



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **5 Percy Street, Coles Bay**
CT 183532/1

PROPOSAL: **Visitor Accommodation - Construction of two**
holiday units

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 19 February 2026.

APPLICANT: **Stephen Lawes**
DATE: **27/01/2026**
APPLICATION NO: **DA 2026 / 00011**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	5 Percy St, Coles Bay		
Suburb:		Post Code:	7215
Size of site: (m ² or Ha)	1010 m2		
Certificate of Title(s):	183532/1		
Current use of site:	Vacant land		

General Application Details *Complete for All Applications*

Description of proposed use or development:	New relocatable dwellings for visitor accommodation.	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	Yes / No	

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	<i>Staines</i>	Date:	27/1/2026
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 183532	FOLIO 1
EDITION 2	DATE OF ISSUE 09-Aug-2023

SEARCH DATE : 13-Oct-2025

SEARCH TIME : 11.09 AM

DESCRIPTION OF LAND

Town of COLES BAY

Lot 1 on Sealed Plan [183532](#)

Derivation : Part of Lot 12, 0A-3R-1P (Sec. B) Gtd. to G.R.

Bester

Prior CT [210675/12](#)SCHEDULE 1[N131900](#) TRANSFER to

as tenants in common

in equal shares Registered 09-Aug-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP183532](#) EASEMENTS in Schedule of Easements[SP183532](#) FENCING PROVISION in Schedule of Easements[E356126](#) MORTGAGE to MyState Bank Limited Registered
09-Aug-2023 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP.183532

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Fencing Provision

In respect to the lots on the plan, the vendor Desserts Pty Ltd shall not be required to fence.

EASEMENTS

Lot 1 on the plan is subject to a service easement (appurtenant to lots 2 and 3) over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan.

Lot 2 on the plan is subject to a service easement (appurtenant to 3) over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan.

Lot 1 on the plan is subject to a right of carriageway (appurtenant to lot 2 and 3) over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan.

Lot 2 on the plan is subject to a right of carriageway (appurtenant to lot 3) over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan.

Lots 2 and 3 on the plan are together with a service easement over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan over lot 1 on the plan.

Lot 3 on the plan is together with a service easement over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan over lot 2 on the plan.

Lots 2 and 3 on the plan are together with a right of carriageway over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan over lot 1 on the plan.

Lot 3 on the plan is together with a right of carriageway over RIGHT OF WAY (PRIVATE) AND SERVICE EASEMENT VARIABLE WIDTH shown on the plan over lot 2 on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Desserts Pty Ltd FOLIO REF: CT 210675-12	PLAN SEALED BY: Glamorgan Spring Bay Council DATE: 21/02/2023 6A2020/19
SOLICITOR & REFERENCE: ANTONY LOGAN	REF NO. Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 183532
SUBDIVIDER: Desserts Pty Ltd FOLIO REFERENCE: CT 210675-12	

'Service Easement' means the full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment to make or lay or install pipes, wires, cables, other apparatus, and equipment for the purpose of conveying or carrying water, electricity, gas and telephone services and all and any other kind of services to or from the dominant tenement or any such parts thereof under the land herein indicated as the land over which the right is to subsist and through all pipes, wires, cables, other apparatus and equipment which are now or now may hereafter be made or laid or installed passing under the last mentioned land and the right for every such person and every person authorised by him:

1. to maintain and use pipes, wires, cables, drains and other apparatus and equipment for any of those purposes;
2. to inspect, alter, repair and replace all or any part of the pipes, wires, cables, other apparatus and equipment when and where necessary;
3. to break the surface of, dig, open up and use the servient tenement for any of those purposes;
4. to enter the servient tenement at any time (if necessary with vehicles, equipment, workman, materials and specialist services) for any of those purposes; and
5. to do all necessary works and things for any of those purposes without doing unnecessary damage to the servient tenement and leaving the same in a clean and tidy condition and making good any damage occasioned thereby.

Signed for and on behalf of Desserts Pty Ltd
The registered proprietor of land comprised
In folio of the register volume 210675 folio 12
In accordance with secn 127 of the Corporations Act 2001.

Signature.....

Kevin Robinson

Sole Director and Sole Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

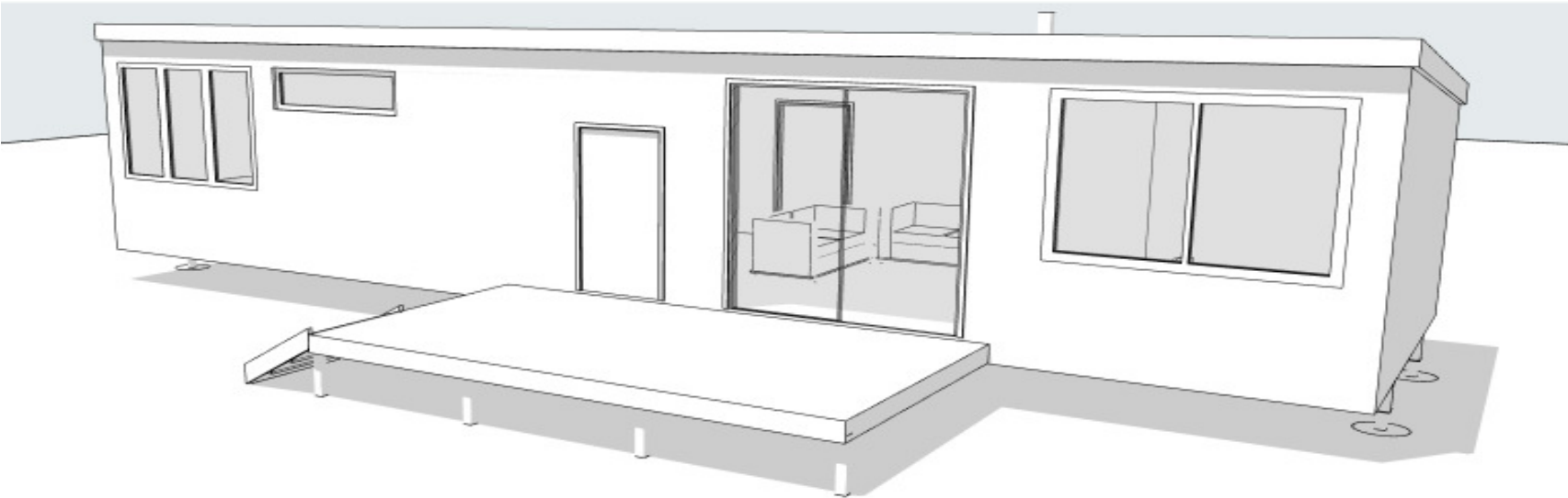
PROPOSED - 2 VISITOR
ACCOMMODATION UNITS
5 PERCY ST, COLES BAY
FOR ANTHONY ROSSETTO

SITE INFORMATION

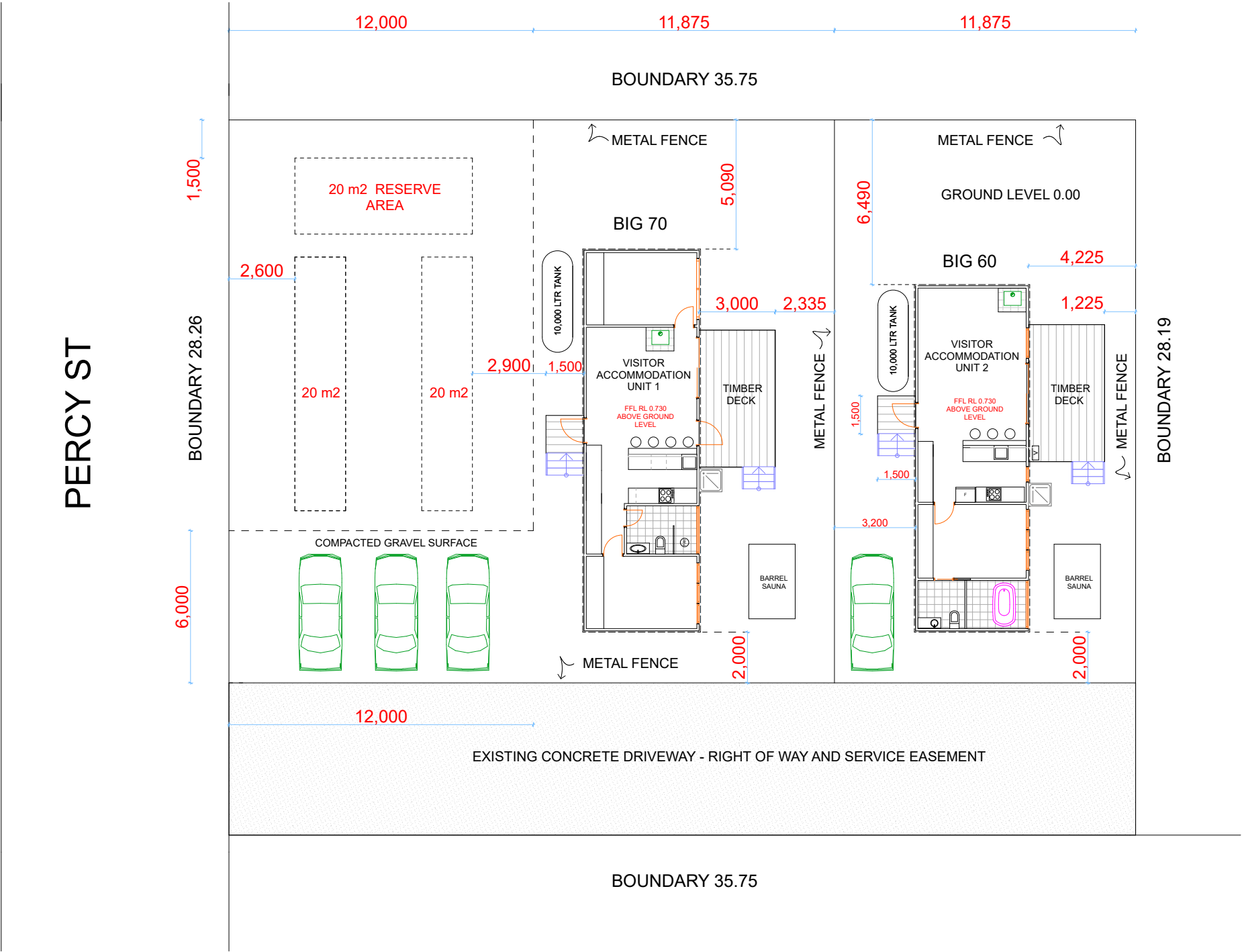
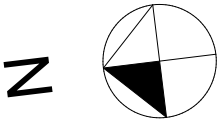
BUILDING DESIGNER	-	STEPHEN LAWES
ACCREDITATION	-	CC 4667 J
LAND TITLE REFERENCE No	-	VOLUME 183532 FOLIO 1
PID	-	9563864
LAND AREA	-	1010 m2
PROPOSED DWELLING AREA	-	66.75 m2
ANCILLARY DWELLING AREA	-	59.60 m2
DWELLING DECK AREA	-	16.20 m2
ANCILLARY DECK AREA	-	16.20 m2
DESIGN WIND SPEED	-	N3
SOIL CLASSIFICATION	-	M
CLIMATE ZONE	-	7
FLOODING	-	NO
BAL RATING	-	12.5
CORROSION ENVIROMENT	-	MEDIUM

DRAWING SCHEDULE

DWG -SHEET 1	COVER SHEET
DWG -SHEET 2	SITE PLAN
DWG -SHEET 3	FLOOR PLAN / WINDOW SCHEDULE - BIG 70
DWG -SHEET 4	ELEVATIONS-BIG 70
DWG -SHEET 5	FLOOR PLAN / WINDOW SCHEDULE - BIG 60
DWG -SHEET 6	ELEVATIONS-BIG 60
DWG -SHEET 7	SECTION A-A
DWG -SHEET 8	SECTION B-B
DWG -SHEET 9	WALL CONSTRUCTION DETAILS
DWG -SHEET 10	DRAINAGE PLAN
DWG -SHEET 11	WATER PROOFING DETAILS
DWG -SHEET 12	SPECIFICATION SHEET



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS	ADORN DRAFTING MBL 0413 235 160 E-MAIL : stephenlawes@aapt.net.au	STEPHEN LAWES CC 4667 J CATEGORY ABP I 25 JILLIAN ST KINGSMeadOWS 7249 DRAWN BY FC	PROPOSED - 2 VISITOR ACCOMMODATION UNITS 5 PERCY ST, COLES BAY	DRAWING	COVER SHEET
				DATE	27/1/2026
				DWG 747	SHEET 1
				SCALE	



NOTE : ALL TREES TO BE REMOVED

NOTE:

BOUNDARY LINES SHOWN ON SITE PLAN AND THE DISTANCES FROM EXISTING AND PROPOSED STRUCTURES ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED ON FOR DWELLING POSITION AND HEIGHT.

A SURVEY PLAN AND SURVEY PEGS ARE TO BE USED FOR DWELLING POSITION AND LEVELS.

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ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

**ADORN
DRAFTING**
MBL 0413 235 160
E-MAIL : stephenlawes@aapt.net.au

STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMEADOWS 7249
DRAWN BY FC

**PROPOSED - 2 VISITOR
ACCOMMODATION UNITS
5 PERCY ST, COLES BAY**

DRAWING	SITE PLAN
DATE	27/1/2026
DWG 747	SHEET 2
SCALE	1:200

WINDOWS AND DOOR SIZES WRITTEN IN SCHEDULE ARE TO BE CROSS CHECKED WITH FLOOR PLANS AND ELEVATIONS BY BUILDER FOR ANY ANOMALIES PRIOR TO QUOTING AND ORDERING

WINDOWS / DOORS TO COMPLY WITH THE NOTED BAL RATING

WINDOW AND DOOR SCHEDULE
-ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED UNLESS NOTED OTHERWISE

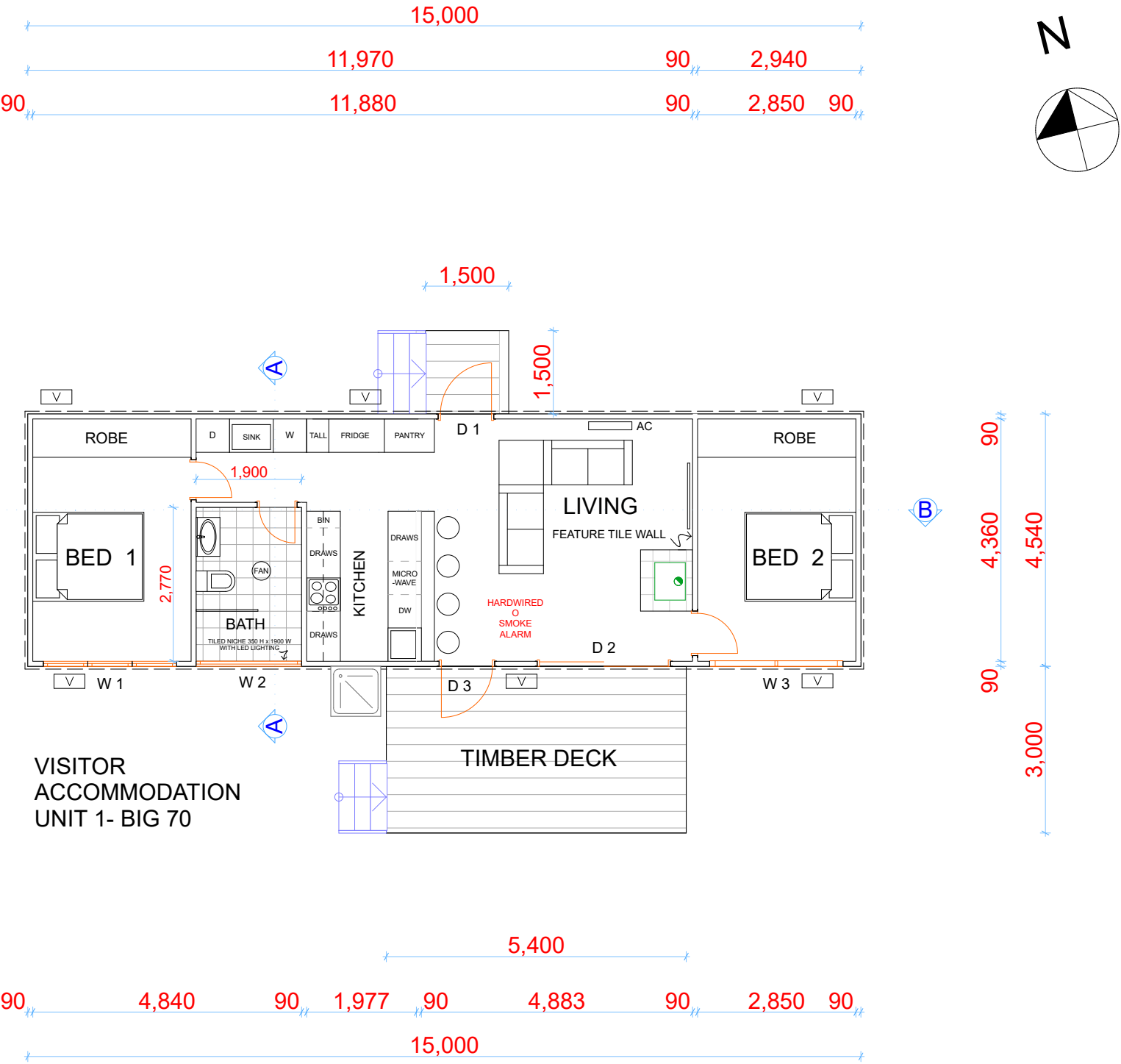
WINDOW MANUFACTURER -SEE ENERGY EFFICIENCY CERTIFICATE, WHERE ALTERATIVE WINDOW AND DOORS ARE USED THEY MUST HAVE EQUAL OR BETTER ENERGY EFFICIENCY RATING.

	HEIGHT	WIDTH	TYPE	GLASS
W 1	1800	2400	AWN	
W 2	600	1900	FXD	OBS
W 3	1800	2400	AWN	

	DOORS
D 1	2040X1000
D 2	2700X2400
D 3	2040X1000

INTERNAL DOORS	
2040X720 UNLESS SHOWN OTHERWISE ON FLOOR PLAN	
TIMBER LINTELS MGP IO	
0-1000	1/90X45
1000-1500	1/140X45
1500-2000	1/190X45
2000-2500	1/240X45
2500-3000	2/240X45

WOOD HEATER AND FLUE TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND IN COMPLIANCE WITH NCC 2022 PART 12.4.5 -SEE FIGURE 12.4.5a & 12.4.5b FOR CLEARANCES OF FREE STANDING HEAT APPLIANCES



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK

ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA

ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4

PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

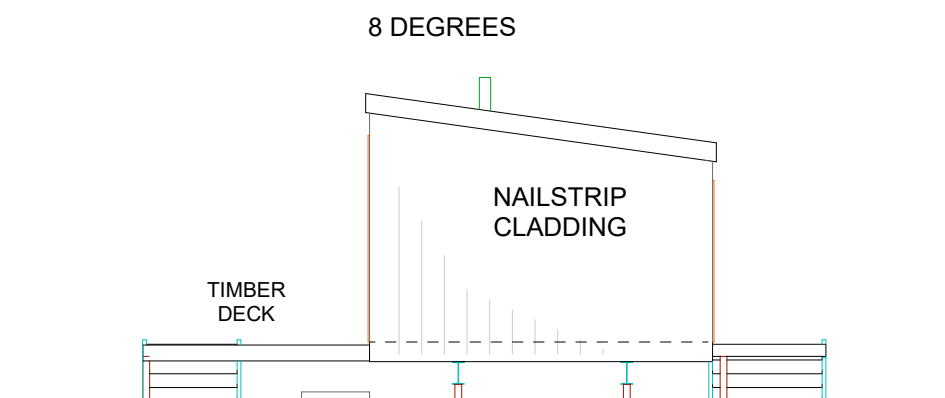
ADORN DRAFTING

MBL 0413 235 160
E-MAIL : stephenlawes@aapt.net.au

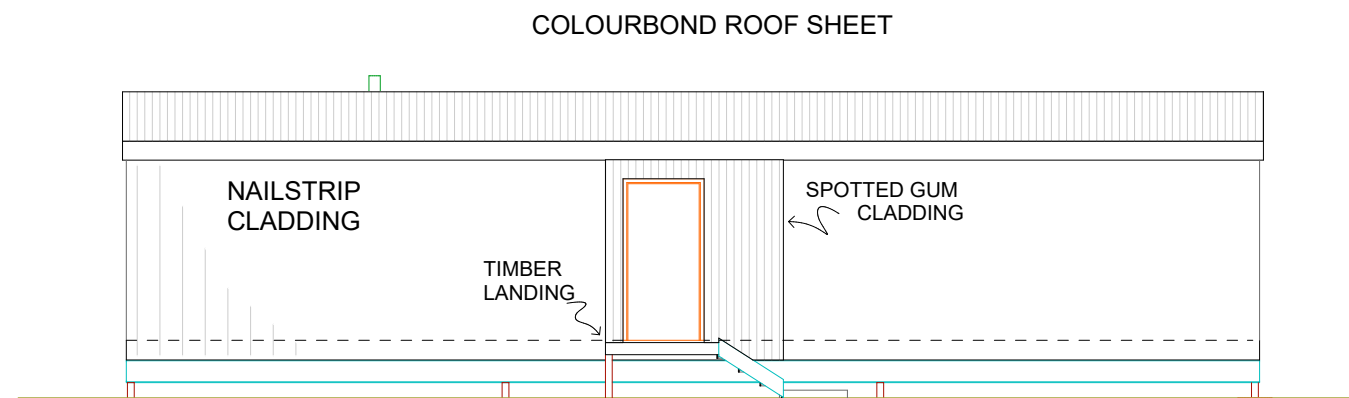
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PROPOSED - 2 VISITOR ACCOMMODATION UNITS
5 PERCY ST, COLES BAY

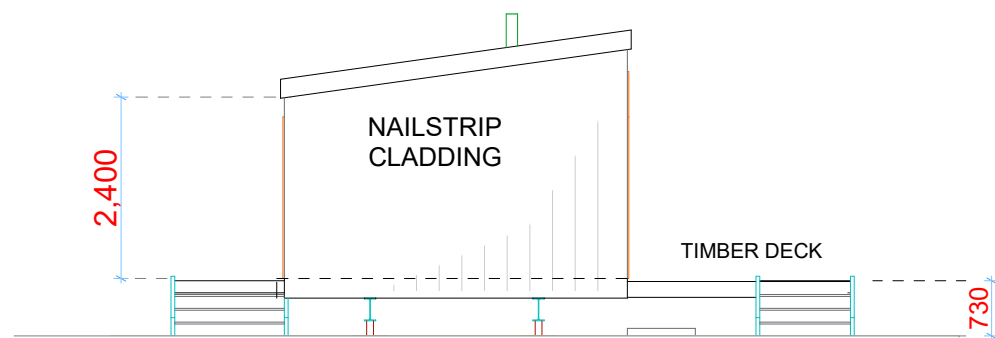
DRAWING	FLOOR PLAN - BIG 70
DATE	27/1/2026
DWG 747	SHEET 3
SCALE	1:100



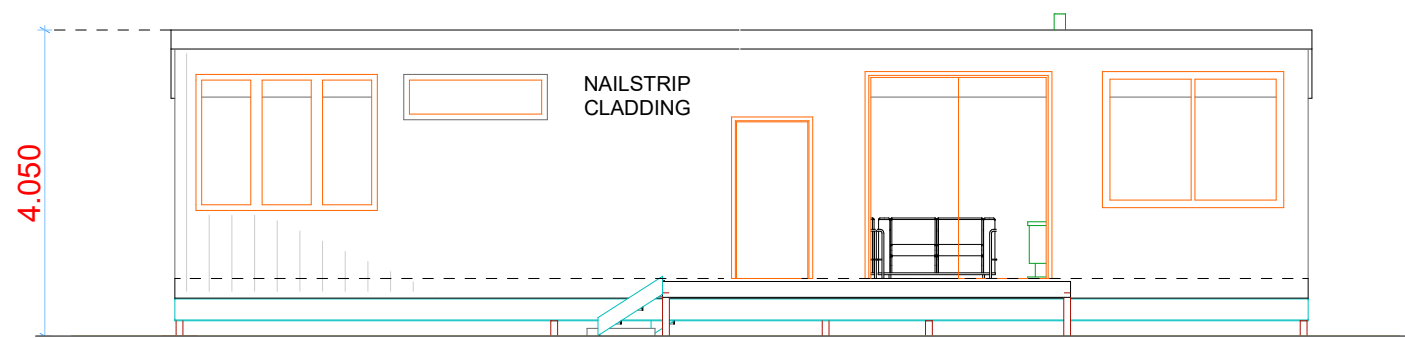
EAST ELEVATION
VISITOR ACCOMMODATION 1



NORTH ELEVATION
VISITOR ACCOMMODATION 1



WEST ELEVATION
VISITOR ACCOMMODATION 1



SOUTH ELEVATION
VISITOR ACCOMMODATION 1

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PROPOSED - 2 VISITOR
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5 PERCY ST, COLES BAY

DRAWING	ELEVATIONS - BIG 70
DATE	27/1/2026
DWG 747	SHEET 4
SCALE	1:100

WINDOWS AND DOOR SIZES WRITTEN IN SCHEDULE ARE TO BE CROSS CHECKED WITH FLOOR PLANS AND ELEVATIONS BY BUILDER FOR ANY ANOMALIES PRIOR TO QUOTING AND ORDERING

WINDOWS / DOORS TO COMPLY WITH THE NOTED BAL RATING

WINDOW AND DOOR SCHEDULE
-ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED UNLESS NOTED OTHERWISE

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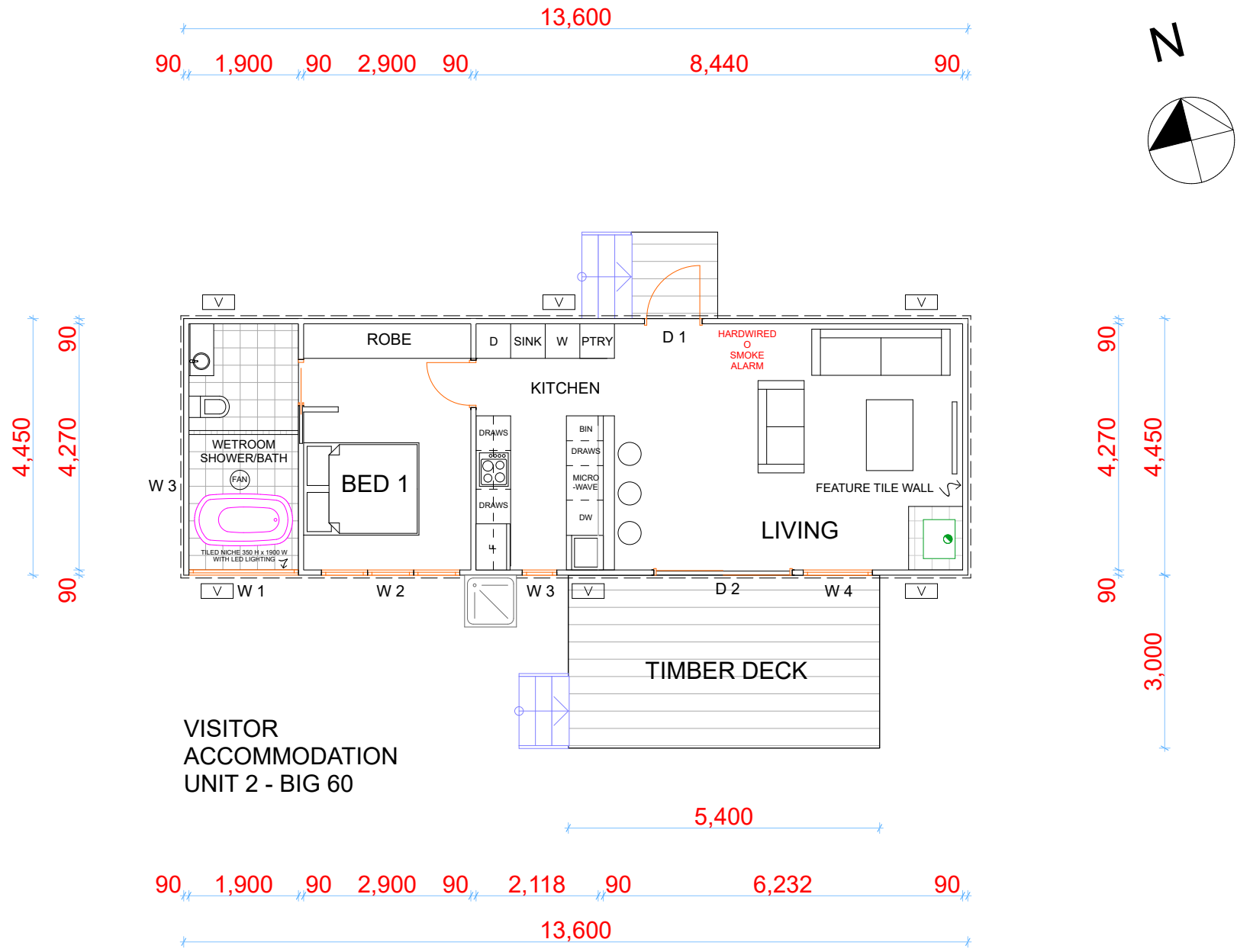
	HEIGHT	WIDTH	TYPE	GLASS
W 1	600X1900		FXD	OBS
W 2	1800X2400		AWN	
W 3	1800X600		FXD	
W 4	1800X1200		FXD	

DOORS			
D 1	2040X1000		
D 2	2700X2400	SLD	

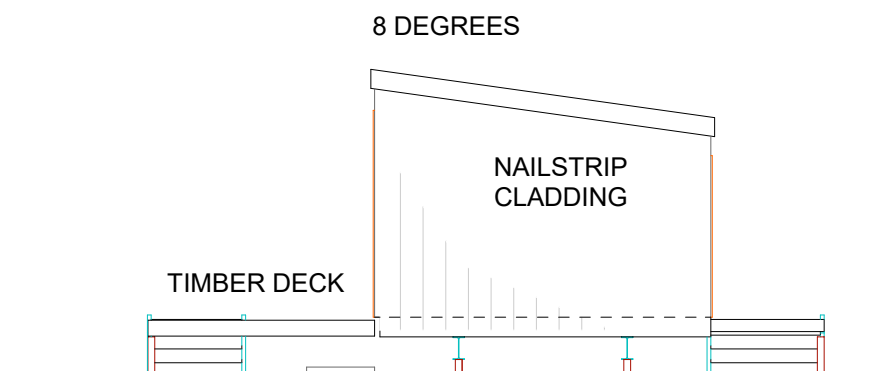
INTERNAL DOORS	
2040X720	UNLESS SHOWN OTHERWISE ON FLOOR PLAN

TIMBER LINTELS MGP IO	
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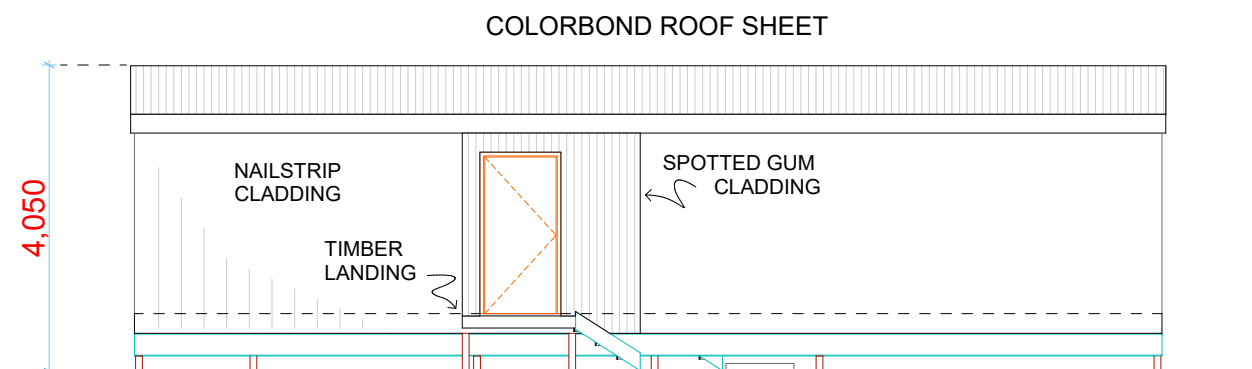
WOOD HEATER AND FLUE TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND IN COMPLIANCE WITH NCC 2022 PART 12.4.5 -SEE FIGURE 12.4.5a & 12.4.5b FOR CLEARANCES OF FREE STANDING HEAT APPLIANCES



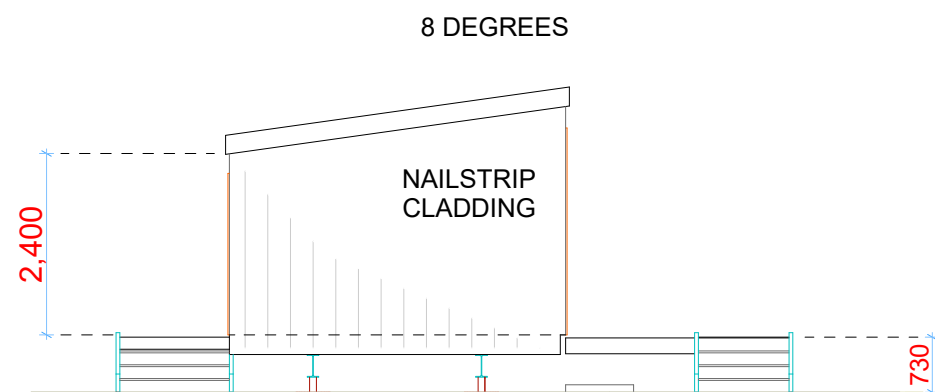
VISITOR
ACCOMMODATION
UNIT 2 - BIG 60



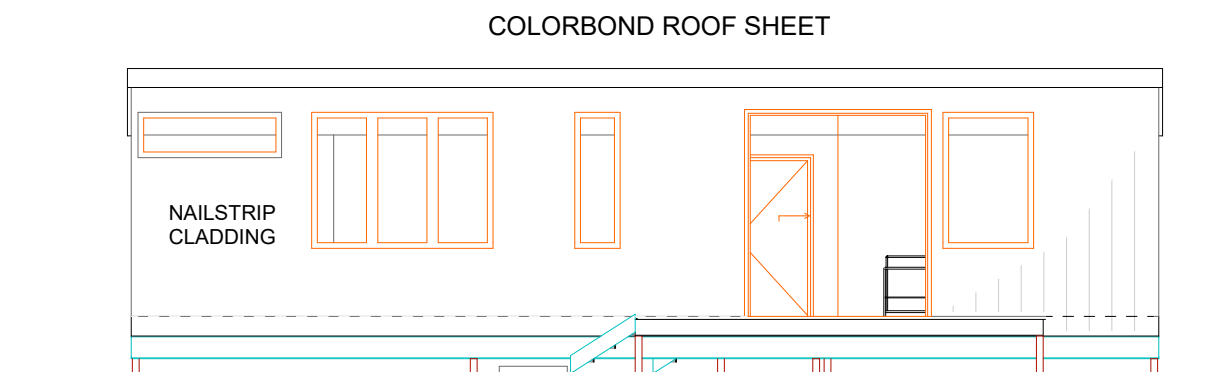
EAST ELEVATION
VISITOR ACCOMMODATION 2



NORTH ELEVATION
VISITOR ACCOMMODATION 2



WEST ELEVATION
VISITOR ACCOMMODATION 2



SOUTH ELEVATION
VISITOR ACCOMMODATION 2

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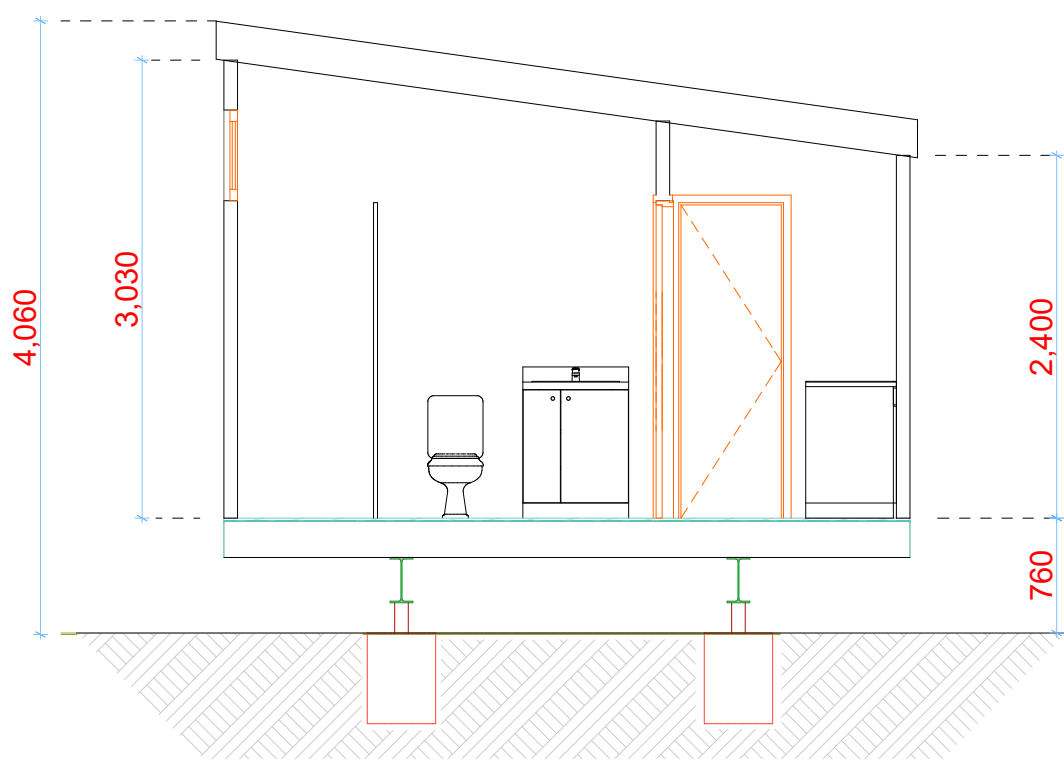
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DRAWING	ELEVATIONS - BIG 60
DATE	27/1/2026
DWG 747	SHEET 6
SCALE	1:100

<p>WALL FRAMING</p> <p>TO COMPLY WITH NCC 2022 AND AS 1684 2400 mm TO 3030 mm HIGH TIMBER FRAMED WALLS 90X35 MGP IO PINE STUDS AND NOGGINGS 90X35 MGP IO PINE TOP AND BOTTOM PLATES</p> <p>BREATHABLE BUILDING MEMBRANE INSTALLED TO FRAME FORM 25 mm AIRSPACE BETWEEN FACE AND EXTERNAL LINING/CLADDING WITH BATTENS INSTALL CLADDING IN ACCORDANCE WITH MANUFACTURERES SPECIFICATIONS</p> <p>BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS</p> <p>10mm PLASTERBOARD TO WALLS AND CEILINGS INSULATION BATTS TO WALLS INSULATION BATTS TO CEILINGS INSULATION BATTS TO SUBFLOOR</p> <p>- SEE ENEGRY EFFICIENCY CERTIFICATE</p>	<p>ROOF FRAMING</p> <p>ROOF PITCH - 8 DEGREES CUSTOM ORB ROOF SHEETS</p> <p>SARKING TO BE FIXED AS PER MANUFACTURERS SPECIFICATIONS REFER TO CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS GUIDE - VERSION 2</p> <p>- SEE ENGINEERS DRAWINGS</p> <p>STRUCTURAL DRAWINGS</p> <p>PADS TO COMPLY WITH AS 2870 (RESIDENTIAL SLABS AND FOOTINGS)</p> <p>BEARERS, BEAMS & POSTS -SEE STRUCTURAL DRAWINGS</p>	<p>WATERPROOFING</p> <p>WATER PROOFING TO COMPLY WITH NCC 2022 PART 10.2.6 AND AS 3740</p> <p>-FIXTURES ARE INSTALL LED -ENTIRE FLOORS AND WALLS WHERE TO TILED -SHOWER FLOORS AND HOBS -1800mm HIGH ABOVE SHOWER FLOOR -150 mm ABOVE BATH AND LAUNDRY TUB -WALL JUNCTIONS AND WALL/FLOOR JUNCTIONS -ALL PENETRATIONS</p> <p>AND TO BE APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS VILLA BOARD OR MOISTURE RESISTANT PLASTERBOARD TO BE USED IN WET AREAS</p>
		
<p>SECTION A-A</p> <p>VISITOR ACCOMMODATION - BIG 70</p>		

<p>ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK</p> <p>ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA</p> <p>ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4</p> <p>PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS</p>	<p>ADORN DRAFTING</p> <p>MBL 0413 235 160</p> <p>E-MAIL : stephenlawes@aapt.net.au</p>	<p>STEPHEN LAWES CC 4667 J CATEGORY ABP I 25 JILLIAN ST KINGSMEADOWS 7249 DRAWN BY FC</p>	<p>PROPOSED - 2 VISITOR ACCOMMODATION UNITS 5 PERCY ST, COLES BAY</p>	DRAWING	SECTION A-A
				DATE	27/1/2026
				DWG 747	SHEET 7
				SCALE	1:50

CONDENSATION MANAGEMENT - DWELLING 1

PROVIDE ROOF VENTILATION
IN ACCORDANCE WITH NCC 2022
H4D9 CONDENSATION MANAGEMENT

INSTALL VENTS TO EAVES AND GABLE ENDS
WHERE SHOWN ON FLOOR PLAN AND ELEVATIONS
67 m2 - MINIMUM 0.45 m2 OF VENTS

EXHAUST SYSTEMS FROM KITCHEN, LAUNDRY,
TOILETS AND BATHROOMS TO BE VENTED TO
OUTDOOR AIR IN ACCORDANCE WITH
NCC 2022 H4D9 CONDENSATION MANAGEMENT

PERMEABLE VAPOUR BARRIER TO WALLS
AND GABLE ENDS

SARKING TO FINISH AT EACH TOP BATTEN
TO ALLOW AIRFLOW THROUGH RIDGECAP

REFER TO GUIDANCE IN THE
" GUIDE FOR CONTROL OF CONDENSATION
AND MOULD IN TASMANIAN HOMES"
THAT SHOULD BE ADHERED TO WHERE POSSIBLE.

CONDENSATION MANAGEMENT - DWELLING 2

PROVIDE ROOF VENTILATION
IN ACCORDANCE WITH NCC 2022
H4D9 CONDENSATION MANAGEMENT

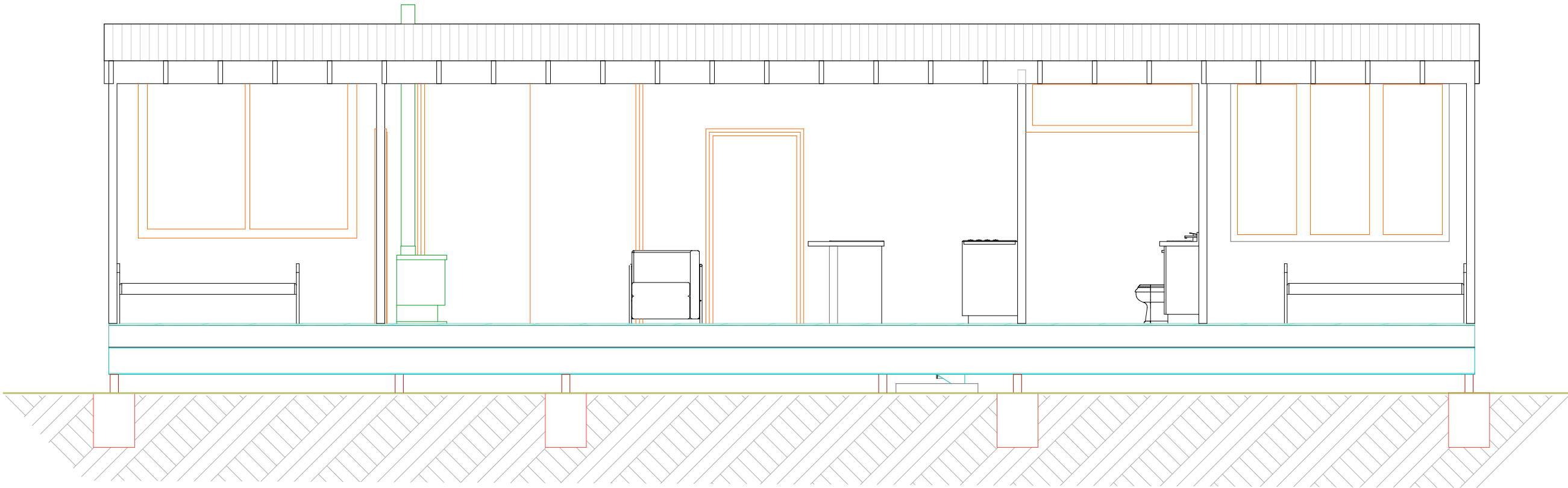
INSTALL VENTS TO EAVES AND GABLE ENDS
WHERE SHOWN ON FLOOR PLAN AND ELEVATIONS
60 m2 - MINIMUM 0.40 m2 OF VENTS

EXHAUST SYSTEMS FROM KITCHEN, LAUNDRY,
TOILETS AND BATHROOMS TO BE VENTED TO
OUTDOOR AIR IN ACCORDANCE WITH
NCC 2022 H4D9 CONDENSATION MANAGEMENT

PERMEABLE VAPOUR BARRIER TO WALLS
AND GABLE ENDS

SARKING TO FINISH AT EACH TOP BATTEN
TO ALLOW AIRFLOW THROUGH RIDGECAP

REFER TO GUIDANCE IN THE
" GUIDE FOR CONTROL OF CONDENSATION
AND MOULD IN TASMANIAN HOMES"
THAT SHOULD BE ADHERED TO WHERE POSSIBLE.



SECTION B-B
VISITOR ACCOMMODATION - BIG 70

ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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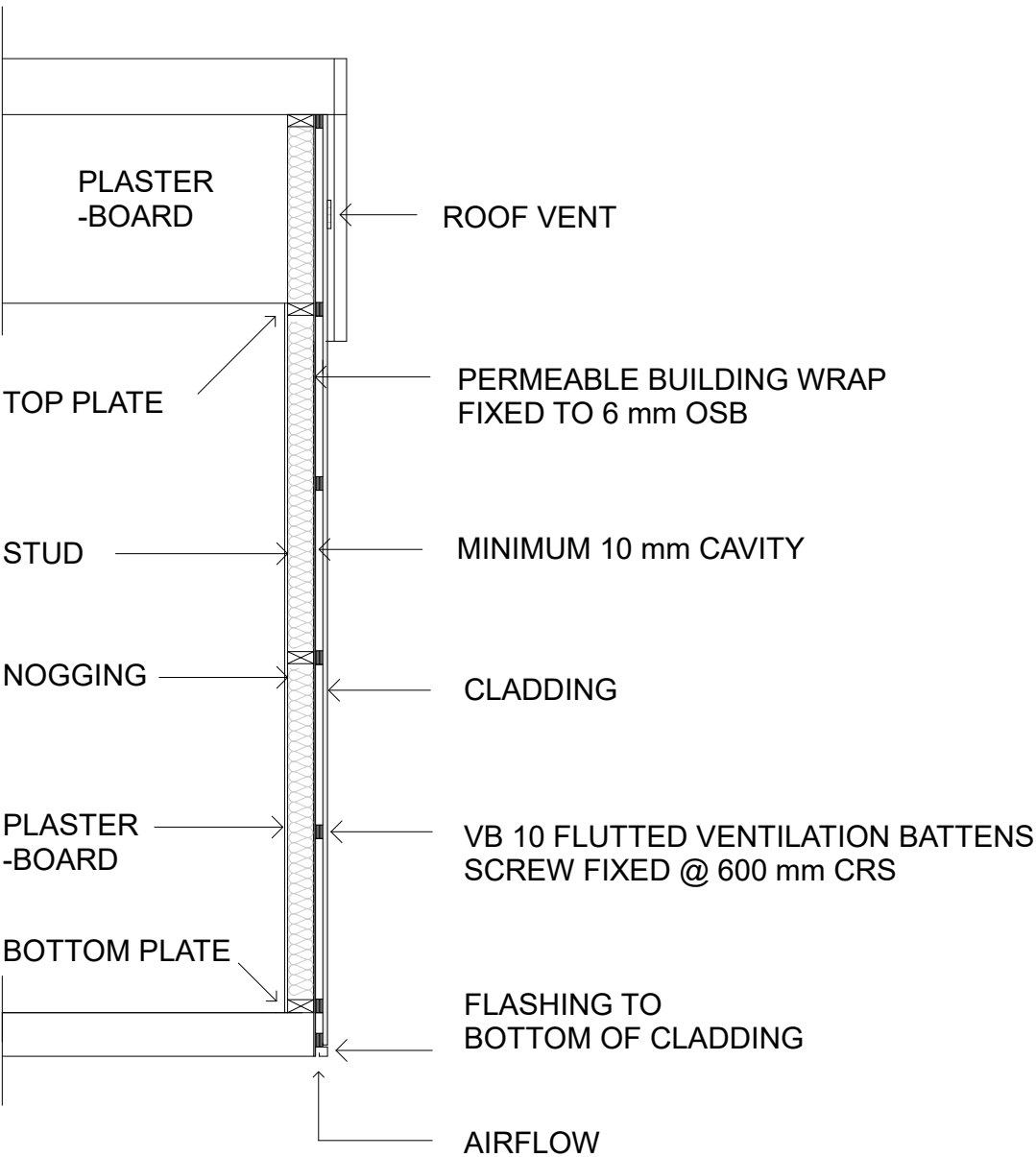
STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMEADOWS 7249
DRAWN BY FC

PROPOSED - 2 VISITOR
ACCOMMODATION UNITS
5 PERCY ST, COLES BAY

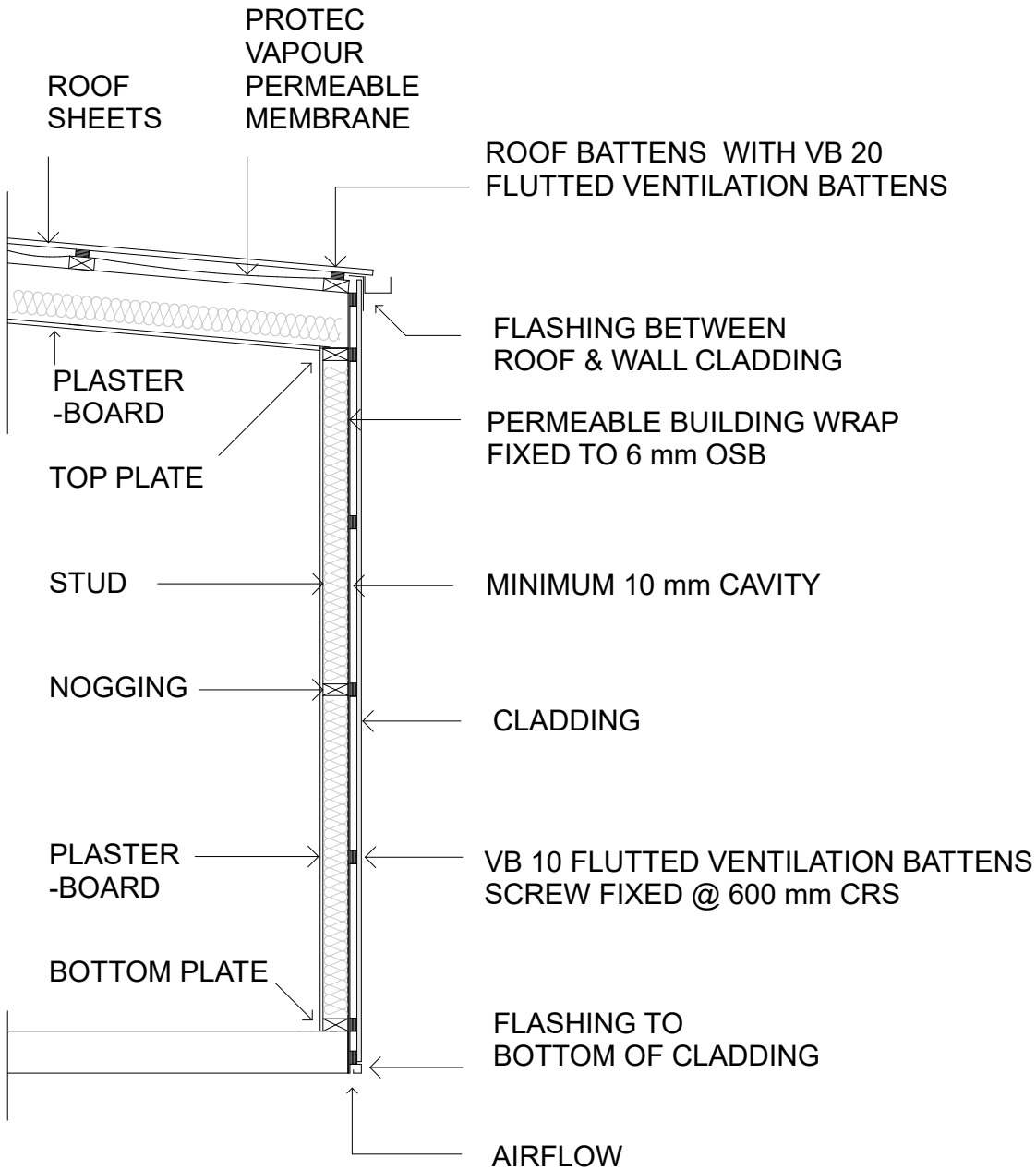
DRAWING	SECTION BB
DATE	27/1/2026
DWG 747	SHEET 8
SCALE	1:50

CONDENSATION MANAGEMENT
IN ACCORDANCE WITH TAS H4D9

RANGEHOOD, TOILET AND BATHROOM VENTS TO BE VENTED
EXTERNALLY AND FITTED IN ACCORDANCE WITH NCC 2022
PART 10.8.2 AND HAVE A MINIMUM FLOW RATE OF 25 L/s FOR TOILETS
AND BATHROOMS.



TIMBER CLADDING
TO BE FIXED IN
ACCORDANCE WITH
NCC 2022 PART 10.8



ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA
ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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STEPHEN LAWES
CC 4667 J
CATEGORY ABP I
25 JILLIAN ST
KINGSMeadOWS 7249
DRAWN BY FC

PROPOSED - 2 VISITOR
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DRAWING	CONSTRUCTION DETAILS
DATE	27/1/2026
DWG 747	SHEET 9
SCALE	1:25

PLUMBING

GENERALLY TO COMPLY WITH AND BE INSTALLED
IN ACCORDANCE WITH AS 3500
,THE PLUMBING CODE OF AUSTRALIA
AND THE RELEVANT STATE PLUMBING CODE

ALL PLUMBING WORK TO BE COMPLETED BY A
QUALIFIED AND LICENSED PLUMBER.

SEWER AND STORMWATER CONNECTION POINTS
ARE APPROXIMATE ONLY.

LEGEND

- WET AREAS
- IO - INSPECTION POINT
- ORG - OVERFLOW RELIEF GULLY
- EV - VENT PIPE
- DP - DOWN PIPE
- - - - STORM WATER PIPE - MINIMUM FALL OF 1:100
- - - - SEWER PIPE - MINIMUM FALL OF 1:60
- SILT PIT

PVC WASTE PIPES

BATH, BASIN AND FLOOR WASTE TO BE 40 mm
SINK, LAUNDRY TUB, SHOWER AND VENT TO BE 50 mm
STORM WATER AND DOWNPIPES TO BE 90 mm
SEWER TO BE 100 mm

MATERIALS

WATER PIPES TO COMPLY WITH
AS/NZS 3500.1 AND AS/NZS 3500.5
COPPER OR POLY TYPE PIPES
HOT AND COLD WATER BRANCHES TO BE DN 16 mm
MAIN LINE TO BE DN 20 mm

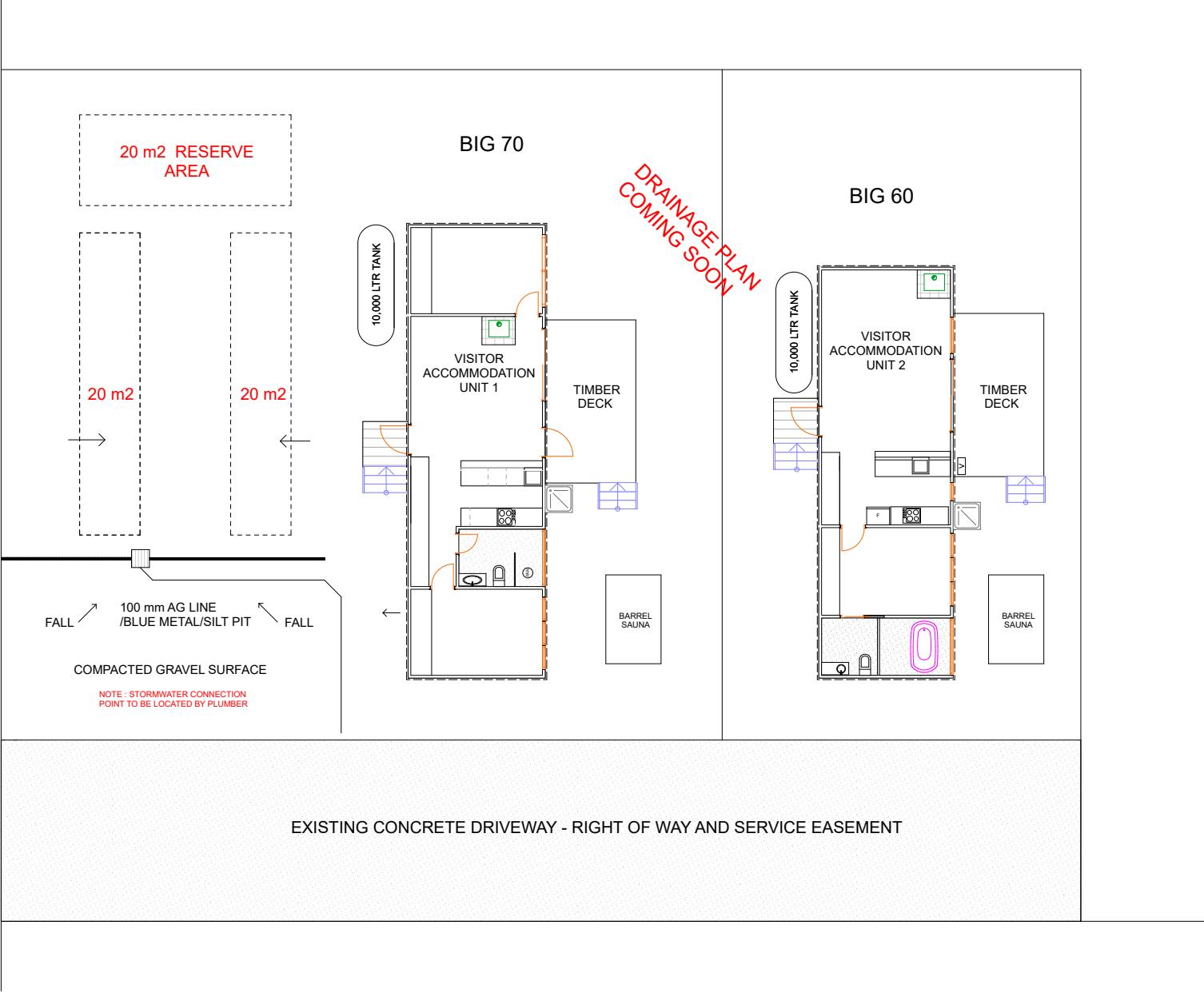
WATER TEMPERATURE

50 DEGREES TO SANITARY FIXTURES
60 DEGREES TO LAUNDRY AND KITCHEN SINK
OUTLET PIPES FROM THE HOT WATER UNIT MUST
BE COPPER FOR AT LEAST 1 METER BEFORE
CONNECTING TO POLY TYPE PIPES.

WATER FLOW SUPPLY BACK FLOW PREVENTION
DEVICE TO BE FITTED TO OUTSIDE TAPS

PRESSURE REGULATOR TO BE FITTED BETWEEN
MAINS WATERLINE AND HOUSE.

PERCY ST



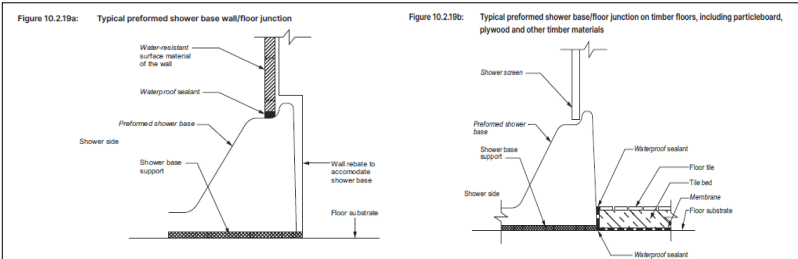
ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK
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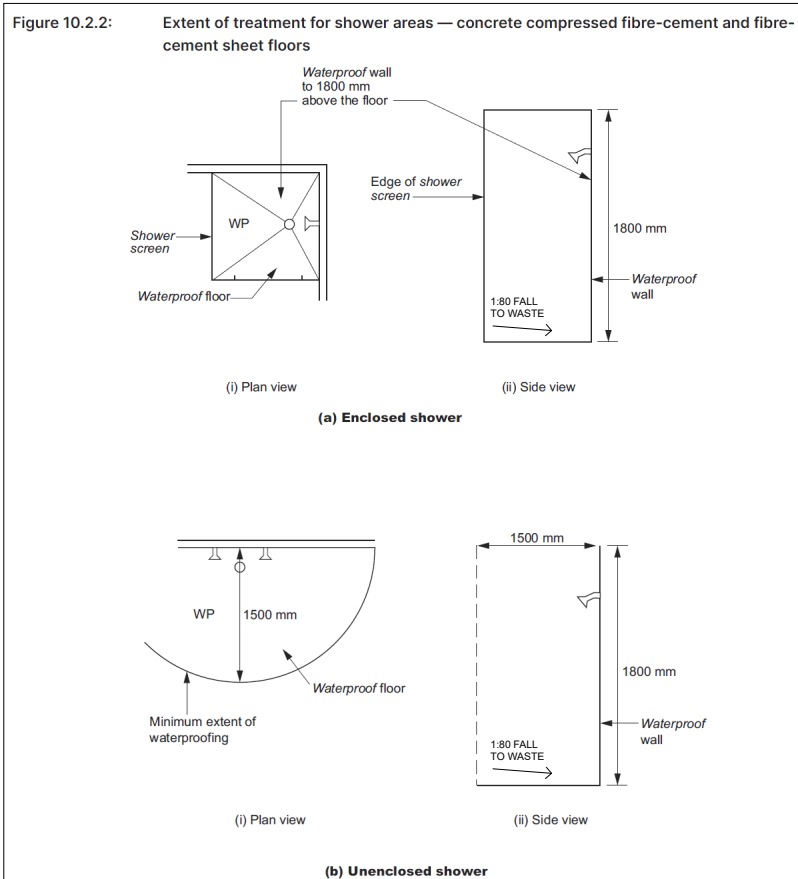
**PROPOSED - 2 VISITOR
ACCOMMODATION UNITS
5 PERCY ST, COLES BAY**

DRAWING	DRAINAGE PLAN
DATE	27/1/2026
DWG 747	SHEET 10
SCALE	1:200



10.2.19 Preformed shower bases

Preformed shower bases must- (a)have an upturn lip (see Figure 10.2.19a and Figure 10.2.19b); and
(b)be recessed into the wall to allow the water resistant surface materials and substrate materials to pass down inside the perimeter upturn lip of the shower base (see Figure 10.2.19a and Figure 10.2.19b); and
(c) be supported to prevent distortion or cracking.

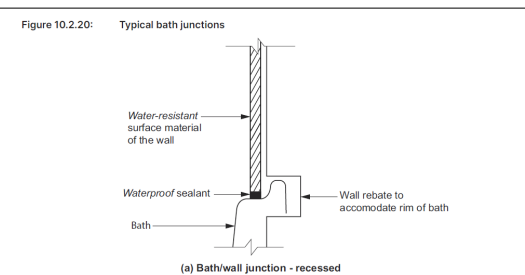


10.2.25 Shower area floor membrane application

For hobless showers, or showers with hobs or stepdowns, the membrane must be applied over the floor and up the vertical face of the wall substrate to a minimum height of 1800 mm above the finished tile level of the floor.

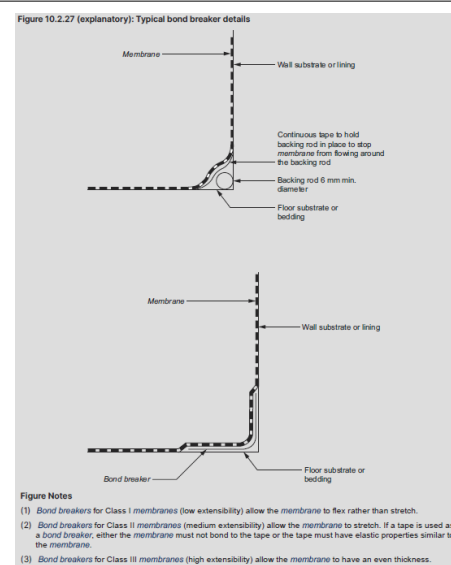
WET AREA WATERPROOFING ABCB HOUSING PROVISION Part 10.2

Compliance with AS 3740:2021 or Part 10.2 of the ABCB Housing Provisions satisfies Performance Requirement H4P1 for wet areas provided the wet areas are protected in accordance with the appropriate requirements of 10.2.1 to 10.2.6 and 10.2.12 of the ABCB Housing Provisions.



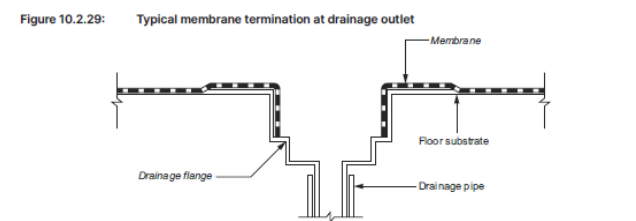
10.2.20 Baths and spas

Baths and spas, except freestanding baths and spas, must- (a)have an upturn lip; and
(b)be recessed into the wall (see Figure 10.2.20); and
(c)have the water resistant substrate materials of the wall pass down inside the upturn lip (see Figure 10.2.20).



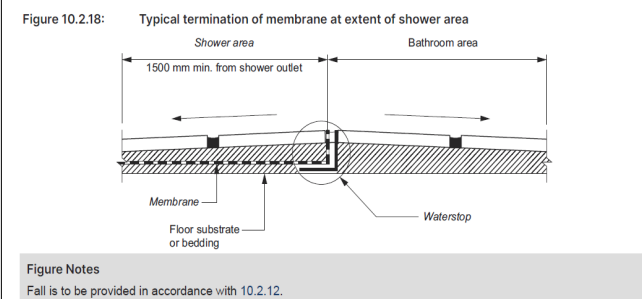
10.2.27 Bond breaker installation for bonded membranes

- (1)Bond breakers must be installed at all wall/wall, wall/floor, hob/wall junctions and at movement joints where the membrane is bonded to the substrate.
- (2)Bond breakers must be of the type compatible with the flexibility class of the membrane to be used.



10.2.29 Membrane to drainage connection

- (1)Membrane drainage connections in concrete floors must comply with one of the following: (a)A drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29). (b)Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain.
- (2)For membrane drainage connections in other floors, a drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29).
- (3)Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain.
- (4)Floor wastes must be of sufficient height to suit the thickness of the tile and tile bed at the outlet position.



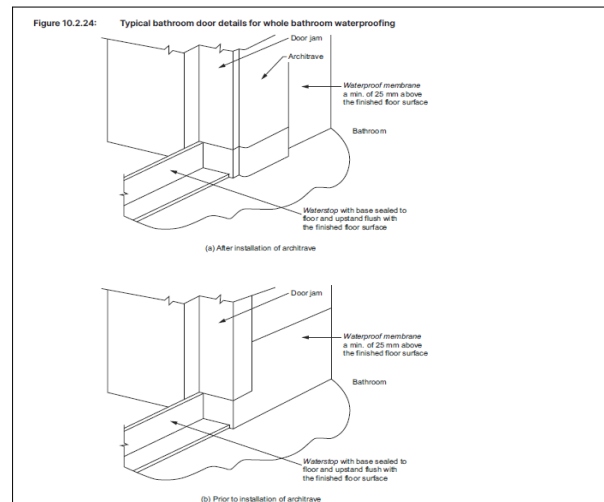
10.2.18 Unenclosed showers

- (1)Unenclosed showers must be constructed as follows: (a) A waterstop must be installed a minimum horizontal distance of 1500 mm from the shower rose. (b)The vertical leg of the waterstop must finish- (i)flush with the top surface of the floor (see Figure 10.2.18); and (ii)where the waterstop intersects with a wall or is joined- (the junction must be waterproof; or
(B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area.
- (2)In the case of (1)(b)(ii)(B), at doorways, where the height of the tiling angle needs to be adjusted for tiling purposes, the angle must be fixed with a sealant compatible with the waterproofing membrane without damaging the waterproofing system.

PERFORMANCE REQUIREMENTS FOR WET AREAS WHERE STANDARDS ARE NOT USED .

To protect the structure of the building and to maintain the amenity of the occupants, water must be prevented from penetrating- (a)behind fittings and linings; or
(b)into concealed spaces,

of sanitary facilities, bathrooms, laundries and the like.



10.2.24 Flashings/junctions

Flashings must be installed in accordance with 10.2.2 to 10.2.5 and the following: (a)Perimeter flashing to wall/floor junctions must have a- (i)vertical leg that extends a minimum of 25 mm above the finished floor level, except across doorways; and
(ii)horizontal leg that has a minimum width of not less than 50 mm.

(b)Where a water resistant substrate is used in conjunction with a water resistant surface material, a waterproof sealant must be installed at the substrate junction at the wall/floor junction.

(c)Perimeter flashings at a floor level opening must comply with the following: (i)Where the whole wet area floor is waterproof, at floor level openings, a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level with the floor membrane being terminated to create a waterproof seal to the waterstop and to the perimeter flashing (see Figure 10.2.24). (ii)In any other case, at a floor level opening a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level and waterproofed to the perimeter flashing.

(d)A vertical flashing, either external to the wet area or internal, must extend a minimum of 1800 mm above the finished floor level.

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ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4
PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS

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PROPOSED - 2 VISITOR
ACCOMMODATION UNITS
5 PERCY ST, COLES BAY

DRAWING	WATERPROOFING
DATE	27/1/2026
DWG 747	SHEET 11
SCALE	

<p>GENERAL SPECIFICATIONS</p> <p>BEFORE COMMENCING ANY WORK, QUOTING ON OR ORDERING ANY MATERIALS VERIFY DIMENSIONS, SETBACKS AND ALL EXISTING AND PROPOSED LEVELS.</p> <p>IF DURING THE SETOUT AND CONSTRUCTION OF THE WORKS ANY DISCREPANCIES ARISE IN THE DIMENSIONS OR LOGIC THE DESIGNER SHOULD BE CONTACTED FOR CLARIFICATION AND ADVICE BEFORE WORK CONTINUES.</p> <p>ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST "BUILDING REGULATIONS " AND "THE NCC 2022" AND AS 1684.4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR THE RELEVANT SITE WIND VELOCITY AND THE RELEVANT "AUSTRALIAN STANDARDS" FOR EACH ASPECT OF THE WORKS.</p> <p>WHERE REQUIRED FOR BUILDING APPROVAL, THERE WILL ALSO BE A SOIL TEST AND STRUCTURAL DRAWINGS TO BE SUBMITTED AS PART OF THE THE BUILDING APPLICATION.</p> <p>NOTE: DOOR AND WINDOW SIZES ARE NOMINAL ONLY/ OPENING SIZES ARE TO SUITE ACTUAL DOORS OR WINDOWS.</p> <p>ENGINEERING</p> <p>ARCHITECTURAL PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS WITH THE ENGINEERING DRAWINGS TO TAKE PRECEDENCE OVER ARCHITECTURAL PLANS .</p> <p>SITE WORKS AND GROUND LEVELS</p> <p>EXCAVATION AND FILLING OF THE SITE TO BE IN ACCORDANCE WITH NCC 2022 PART 3.1 AND AS 2870 AND ANY SPECIAL DETAILS OR INSTRUCTIONS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.</p> <p>SURFACE DRAINAGE-ALL FINISHED GROUND TO FALL AWAY FROM BUILDING 1 IN 50 (1 IN 100 MINIMUM). FINISHED SLAB LEVELS ARE TO BE 150 mm MINIMUM ABOVE FINISHED GROUND LEVEL AND 100 mm ABOVE PATHS AND A MINIMUM OF 50 mm BELOW HARD SURFACE AREAS . GARAGE DOORWAY TO BE SHAPED TO TAKE WATER AWAY.</p> <p>FOOTINGS AND SLABS</p> <p>GENERALLY TO BE IN ACCORDANCE WITH AS 2870 . PREPARATION AND PLACEMENT OF CONCRETE AND REINFORCEMENT TO BE TO AS 2870 CONCRETE AND STEEL REINFORCEMENT TO BE IN ACCORDANCE WITH AS 2870 - 2011 AND AS 3500.</p> <p>ALTERNATIVELY FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS</p> <p>THE SITE CLASSIFICATION TO BE IN ACCORDANCE WITH AS 2870- 2011. REFER TO SOIL REPORT FOR SITE CLASSIFICATION , IF ANY SOFT GROUND OR GROUND DIFFERENT FROM THE SOIL REPORT IS FOUND DURING EXCAVATION IT SHOULD BE REPORTED TO THE BUILDING SURVEYOR FOR INSTRUCTIONS.</p>	<p>FLOORS</p> <p>TO COMPLY WITH NCC 2022 PART 3.12 AND AS 1668.2 - SEE PLANS AND ENGINEERS DRAWINGS FOR MEMBER SIZES, SPACING AND RELEVANT SPECIFICATIONS</p> <p>FRAMING</p> <p>TIMBER FRAMING TO BE IN ACCORDANCE WITH AS 1684.2 2021 MANUFACTURED TIMBER MEMBERS TO BE IN ACCORDANCE WITH MANUFACTURERS PRESCRIBED FRAMING MANUAL.</p> <p>SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH NCC 2022 PART 6.2 SUBFLOOR AREA IS TO FREE OF ORGANIC MATERIAL AND RUBBISH. PROVIDE VENT OPENINGS IN SUBSTRUCTURE WALLS AT A RATE OF 7300 mm 2/M OF WALL LENGTH, WITH VENTS NOT MOE THAN 600 mm FROM CORNERS.</p> <p>UNDERSIDE OF FLOOR FRAMING MEMBERS TO HAVE A MINIMUM CLEARANCE OF 150 mm WITHIN 2000 mm OF THE EXTERNAL SUBFLOOR WALLS AND 400mm TO ALL OTHER AREAS -SEE NCC TABLE 6.2.1 SUBFLOOR VENTILATION CLEARANCE.</p> <p>TIE DOWN AND BRACING OF TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH SECTION 8 OF AS 1684.2 AND, AS 4055 AND ANY ENGINEERS DRAWINGS AND SPECIFICATIONS</p> <p>STRUCTURAL STEEL FRAMING TO BE IN CCORDANCE WITH AS 1250, AS 4100 AND STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS.</p> <p>ROOF TRUSSES</p> <p>TO BE DESIGNED BY TRUSS MANUFACTURER ON APPROVED OR ACCREDITED SOFTWARE AND AN ENGINEERS CERTIFICATE, IS TO BE SUPPLIED BY THE MANUFACTURER. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES</p> <p>TRUSSES SHALL BE HANDLED, ERECTED, INSTALLED AND BRACED IN ACCORDANCE WITH AS 4440 AND MANUFACTURERS SPECIFICATIONS.</p> <p>TIE TRUSSES TO TOP PLATE OF EXTERNAL WALLS WITH PRYDA'S UNITIE BRACKETS -FIX WITH 4/35X3.15mm GALVANIZED CONNECTOR NAILS TO EACH END</p> <p>TRUSS -BOTTOM CORD TO BE TIED TO INTERNAL WALLS WITH PRYDA HITCH STABILIZES -FIX WITH 3/35X3.15mm CONNECTOR NAILS TO TRUSS CORD AND 3 TO TOP PLATE</p> <p>PRYDA SPEED BRACING INSTALLATION AS TO TRUSS MANUFACTURERS BRACING LAYOUT PLAN -FIX WITH 2/35X3.15mm CONNECTOR NAILS PER TRUSS AND TO MANUFACTURERS SPECIFICATIONS</p> <p>MANUFACTURERS SPECIFICATION TO TAKE PRECEDENCE OVER THE ABOVE RECOMMENDED TIE DOWN OPTIONS</p> <p>METAL FURRING CHANNEL SCREW FIXED @ 450 CRS TO BOTTOM CORD OF ROOF TRUSSES</p>	<p>BUILDING FABRIC</p> <p>GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2019 13.2 BUILDING FABRIC INSULATION. INSULATION FITTED TO FORM CONTINUOUS BARRIER TO ROOF, CEILINGS WALLS AND FLOORS .</p> <p>NON-REFLECTIVE PERMABLE BUILDING MEMBRANE INSTALLED TO FORM 20 mm AIRSPACE BETWEEN MEMBRANE AND EXTERNAL LINING/CLADDING FITTED CLOSELY UP TO PENETRATIONS/OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED A MINIMUM OF 150 mm .</p> <p>ROOF AND WALL CLADDING</p> <p>GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND : ROOF TILES AS 2049 AND AS 2050, METAL SHEET ROOFING AS 1562.1 , POLYCARB ROOF SHEETING AS/NZS 4256.1.2.3 AND AS 1562.3</p> <p>GUTTERS AND DOWNPIPES, GENERALLY TO BE IN ACCORDANCE WITH THE NCC 7.4 AND AS/NZS 3500.3 AND THE PLUMBING CODE DOWNPIPES TO BE 90 mm DIA, OR 100 X 50 mm RECTANGULAR SECTION AT MAXIMUM 12,000mm CRS AND TO BE WITHIN 1200 mm OF A VALLEY WALL. CLADDING TO BE IN ACCORDANCE WITH THE NCC 2022 7.2.8 AND MANUFACTURERS SPECIFICATIONS .</p> <p>GLAZING</p> <p>GENERALLY BE IN ACCORDANCE WITH AS 1288 - CLASS 'A' SAFETY GLASS TO BATHROOM WINDOWS BELOW 2000 mm , EXTERNAL GLAZING IN ACCORDANCE WITH THE NCC PART 8.2, 8.3 & 8.4. WINDOWS ARE TO COMPLY WITH THE NCC WINDOW SAFETY EQUIREMENTS. REFER ALSO TO DOOR AND WINDOW SCHEDULE</p> <p>MASONRY</p> <p>GENERALLY MASONRY WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 PART 5 AND AS 3700 UNREINFORCED MASONRY TO THE NCC 2022 5.4 MASONRY ACCESSORIES TO THE NCC 2022 NCC 2022 5.6 WEATHERPROOFING OF MASONRY TO THE NCC 2022 5.7</p> <p>-SEE ENGINEERS DRAWINGS FOR SPECIFIC DETAILS AND POSITION OF CONTROL JOINTS.</p> <p>INSULATION</p> <p>TO MAINTAIN THICKNESS AND POSITION AFTER INSTALLATION INSURE CONTINUOUS COVER WITHOUT VOIDS EXCEPT AROUND SERVICES AND FITTINGS .</p> <p>TYPICAL WALL FRAME</p> <p>TO COMPLY WITH NCC 2022 PART 6 AND AS 1684. 200 mm HIGH BRICK VENEER WALLS 90X35 MGP IO PINE STUDS AND NOGGINGS, 90X35 MGP IO PINE TOP AND BOTTOM PLATES . BRACING AND TIE DOWNS TO ENGINEER'S DRAWINGS</p> <p>10mm PLASTERBOARD TO WALLS AND CEILINGS INSULATION BATTS TO WALLS TO COMPLY WITH THE NCC 2022 PART 6.1</p>	<p>ENERGY EFFICIENCY</p> <p>GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2019 PART 13 ENERGY EFFICIENCY TO COMPLY WITH THE CLIMATE ZONE AND STATES MINIMUM CURRENT STAR RATING REQUIREMENTS OR ABOVE.</p> <p>SERVICES</p> <p>GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2019 13.7 HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH AS/NZS 3500</p> <p>HEALTH AND AMENITY</p> <p>GENERALLY IN ACCORDANCE WITH THE NCC 2022 SECTION 10</p> <p>WET AREA WATERPROOFING</p> <p>TO BE IN ACCORDANCE WITH AS 3740 AND WATERPROOFING OF SURFACES ADJACENT TO OPEN SHOWER, INCLUDING SHOWER OVER BATH, 1500 mm FROM A VERTICAL LINE PROJECTED FROM SHOWER ROSE TO A HEIGHT 1800 mm ABOVE FINISHED FLOOR</p> <p>SHOWER AREA TO BE IN ACCORDANCE WITH THE NCC PART 10.2.2</p> <p>WATERPROOFING TO COMPLY WITH NCC 10.2.6 WATERPROOFING SYSTEMS</p> <p>FALL TO SHOWER WASTE TO BE 1:80 IN ACCORDANCE WITH AS 3740 4.4 AND NCC 10.2.12</p> <p>WALL SURFACES ADJACENT TO PLUMING FIXTURES, BATHS ACT TO BE PROTECTED TO A HEIGHT OF 150 mm ABOVE FIXTURES, CEILING HEIGHTS TO BE IN ACCORDANCE WITH THE NCC 2022 PART H4</p> <p>FACILITIES</p> <p>GENERALLY TO BE IN ACCORDANCE WITH THE NCC 2022 10.4 REQUIRED FACILITIES IN ACCORDANCE WITH 10.4.1 SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH THE NCC 2022 10.4.2 . PROVISIONS OF NATURAL LIGHT TO BE IN ACCORDANCE WITH THE NCC 2022 10.5.1 WINDOWS/ ROOF LIGHTS TO PROVIDE LIGHT TRANSMISSION ARE EQUAL TO 10 % OF FLOOR AREA OF THE ROOM.</p> <p>VENTILATION TO BE IN ACCORDANCE WITH THE NCC 2022 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FROM BATHROOM/WC TO BE VENTED OUTSIDE FOR STEAL ROOF ANT TO ROOF SPACE FOR TILE ROOF, NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5 % OF THE FLOOR AREA, IN ACCORDANCE WITH THE NCC 2022 10.6.2</p>	<table><tr><td>DRAWING</td><td>SPECIFICATIONS</td></tr><tr><td>DATE</td><td>27/1/2026</td></tr><tr><td>DWG 747</td><td>SHEET 12</td></tr><tr><td>SCALE</td><td></td></tr></table>	DRAWING	SPECIFICATIONS	DATE	27/1/2026	DWG 747	SHEET 12	SCALE	
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ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY BUILDER BEFORE THE COMMENCEMENT OF WORK ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA ALL TIMBER FRAMING TO BE IN COMPLIANCE WITH AUSTRALIAN STANDARDS 1684.4 PLANS TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS		ADORN DRAFTING MBL 0413 235 160 E-MAIL : stephenlawes@aapt.net.au	STEPHEN LAWES CC 4667 J CATEGORY ABP I 25 JILLIAN ST KINGSMEADOWS 7249 DRAWN BY FC	PROPOSED - 2 VISITOR ACCOMMODATION UNITS 5 PERCY ST, COLES BAY								