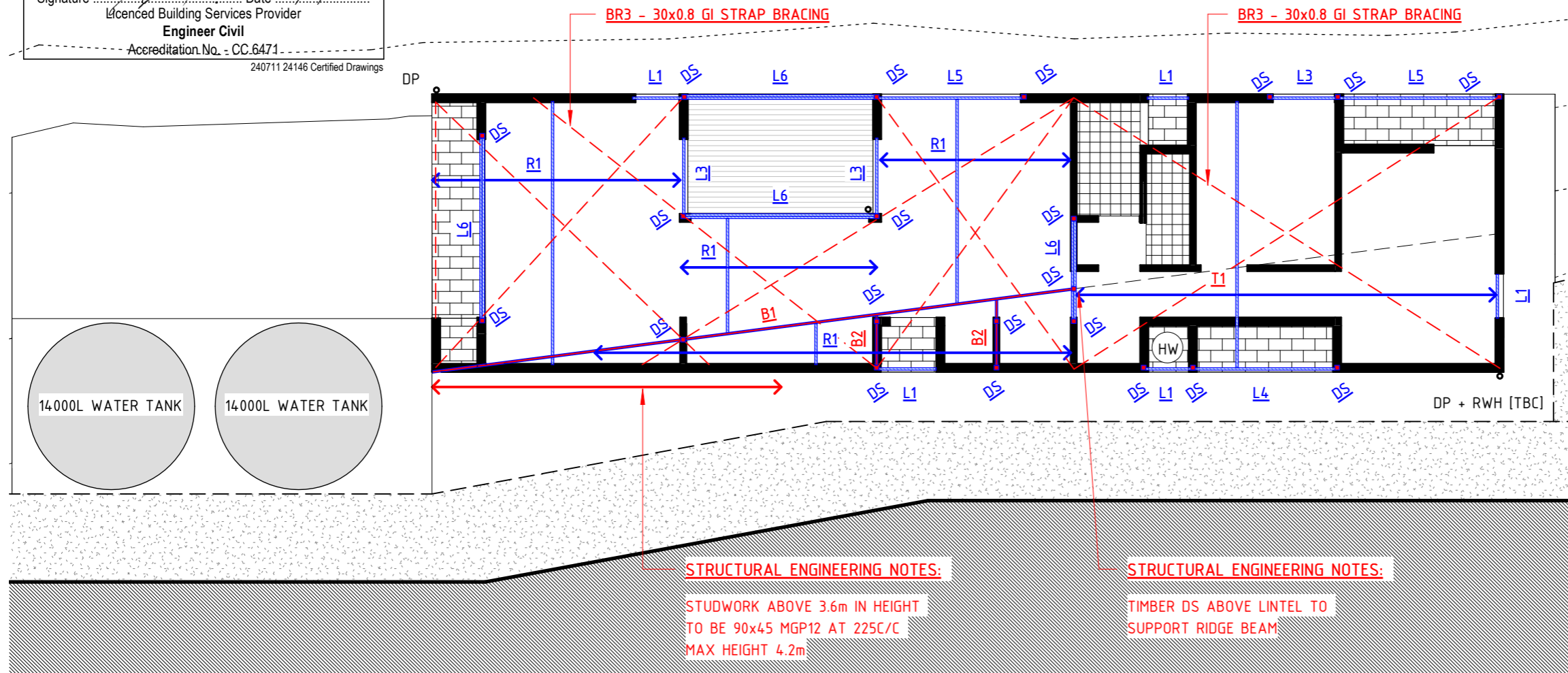
BEng (Hons) MIEAust

Signature *[Signature]* Date 11/07/2024

Licensed Building Services Provider
Engineer Civil

Accreditation No. - CC.6471

240711 24146 Certified Drawings



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IB1 300w x 400d INTERNAL BEAM 3-11TM(B), 50 COVER

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450Ø MASS CONC BORED PIERS TO REFUSAL

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B1 2/240x45 RIDGE BEAM - CONT

B2 2/240x45 SUPPORTING RIDGE BEAMS

DS DOUBLE STUD

T1 ROOF TRUSS - BY TRUSS COMPANY

FOR CONSTRUCTION

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24.07.01	A	FOR CONSTRUCTION

project:
Swanssea House
160 Triangle Marsh Road, Swanssea, TAS 7190

client:

date commenced:
09.04.23



title :
Structural - Framing Plan

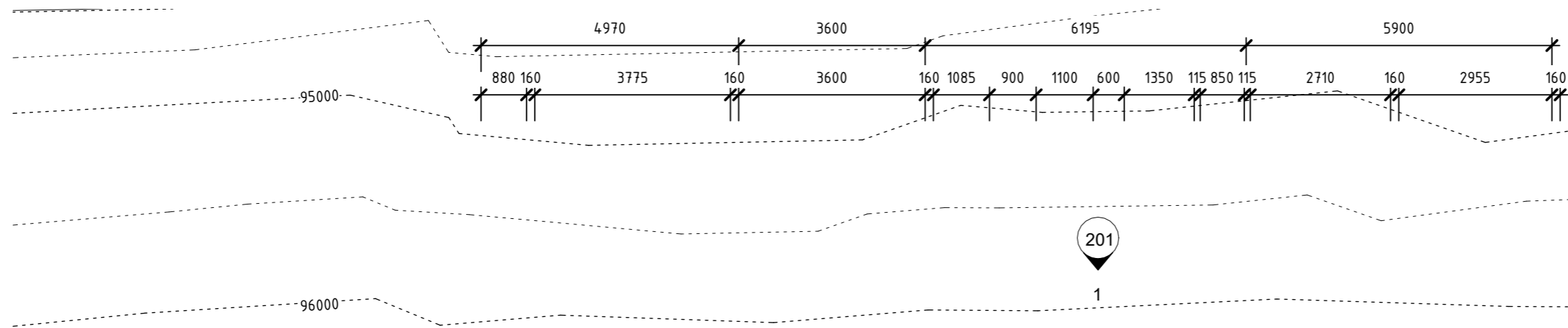
project no.
010-SWAN

drawn:
GFS

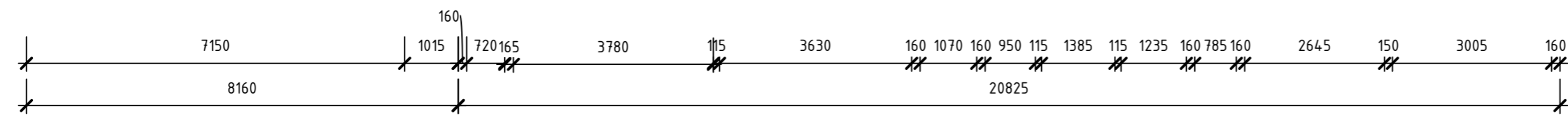
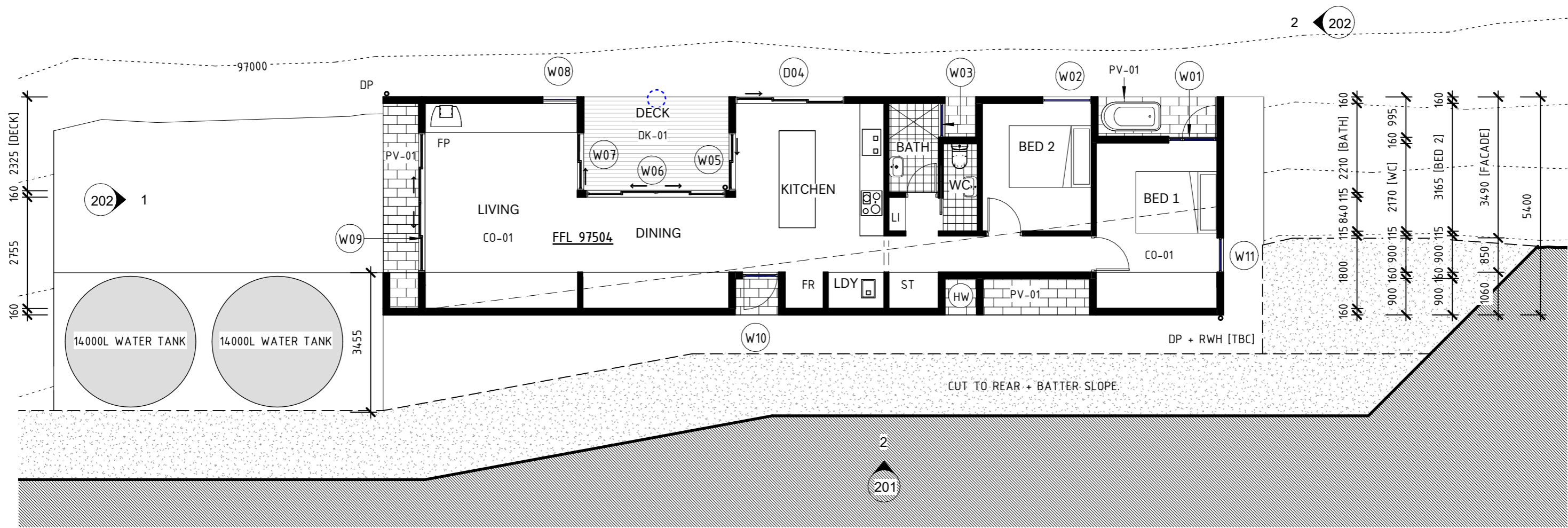
checked:
MC

drawing no. **102**
scale: 0 1 2 3 4m 1 : 100@ A3

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DA Material Schedule	
Mark	Name
CO-01	Concrete - Cast In Situ
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title:
GF Plan

project no.
 010-SWAN

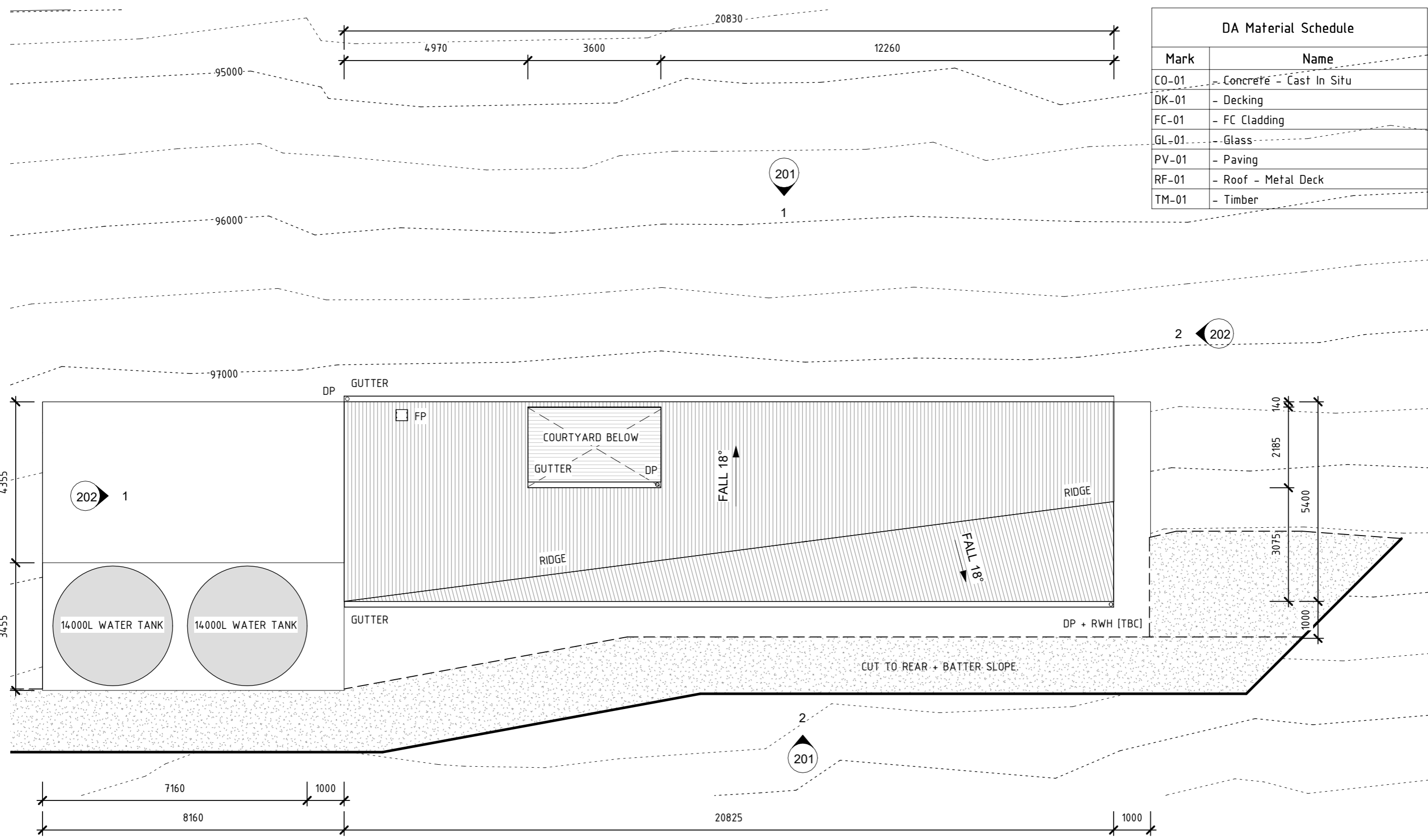
drawn:
 GFS

checked:
 GFS

drawing no. **103**

scale: 0 1 2 3 4m 1 : 100@ A3

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FOR CONSTRUCTION

Scale
 2 / 397 Riley Street
 Surry Hills, NSW 2010
 p + 61 2 9280 2180
 www.scalearchitecture.com

date:	rev:	description:
24.07.01	A	FOR CONSTRUCTION

project:
Swansea House
 160 Triangle Marsh Road, Swansea, TAS 7190

client:

date commenced:
 09.04.23



title :
Roof Plan

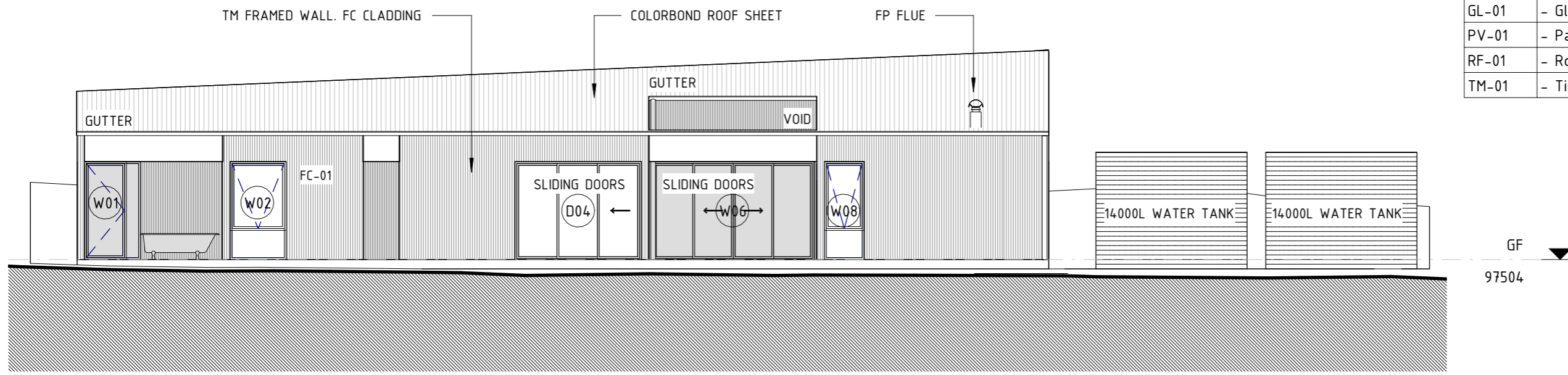
project no. 010-SWAN	drawn: GFS	checked: GFS
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drawing no. **104**

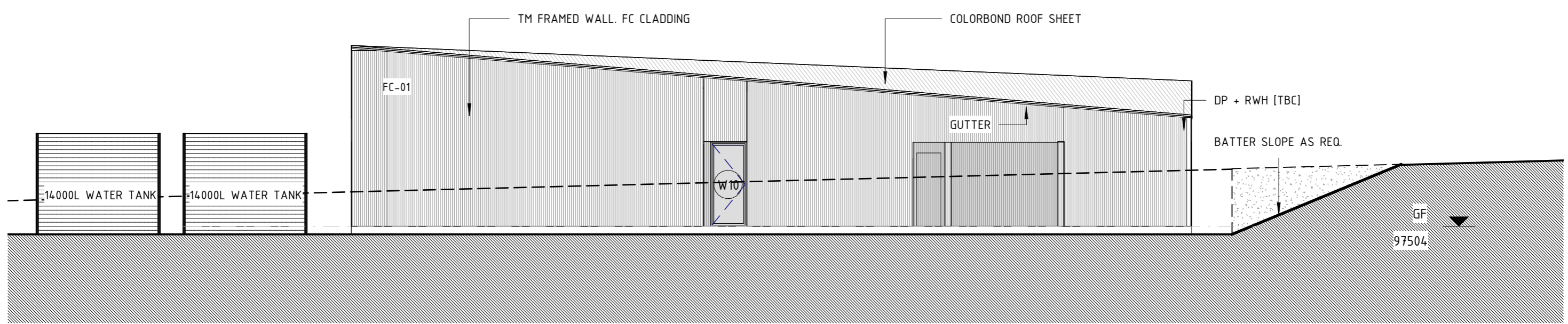
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NOTE: Do not scale from drawing. Contractor to verify all dimensions on site prior to construction. Refer any discrepancies to Architect. Drawings to be read in conjunction with specification + Consultant drawings. All works are to be compliant with BCA and relevant Australian Standards. Tasmanian Registered Architect: Georgia Forbes-Smith 1229 ABN 50 108 204 191. Copyright Scale Architecture Pty Ltd 2013

DA Material Schedule	
Mark	Name
CO-01	- Concrete - Cast In Situ
DK-01	- Decking
FC-01	- FC Cladding
GL-01	- Glass
PV-01	- Paving
RF-01	- Roof - Metal Deck
TM-01	- Timber



① Elevation - NE
1 : 100



② Elevation - SW
1 : 100

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title :
Elevations

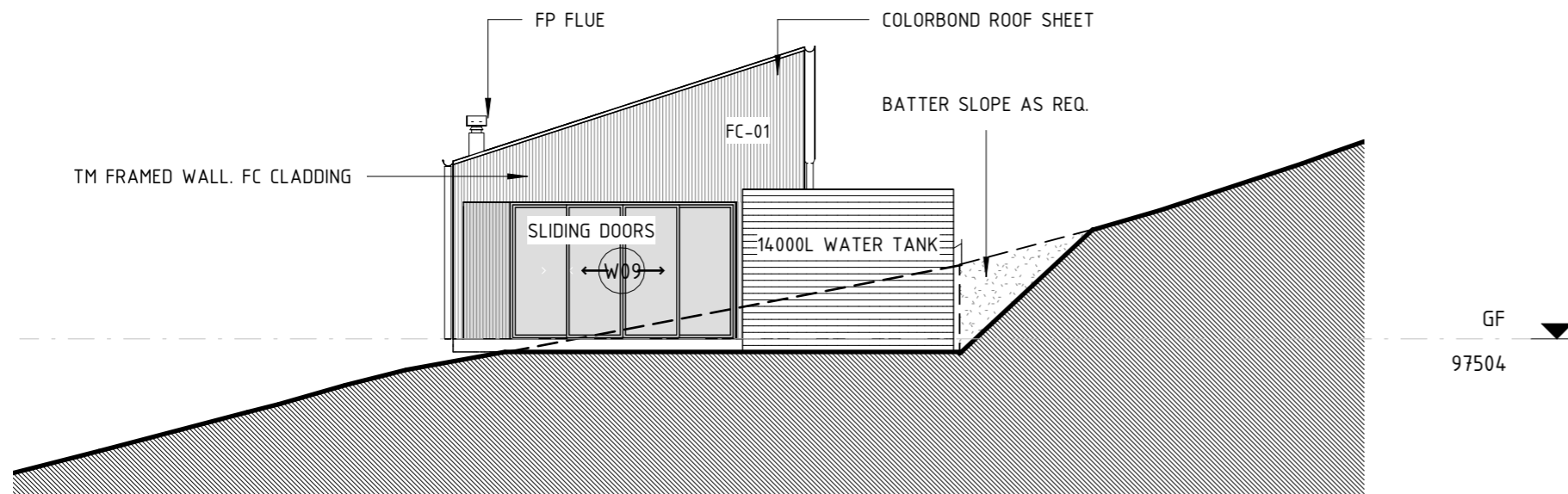
project no.	drawn:	checked:
010-SWAN	GFS	GFS

drawing no. : **201**

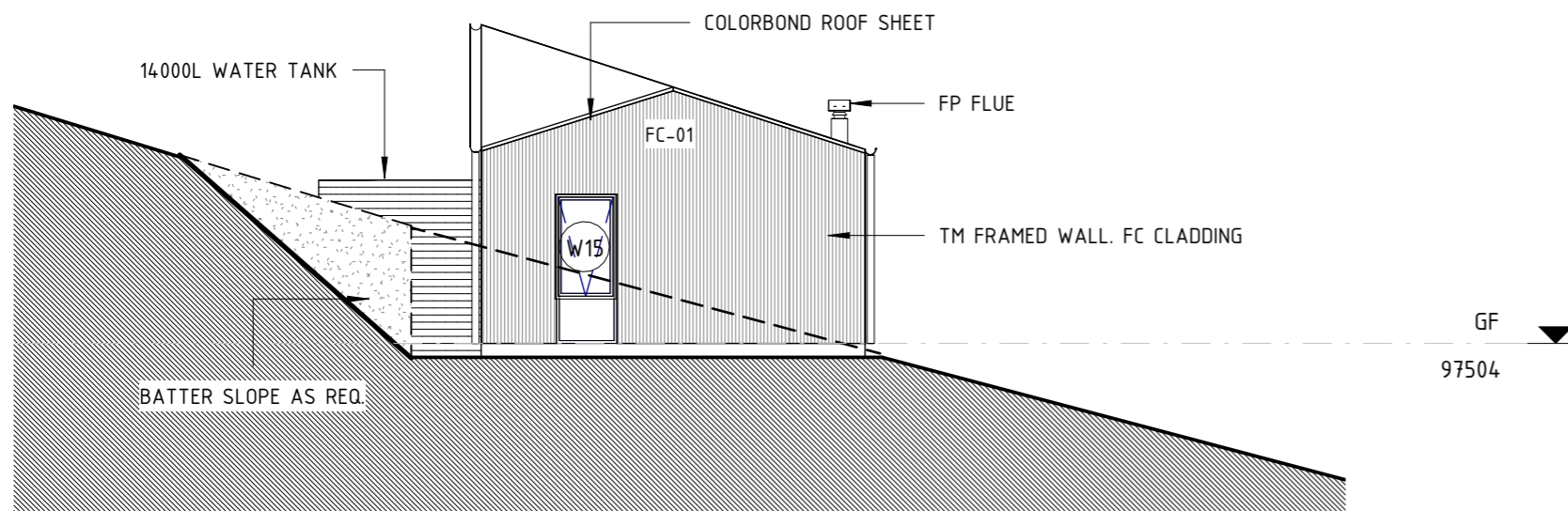
scale: 0 1 2 3 4m 1 : 100@ A3

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DA Material Schedule	
Mark	Name
CO-01	- Concrete - Cast In Situ
DK-01	- Decking
FC-01	- FC Cladding
GL-01	- Glass
PV-01	- Paving
RF-01	- Roof - Metal Deck
TM-01	- Timber



① Elevation - NW
1 : 100



② Elevation - SE
1 : 100

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client:

date commenced:
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title :
Elevations

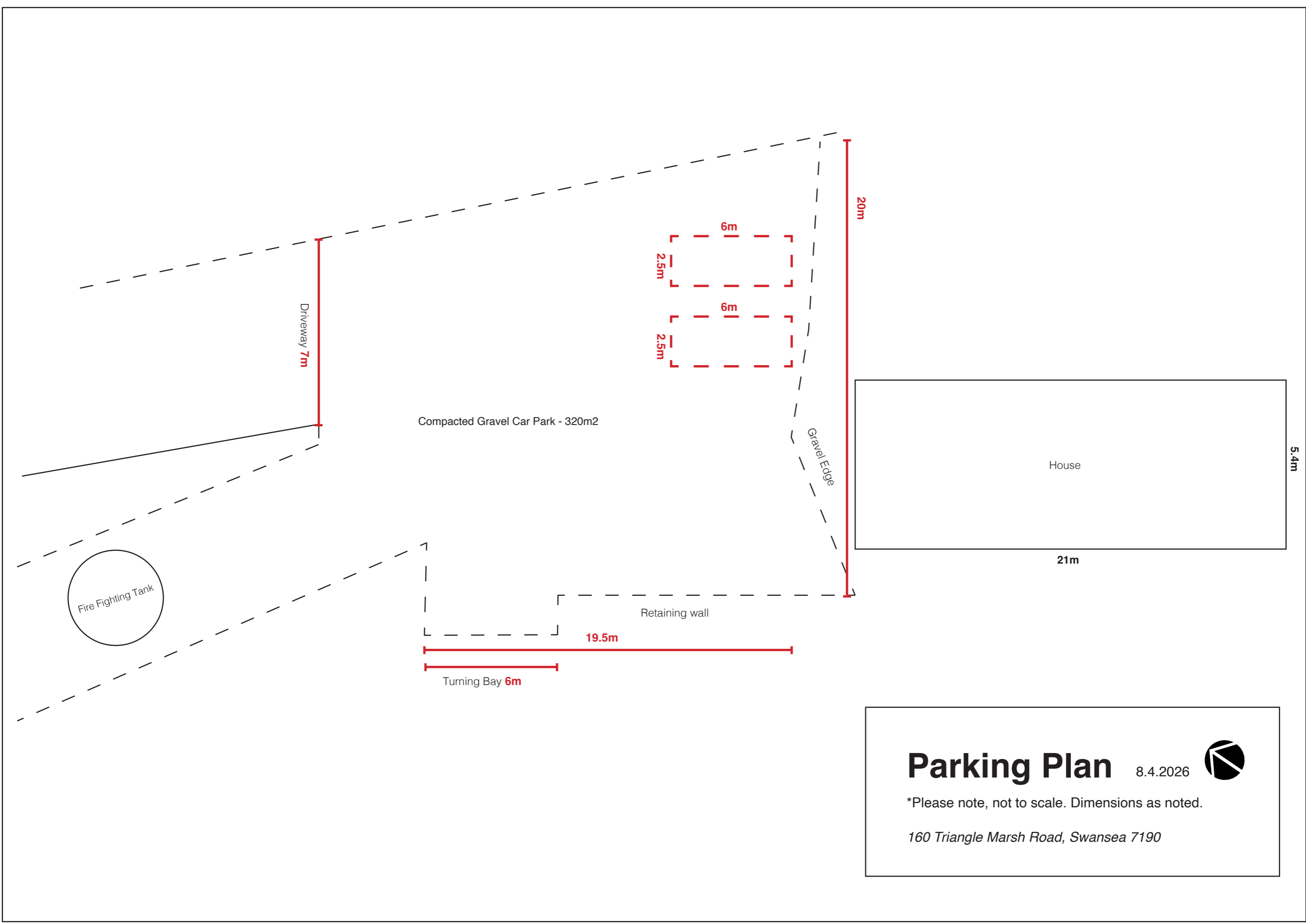
project no. 010-SWAN	drawn: GFS	checked: GFS
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FOR CONSTRUCTION

drawing no. : **202**

scale: 0 1 2 3 4m 1 : 100@ A3

NOTE: Do not scale from drawing. Contractor to verify all dimensions on site prior to construction. Refer any discrepancies to Architect. Drawings to be read in conjunction with specification + Consultant drawings. All works are to be compliant with BCA and relevant Australian Standards. Tasmanian Registered Architect: Georgia Forbes-Smith 1229 ABN 50 108 204 191. Copyright Scale Architecture Pty Ltd 2013



Driveway 7m

Compacted Gravel Car Park - 320m²

Fire Fighting Tank

Turning Bay 6m

19.5m

Retaining wall

6m
2.5m
6m
2.5m

Gravel Edge

20m

House

21m

5.4m

Parking Plan

8.4.2026



*Please note, not to scale. Dimensions as noted.

160 Triangle Marsh Road, Swansea 7190