



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **RA1433 Dolphin Sands Road, Dolphin Sands
CT 54666/206**

PROPOSAL: **Residential - Single Dwelling & Outbuilding**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer.

Representations must be received before midnight on 20 April 2026.

APPLICANT: **Daniel Lindahl**

DATE: **29/01/2026**

APPLICATION NO: **DA 2026 / 014**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 188894	FOLIO 2
EDITION 2	DATE OF ISSUE 20-Dec-2025

SEARCH DATE : 22-Jan-2026

SEARCH TIME : 04.08 pm

DESCRIPTION OF LAND

Parish of CAMBRIA Land District of GLAMORGAN

Lot 2 on Sealed Plan [188894](#)

Derivation : Part of Lot 36, 2715 Acres Gtd. to George Meredith

Prior CT [54666/206](#)

SCHEDULE 1

[N288293](#) TRANSFER to

Registered 20-Dec-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP188894](#) COVENANTS in Schedule of Easements

[SP188894](#) FENCING PROVISION in Schedule of Easements

[SP 54666](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER:
LUCY ANNE ROOKE and EMMA JANE FOSTER
as personal representatives of Peter Donald Rooke
FOLIO REFERENCE: 54666/206

PLAN OF SURVEY

BY SURVEYOR:
H. A. CLEMENT of **OPDA**
SURVEYORS, ENGINEERS & PLANNERS
127 BATHURST STREET, HOBART

REGISTERED NUMBER
SP188894

GRANTEE: PART OF LOT 36, 2715-0-0
GTD TO GEORGE MEREDITH &
~~PART OF 2674-0-0 GTD TO
GEORGE MEREDITH~~

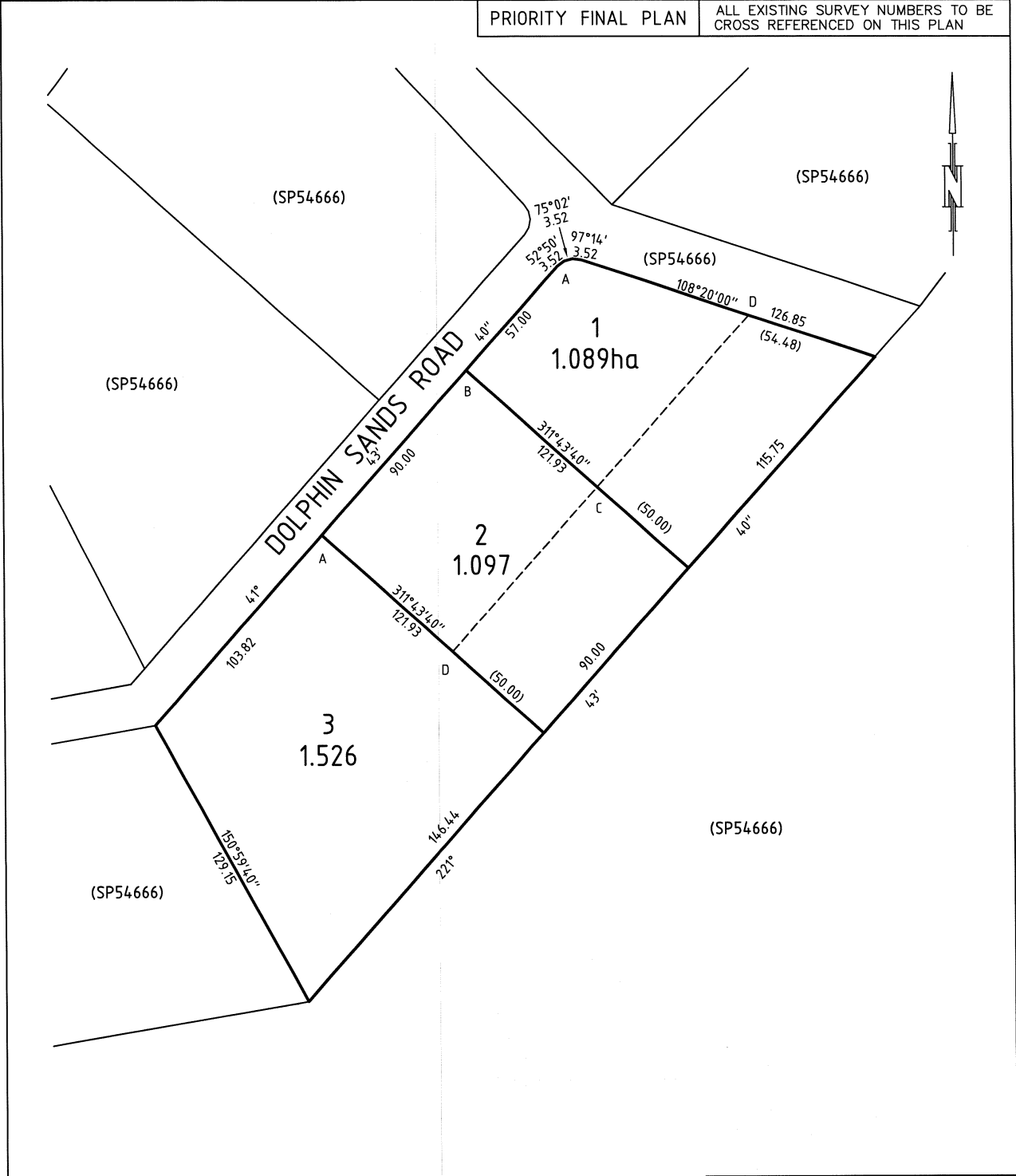
LOCATION: LAND DISTRICT OF GLAMORGAN
PARISH OF CAMBRIA

APPROVED
EFFECTIVE FROM 12 SEP 2025

[Signature]
Recorder of Titles

SCALE 1: 1500 LENGTHS IN METRES SURVEYORS REF 49882HC

PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



[Signature]
Registered Land Surveyor
Date: 19/12/2024

[Signature]
Acting General Manager
Council Delegate
Date: 18/08/25

SCHEDULE OF EASEMENTS	Registered Number SP 188894
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

No easements of profits are created to benefit or burden any lot on the Plan.


COVENANTS

The owner of each lot shown on the plan covenants with the owners for the time being of every other lot shown on the plan and the Glamorgan Spring Bay Council to the intent that the burden of these covenants may run with and bind the Covenantors Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the said plan, and Glamorgan Spring Bay Council, to observe the following stipulations:-

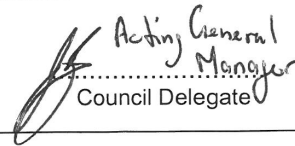
- (a) Not to install or use for the purposes of disposal of wastewater any 'septic tank' system;
- (b) Not to dispose of wastewater from any development on the Lot other than by way of an aerated wastewater treatment system (AWTS);

The owner for the time being of Lots 1 and 2 on the Plan covenant with the owners for the time being of every other lot shown on the plan and the Glamorgan Spring Bay Council to the intent that the burden of this covenant may run with and bind the Covenantors Lot and every part thereof and that the benefit thereof shall be annexed


.....
Emma Jane ~~Rooke~~ Foster


.....
Lucy Anne Rooke

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Emma Jane Foster and Lucy Anne Rooke as legal personal representatives of the estate of the late Peter Donald Rooke FOLIO REF: 54666/206 SOLICITOR & REFERENCE: McMullen Lawyers (Ref: JM:240387)	PLAN SEALED BY: GLAMORGAN SPRING BAY COUNCIL DATE: 18/08/25 SA2022/031 REF NO.  Acting General Manager Council Delegate
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 2 PAGES</p>	<p>Registered Number</p> <p>SP 188894</p>
<p>SUBDIVIDER: : Emma Jane Foster and Lucy Anne Rooke as legal personal representatives of the estate of the late Peter Donald Rooke FOLIO REFERENCE: 54666/206</p>	

to and devolve with each and every part of every other lot shown on the said plan, and Glamorgan Spring Bay Council, to observe the following stipulation:-

- (a) ~~Not to erect or permit to be erected on the Lot any buildings in a location that is closer than 50 metres to the boundary with a Crown reserve.~~
Not to erect or permit to be erected on the Lot any buildings other than in the area marked ABCD within the Lot

FENCING PROVISION

In respect of each lot on the Plan the Vendors, Emma Jane ~~Rooke~~^{Foster} and Lucy Anne Rooke, shall not be required to fence.

SIGNED by EMMA JANE FOSTER
in the presence of:

EMMA JANE FOSTER
.....

Witness *Jack Foster*
Full Name *Jack Foster*
Address *436 Cove Hill Rd
Honeywood TAS 7017*

SIGNED by LUCY ANNE ROOKE
in the presence of:

LUCY ANNE ROOKE
.....

Witness *Linda Wasijta*
Full Name *LINDA WASIJTA*
Address *304, 164 HORDON PDE
MAROCHYDORE QLD 4558*

.....
~~Emma Jane Rooke~~ ~~Lucy Anne Rooke~~

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DRAWING INDEX

Dwg.No.	Drawing name	Scales
DD01	Index, views	
DD02	Site Plan	1:10000, 1:500
DD03	Floor plan	1:100
DD04	Footings	1:100
DD05	Roof plan	1:100
DD06	Elevations	1:100
DD07	Sections	1:100
DD08	Shed	1:100



view from NW

aerial view from SE

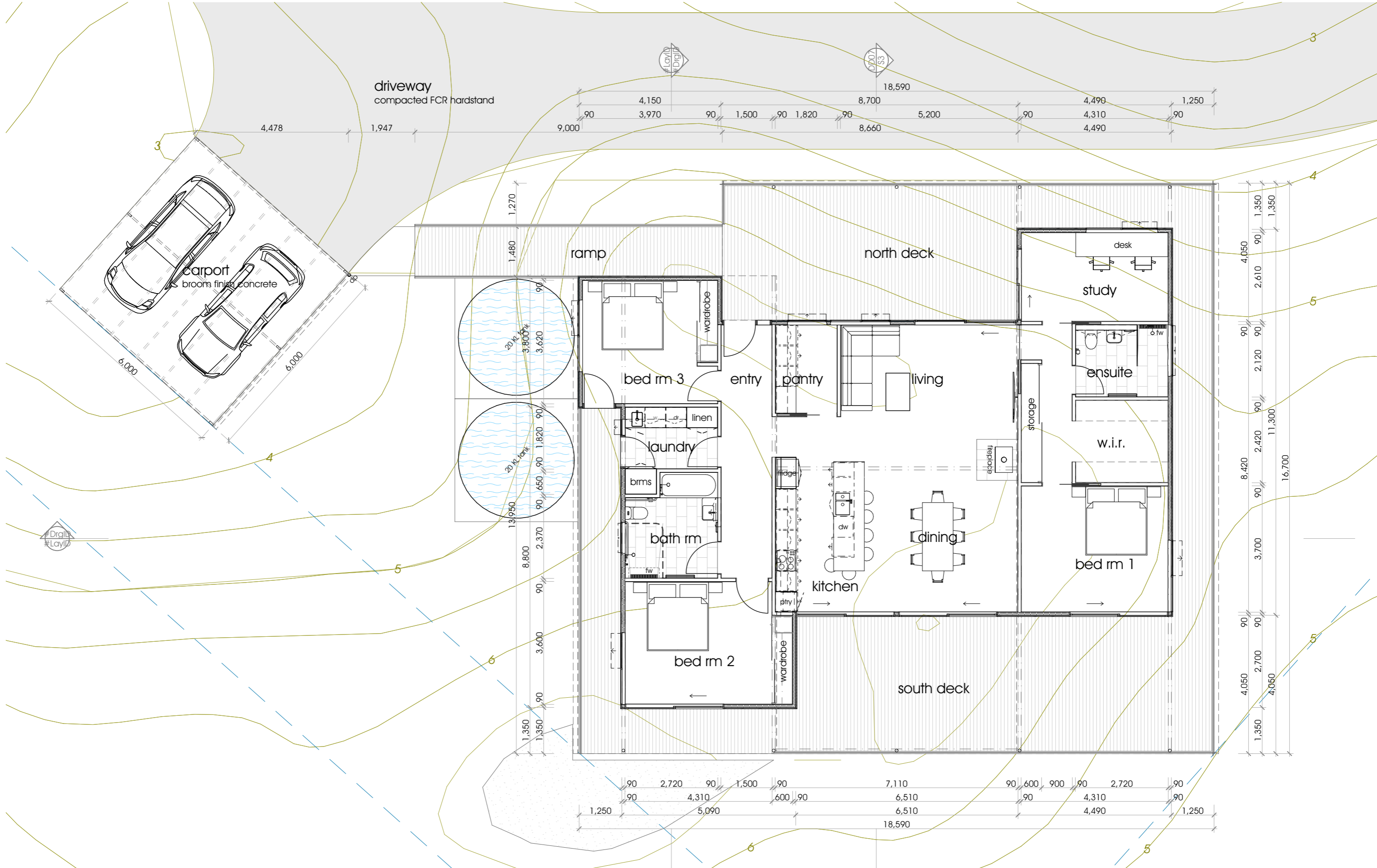


New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190



m. 0423 962 432
d.lindahl@live.com
www.dlindahlarch.com

2503-DD01



0. Ground floor
1:100

rev	date	by	details
D	260205	DL	driveway+parking surface finishes shown
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan reversed, stairs to ground, storage, bath
A	251123	DL	new design

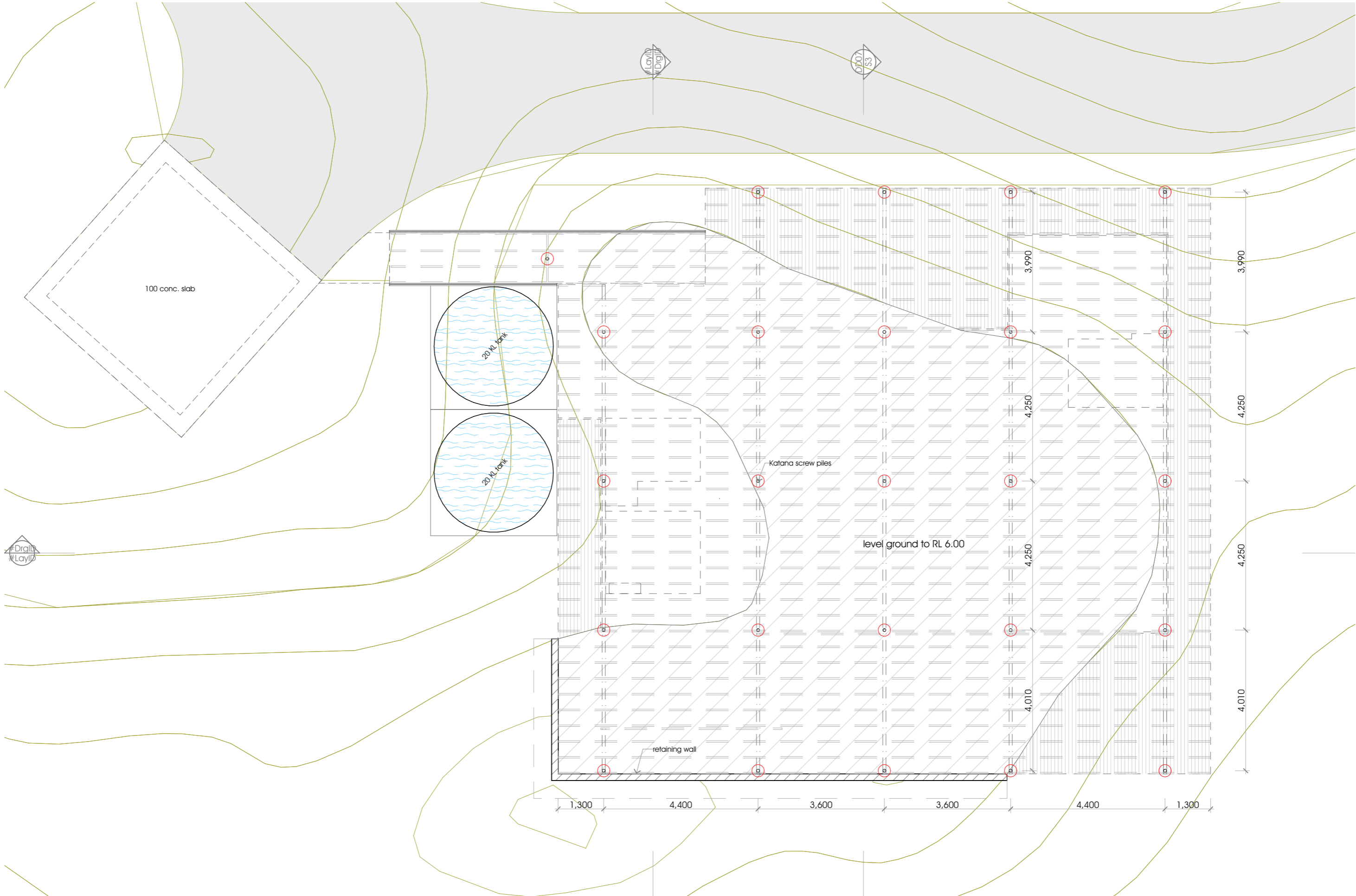
**New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190**

**Design drawings
Floor plan**

scale	1:100	2503-DD03
date drawn	2025-11-04	drawing No.
by	DL	printing date
		D
		rev.

**Daniel Lindahl
architecture**

m. 0423 962 432
d.lindahl@live.com
www.danielarch.com



-1. Footings
1:100

rev	date	by	details
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan changed, stairs to ground, flow path
A	251123	DL	new design

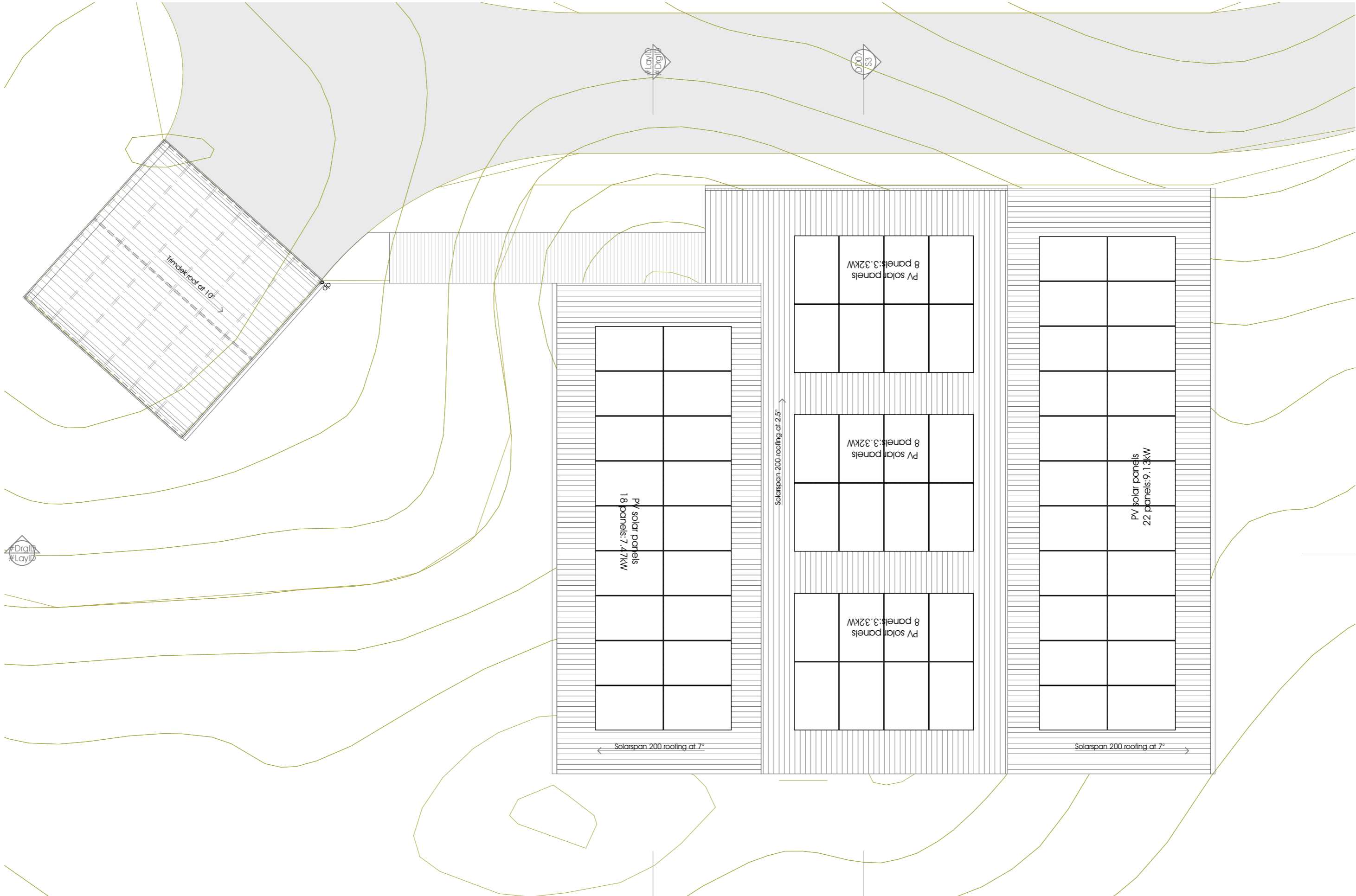
Design drawings
Footings

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

scale	1:100	2503-DD04
date drawn	2025-11-04	drawing No.
by	DL	printing date
		rev.

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1. Roof
1:100

rev	date	by	details
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B	251203	DL	plan changed
A	251123	DL	new design

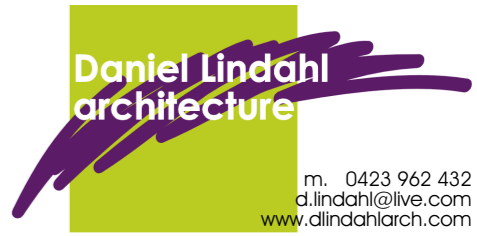
New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

Roof plan

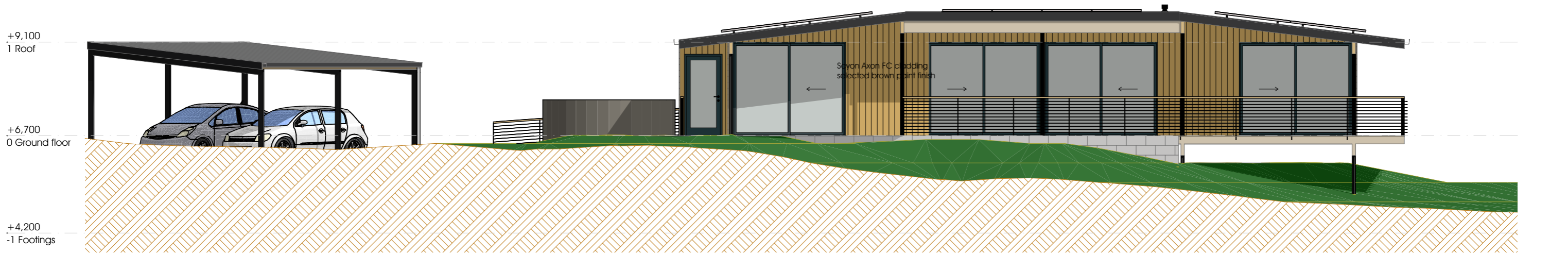
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date drawn	2025-11-04
by	DL

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drawing No.	rev.
2026-02-05	
printing date	

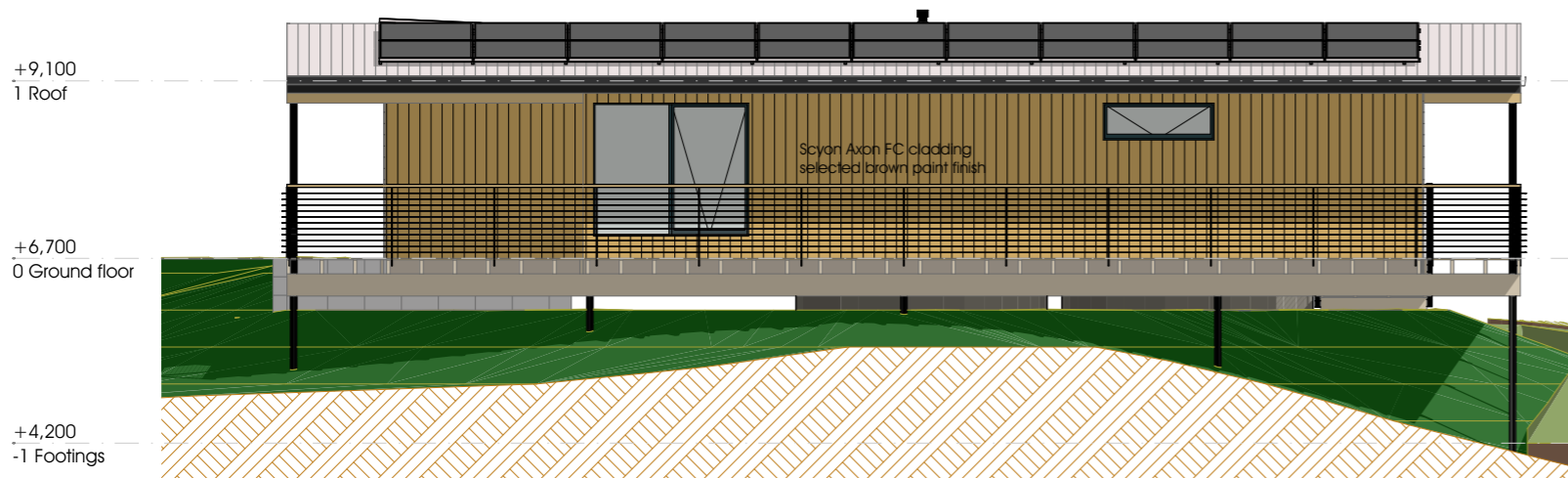




N Elevation
1:100



S Elevation
1:100



E Elevation
1:100



W Elevation
1:100

D	260205	DL	exterior cladding finishes shown
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan reversed, stairs to ground, flow path
A	251123	DL	new design
rev	date	by	details

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

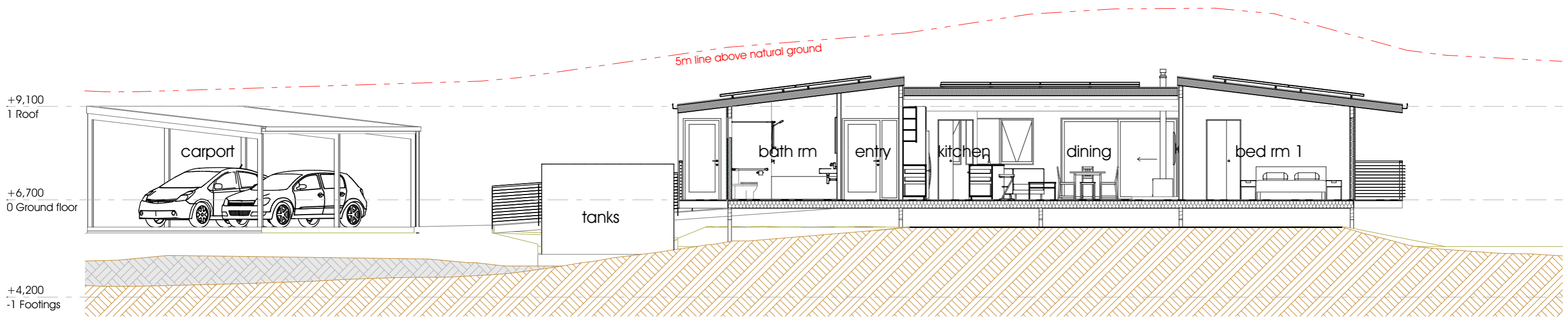
Elevations

scale 1:100
date drawn 2025-11-04
by DL

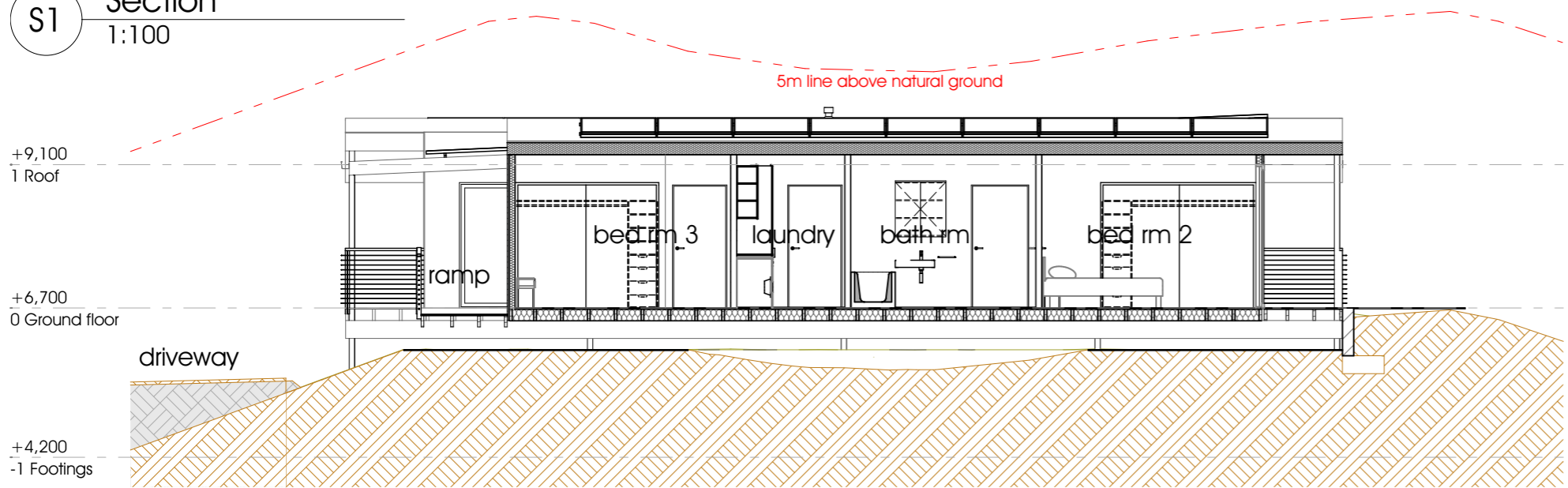
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drawing No. 2026-02-05
printing date D
rev.

Daniel Lindahl
architecture

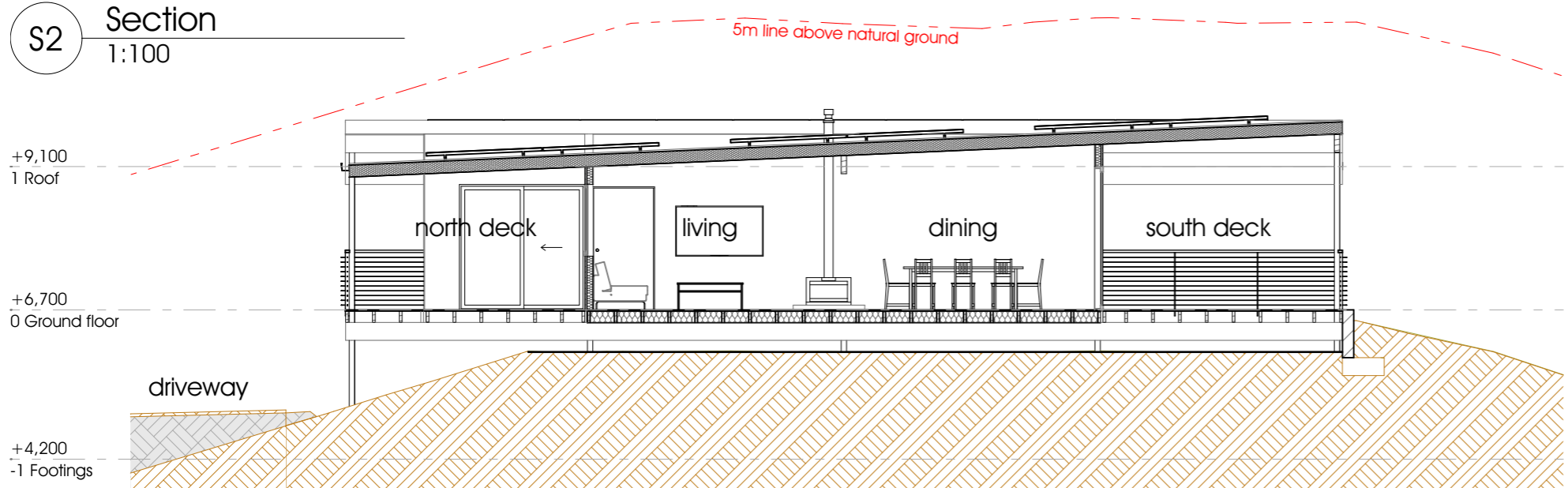
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d.lindah@live.com
www.dlindahlarch.com



S1 Section
1:100



S2 Section
1:100



S3 Section
1:100

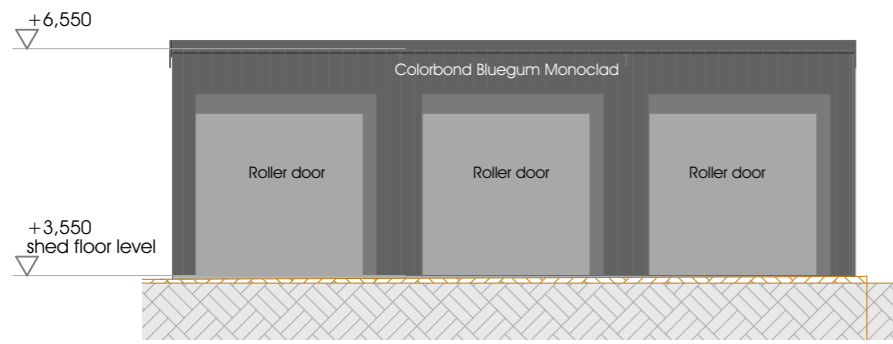
C	260126	DL house loc'n, driveway chgd, carport added
B	251203	DL plan reversed, stairs to ground, flow path
A	251123	DL new design
rev	date	by details

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

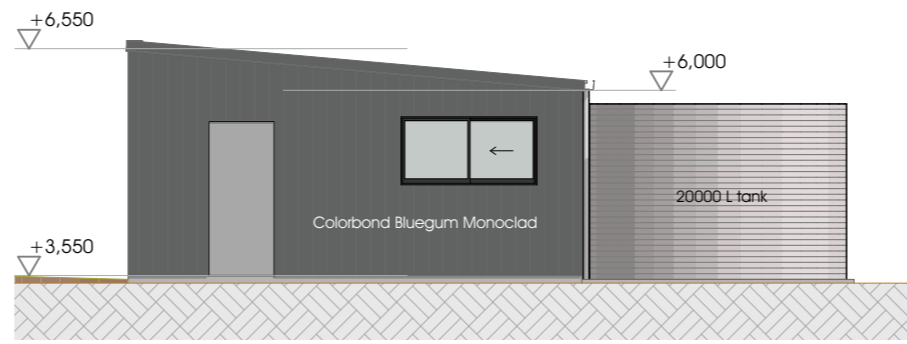
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Sections	
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by	DL
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printing date	
D	rev.

Daniel Lindahl
architecture

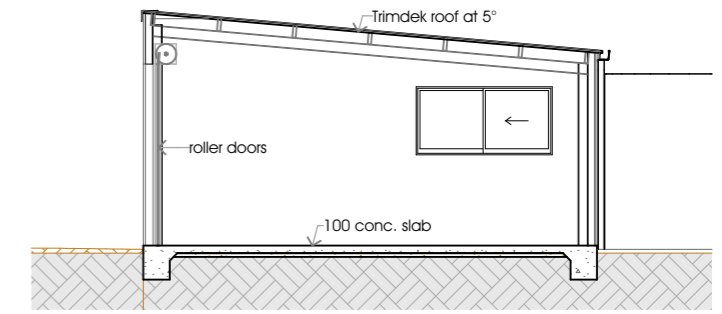
m. 0423 962 432
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www.dlindahlarch.com



W Elevation - shed
1:100



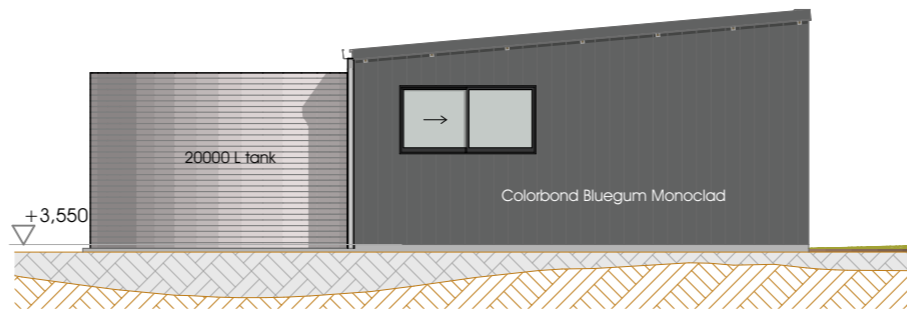
S Elevation - shed
1:100



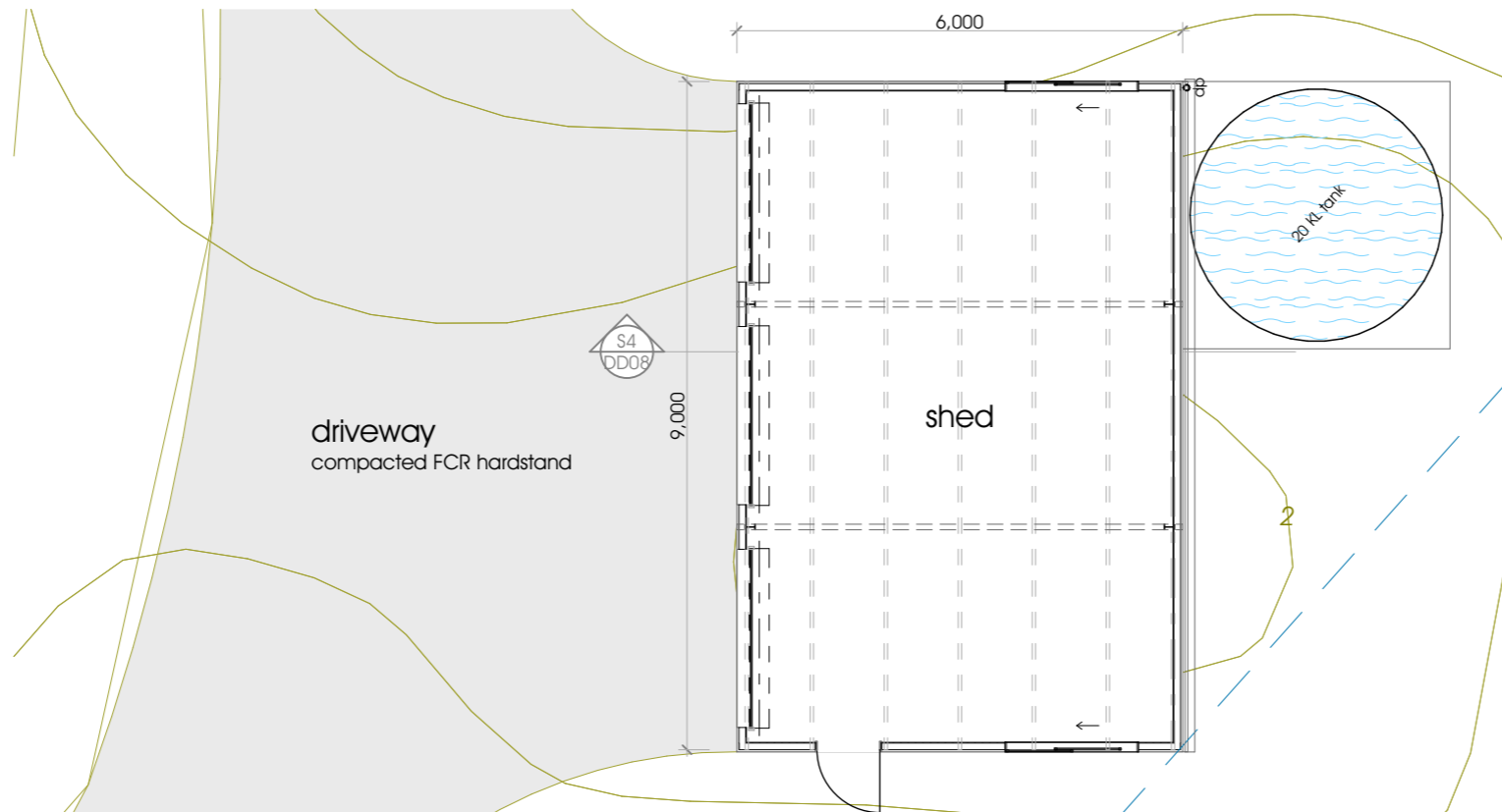
S4 Section
1:100



E Elevation - shed
1:100



N Elevation - shed
1:100



0. Floor plan - shed
1:100

D 260205	DL	this drawing added	f
rev	date	by	details

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

Shed

scale 1:100
date drawn 2026-02-05
by DL

2503-DD08
drawing No. 2026-02-05
printing date
D
rev.

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PLANNING REPORT ADDRESSING THE NATURAL ASSETS CODE REQUIREMENTS

LOT 2, 1433 DOLPHIN SANDS ROAD

MARCH 2026

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DOCUMENT CONTROL

Prepared & published by: FINN Environmental

Version: V01 Final

Contact: Hamish Howe

Phone no: 0419 253 908

Prepared for:

Client contact:

Client phone no:

VERSION	PREPARED BY	COMPANY	DATE
V01 Draft	Vere Michiels	FINN Environmental	04/03/2026
V01 Review	Hamish Howe	FINN Environmental	04/03/2026
V01 Final	Vere Michiels	FINN Environmental	04/03/2026

This report has been prepared, based on information generated by FINN Environmental from a range of sources. If you believe that FINN Environmental has misrepresented or overlooked any relevant information, it is your responsibility to bring this to the attention of FINN Environmental before implementing any of the report's recommendations. In preparing this report, FINN Environmental have relied on information supplied by the Client which, where reasonable, FINN Environmental has assumed to be correct. Whilst all reasonable efforts have been made to substantiate such information, no responsibility will be accepted if the information is incorrect or inaccurate.

This report is prepared solely for the use of the client to whom it is addressed and FINN Environmental will not accept any responsibility for third parties. In the event that any advice or other services rendered by FINN Environmental constitute a supply of services to a consumer under the Competition and Consumer Act 2010 (as amended), then FINN Environmental's liability for any breach of any conditions or warranties implied under the Act shall not be excluded but will be limited to the cost of having the advice or services supplied again. Nothing in this Disclaimer affects any rights or remedies to which you may be entitled under the Competition and Consumer Act 2010 (as amended). Each paragraph of this disclaimer shall be deemed to be separate and severable from each other. If any paragraph is found to be illegal, prohibited, or unenforceable, then this shall not invalidate any other paragraphs.

I INTRODUCTION

FINN Environmental was commissioned by the property owners, Anthony Ryan Gallagher and Robyn Elizabeth Danielson, in February 2026 to provide a report for the Glamorgan-Spring Bay Council to assess the proposed development at Lot 2, 1433 Dolphin Sands Road Dolphin Sands (hereinafter referred to as “the site”), against the development standards outlined in the Natural Assets Code (C7.0) within the *State Planning Provisions* of the *Tasmanian Planning Scheme*. The proposed development site is situated within a mapped **Priority Vegetation Area (PVA)** and **Waterway and Coastal Protection Area (WCPA)** and is located on land zoned as 31.0 Particular Purpose under the *Tasmanian Planning Scheme* (Figure 1). The proposed development seeks to construct a residential building, as well as an associated shed, carport and access road (Figure 2). A detailed development plan, as prepared by Daniel Lindahl architecture, is included in Appendix A.

Table 1 - Property details.

PROPERTY DETAILS	
Property ID	5280443
Title Reference	188894/2
Address	Lot 2, 1433 Dolphin Sands Road, Dolphin Sands TAS 7190
Property Owner	
Local Government Area	Glamorgan-Spring Bay Council
Zoning	31.0 Particular Purpose
Codes	Natural Assets Code – Priority Vegetation Area, Waterways and Coastal Protection Area

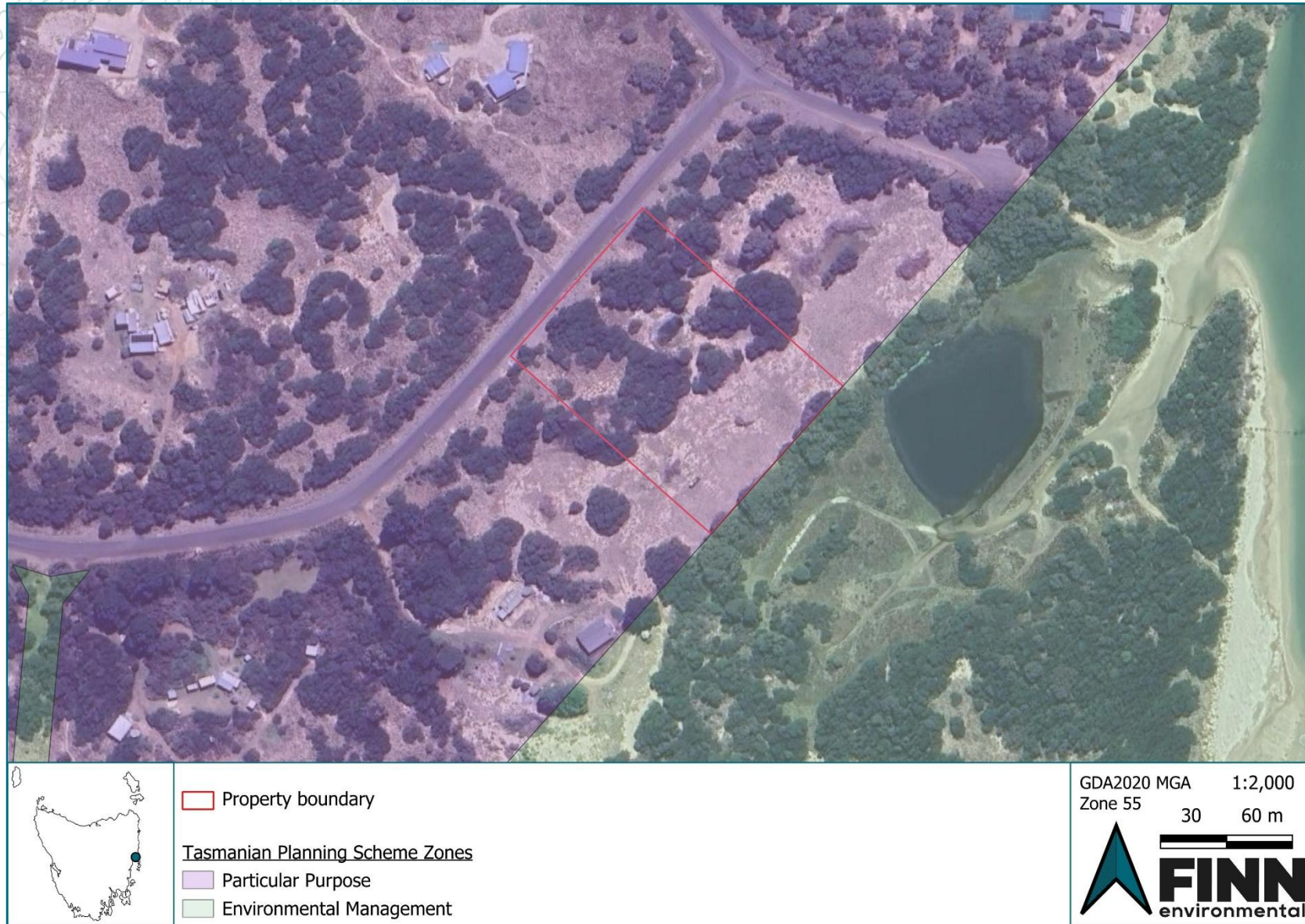


Figure 1 – Tasmanian Planning Scheme Zones for the site and surrounding areas.



Figure 2 - Proposed layout of the development of Lot 2, 1433 Dolphin Sands Road.

2 SITE DESCRIPTION

The 1ha subject site is located at the eastern end of Dolphin Sands near Bagot Point, located 13km northeast of Swansea, Tasmania. This falls within the Tasmanian South East bioregion. The site is mapped under TASVEG 5.0 as *Acacia longifolia* coastal scrub (SAL), spreading across a gently undulating landscape. An unnamed saltmarsh and wetland vegetation community group is located in proximity to the southeastern boundary of the site. Moulting Lagoon, a Wetland of International Importance as recognised by the Ramsar convention, lies beyond this.

The entire site falls within a mapped **PVA**, as per the Natural Assets Code (Figure 3). Additionally, the majority of the property is mapped as **WCPA** (Figure 4).

2.1 FIELD OBSERVATIONS

A field survey conducted by FINN Environmental on the 24th of February 2026 confirmed that the site consists of *Acacia longifolia* coastal scrub (SAL). The site vegetation is *Acacia longifolia* subsp. *sophorae* (coast wattle) dominant (Figure 5), with occasional *Banksia marginata* (silver banksia) presence. The understorey primarily consists of *Rhagodia condolleana* subsp. *candolleana* (coastal saltbush) and *Leucopogon parviflorus* (coast beardheath). Cleared areas on the site, particularly around the existing dam (Figure 6) and the southeastern half of the site, consist predominantly of *Poa poiformis* var. *poiformis* (coastal tussockgrass), with other species observed including *Lomandra longifolia* (sagg), *Ficinia nodosa* (knobby clubsedge), *Wahlenbergia* spp. (bluebell) and *Lepidosperma concavum* (sand swordsedge). Introduced *Ammophila arenaria* (marram grass) was also present in these areas.

During the field survey, effort was given to identifying threatened flora and potential habitat for threatened fauna.

No Threatened Native Vegetation Communities, as per Schedule 3A of the *Nature Conservation Act 2002* (NCA), nor any threatened flora species listed under State and/or Commonwealth environmental legislation were identified onsite during the field survey.

There was no evidence of potential significant habitat onsite for any threatened fauna species listed under State and/or Commonwealth environmental legislation. Any usage of the site by threatened fauna species would be limited to opportunistic foraging.

While there was no evidence of *Phytophthora cinnamom* presence onsite or any declared weed species (listed under the *Biosecurity Act 2019*), the precautionary principle should be applied to inform washdown procedures.



Figure 3: Extent of the Tasmanian Planning Scheme Natural Assets Code ‘PVA’ overlay affecting the site.

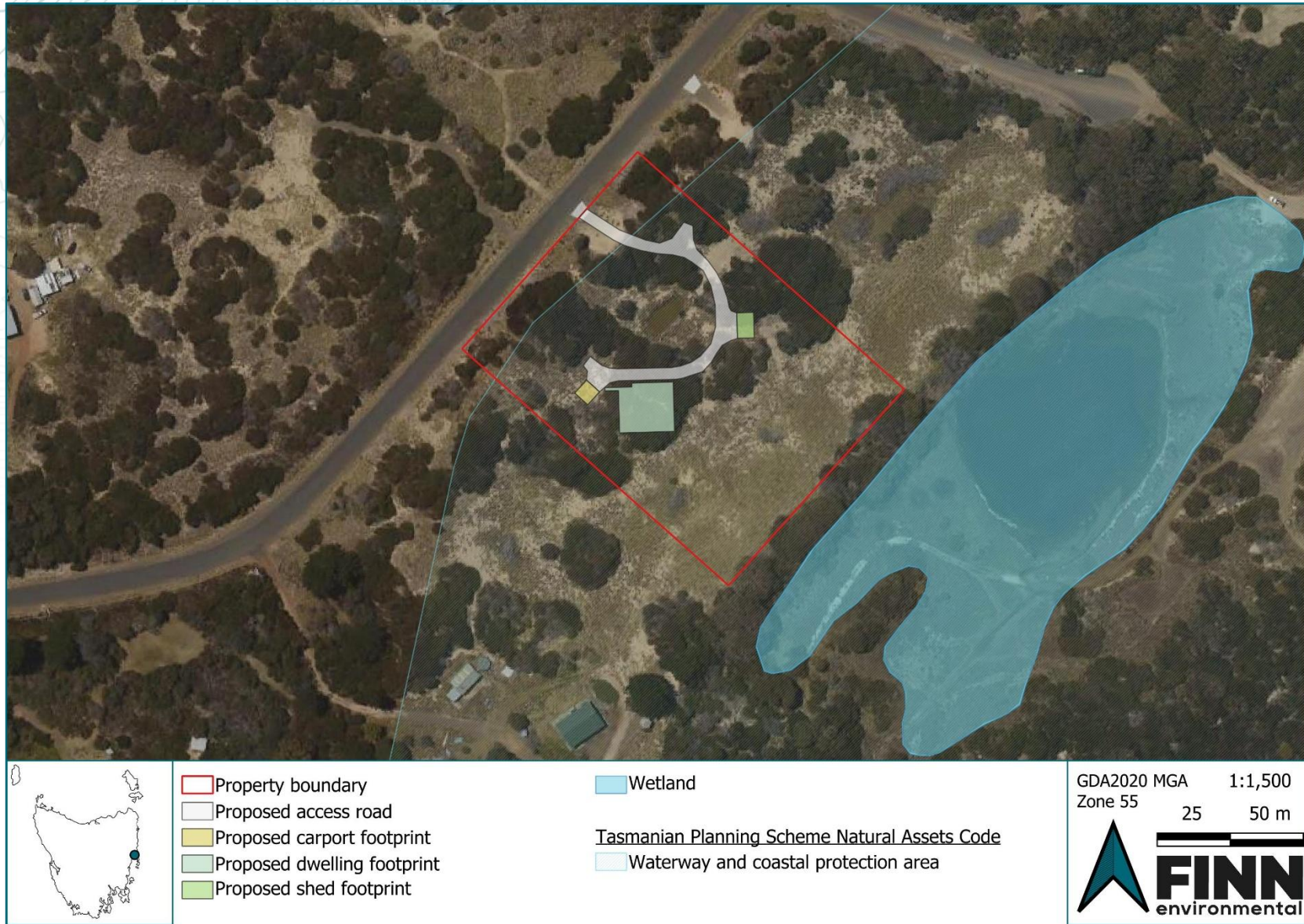


Figure 4: Extent of the Tasmanian Planning Scheme Natural Assets Code ‘WCPA’ overlay affecting the site.



Figure 5: Site vegetation, showing *P. poiformis* as the dominant species in cleared areas, and beyond that *A. longifolia* as the dominant species in vegetated areas.



Figure 6 – Pre-existing dam on site.

3 C7.0 NATURAL ASSETS CODE & PRIORITY VEGETATION

3.1 DEFINITION

The majority of the site falls within a mapped **PVA**, as per the Natural Assets Code (Figure 3), covering approximately 9500m². Under Section C7.3.1 of the Code, **PV** is defined as native vegetation where any of the following apply:

- (a) *it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the Nature Conservation Act 2002;*
- (b) *is a threatened flora species;*
- (c) *it forms a significant habitat for a threatened fauna species; or*
- (d) *it has been identified as native vegetation of local importance.*

PVA “means land shown on an overlay map in the relevant Local Provisions Schedule, as within a priority vegetation area”.

While the majority of the site has been mapped as **Priority Vegetation**, as per the definition above the vegetation on site does not fit the description of **Priority Vegetation**. The field survey conducted by FINN Environmental confirms that the site consists of *Acacia longifolia* coastal scrub (SAL) and therefore does **not** contain a threatened vegetation community as prescribed under Schedule 3A of the Natural Conservation Act 2002.

No threatened flora species were identified during the survey, nor any significant habitat for threatened fauna species.

Figure 7 shows threatened species observations within a 1000m buffer of the site boundary.

Under Section C7.3.1 of the Code, **significant habitat** “means the habitat within the known or core range of a threatened fauna species, where any of the following applies:

- (a) *is known to be of high priority for the maintenance of breeding populations throughout the species’ range; or*
- (b) *the conversion of it to non-priority vegetation is considered to result in a long-term negative impact on breeding populations of the threatened fauna species.”*

The majority of the threatened species observed within the 1000m buffer are migratory bird species that breed overseas. Other species include shorebirds, with breeding areas consisting of sandy beaches. No tree hollows were identified onsite for larger bird species, nor were any nests identified.

Most of the species' observations occur either over the waters of Moulting Lagoon or on bordering sandy beaches, aligning with the known core habitat for these species. Some opportunistic foraging may occur throughout the site, however, no high priority habitat is present that would support the maintenance of breeding populations.

The vegetation onsite is not of high priority for the maintenance of breeding populations, nor would the conversion to non-priority vegetation result in long-term negative impacts on breeding populations. Therefore, the vegetation onsite does not constitute significant habitat.

Furthermore, the vegetation onsite has not been identified as native vegetation of local importance.

Therefore, the mapped priority vegetation onsite does not fit the ecological requirements for **Priority Vegetation** (points (a), (b), (c) and (d) (above)).

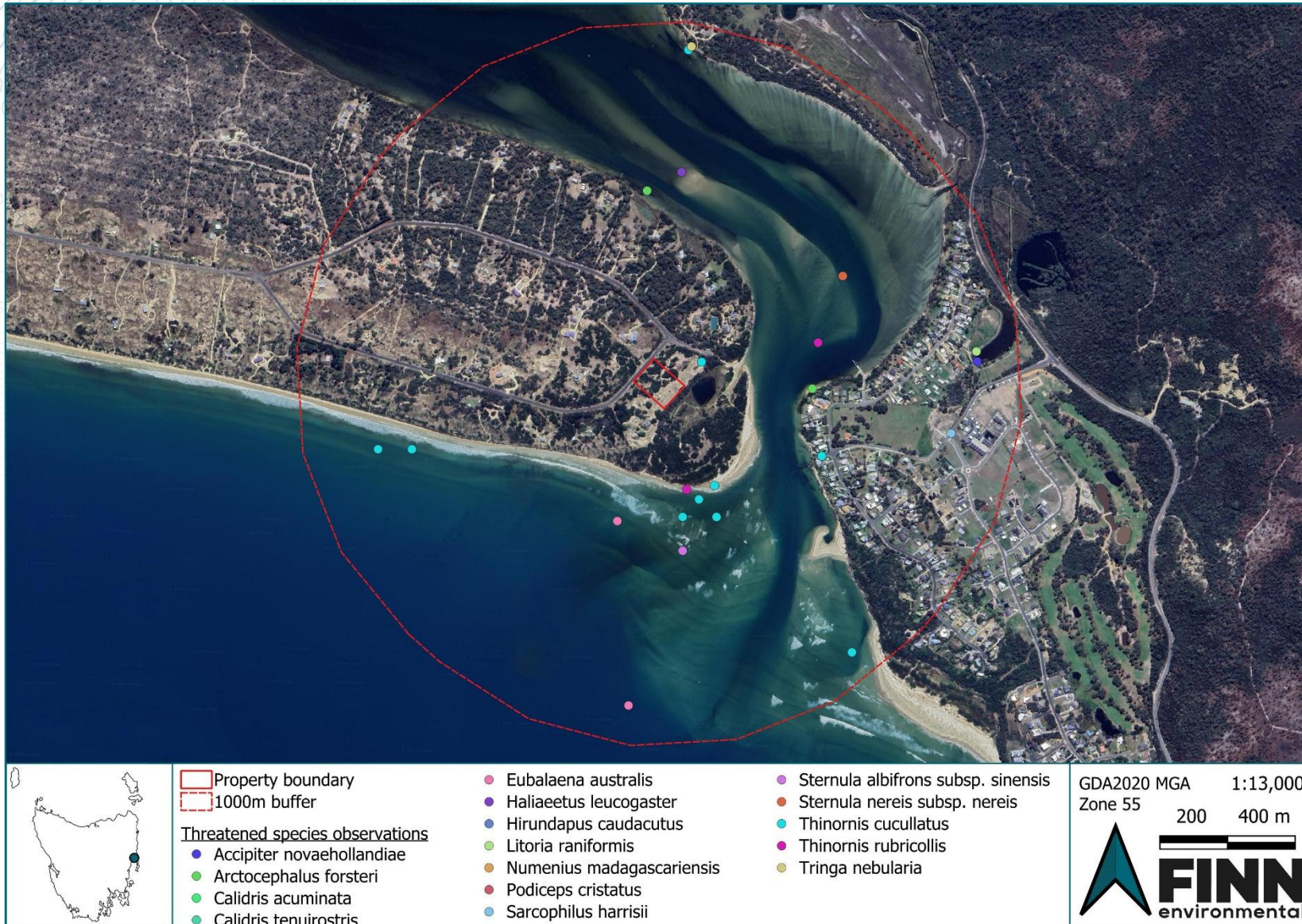


Figure 7 – Threatened species observations within a 1000m buffer from the site boundary.

4 C7.0 NATURAL ASSETS CODE & WATERWAY & COASTAL PROTECTION AREA

4.1 DEFINITION

The majority of the site, with the exception of a small section the property bordering Dolphin Sands Road, falls within a mapped WCPA.

Under Section C7.3.1 of the Code, **WCPA** is defined as land that is:

- (a) *shown on an overlay map in the relevant Local Provisions Schedule as within a waterway and coastal protection area; or*
- (b) *within the relevant distance from a watercourse, wetland, lake or the coast shown in the Table C7.3 below, but does not include a piped watercourse or piped drainage line.*

If an inconsistency for the width exists between Table C7.3 and the area shown on the overlay map, the greater distance prevails, excluding the width measured from the high water mark of tidal waters where the distance shown on the overlay map in the relevant Local Provisions Schedule prevails.

The depiction of a watercourse, or a section of a watercourse on an overlay map in the relevant Local Provisions Schedule, is definitive regardless of the actual area of the catchment.

Table 2: Table 7.3 Spatial Extent of Waterway and Coastal Protection Areas.

SPATIAL EXTENT OF WATERWAY AND COASTAL PROTECTION AREAS	WIDTH
Class 1: Watercourses named on the 1:100,000 topographical series maps, lakes, artificial water storages (other than farm dams), and the high water mark of tidal waters.	40m
Class 2: Watercourses from the point where their catchment exceeds 100ha.	30m
Class 3: Watercourses carrying running water for most of the year between the points where their catchment is from 50ha to 100ha.	20m
Class 4: All other watercourses carrying running water for part or all of the year for most years.	10m
Ramsar Wetlands: Wetlands listed under the Convention on Wetlands of International Importance, (the Ramsar Convention).	100m
Other Wetlands: Wetlands not listed under the Ramsar Convention.	50m
<p>(a) For the purpose of spatially defining 'width' in Table C7.3:</p> <ul style="list-style-type: none"> (i) width is measured from the top of bank or high water mark of tidal waters, watercourses or freshwater lakes; and (ii) in the case of watercourses or wetlands, the waterway and coastal protection area includes the waterway or wetland itself, being between the top of the banks on either side. <p>(b) Any watercourse, including the tidal waters of any river, creek or stream, within or adjoining the following zones is deemed to be a Class 4 watercourse:</p> <ul style="list-style-type: none"> (i) Inner Residential Zone; (ii) General Residential Zone; (iii) Low Density Residential Zone; (iv) Urban Mixed Use Zone; (v) Local Business Zone; (vi) General Business Zone; (vii) Central Business Zone; (viii) Commercial Zone; (ix) Light Industrial Zone; (x) Major Tourism Zone; (xi) Port and Marine Zone; (xii) Particular Purpose Zone; or (xiii) Future Urban Zone. 	

4.2 ACCEPTABLE SOLUTIONS & PERFORMANCE CRITERIA

The Tasmanian Planning Scheme Section C7.6.1 'Buildings and works within a waterway and coastal protection area or a future coastal refugia area' states the following objective:

That buildings and works within a waterway and coastal protection area or future coastal refugia area will not have an unnecessary or unacceptable impact on natural assets.

Acceptable Solution 1 for C7.6.1 is as follows:

Buildings and **works** within a **waterway and coastal protection area** must:

- (a) be within a building area on a sealed plan approved under this planning scheme;
- (b) in relation to a Class 4 watercourse, be for a crossing or bridge not more than 5m in width; or
- (c) if within the spatial extent of tidal waters, be an extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway that is not more than 20% of the area of the facility existing at the effective date.

Performance criteria 1.1 and 1.2 for C7.6.1 are addressed in Table 3.

Table 3: Performance criteria for C7.6.1 - Buildings and works within a waterway and coastal protection area or a future coastal refugia area

"That buildings and works within a waterway and coastal protection area or future coastal refugia area will not have an unnecessary or unacceptable impact on natural assets."		
NUMBER	PERFORMANCE CRITERIA	ASSESSMENT
PI.1(a)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to impacts caused by erosion, siltation, sedimentation and runoff;	<p>The following management actions are recommended to minimise adverse impacts on natural assets resulting from:</p> <ul style="list-style-type: none"> ● Sediment and erosion control measures: <ul style="list-style-type: none"> ○ Sediment controls will be implemented at points of the site where runoff is likely to occur; <ul style="list-style-type: none"> ▪ Sediment controls should include: sediment fences, coir logs and sediment traps where appropriate. ○ Regular monitoring will occur throughout the construction

		<p>period, ensuring erosion and sediment controls are effective;</p> <ul style="list-style-type: none"> ○ All refuelling, concrete, and other washouts will occur outside of the WCPA away from any drainage pathways that may lead to the nearby wetland; and ○ Hydrocarbon spill kits will be kept onsite and those conducting the works will be trained in the usage of them. <ul style="list-style-type: none"> ● All works will be contained to the site boundary with no works anticipated to impact the nearby wetland or its riparian / littoral vegetation. The wetlands boundary is located >50m from the proposed development footprint. ● Weed and pathogen management strategies should be applied to reduce the introduction of any new weed species, or spread of any existing species, this includes washdown of all machinery and equipment brought on / off the site, as well as personal and small tools such as footwear. Weed management should be conducted in line with the following documents: <ul style="list-style-type: none"> ○ <i>Washdown Procedures for Weed and Disease Control 2005</i>; and ○ <i>Weed and Disease Planning and Hygiene Guidelines – Preventing the Spread of Weeds and Diseases in Tasmania 2015</i>. ● The use of machinery within the WCPA should be minimised to the greatest extent practicable to avoid disturbance, compaction, and degradation of natural assets. ● Vegetation clearing should be limited to the minimum area required to meet bushfire management requirements, to reduce the risk of erosion of the dune landscape.
PI.1(b)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to impacts on riparian or littoral vegetation;	The proposed development is not located within riparian or littoral vegetation areas.

PI.1(c)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to maintaining natural streambank and streambed condition, where it exists;	The proposed development does not involve any physical disturbance within a waterway or riparian area. No alterations to streambank and streambed condition are anticipated.
PI.1(d)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;	The proposed development does not involve works within a watercourse, streambank or riparian corridor. Therefore, no impacts on in-stream natural habitat are anticipated.
PI.1(e)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the need to avoid significantly impeding natural flow and drainage;	<p>The design of the proposed buildings avoids any major alterations to the natural landscape and topography, thereby minimising the impact on natural flow and drainage.</p> <p>Rainwater runoff from the roofs of proposed buildings will be collected via guttering and directed to rainwater tanks.</p> <p>The majority of stormwater runoff from the access road will flow into the pre-existing dam.</p>
PI.1(f)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the need to maintain fish passage, where known to exist;	No works are proposed within or in proximity to any waterway known to support fish passage. The development does not involve any alteration of hydrological flows, thereby avoiding adverse impacts on fish passage.
PI.1(g)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the need to avoid land filling of wetlands;	There will be no land filling of wetlands resulting from the proposed development.
PI.1(h)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the need to group new facilities with existing facilities, where reasonably practical;	There are no existing facilities. However, all proposed facilities are grouped to minimise the disturbance footprint.
PI.1(i)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to minimising cut and fill;	Cut and fill will be minimised, with the architectural design incorporating a stilted building form that responds to the natural topography of the site, with minimal disturbances of the natural landform.
PI.1(j)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to building design that responds to the particular size, shape, contours or slope of the land;	The proposed buildings have been architecturally designed to respond to the size, shape, contours and slope of the land. A stilted building form is incorporated to work with the contours and slope of the land.
PI.1(k)	Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to minimising impacts on coastal processes, including sand movement and wave action;	The proposed buildings have been carefully designed to work with the existing dune landscape, minimising ground disturbance and allowing for natural sand movement. No works are proposed within the active dune face or foreshore, thereby minimising impacts on coastal processes.

<p>PI.1(l)</p>	<p>Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to minimising the need for future works for the protection of natural assets, infrastructure and property;</p>	<p>By avoiding disturbance to natural landforms and vegetation, the proposal minimises the need for future works for the protection of natural assets, infrastructure and property. Additionally, the significant setback of the proposed development from the coastline allows for sea level rise and dune retreat, minimising the potential need for future works.</p>
<p>PI.1(m)</p>	<p>Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the environmental best practice guidelines in the <i>Wetlands and Waterways Works Manual</i>; and</p>	<p>Dirt and mud should be removed from all equipment before entering the works site and waterway to avoid transferring weeds and disease, as outlined in '<i>Environmental Best Practice Guidelines 2. Construction Practices in Waterways and Wetlands</i>'.</p> <p>No works will be conducted within any wetlands or waterways, nor within a 50m buffer of the nearby wetland. Riparian vegetation is confined to areas surrounding the wetland, within a Public Reserve beyond the property boundary.</p> <p>Should any works need to be undertaken within 50m of the wetland boundary, the following environmental best practice guidelines will be consulted:</p> <ul style="list-style-type: none"> • Compliance with relevant Tasmanian legislation and policies before starting any works; • The proposed construction methods and procedures should be specified in the works plan; and • Application of environmental management principles in construction practices, such as minimising sediment disturbance and erosion control and avoiding contaminant spills.
<p>PI.1(n)</p>	<p>Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to the guidelines in the <i>Tasmanian Coastal Works Manual</i>.</p>	<p>In accordance with the Manual, the proposed development is designed to minimise adverse impacts on natural assets and supports the sustainable management of coastal processes, acknowledging the need to adapt to, and prepare for, changing coastal processes.</p> <p>Contractors engaged to undertake works must adopt best-practice construction guidelines.</p> <p>The planning and execution of works by contractors must ensure that all works conducted:</p> <ul style="list-style-type: none"> • Are appropriate for the specific site conditions; • Are undertaken with minimal intervention at the site; • Minimise damage to the environment; and • Maintain the integrity of ecosystems.

		Vegetation clearing will be limited to the minimum area required to comply with bushfire management requirements. Any vegetation outside of the development and bushfire management footprint will be retained where possible, thereby preserving natural habitats and processes.
PI.2	<p>Buildings and works within the spatial extent of tidal waters must be for a use that relies upon a coastal location to fulfil its purpose, having regard to:</p> <ul style="list-style-type: none"> (a) the need to access a specific resource in a coastal location; (b) the need to operate a marine farming shore facility; (c) the need to access infrastructure available in a coastal location; (d) the need to service a marine or coastal related activity; (e) provision of essential utility or marine infrastructure; or (f) provisions of open space or for marine-related educational, research, or recreational facilities. 	N/A as the site is not located within the spatial extent of tidal waters.

5 CONCLUSIONS & MANAGEMENT RECOMMENDATIONS

Based on the assessment undertaken, FINN Environmental concludes that the site does not qualify as a **PVA**, as per the definition provided within Section C7.3.1 of the Natural Assets Code.

The majority of the site falls within a mapped **WCPA**; with an unnamed wetland present beyond the southeastern boundary of the site. The proposed buildings and road are located >50m from the adjacent wetland boundary. The separation distance is expected to minimise any adverse impacts to the wetland. Architecturally designed building plans incorporate the natural topography of the site, minimising the risk of disturbances to natural processes and reducing alterations to the dune landscape.

The following management actions are recommended to minimise adverse impacts on natural assets within the **WCPA**:

- Sediment and erosion control measures:
 - Sediment controls will be implemented at points of the site where runoff is likely to occur;
 - Sediment controls should include: sediment fences, coir logs and sediment traps where appropriate.
 - Regular monitoring will occur throughout the construction period, ensuring erosion and sediment controls are effective;
 - All refuelling, concrete, and other washouts will occur outside of the **WCPA** away from any drainage pathways that may lead to the nearby wetland; and
 - Hydrocarbon spill kits will be kept onsite and those conducting the works will be trained in the usage of them.
- All works will be contained to the site boundary with no works anticipated to impact the nearby wetland or its riparian / littoral vegetation. The wetlands boundary is located >50m from the proposed development footprint.
- The proposed construction methods and procedures should be specified in the works plan, incorporating environmental management principles into construction practices such as minimising sediment disturbance and erosion control and avoiding contaminant spills.
- Weed and pathogen management strategies should be applied to reduce the introduction of any new weed species, or spread of any existing species, this includes washdown of all machinery and equipment brought on / off the site, as well as personal and small tools such as footwear. Weed management should be conducted in line with the following documents:
 - *Washdown Procedures for Weed and Disease Control 2005*; and
 - *Weed and Disease Planning and Hygiene Guidelines – Preventing the Spread of Weeds and Diseases in Tasmania 2015*.
- The use of machinery within the **WCPA** should be minimised to the greatest extent practicable to avoid disturbance, compaction, and degradation of natural assets.
- Vegetation clearing should be limited to the immediate disturbance footprint and the minimum area required to comply with bushfire management plans, to reduce the risk of erosion of the dune landscape. Clearing outside of these areas should be limited where practicable.

- The planning and execution of works by contractors must ensure that all works conducted:
 - Are appropriate for the specific site conditions;
 - Are undertaken with minimal intervention at the site;
 - Minimise damage to the environment; and
 - Maintain the integrity of ecosystems.

All works will be contained within the site boundary and the proposed disturbance footprint area. Given the significant separation distance between this area and the wetland boundary, no works are anticipated to impact the wetland. No works will occur within 50m of the nearby wetland's boundary without express authorisation from the Client's environmental representative (FINN Environmental), or an environmental representative from Glamorgan Spring Bay Council.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Hamish Howe', with a stylized flourish at the end.

Hamish Howe *BAntSc*

Principal Consultant

DRAWING INDEX

Dwg.No.	Drawing name	Scales
DD01	Index, views	
DD02	Site Plan	1:10000, 1:500
DD03	Floor plan	1:100
DD04	Footings	1:100
DD05	Roof plan	1:100
DD06	Elevations	1:100
DD07	Sections	1:100
DD08	Shed	1:100



view from NW

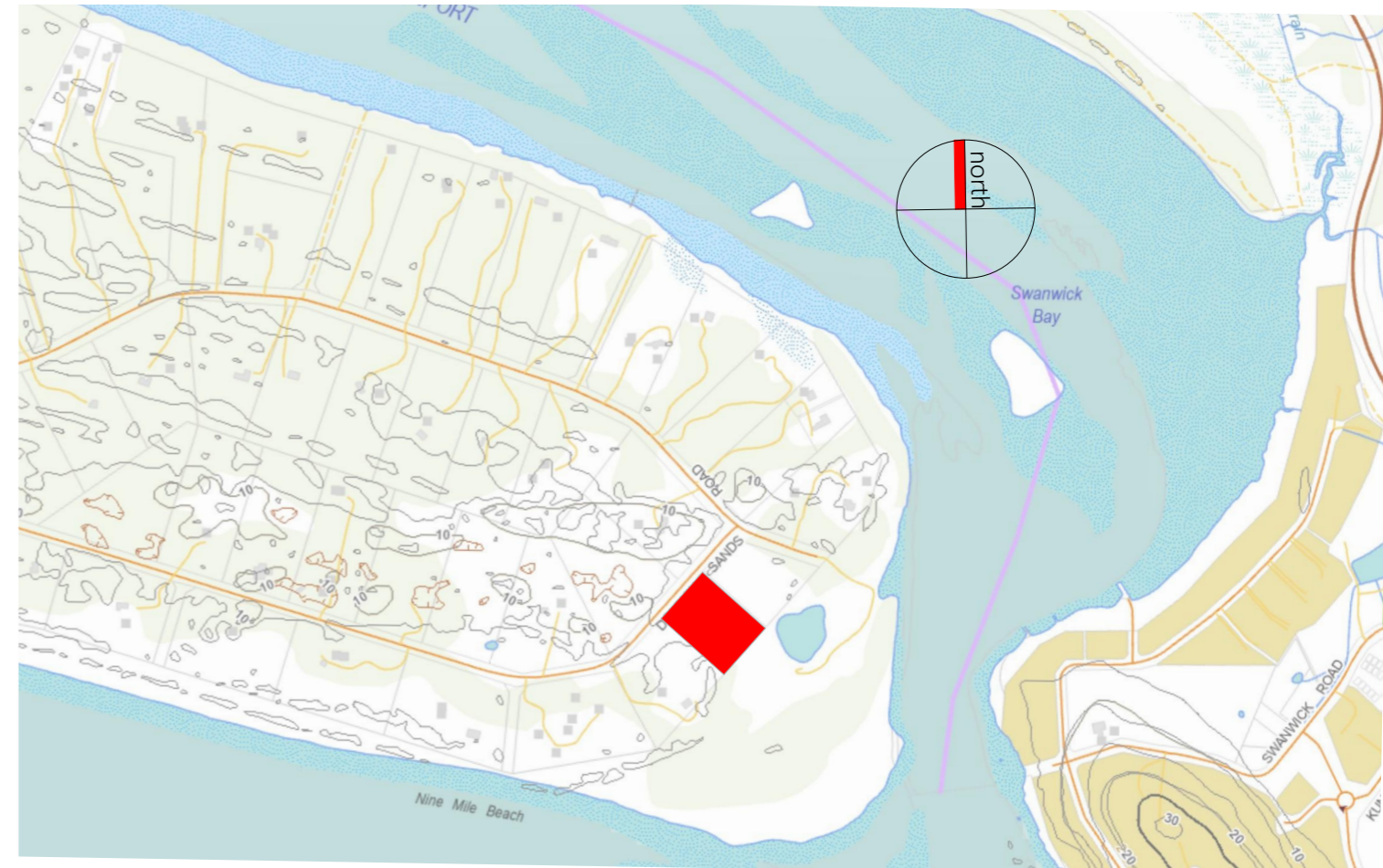
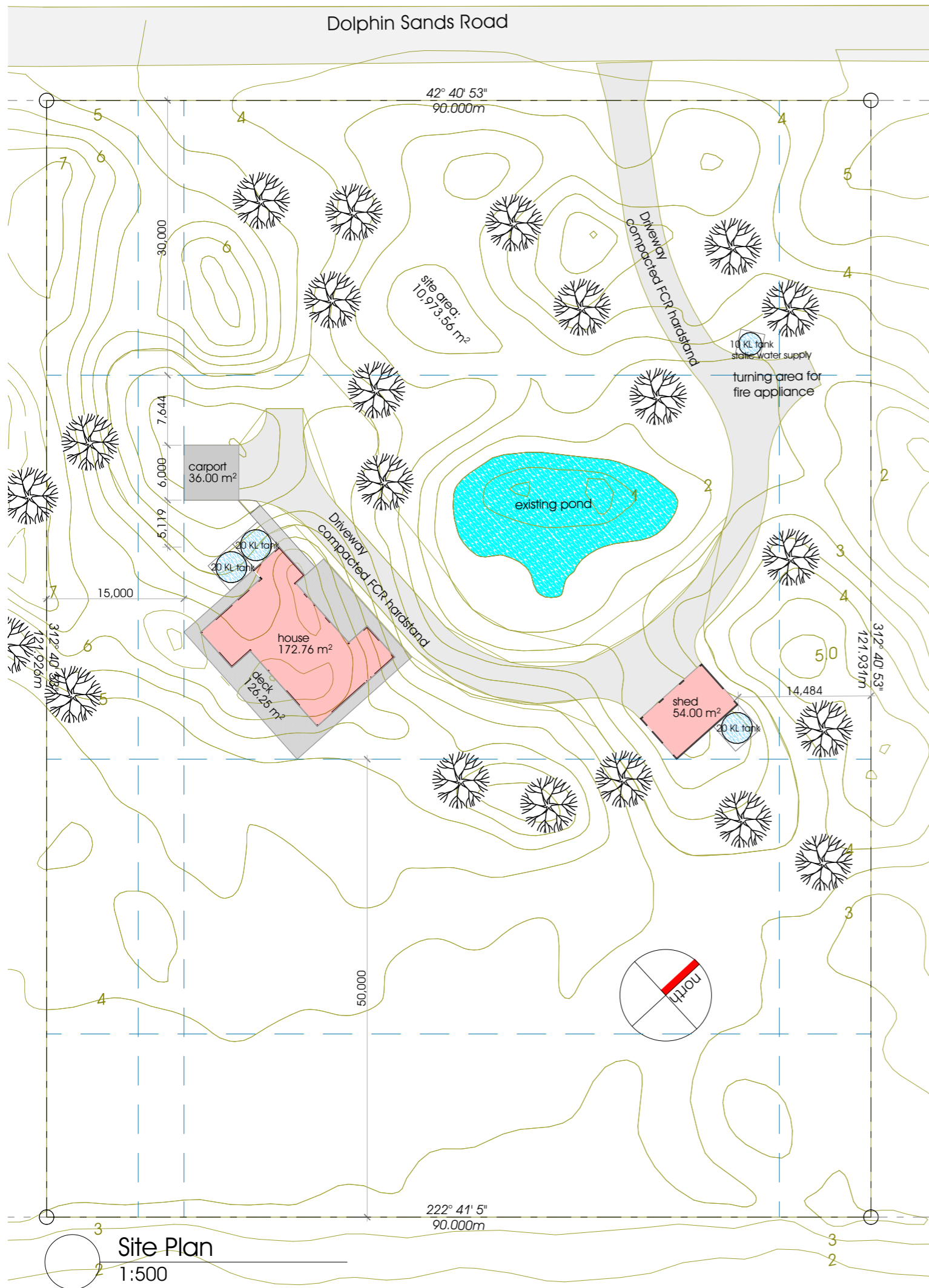
aerial view from SE



New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190



2503-DD01



2 Location plan
1:10000

PROPERTY DESCRIPTION
Vol / Folio: 54666 / 206
Glamorgan-Spring Bay Council

AREA CALCULATIONS

house floor area:	172.75m ²
deck:	126.25m ²
carport:	36.0m ²
shed:	54.0m ²
Total:	389.0m²

site area:	10974m ²
site cover:	3.5%

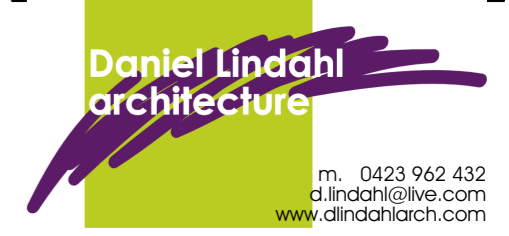
COLOUR SCHEDULE

house walls: Scyon Axon - selected brown paint
house roof: Trimdek - Colorbond Basalt
carport roof: Trimdek - Colorbond Basalt
columns: Colorbond Monument
shed walls: Monoclad - Colorbond Bluegum
shed roof: Trimdek - Colorbond Bluegum
exterior building surfaces must have a

All external finishes to have <40% Light Reflectance.

rev	date	by	details
D	260205	DL	colour schedule shown, shed tank moved, driveway surface finish shown
C	260126	DL	house location+driveway changed, shed+carport added, pond shown
B	251203	DL	plan, floor areas changed
A	251123	DL	new design

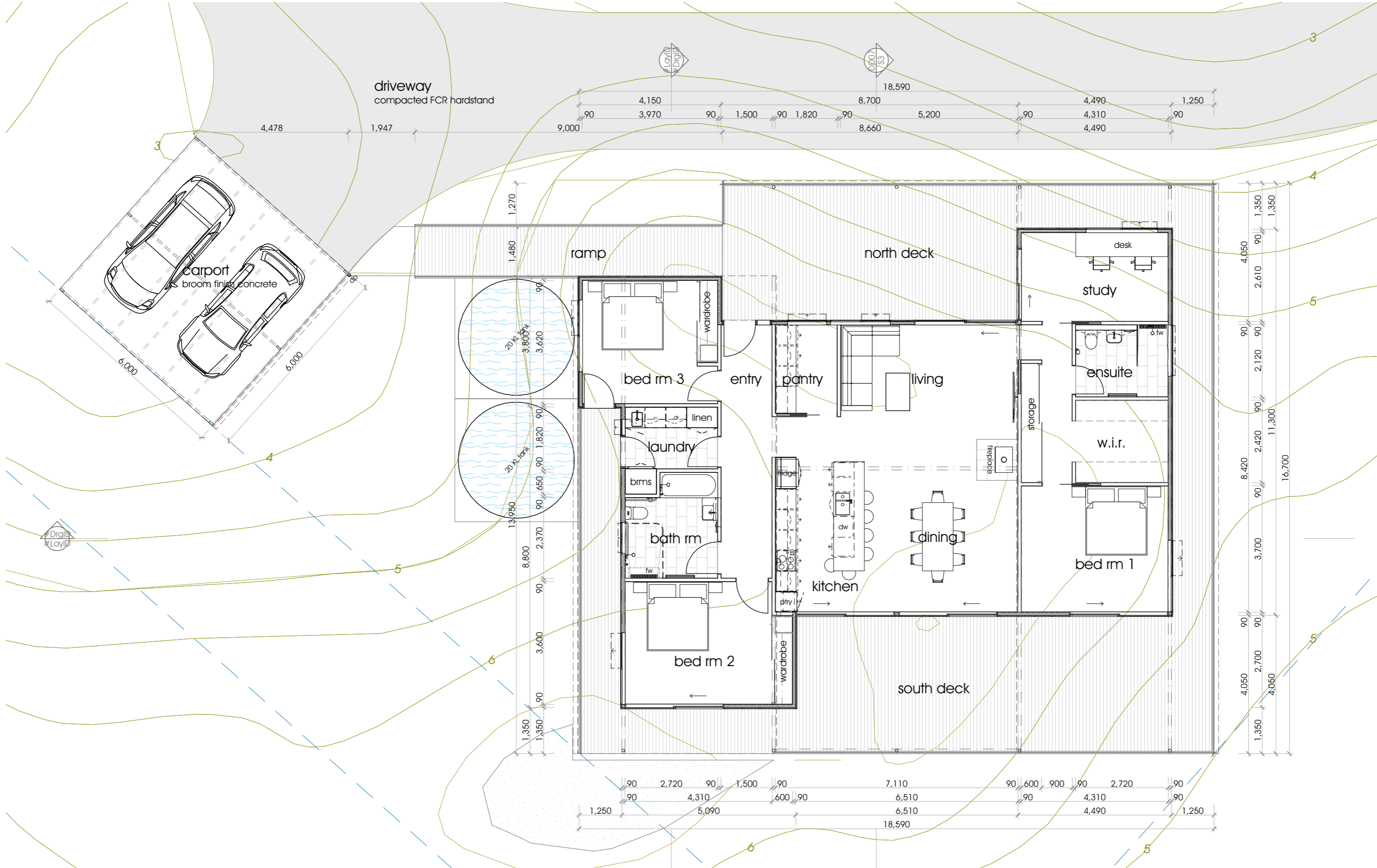
Read this drawing together with all relevant consultants' documents. Verify all dimensions on site before preparing shop drawings. Do not scale drawings, use written dimensions only.
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New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings
Site Plan

scale	1:10000, 1:500	2503-DD02
date drawn	2025-11-04	drawing No. rev. D
by	DL	printing date 2026-02-05



0. Ground floor
1:100

rev	date	by	details
D	260205	DL	driveway+parking surface finishes shown
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan reversed, stairs to ground, storage, bath
A	251123	DL	new design

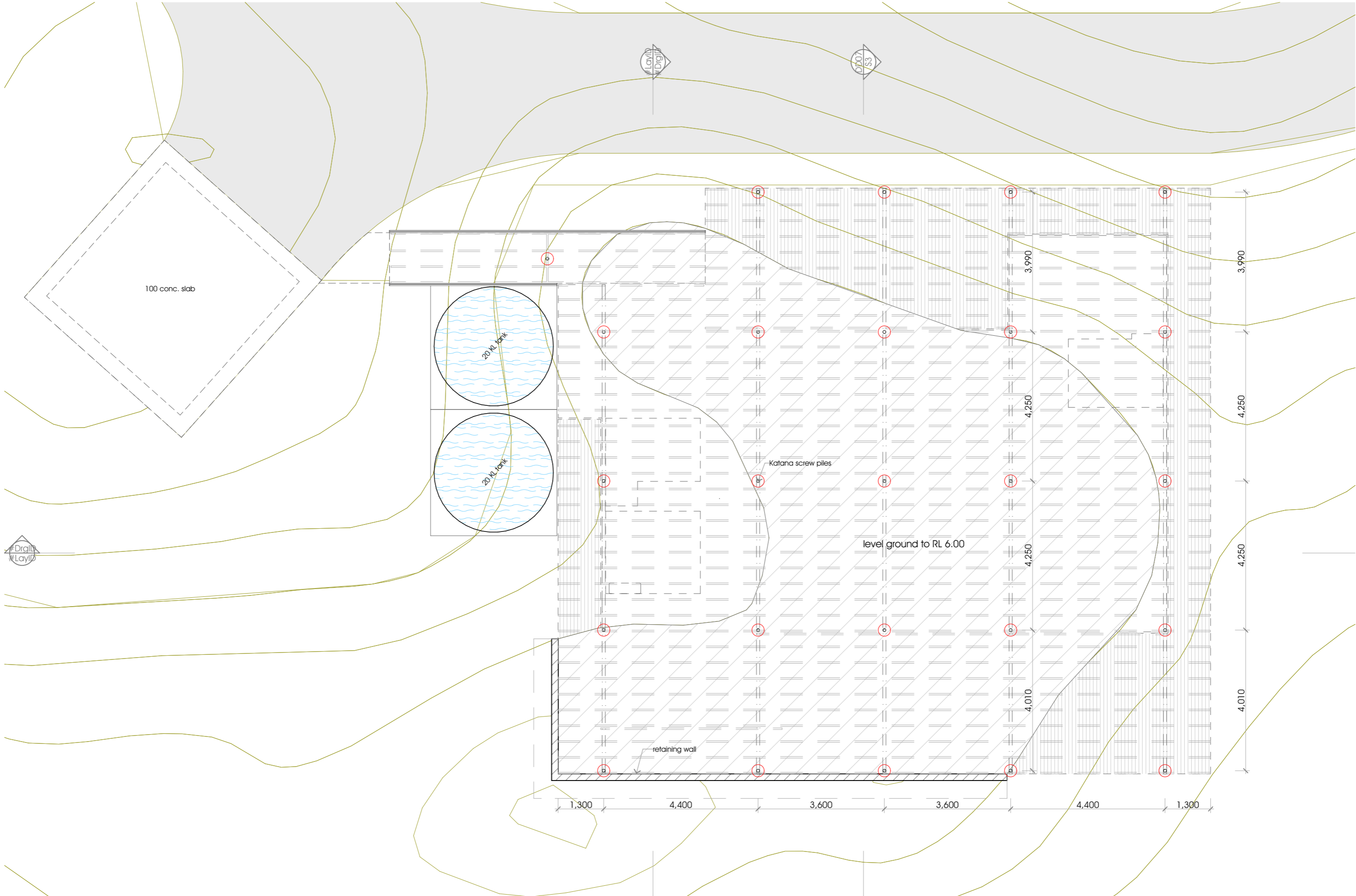
**New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190**

**Design drawings
Floor plan**

scale	1:100	2503-DD03
date drawn	2025-11-04	drawing No.
by	DL	printing date
		D
		rev.

**Daniel Lindahl
architecture**

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www.danielarch.com



-1. Footings
1:100

rev	date	by	details
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan changed, stairs to ground, flow path
A	251123	DL	new design

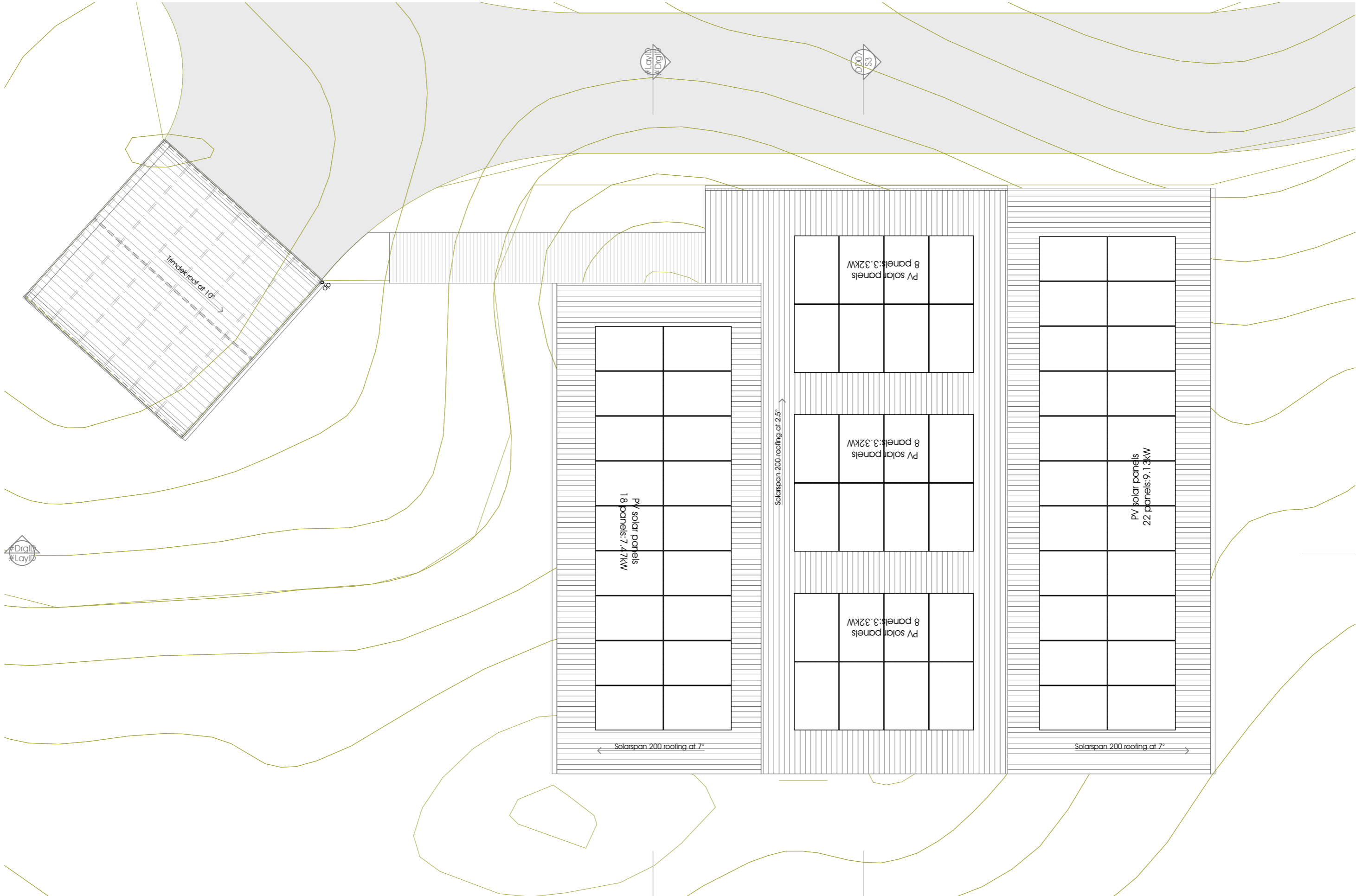
Design drawings
Footings

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

scale	1:100	2503-DD04
date drawn	2025-11-04	drawing No.
by	DL	printing date
		rev.

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1. Roof
1:100

rev	date	by	details
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan changed
A	251123	DL	new design

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

Roof plan

scale	1:100
date drawn	2025-11-04
by	DL

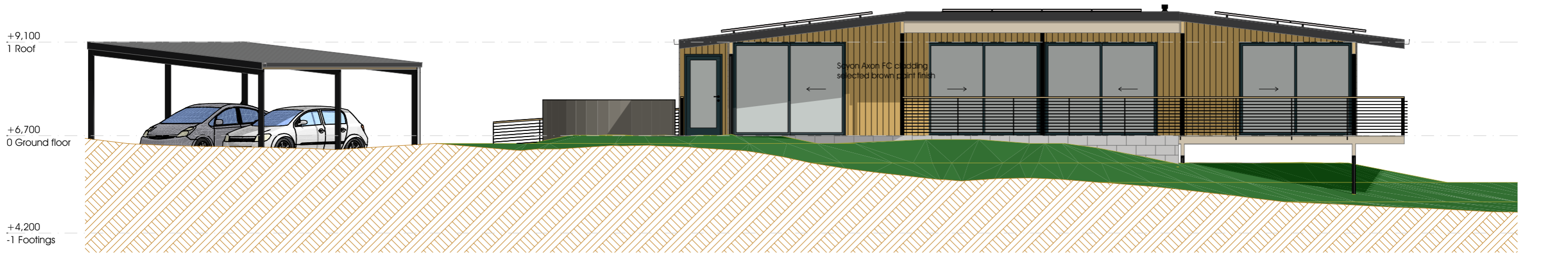
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drawing No.	rev.
2026-02-05	
printing date	

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architecture

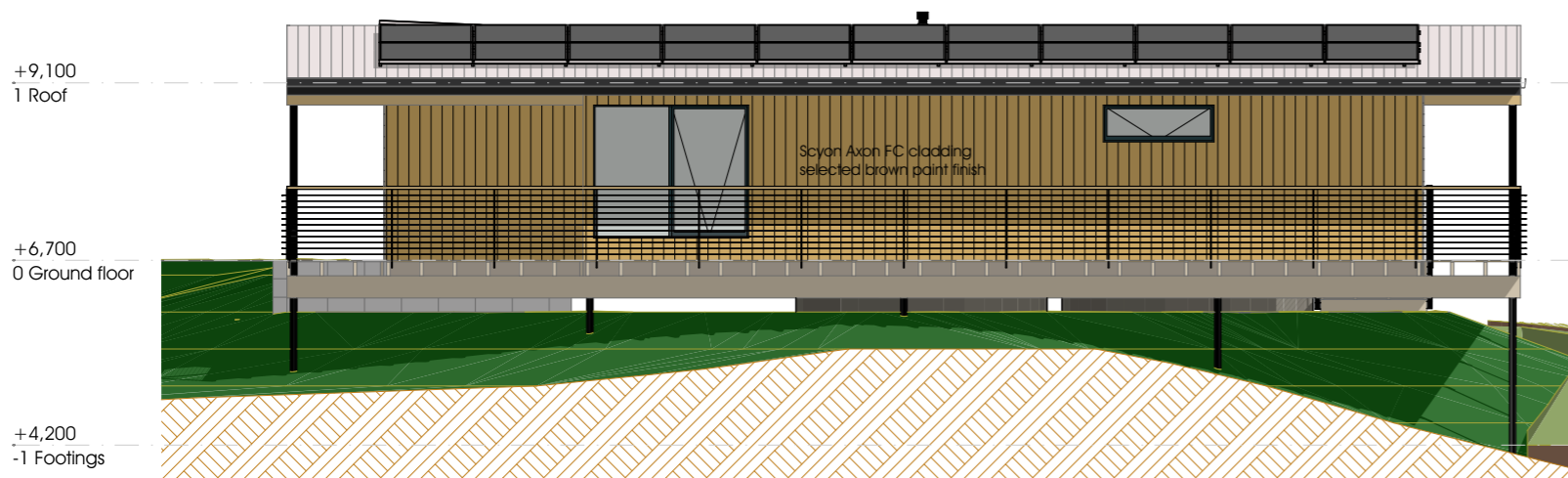
m. 0423 962 432
d.lindah@live.com
www.dlindahlarch.com



N Elevation
1:100



S Elevation
1:100



E Elevation
1:100



W Elevation
1:100

D	260205	DL	exterior cladding finishes shown
C	260126	DL	house loc'n, driveway chgd, carport added
B	251203	DL	plan reversed, stairs to ground, flow path
A	251123	DL	new design
rev	date	by	details

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

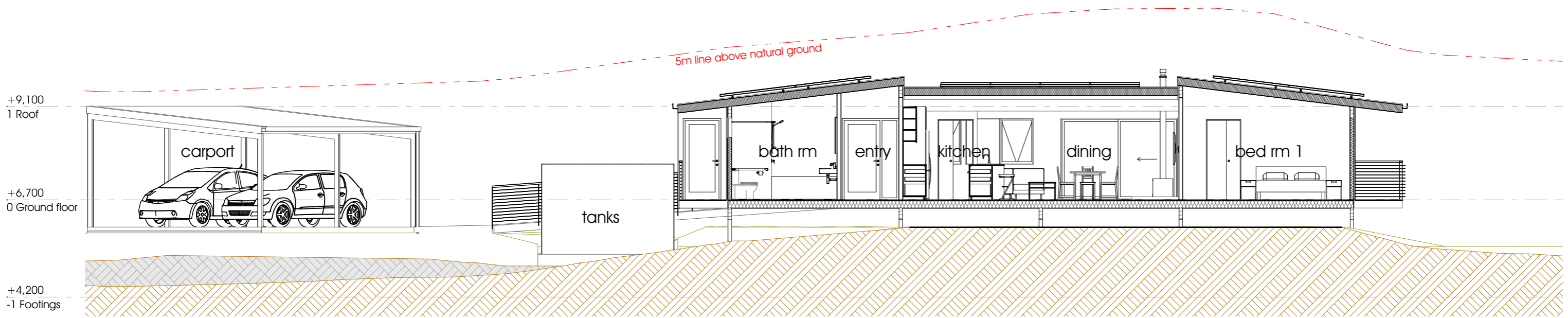
Elevations

scale 1:100
date drawn 2025-11-04
by DL

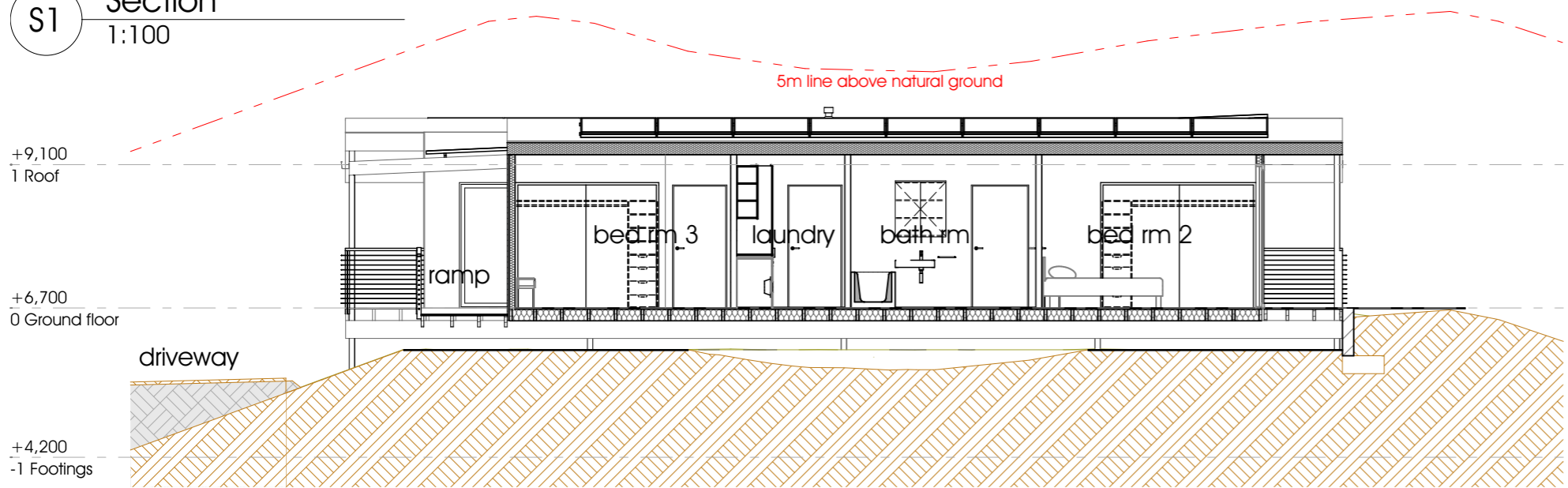
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drawing No. 2026-02-05
printing date D
rev.

Daniel Lindahl
architecture

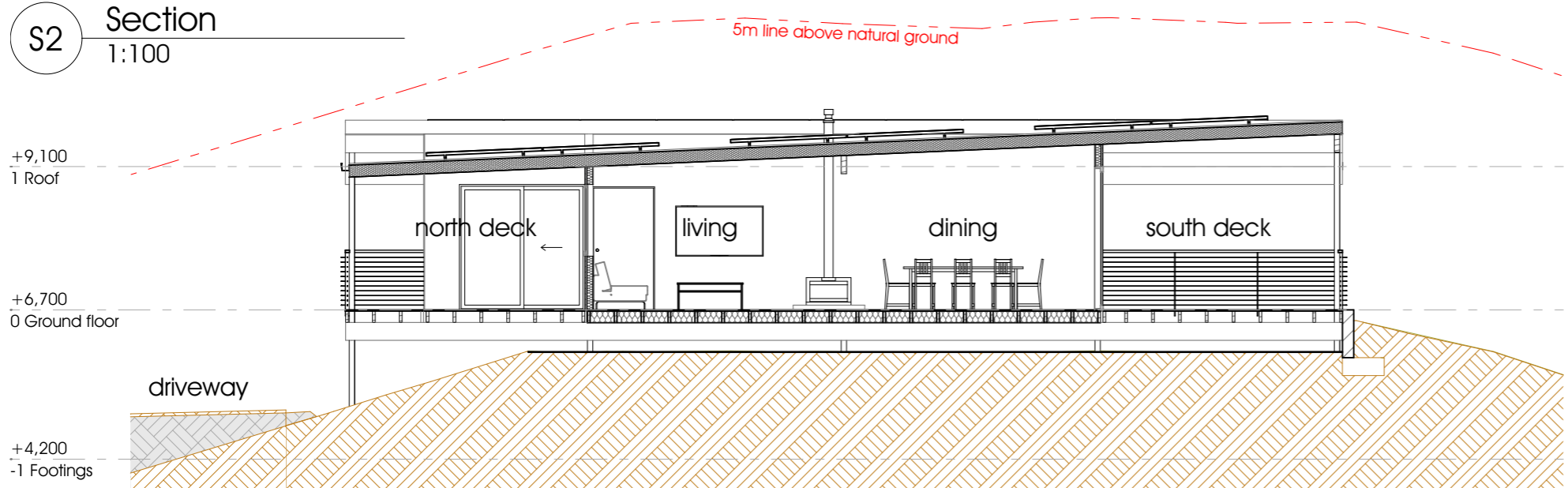
m. 0423 962 432
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S1 Section
1:100



S2 Section
1:100



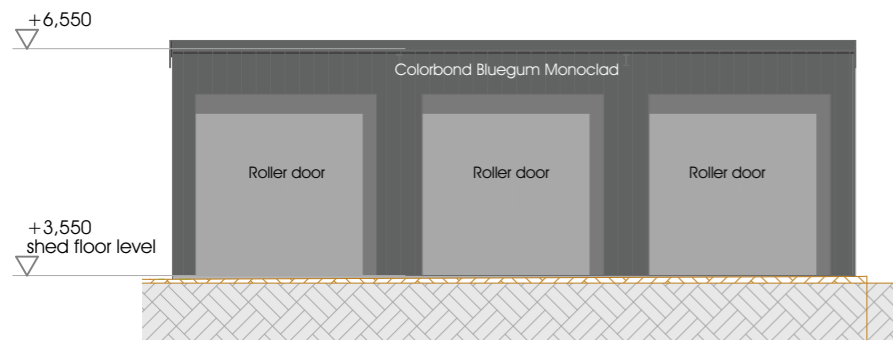
S3 Section
1:100

C	260126	DL house loc'n, driveway chgd, carport added
B	251203	DL plan reversed, stairs to ground, flow path
A	251123	DL new design
rev	date	by details

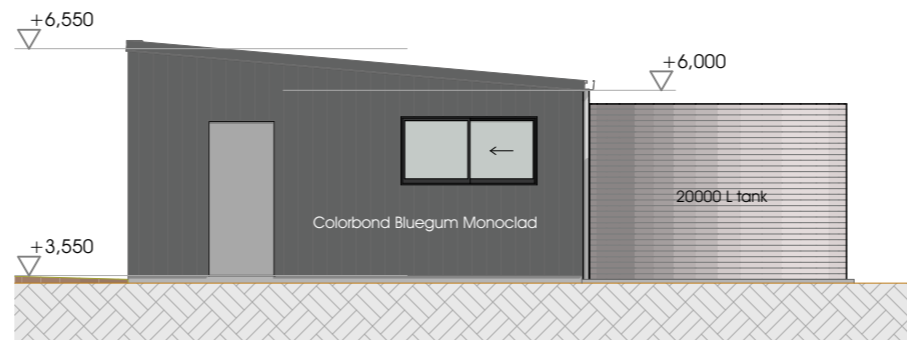
New residence at 1433 Dolphin Sands Rd Dolphin Sands TAS 7190		Design drawings Sections	
scale	1:100	2503-DD07	
date drawn	2025-11-04	drawing No.	D
by	DL	printing date	2026-02-05
		rev.	

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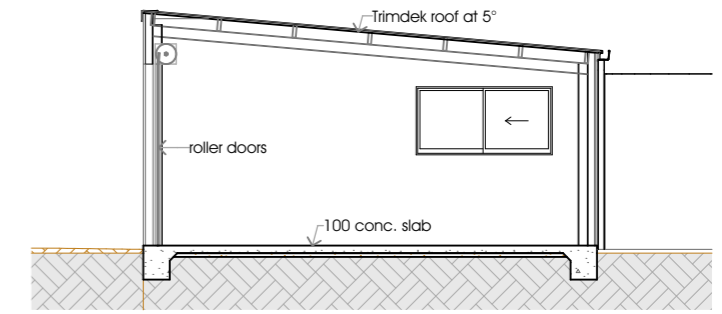
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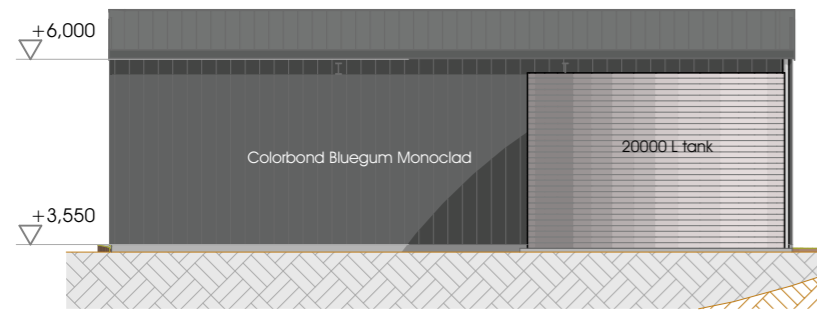
W Elevation - shed
1:100



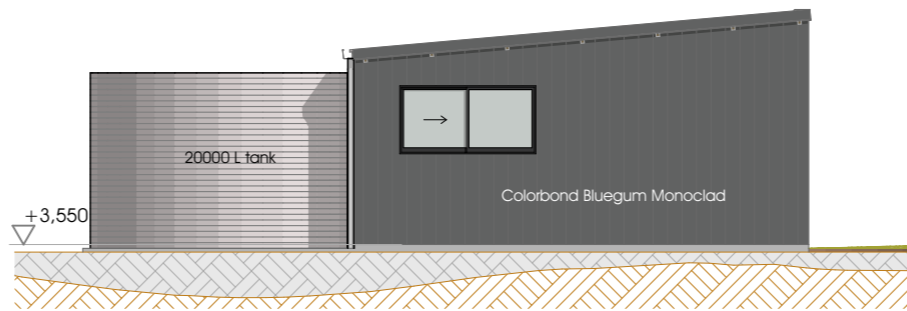
S Elevation - shed
1:100



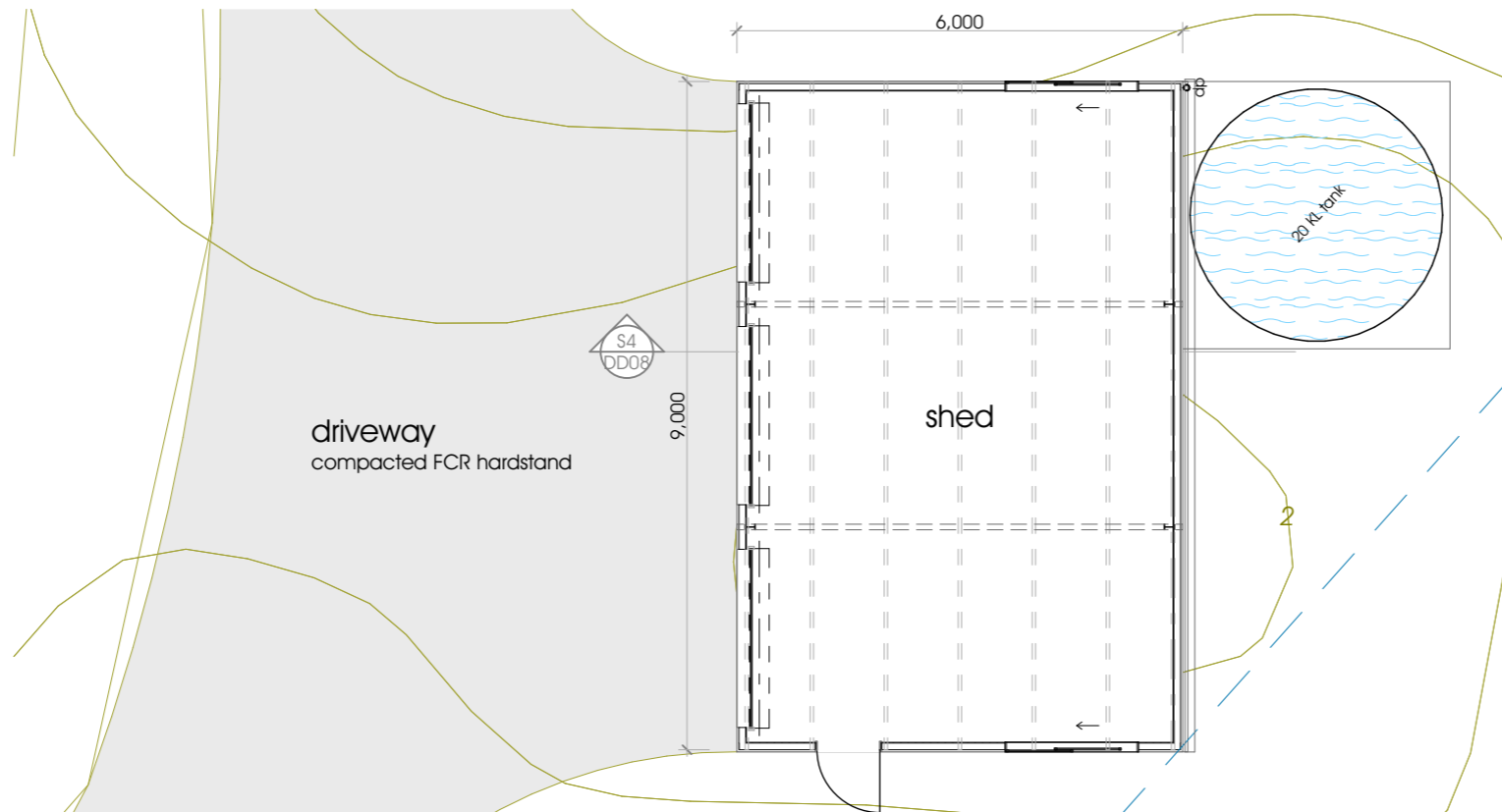
S4 Section
1:100



E Elevation - shed
1:100



N Elevation - shed
1:100



0. Floor plan - shed
1:100

DL	260205	DL	this drawing added
rev	date	by	details

New residence
at 1433 Dolphin Sands Rd
Dolphin Sands TAS 7190

Design drawings

Shed

scale 1:100
date drawn 2026-02-05
by DL

2503-DD08
drawing No. 2026-02-05
printing date

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