



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:** **16 Nairn Street, Buckland**  
**CT 185631/3**

**PROPOSAL:** **Residential - Single Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer.

Representations must be received before midnight on 29 April 2026.

**APPLICANT:** **Prime Design**

**DATE:** **19/02/2026**

**APPLICATION NO:** **DA 2026 / 029**

## Application for Planning Approval

### Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Prime Design		
Contact person: (if different from applicant)	Tarcia Wong		
Address:	10 Goodman Court		
Suburb:	Invermay	Post Code:	7248
Email:	<a href="mailto:planning@primedesigntas.com.au">planning@primedesigntas.com.au</a>	Phone: / Mobile:	6332 3790

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	16 Nairn Street		
Suburb:	Buckland	Post Code:	7190
Size of site: (m <sup>2</sup> or Ha)	1277 m <sup>2</sup>		
Certificate of Title(s):	185631/3		
Current use of site:	Existing sheds onsite.		

**General Application Details** *Complete for All Applications*

Description of proposed use or development:	Proposed new single dwelling. and 2x as constructed sheds.	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	.
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No	<input checked="" type="checkbox"/>

**For all Non-Residential Applications**

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

**Personal Information Protection Statement**

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

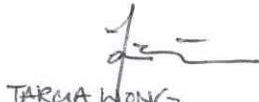
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	 TARCIA WONG	Date:	12/03/2026
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## Checklist of application documents:

*Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 185631	FOLIO 3
EDITION 3	DATE OF ISSUE 10-Jan-2026

SEARCH DATE : 19-Feb-2026

SEARCH TIME : 08.45 am

DESCRIPTION OF LAND

Town of BUCKLAND

Lot 3 on Sealed Plan [185631](#)

Derivation : Part of 1A-2R-OP (Sec. M) Gtd. to William Rout

Prior CT [123934/1](#)

SCHEDULE 1

[N292494](#) TRANSFER to Registered  
10-Jan-2026 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185631](#) FENCING PROVISION in Schedule of Easements

[E439216](#) MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 10-Jan-2026 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER PETER NORMAN PORCH</p> <p>FOLIO REFERENCE CT 123934-1</p> <p>GRANTEE WHOLE OF LOTS 1 AND 2, 1-2-0, WILLIAM ROUT</p>	<p>PLAN OF SURVEY BY SURVEYOR A. S. HAMILTON</p> <p>LOCATION TOWN OF BUCKLAND SECTION M</p> <p>SCALE 1: 750 LENGTHS IN METRES</p>	<p>Registered Number</p> <p><b>SP 185631</b></p> <p>APPROVED EFFECTIVE FROM 23 NOV 2023</p> <p><i>Renn</i> Recorder of Titles</p>
<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		



<p><i>[Signature]</i> REGISTERED LAND SURVEYOR</p> <p>21-8-23 DATE</p>	<p>AMENDED PLAN</p> <p><i>[Signature]</i> COUNCIL DELEGATE</p> <p>24/08/23 DATE</p>
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**COUNCIL APPROVAL**

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)  
The subdivision shown in this plan is approved

Registered Number

**SP 185631**



In witness whereof the common seal of *Glamorgan Spring Bay Council* has been affixed, pursuant to a resolution of the Council of the said municipality

passed the *17th* day of *July* 2023, in the presence of us

Member .....

Member .....

Council Delegate *A.M.*

Council Reference *SA2022/48*

**NOMINATIONS**

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993 the owner has nominated

*S. THOMAS WILSON* ..... Solicitor to act for the owner

*A. S. HAMILTON* ..... Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed

Computed

Examined  *MG 9/1/23*

# PROPOSED NEW RESIDENCE & AS CONSTRUCTED SHEDS 16 NAIRN STREET, BUCKLAND KNEST

PDH26003

## BUILDING DRAWINGS

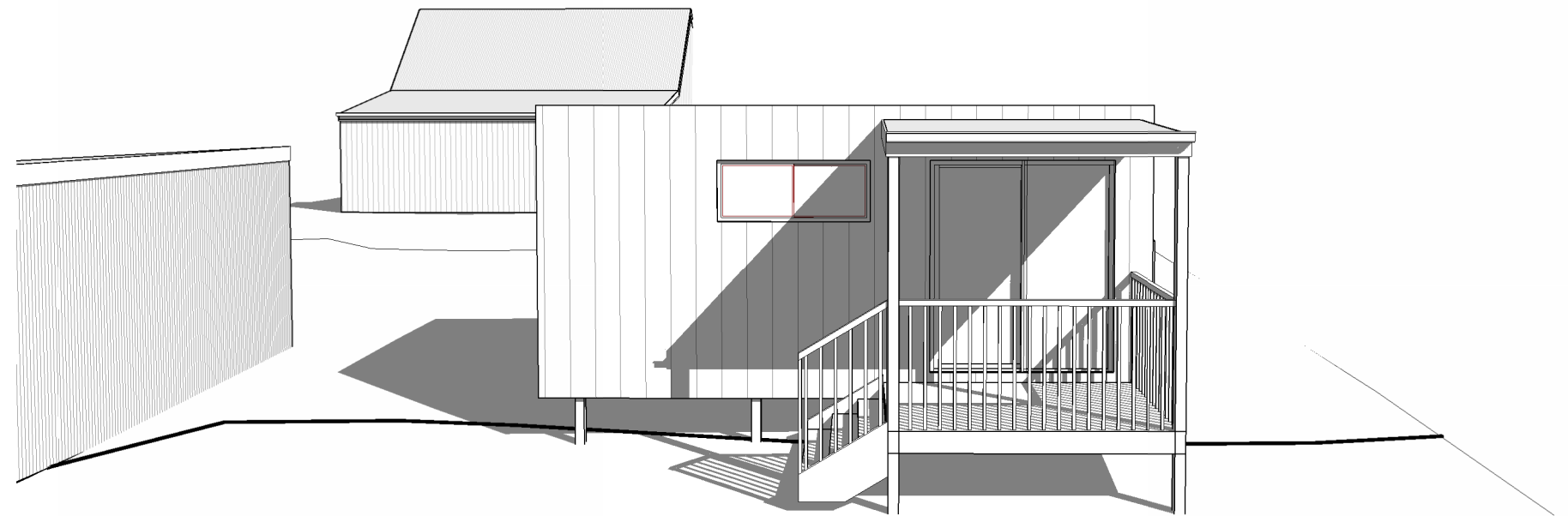
No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	ELEVATIONS
06	ROOF PLAN
07	PERSPECTIVES

## SHED 1 DRAWINGS

No	DRAWING
S1-01	SHED ELEVATIONS
S1-02	SHED ROOF PLAN

## SHED 2 DRAWINGS

No	DRAWING
S2-01	SHED ELEVATIONS
S2-02	SHED ROOF PLAN



## GENERAL PROJECT INFORMATION

TITLE REFERENCE: 3/185631  
 SITE AREA: 1277 m<sup>2</sup>  
 DESIGN WIND SPEED: N3  
 SOIL CLASSIFICATION: M  
 CLIMATE ZONE: 7  
 ALPINE AREA: NO  
 CORROSIVE ENVIRONMENT: N/A  
 BAL RATING: BAL-12.5  
 OTHER KNOWN HAZARDS: BUSHFIRE PRONE AREAS

## NEW DWELLING

FLOOR AREA	20.73 m <sup>2</sup>	( 2.23 SQUARES )
DECK AREA	5.17 m <sup>2</sup>	( 0.56 SQUARES )
TOTAL AREA	25.90	2.79

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REV. DATE	DESCRIPTION

**Prime Design**  
*your build, your way*

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 p() +03 6332 3790  
 H: Shop 9, 105-111 Main Road, Moonah, 7009  
 p(h)+03 6228 4575  
 info@primedesigntas.com.au  
 Accredited Building Practitioner:

**bdaa**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

primedesigntas.com.au  
 Frank Geskus -No CC246A

FEBRUARY 2026  
 PLANNING



**SITE COVERAGE**  
 BUILDING FOOTPRINT 187.9 /SITE AREA 1277.0 = 0.147  
 TOTAL SITE COVERAGE 14.7%  
 - AS CONSTRUCTED SHED 1 AREA: 68m<sup>2</sup>  
 - AS CONSTRUCTED SHED 2 AREA: 94m<sup>2</sup>

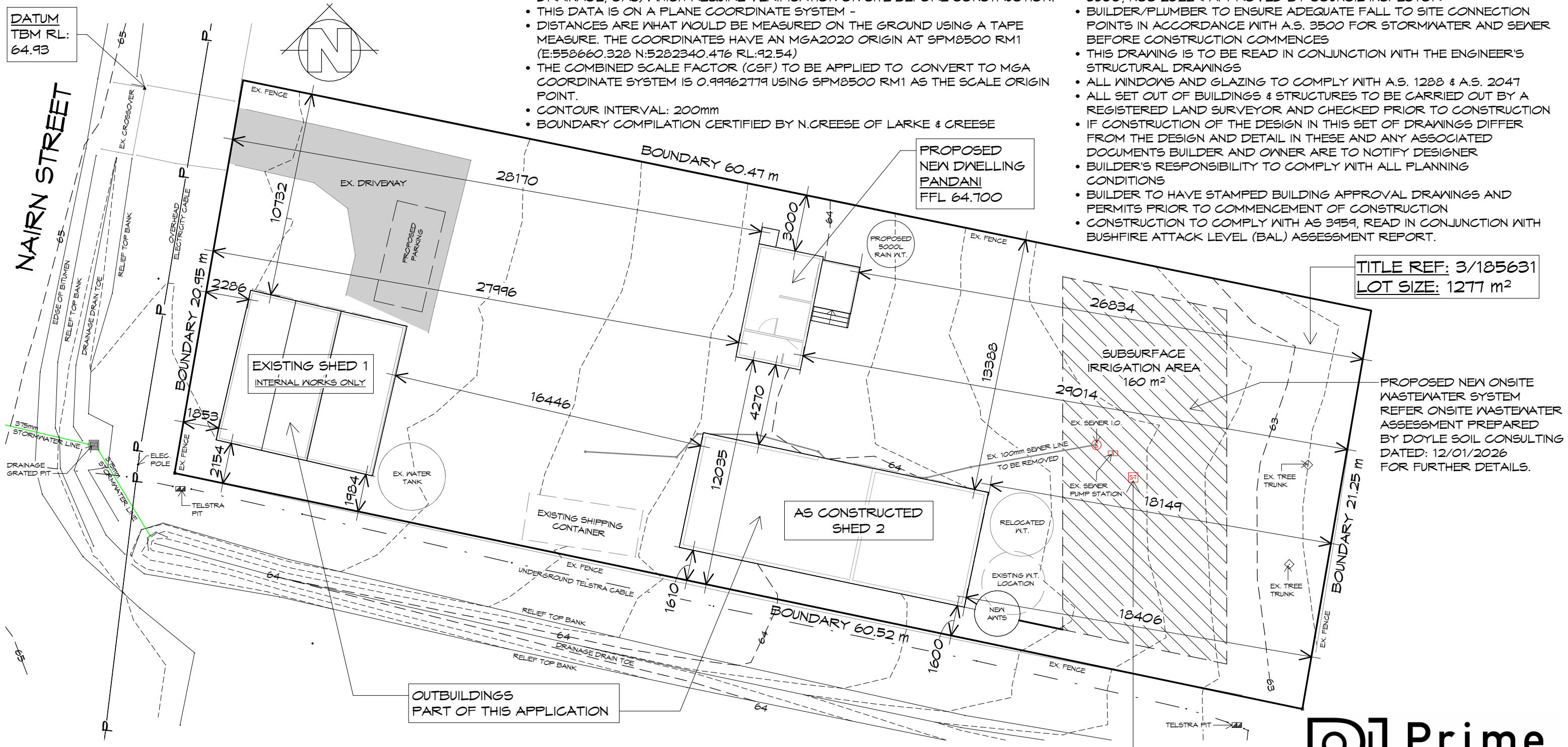
**DECK**  
 REFER TO SITE PLAN FOR SETBACK, DECK ISN'T 1m ABOVE ESL  
 AND DOES NOT REQUIRE A SCREEN TO 1.7m

**SURVEYOR'S NOTE:**

- THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- UNDERGROUND SERVICES HAVE BEEN LOCATED BY THEIR ABOVE GROUND INDICATORS AND AUSLOCATIONS.
- THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.
- THIS DATA IS ON A PLANE COORDINATE SYSTEM -
- DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA2020 ORIGIN AT SPM8500 RM1 (E:558660.328 N:5282340.476 RL:92.54)
- THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA COORDINATE SYSTEM IS 0.99962779 USING SPM8500 RM1 AS THE SCALE ORIGIN POINT.
- CONTOUR INTERVAL: 200mm
- BOUNDARY COMPILATION CERTIFIED BY N.CREESE OF LARKE & CREESE

**GENERAL NOTES**

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.



**TITLE REF: 3/185631**  
**LOT SIZE: 1277 m<sup>2</sup>**

PROPOSED NEW ONSITE WASTEWATER SYSTEM REFER ONSITE WASTEWATER ASSESSMENT PREPARED BY DOYLE SOIL CONSULTING DATED: 12/01/2026 FOR FURTHER DETAILS.

OUTBUILDINGS PART OF THIS APPLICATION

**SITE PLAN**  
 1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF BAL-12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

EX. SEPTIC TANK TO BE REMOVED. REFER ONSITE WASTEWATER ASSESSMENT PREPARED BY DOYLE SOIL CONSULTING DATED: 12/01/2026 FOR FURTHER DETAILS.

**Prime Design**

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 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
 info@primedesigntas.com.au primedesigntas.com.au



REV. DATE DESCRIPTION

Client name:  
 KNEST

Project:  
 PROPOSED NEW RESIDENCE & AS CONSTRUCTED SHEDS  
 16 NAIRN STREET,  
 BUCKLAND  
 Drawing:  
 SITE PLAN

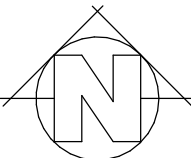
Date: 03.02.2026  
 Drafted by: S.P./T.W.  
 Approved by: F.G.

Project/Drawing no: PDH26003 - 01  
 Scale: 1 : 200  
 Revision: 03

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Accredited building practitioner: Frank Geskus -No CC246A  
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DATUM  
TBM RL:  
64.93

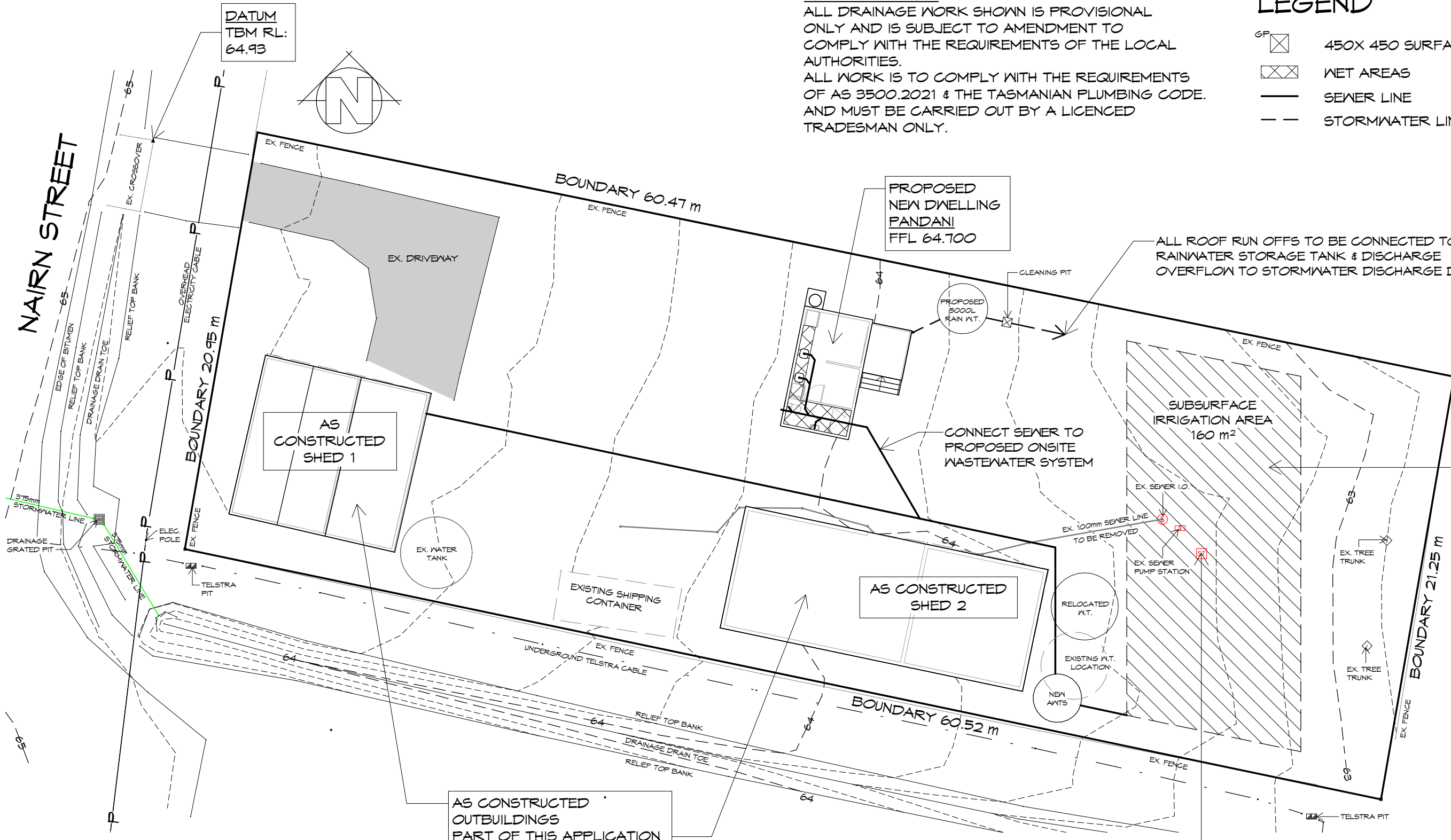


**PLUMBING NOTES:**  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.  
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

**LEGEND**

- GP 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE

NAIRN STREET



ALL ROOF RUN OFFS TO BE CONNECTED TO 5000L RAINWATER STORAGE TANK & DISCHARGE OVERFLOW TO STORMWATER DISCHARGE DRAIN

PROPOSED NEW ONSITE WASTEWATER SYSTEM REFER ONSITE WASTEWATER ASSESSMENT PREPARED BY DOYLE SOIL CONSULTING DATED: 12/01/2026 FOR FURTHER DETAILS.

EX. SEPTIC TANK TO BE REMOVED. REFER ONSITE WASTEWATER ASSESSMENT BY DOYLE SOIL CONSULTING DATED JAN 2026 FOR FURTHER DETAILS

**SITE DRAINAGE PLAN**

1 : 200

READ IN CONJUNCTION WITH ONSITE WASTEWATER ASSESSMENT PREPARED BY DOYLE SOIL CONSULTING DATED: 12/01/2026 FOR FURTHER DETAILS.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790  
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575  
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION

Client name:  
KNEST

Project:  
PROPOSED NEW RESIDENCE & AS  
CONSTRUCTED SHEDS  
16 NAIRN STREET,  
BUCKLAND  
Drawing:  
SITE DRAINAGE PLAN

Date: 03.02.2026  
Drafted by: S.P./T.W.  
Approved by: F.G.

Project/Drawing no: PDH26003 - 02  
Scale: As indicated  
Revision: 03

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PROPOSED NEW RESIDENCE  
16 NAIRN STREET,  
BUCKLAND

THIS PROJECT HAS BEEN DETERMINED TO HAVE A  
BUSHFIRE ATTACK LEVEL (BAL) OF **BAL-12.5**  
REFER TO ASSESSMENT FOR FURTHER DETAILS.  
ALL CONSTRUCTION MUST COMPLY WITH AS3959.

REFER ASSESSMENT PREPARED BY  
DAVID LYNE BFP-144  
FOR BUSHFIRE HAZARD MANAGEMENT AREA DETAILS  
ALL CONSTRUCTION MUST COMPLY WITH AS3959

## LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED VILLAGE AND REQUIRES A BUSHFIRE ASSESSMENT.  
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



REV.	DATE	DESCRIPTION

Client name:  
KNEST

**PLANNING**  
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16 NAIRN STREET,  
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LOCALITY PLAN



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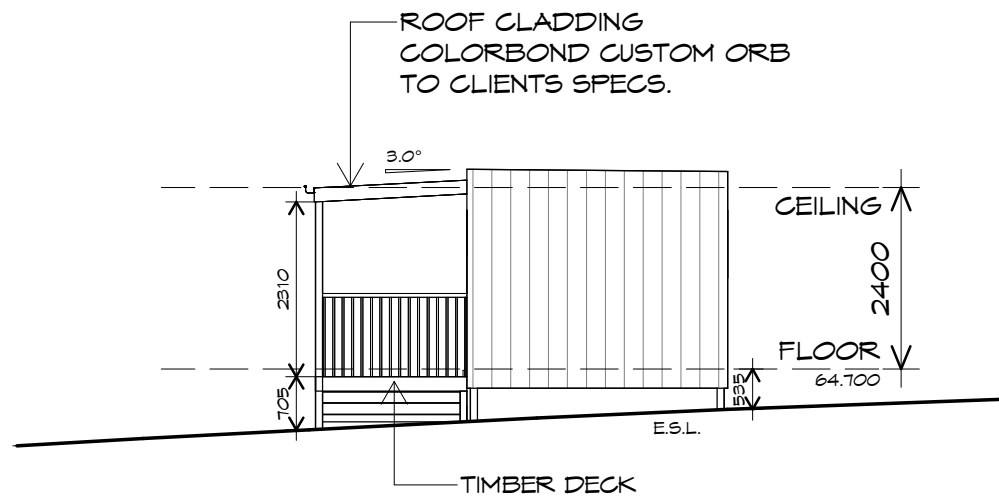


Date:	Drafted by:	Approved by:
03.02.2026	S.P./T.W.	F.G.

Project/Drawing no:	Scale:	Revision:
PDH26003 - 03	1 : 2000	03

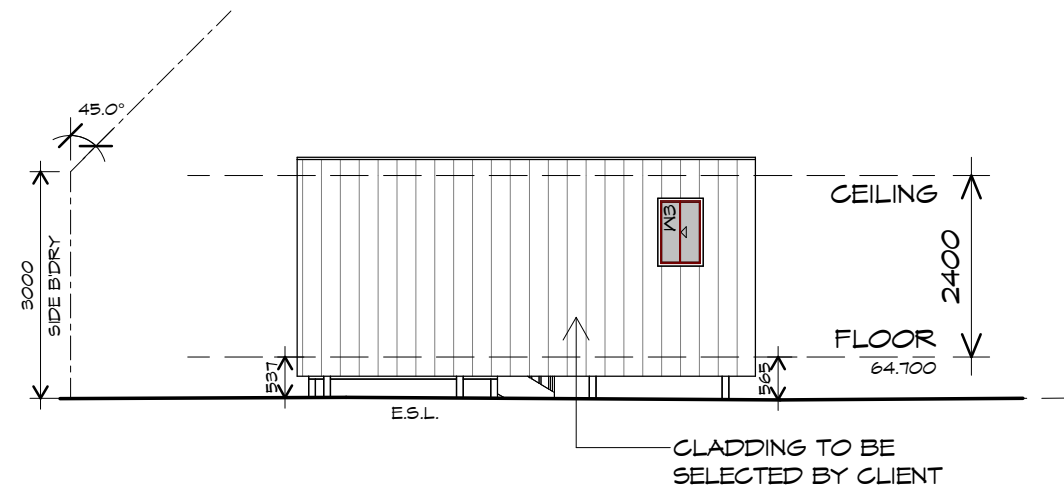
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### NORTHERN ELEVATION

1 : 100



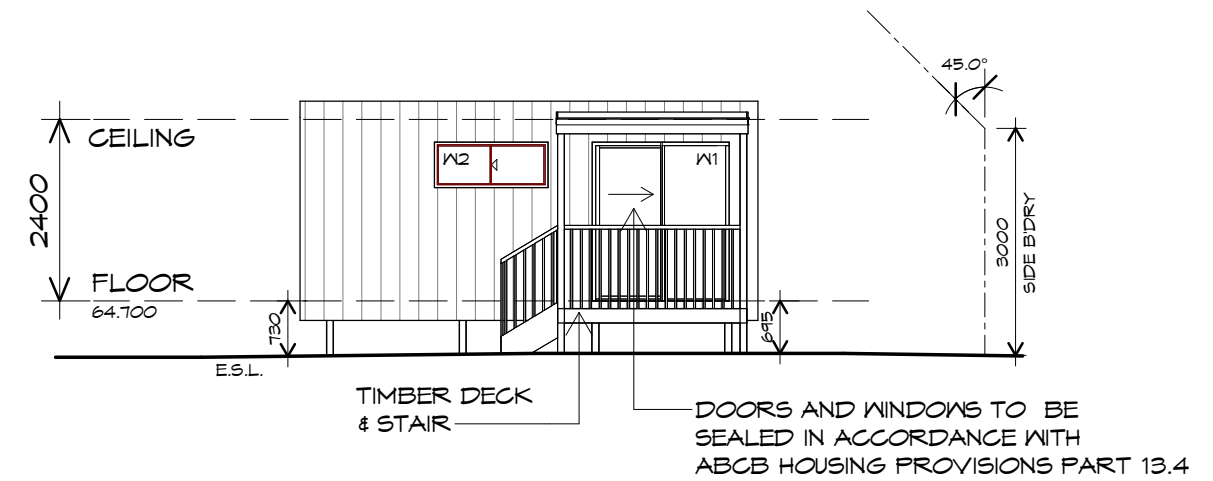
### WESTERN ELEVATION

1 : 100



### SOUTHERN ELEVATION

1 : 100



### EASTERN ELEVATION

1 : 100



REV.	DATE	DESCRIPTION

Client name:  
KNEST

**PLANNING**  
NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
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CONSTRUCTED SHEDS  
16 NAIRN STREET,  
BUCKLAND  
Drawing:  
ELEVATIONS



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info@primedesigntas.com.au primedesigntas.com.au



Date: 03.02.2026	Drafted by: S.P./T.W.	Approved by: F.G.
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Project/Drawing no: PDH26003 - 05	Scale: 1 : 100	Revision: 03
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Accredited building practitioner: Frank Geskus - No CC246A  
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ROOF PLUMBING NOTES:

GUTTER INSTALLATION

TO BE IN ACCORDANCE WITH  
 ABCB HOUSING PROVISIONS PART 7.4.4  
 WITH FALL NO LESS THAN  
 1:500 FOR EAVES GUTTER  
 BOX GUTTERS IN ACCORDANCE WITH  
 AS33500.3:2021

UNLESS FIXED TO METAL FASCIA  
 EAVES GUTTER TO BE FIXED  
 @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:

- A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.
- B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

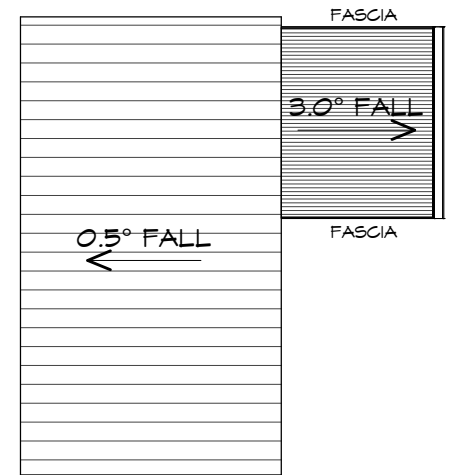
DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY.

EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.4.5 REQUIREMENTS.

SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS REFER TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS. REFER TO TO ABCB HOUSING PROVISIONS PART 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



**ROOF PLAN**

1 : 100

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,  
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



REV.	DATE	DESCRIPTION

Client name:  
 KNEST

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE & AS  
 CONSTRUCTED SHEDS  
 16 NAIRN STREET,  
 BUCKLAND  
 Drawing:  
 ROOF PLAN



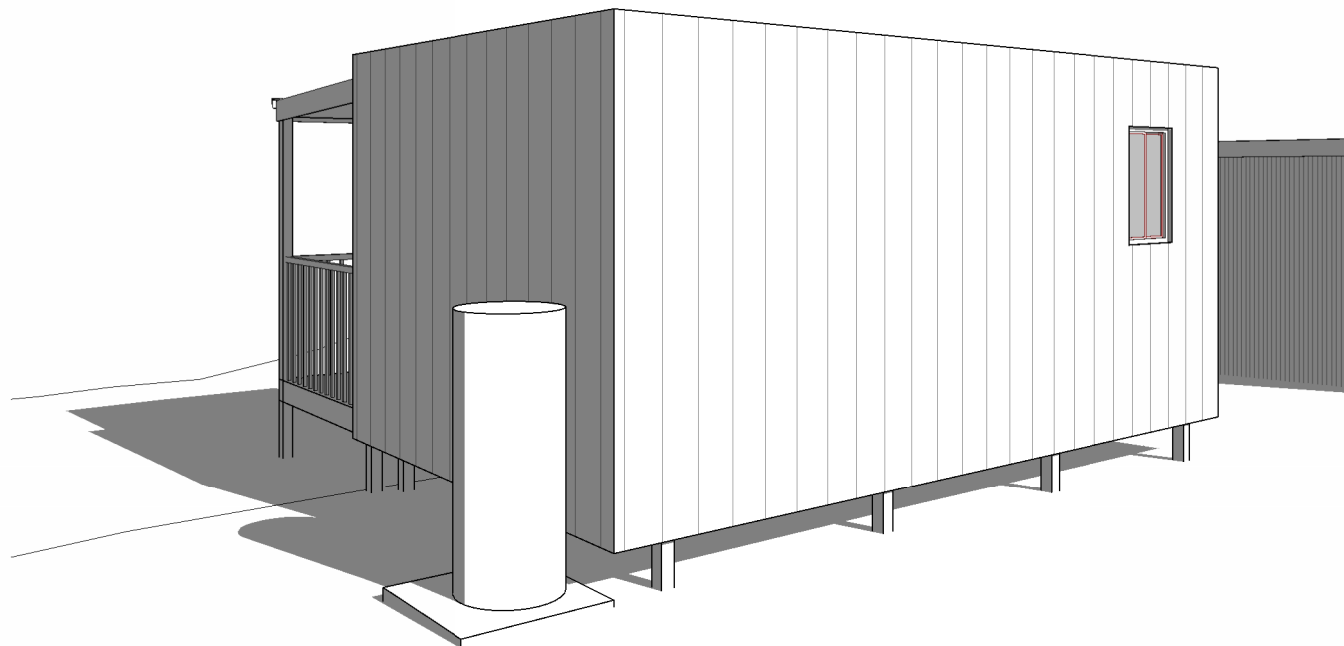
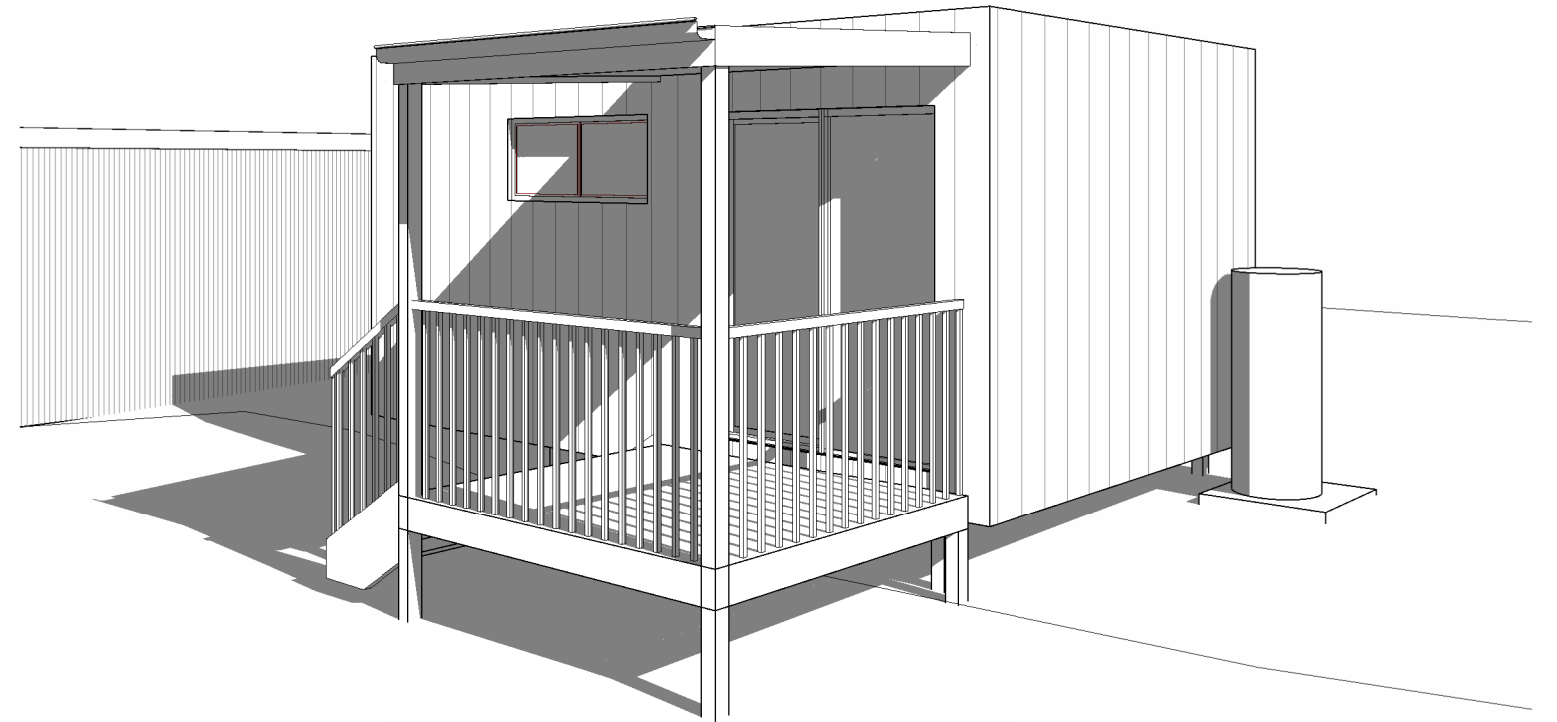
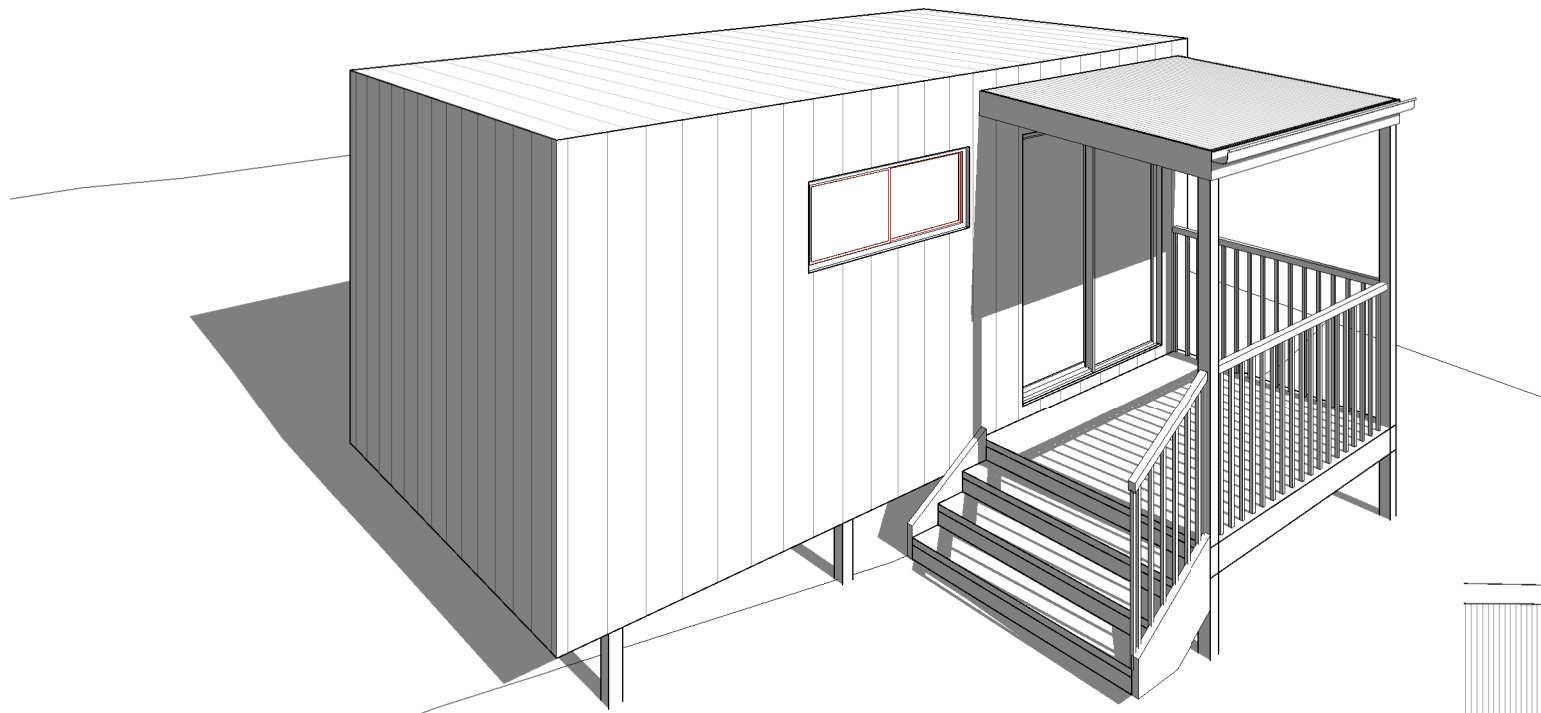
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Date: 03.02.2026	Drafted by: S.P./T.W.	Approved by: F.G.
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Project/Drawing no: PDH26003 - 06	Scale: 1 : 100	Revision: 03
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REV.	DATE	DESCRIPTION

Client name:  
 KNEST

**PLANNING**  
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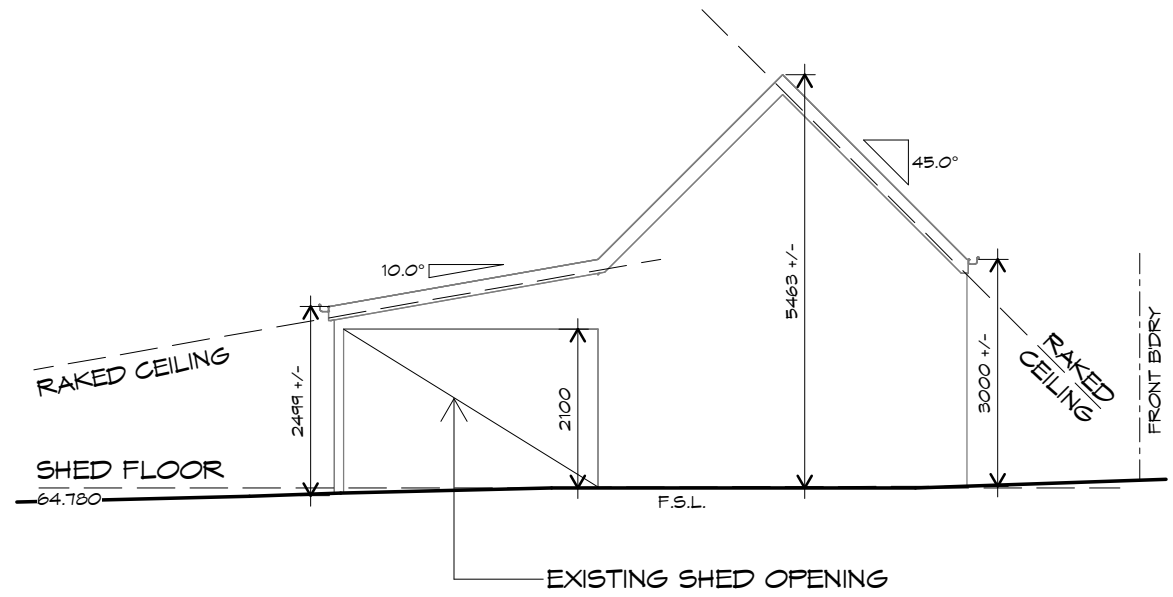
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 PROPOSED NEW RESIDENCE & AS  
 CONSTRUCTED SHEDS  
 16 NAIRN STREET,  
 BUCKLAND  
 Drawing:  
 PERSPECTIVES

Date: 03.02.2026	Drafted by: S.P.	Approved by: F.G.
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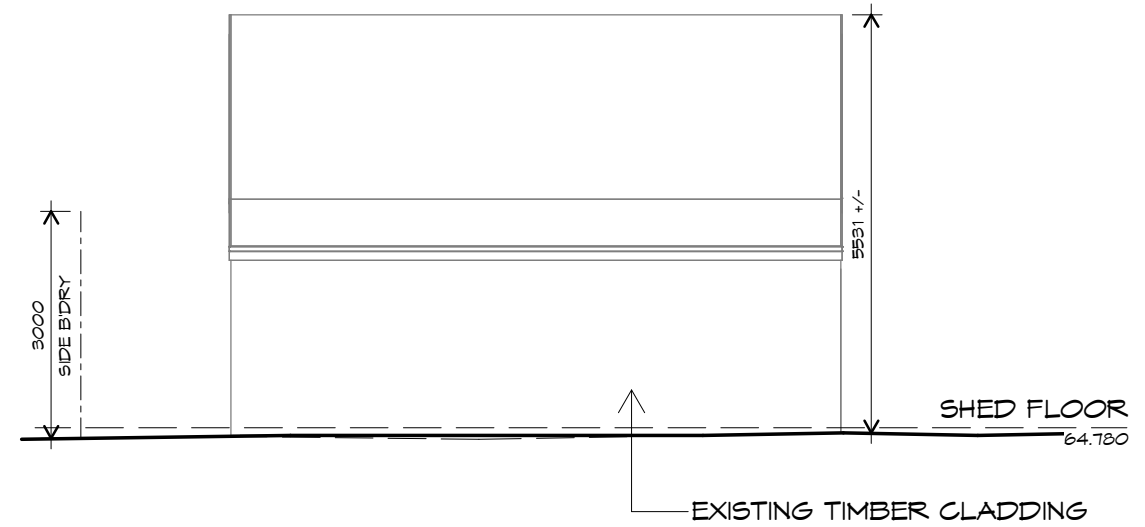
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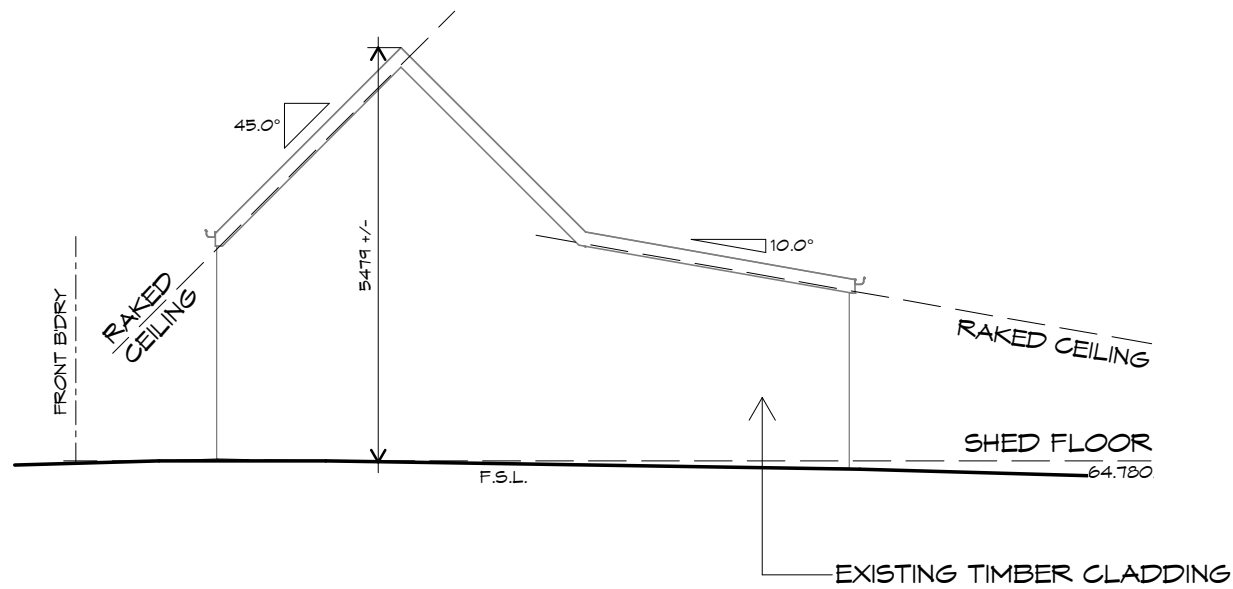
EXISTING SHED 1  
PROPOSED WORKS  
ARE INTERNAL ONLY.



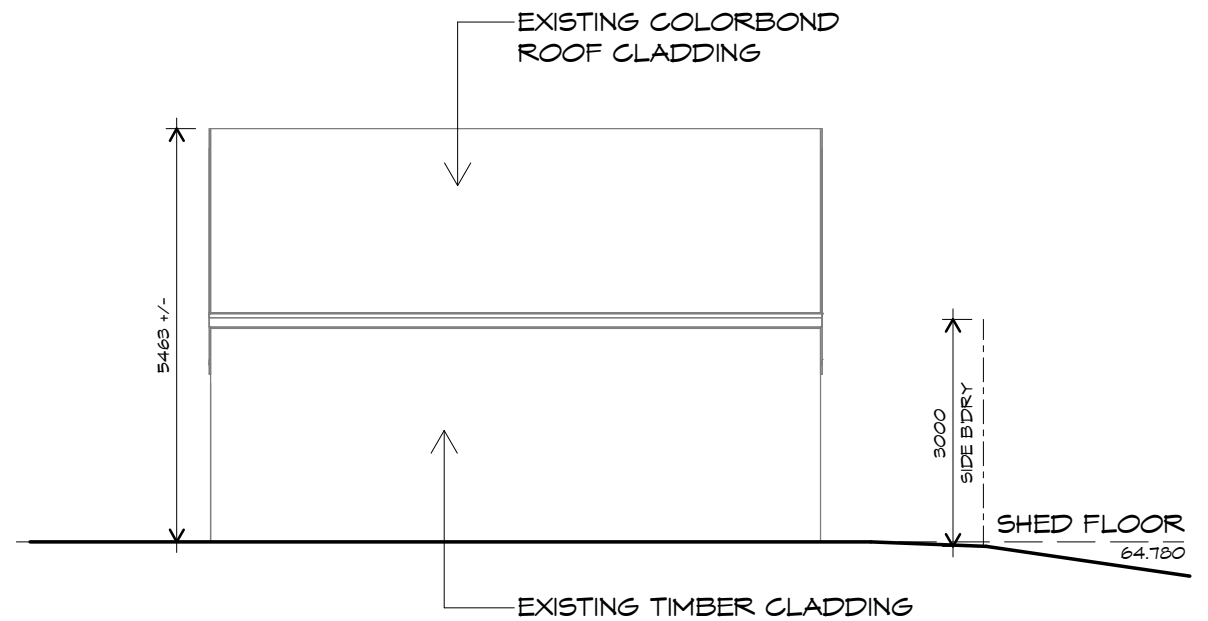
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1 : 100



**EASTERN ELEVATION**  
1 : 100



**SOUTHERN ELEVATION**  
1 : 100



**WESTERN ELEVATION**  
1 : 100



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REV.	DATE	DESCRIPTION
		EXISTING SHED

Client name:  
**KNEST**

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
**PROPOSED NEW RESIDENCE  
16 NAIRN STREET,  
BUCKLAND**

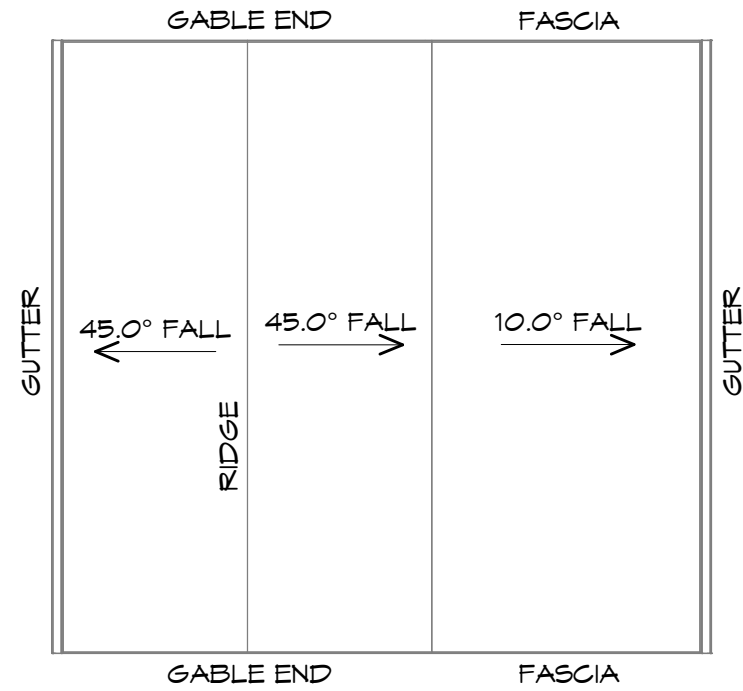
Drawing:  
**SHED ELEVATIONS**

Date: 02.03.2026  
Drafted by: Author  
Approved by: Approver

Project/Drawing no: PDH26003 - S1-01  
Scale: 1 : 100  
Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A  
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EXISTING SHED 1  
 PROPOSED WORKS  
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## SHED ROOF PLAN

1 : 100



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REV. DATE	DESCRIPTION
	EXISTING SHED

Client name:  
 KNEST

**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Project:  
 PROPOSED NEW RESIDENCE  
 16 NAIRN STREET,  
 BUCKLAND

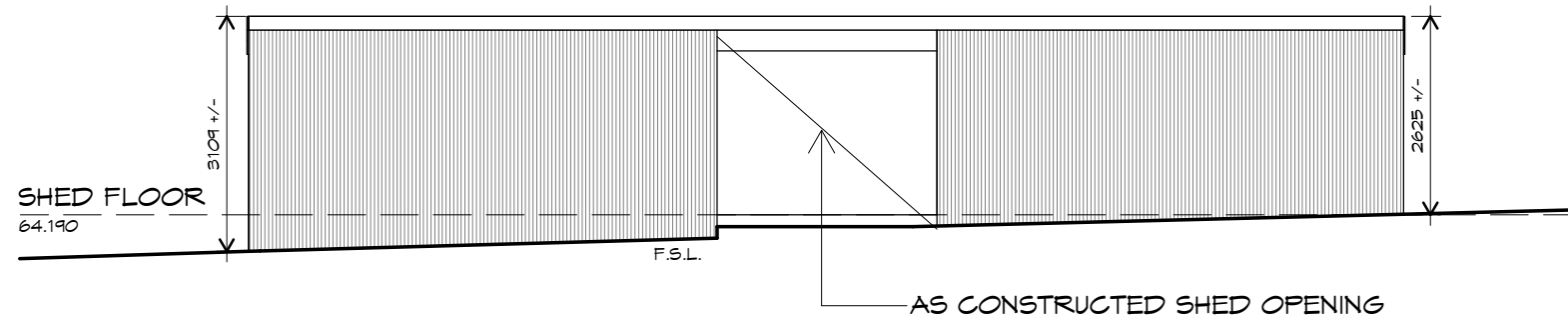
Drawing:  
 SHED ROOF PLAN

Date: 02.03.2026  
 Drafted by: T.W.  
 Approved by: Approver

Project/Drawing no: PDH26003 - S1-02  
 Scale: 1 : 100  
 Revision: 03

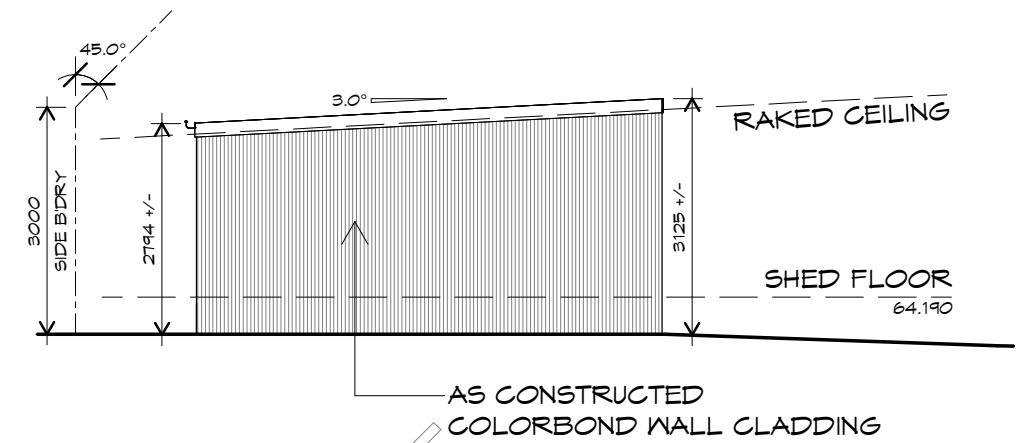
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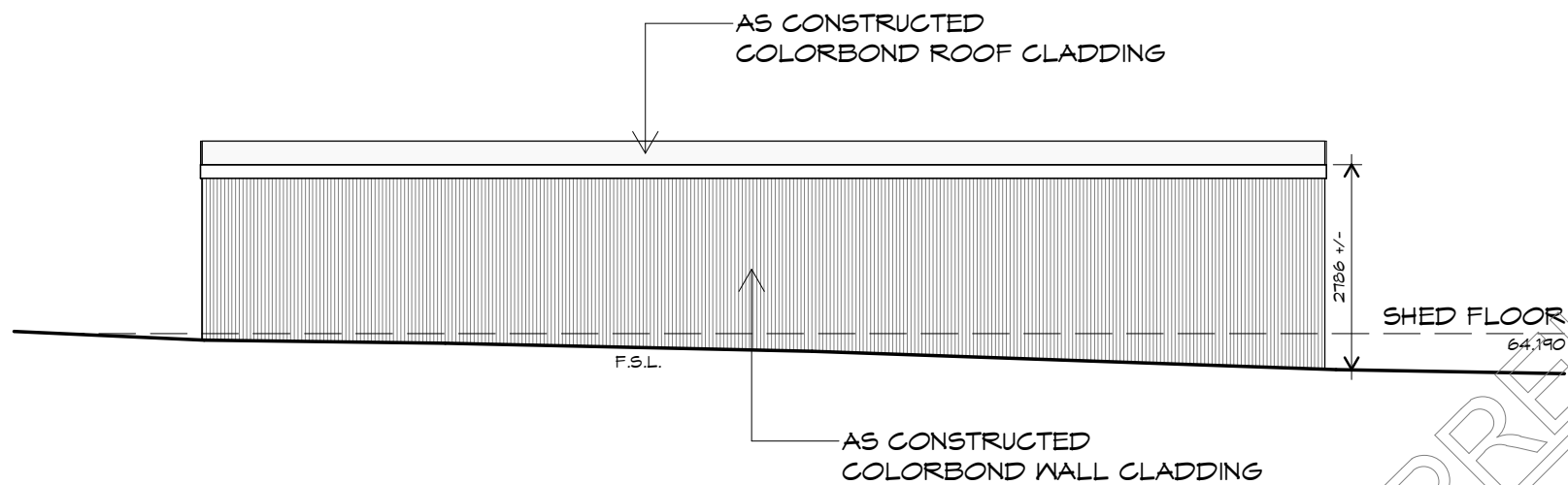
### NORTHERN ELEVATION

1 : 100



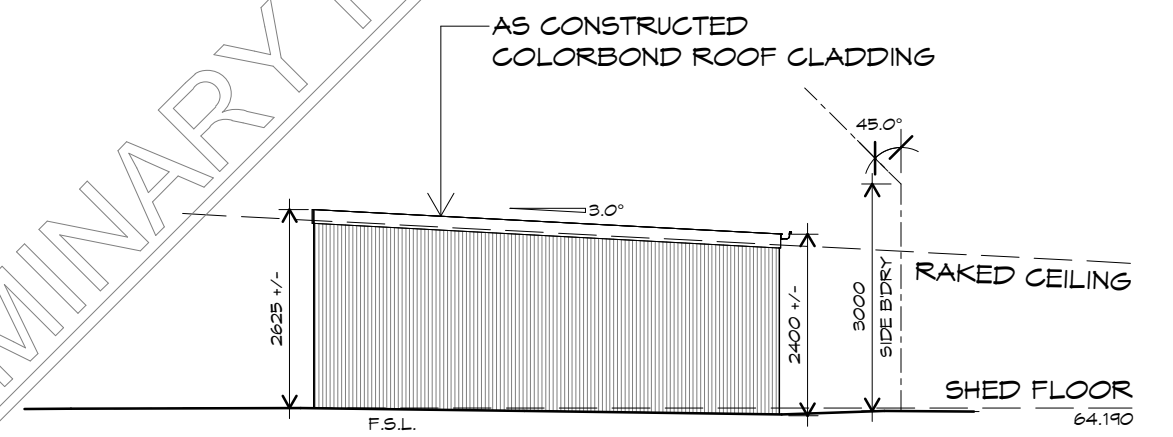
### EASTERN ELEVATION

1 : 100



### SOUTHERN ELEVATION

1 : 100



### WESTERN ELEVATION

1 : 100

PRELIMINARY PRINT

NOT FOR CONSTRUCTION

AS-CON SHED 2

Client name:  
KNEST

Project:  
PROPOSED NEW RESIDENCE  
16 NAIRN STREET,  
BUCKLAND

Date:  
02.03.2026

Drafted by:  
T.W.

Approved by:  
Approver

REV. DATE DESCRIPTION

Project/Drawing no: PDH26003 - S2-01  
Scale: 1 : 100  
Revision: 03

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

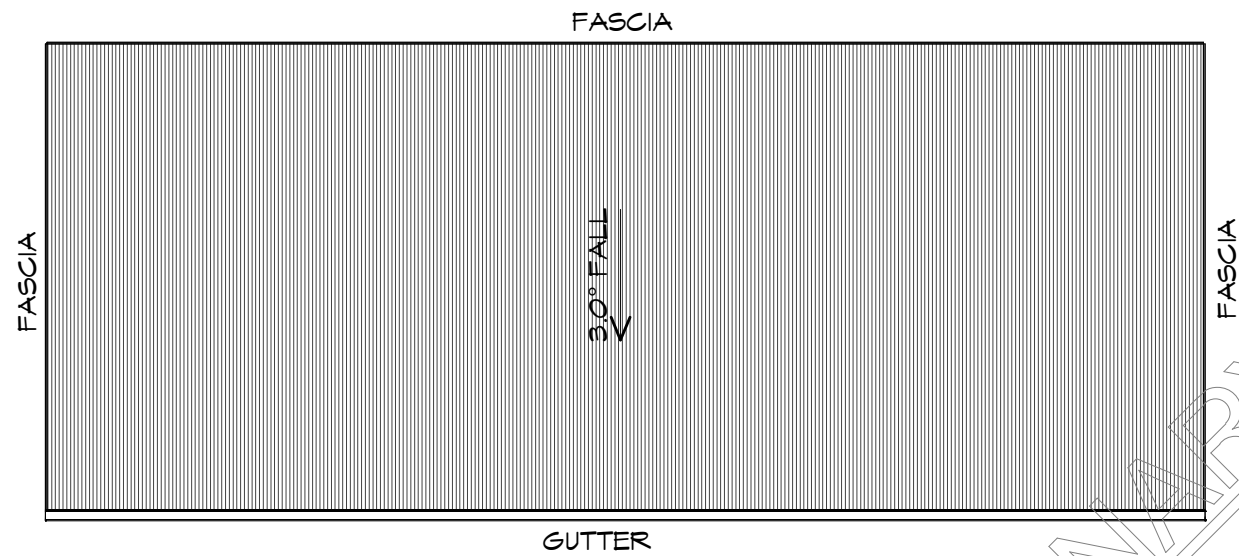
Drawing:  
SHED ELEVATIONS

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### SHED ROOF PLAN

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NOT FOR CONSTRUCTION

AS-CON SHED 2

Client name:  
KNEST

Project:  
 PROPOSED NEW RESIDENCE  
 16 NAIRN STREET,  
 BUCKLAND

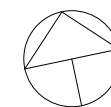
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 02.03.2026

Drafted by:  
 T.W.

Approved by:  
 Approver

REV. DATE	DESCRIPTION
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Project/Drawing no:	Scale:	Revision:
PDH26003 - S2-02	1 : 100	03



**PLANNING**  
 NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:  
 SHED ROOF PLAN

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Prime  
Design

*your build, your way*

30 March 2026

9 Melbourne Street  
Triabunna  
TAS 7190

Dear Planner,

**Re: Proposed New Single Dwelling & As Constructed Shed for 16 Nairn St, Buckland**

## 12.0 Village Zone

### 12.4.2 Building Height

A1 Complies. All building heights do not exceed 8.5m

### 12.4.3 Setback

A1 Complies with (a) for proposed dwelling and as constructed Shed 2. Shed 1 is an existing structure – only internal works have been proposed.

A2 Complies with (a) for proposed dwelling. Does not comply for as constructed Shed 2.

P2 As constructed Shed 2 is approximately 6 x 15m and is situated 1.6m from the side boundary, also adjacent to a road, Kent Street, and therefore does not pose unreasonable loss of amenity to its adjoining properties in terms of its topography, size, shape and orientation of the site.

The boundary setback is also in keeping with that of its surrounding sheds. The height does not exceed 3.1m and poses no overshadowing to a habitable room or private open spaces on the property as well as its adjoining properties.

A3 Not applicable.

### 12.4.4 Site Coverage

A1 Complies. Site coverage is 14.7%.

### 12.4.5 Fencing

Does not apply. No new fencing proposed.



#### 12.4.5 Outdoor Storage Areas

Does not apply. All buildings for residential use.

Kind regards,  
Tarcia Wong