GLAMORGAN/SPRING BAY COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **44 Alma Road, Orford**
CT 186679/1

PROPOSAL: **Single Dwelling Including Secondary Residence**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 25 February 2026.

APPLICANT:	**Suresh Shanmugam - Homes 4 You**
DATE:	**15/01/2026**
APPLICATION NO:	**DA 2026 / 00004**

GLAMORGAN SPRING BAY COUNCIL

9 Melbourne Street (PO Box 6)
Triabunna TAS 7190
03 6256 4777
03 6256 4774
admin@freycinet.tas.gov.au
www.gsbc.tas.gov.au

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Suresh Shanmugam		
Contact person: (if different from applicant)			
Address:	132 Forster Street		
Suburb:	Invermay	Post Code:	7148
Email:	sales@homes4youtas.com.au	Phone: / Mobile:	0457 217 826/0438 002 261

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)	Claire Alison Horner		
Address:	44 Alma Road		
Suburb:	Orford	Post Code:	7190
Email:	clairehorner75@gmail.com	Phone: / Mobile:	0439926776

Details of Site *(Note: If your application is discretionary, the following will be placed on public exhibition)*			
Address of proposal:	Lot 1, 44 Alma Road		
Suburb:	Orford	Post Code:	7190
Size of site: (m^2 or Ha)	1001 m2		
Certificate of Title(s):	186679/1		
Current use of site:	vacant land		

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General Application Details *Complete for All Applications*	
Description of proposed use or development:	1 - main dwelling 1 - ancillary dwelling
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	
Is the property on the State Heritage Register? (Circle one)	☐ Yes / No ☑

For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

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Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

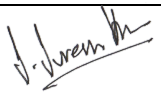
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of *the Land Use Planning and Approvals Act 1993.*

Applicant Signature:		Date:	15 / 01 /26

Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	

If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

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Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- [x] a signed application form;
- [ ] any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- [x] details of the location of the proposed use or development;
- [x] a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- [x] a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- [ ] any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- [ ] a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- [ ] where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

HOMES4YOU TAS Pty Ltd

YOUR HOME YOUR CHOICE

Kit Homes Tasmania

132 Forster Street Invermay
Launceston. Tasmania 7248

M: 0438 002 261
Email: sales@homes4youtas.com.au
WEB: www.homes4youtas.com.au

Appointment of Agent

To whom it may concern

1/We	

(owners name)

I/We further appoint the following person to act as my lawful agent to apply for any required certificates and permits and make the necessary submissions to the proper authorities as required under the Building Act 2016 for all matters relating to this development.

Hereby grant authorization for	Suresh Shanmugam HOMES4YOU TAS PTY LTD M: 0438 002 261

(applicant/agents name)

Address of property:	44 Alma Road Orford TAS 7190
Signature of Owner/s:	
Owners Names:	
Telephone No:	
Dated:	14 Jan 2026

SITE INVESTIGATION REPORT

AS 2870 SITE CLASSIFICATION &
AS 4055 WIND LOADS FOR HOUSING

CLIENT:

PROJECT ADDRESS:
44 ALMA ROAD
ORFORD 7190

PROPOSED DEVELOPMENT:
RESIDENTIAL DWELLING X 2

FILE NUMBER:
H3065

DATE:
8 AUGUST 2025

HED CONSULTING
UNIT 2, 1 LIVERPOOL ST, HOBART 7000
P 03 6146 0334 E info@hed-consulting.com.au

HED CONSULTING

1. Executive Summary

The subject land is located at 44 Alma Road, Orford. The development proposal includes the construction of two residential dwellings. The site investigation has been conducted in accordance with AS2870:2011 *Residential slabs and footings* and AS4055-2021 *Wind Load for housing*. A summary of the report is detailed within the table below.

Analysis	Observations / Results
Site classification	**P (due to presence of fill)**
Surface movement (y_s) range:	**20-40mm**
Geology:	**Triassic dominantly quartz sandstone**
Refusal depth:	**1.1m (BH01) & 1.0m (BH02)**
Estimated soil bearing capacity:	**>100 kPa @ 0.3m depth**
Modified Emerson Crumb test:	**Slightly dispersive**
Wind classification:	**N2**

2. Client Information and Site Location

	Information
Client name:	**Claire Horner**
Site address:	**44 Alma Road Orford**
Property ID:	**9087544**
Title Reference:	**186679/1**

3. Site information

Site information	Results
Size of development:	Single residential dwellings (2)
Services available:	Power, telecommunications, water, sewer & stormwater
Zoning:	Low Density Residential
Tenure:	Private Freehold
Permit Authority:	Glamorgan Spring Bay Council
Planning Overlays:	Bushfire-prone areas

4. Site visit

Site investigation	Observations / Results
Date of site investigation:	1/8/2025
Slope:	8-10%
Aspect:	East
Rainfall:	68.2mm (preceding two weeks)[1]
Drainage:	Imperfect to poor
Vegetation:	Sparse grass
Erosion:	No erosion was observed

[1] Bureau of Meteorology, http://www.bom.gov.au, Daily Rainfall Triabunna (Salmon Flats)

5. Soil Profile

Bore holes revealed a brown clayey sand fill overlying natural brown clay. Auger refused at 1.1m (BH01) and 1.0m (BH02) depth. No groundwater was intercepted in either bore hole. 9Kg Dynamic Cone Penetrometer test was also conducted to establish the estimated bearing capacity of the soil. The soil profile and location of the bore holes / DCP is shown in the appendix of this report.

6. Site Stability

The site exhibits no signs of significant erosion or land instability and is not within a landslide hazard overlay. Earthworks shall comply with AS3798-2007 Guidelines on earthworks for commercial and residential developments.

7. AS2870 Site Classification

The site is classified as: P (due to the presence of fill). The natural soil profile has 20-40mm y_s surface movement.

Footings to be bedded / piered to competent bedrock. Concrete shall be placed immediately following the excavation of foundations to prevent the accumulation of water within the footings.

8. AS4055 Wind Classification

The site is classified as per AS4055 – 2021 Wind loads for housing.

Site information	Results
Geographic region:	A
Terrain Category:	2
Topographic classification:	T0
Shielding:	NS
Wind Classification:	N2
Wind Speed ($V_{h,u}$):	40m/s

9. General notes and limitations

Site Investigation:

Site investigation conducted in accordance with the requirements of clause 2.4 of AS2870:2011. The aim of a site investigation is to obtain information about the soil at the location of the intended building(s). The location of bore holes are based on information supplied from the client and other any other location that is deemed necessary by HED Consulting to provide an accurate report. The investigation only applies to this part of the site and the results and recommendations of this report should not be used for any other part of the site.

HED Consulting aims to provide an accurate report at the time of the investigation however natural variations in soil characteristics and depth can occur over short distances. Soil conditions can also vary over time due to climatic events or earthworks. For example, the bearing capacity of clay soils can vary due to the seasonal climatic events. HED Consulting accepts no responsibility for soil conditions that are different to what was inspected at the time of the investigation. If the soil conditions encountered vary to the results of this report HED Consulting should be contacted for advice. As per clause 2.5.2 of AS2870:2011 the site may require to be re-classified if a cut exceeds 500mm or depth of fill would result in a P classification (when the earthworks were not known at the time of investigation).
Soil testing:

Soil samples (when collected) are tested in accordance with AS1289.7.1.1 – 2003 *Soil reactivity tests- determination of the shrinkage index of a soil-shrink swell index.* Soil testing is not required for all sites due to previous testing of similar material and/or using professional opinion. Bearing capacity of soil is based on field testing with accordance to clause 6.1.7 of AS1726:2017 and / or pocket penetrometer and / or DCP method. Bearing capacity of clays can vary seasonally. Clay can lose strength with high moisture content and increase in strength when clay dries. Bearing capacity results are estimated and are valid for the time of the investigation only. Emersion testing is conducted in accordance with Dispersive Soils and their Management, Technical Reference Manual, Marcus Hardie – 2009. This test reveals whether a clay is dispersive or not.

Building maintenance notes:

The building foundations shall be designed by an engineer. The builder must ensure that good site drainage is provided during the construction phase. Soil drains shall be constructed before excavation of the footings. Roof water should be diverted away from the footing as soon as the roof is constructed by using temporary pipes if necessary.

The long-term performance of the building is dependent upon satisfactory ongoing maintenance by the owner. The builder and owner should obtain a copy of the notes contained within the CSIRO – Building Technology Services, Foundation Maintenance and Footing Performance. A copy of this

manual can be purchased from CSIRO Publishing, http://www.publish.csiro.au. Earthworks shall comply with AS3798-2007 Guidelines on Earthworks for commercial and residential developments.

Appendix

9.1 Field photos

Photo 1: Field photo showing the soil profile of bore hole BH01.

Photo 2: Field photo showing the soil profile of bore hole BH02.

9.2 Bore hole logs

See attached.

9.3 Site plan

See attached.

9.4 Form 55

See attached.

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Bore hole No.

BH01

Page 1 of 1

Engineering Log - Bore hole

Project Number : H3069

Client:

Project Address: 44 Alma Road Orford

Logged By: J Hepper

Date: 1/08/2025

Borehole Location: Lat -042.547462° / Long +147.875769° (±2.1m)

Drilling Method: 55mm Sitech Auger

Drilling Information									*Observation / Notes*
Method	DCP Blows/100mm	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition	Consistency / Relative Density	Insitu testing (Est. KPa)	Structure and Additional Observations
	2		100	SC	FILL: Clayey SAND, trace gravel angular coarse to pebbles, inc. brick, trace rootlets.	M	L-MD		
	4		200						
	5		300						
	4		400						
	5		500						
	5		600	CI, CH	CLAY, with sand, brown, medium to high plasticity, slightly dispersive.	M	St	>100	D
	3		700						
	5		800						
	7		900						
	11		1000						
	20+		1100	SC	Sandy CLAY, brown, medium plasticity, dispersive.	M	St	>200	D
			1200		Auger refusal on assumed bedrock.				
			1300						
			1400						
			1500						
			1600						
			1700						
			1800						
			1900						
			2000						

Drilling Method

HA - Hand Auger

E - Excavator

WB - Wash Boring

Water

Level

Inflow

Partial Loss

Support

C- Casing

Sample and Tests

U - Undisturbed Sample

D - Disturbed Sample

PP - Pocket Penetrometer

DCP - Dynamic Cone Penetration Test

SPT - Standard Penetration Test

SV - Shear Vane Test

Classification Symbols and Soil Description

Based on Unified Soil Classification System and in accordance with AS1726

Moisture Condition

W -Wet

M - Moist

D - Dry

Consistency / Relative Density

VS - Very Soft

S - Soft

F - Firm

St - Stiff

Vst - Very Stiff

H - Hard

Fr - Friable

L - Loose

MD - Medium Dense

D - Dense

VD - Very Dense

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Bore hole No.

BH02

Page 1 of 1

Engineering Log - Bore hole

Project Number : H3069

Client:

Project Address: 44 Alma Road Orford

Logged By: J Hepper

Date: 1/08/2025

Borehole Location: Lat -042.547434° / Long +147.875906° (±2.2m)

Drilling Method: 55mm Sitech Auger

Drilling Information									*Observation / Notes*
Method	DCP Blows/100mm	Water	Depth (mm)	Group Symbol	Material Description: Colour, Structural, Fraction, Plasticity, Bedding, Additional	Moisture Condition	Consistency / Relative Density	Insitu testing (Est. KPa)	Structure and Additional Observations
	NR		100	SC	Some FILL: Clayey SAND, trace gravel, brown, trace rootlets	M	MD		
	3		200						
	5		300						
	7		400	SC	Sandy CLAY, brown - grey slightly mottled orange, medium - high plasticity, slightly dispersive.	M	St	>100	D
	10		500						
	10		600						
	9		700						
	6		800						
	10		900						
	20+		1000						
			1100		Auger refused on assumed bedrock				
			1200						
			1300						
			1400						
			1500						
			1600						
			1700						
			1800						
			1900						
			2000						

Drilling Method

HA - Hand Auger

E - Excavator

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U - Undisturbed Sample

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Classification Symbols and Soil Description

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S - Soft

F - Firm

St - Stiff

Vst - Very Stiff

H - Hard

Fr - Friable

L - Loose

MD - Medium Dense

D - Dense

VD - Very Dense


44 ALMA ROAD ORFORD
BORE HOLE / DCP LOCALITIES
Alma Road
46
42
44
30
BH01/
DCP01
BH02/
DCP02

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: *Owner /Agent*

Address

Suburb/postcode

Form **55**

Qualified person details:

Qualified person: JOE HEPPER

Address: UNIT 2, 1 LIVERPOOL STREET

HOBART 7000

Phone No: 03 6146 0334

Fax No:

Licence No: NA

Email address: info@hed-consulting.com.au

Qualifications and Insurance details: BSc. major in geology
ABOUT UNDERWRITING
PN: ENG 20 000459

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items

Speciality area of expertise: Foundation classification in accordance with AS2870

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: 44 ALMA ROAD

ORFORD 7190

Lot No: 1

Certificate of title No: 186679

The assessable item related to this certificate: Geo – technical assessment

(description of the assessable item being certified)
Assessable item includes –
- *a material;*
- *a design*
- *a form of construction*
- *a document*
- *testing of a component, building system or plumbing system*
- *an inspection, or assessment, performed*

Certificate details:

Certificate type: Foundation classification – AS2870

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - *(tick one)*

building work, plumbing work or plumbing installation or demolition work: ✓

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	AS2870 Site Classification and AS4055 Wind Classification dated 8 August 2025.
Relevant calculations:	
References:	AS2870 – 2011, AS4055 – 2021

Substance of Certificate: (what it is that is being certified)

Foundation and wind classification

Scope and/or Limitations

Footings to be bedded / piered into competent bedrock.

Footings to inspected by engineer prior to pour.

Limitations as per section 9.0 of site investigation report dated 8 August 2025.

I certify the matters described in this certificate.

	Signed:	*Certificate No:*	*Date:*
Qualified person:	JOE HEPPER	H3069	8/8/2025

IMPORTANT NOTE:
BOUNDARIES CERTIFIED BY N.M.CREESE OF LARK & CREESE

N

NBN PIT

WATER METER

WATER METER

#44 ALMA RD
CT186679-1

PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "G" 3.00 WIDE

SW CONN
IL: 22.95 Ø150mmPVC

SEW CONN
IL: 22.46 Ø100mmPVC

FIRE PLUG

STOP VALVE

SEP

ALMA ROAD

COMMS & POWER CONNECTION

WATER METER

POWER TURRET

LARGE STUMP

FIRE PLUG

STOP VALVE

NOTES
UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

IMPORTANT NOTE:

THIS PLAN HAS BEEN PREPARED FOR HED DESIGN FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

UNDERGROUND SERVICES HAVE BEEN LOCATED BY THEIR ABOVE GROUND INDICATORS ONLY.

THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

THIS DATA IS ON A PLANE COORDINATE SYSTEM -

DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE.
THE COORDINATES HAVE AN MGA ORIGIN AT SPM9912 (E:572242.994 N:5288997.898)
THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA COORDINATE SYSTEM IS 0.99966319 USING SPM9912 AS THE SCALE ORIGIN POINT.

ARTHUR MOEHRKE SURVEYS PTY LTD
ABN: 69 661 947 557
SURVEYING TASMANIA FOR YOU

ARTHUR MOEHRKE SURVEYS PTY LTD
ABN: 69 661 947 557

NO	DATE	DRN	CHKD	DESCRIPTION
0	20/08/25	AM	AM	FIRST ISSUE

This plan is not intended for attachment to sale contract documents

OUR REF: HED2508 ORFORD D01			
CONTOUR INTERVAL: 200mm			
DATUM: PLANE MGA BASED ON SPM9912			
SCALE: 1:300 @ A3	ORIGINAL SHEET SIZE: A3		
DATE OF SURVEY: 18/08/25	AM		
DRAWING No: 01	REV 00	SHEET No: 1 OF 1	

HED CONSULTING
DETAIL SURVEY

44 ALMA RD, ORFORD

Registered Number

SP 186679

COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)
The subdivision shown in this plan is approved

GLAMORGAN • SPRING BAY COUNCIL The Common Seal Of

In witness whereof the common seal of Glamorgan Spring Bay Council has been affixed, pursuant to a resolution of the Council of the said municipality passed the 10th day of July 2024, in the presence of us

Member .....

Member ALEX WOODWARD ACTING GENERAL MANAGER

Council Delegate .....

Council Reference SA2020/009

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993 the owner has nominated

BUTLER McINTYRE AND BUTLER LAWYERS Solicitor to act for the owner

PDA SURVEYORS, ENGINEERS & PLANNERS Surveyor to act for the owner

PDA ref: 47605NG

OFFICE EXAMINATION: Indexed ✓ Computed ✓ Examined MG 5/8/24

RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Tasmanian Government

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
186679	1
EDITION	DATE OF ISSUE
4	06-Sept-2025

SEARCH DATE : 15-Jan-2026
SEARCH TIME : 10.46 am

DESCRIPTION OF LAND

Parish of TRIABUNNA Land District of PEMBROKE
Lot 1 on Sealed Plan 186679
Derivation : Part of Lot 9974, 55A-3R-0P Gtd. to Anna Rosa Budd
Prior CT 35054/1

SCHEDULE 1

N248129 TRANSFER to Registered
10-Apr-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP186679 EASEMENTS in Schedule of Easements
SP186679 FENCING PROVISION in Schedule of Easements
E391420 AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 20-Aug-2024 at noon
E424096 MORTGAGE to Teachers Mutual Bank Limited Registered 06-Sept-2025 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: ORFORD DEVELOPMENTS PTY LTD

FOLIO REFERENCE: F.R.35054/1

GRANTEE: Part of Lot 9974 Gtd to Anna Rosa Rudd

PLAN OF SURVEY

BY SURVEYOR: C. M. TERRY of PDA SURVEYORS, ENGINEERS & PLANNERS
127 BATHURST STREET, HOBART

LOCATION: Parish of TRIABUNNA, Land District of PEMBROKE

SCALE 1: 750 | LENGTHS IN METRES | SURVEYORS REF 47605NG

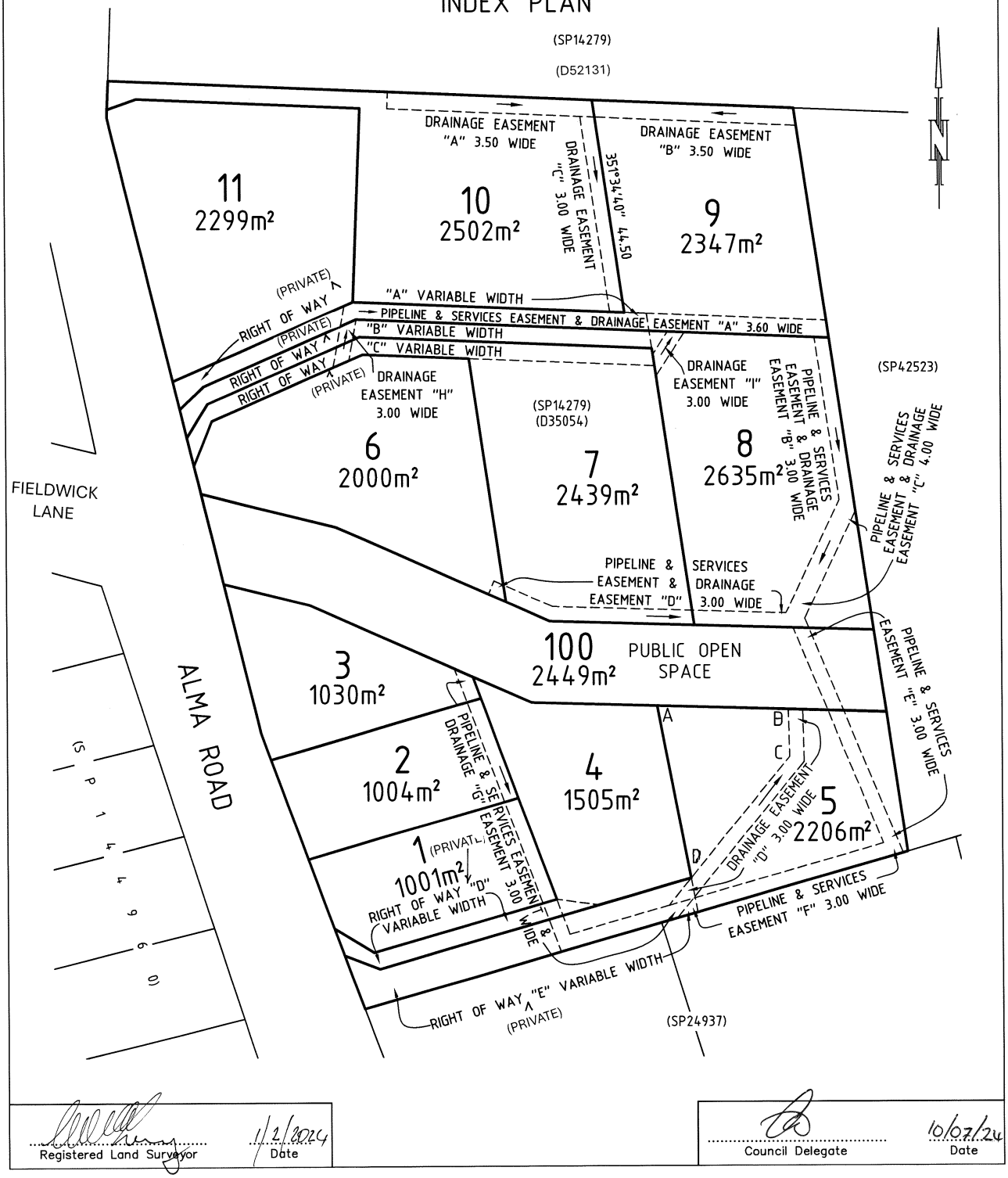
REGISTERED NUMBER
SP186679

APPROVED EFFECTIVE FROM 20 AUG 2024
Recorder of Titles

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

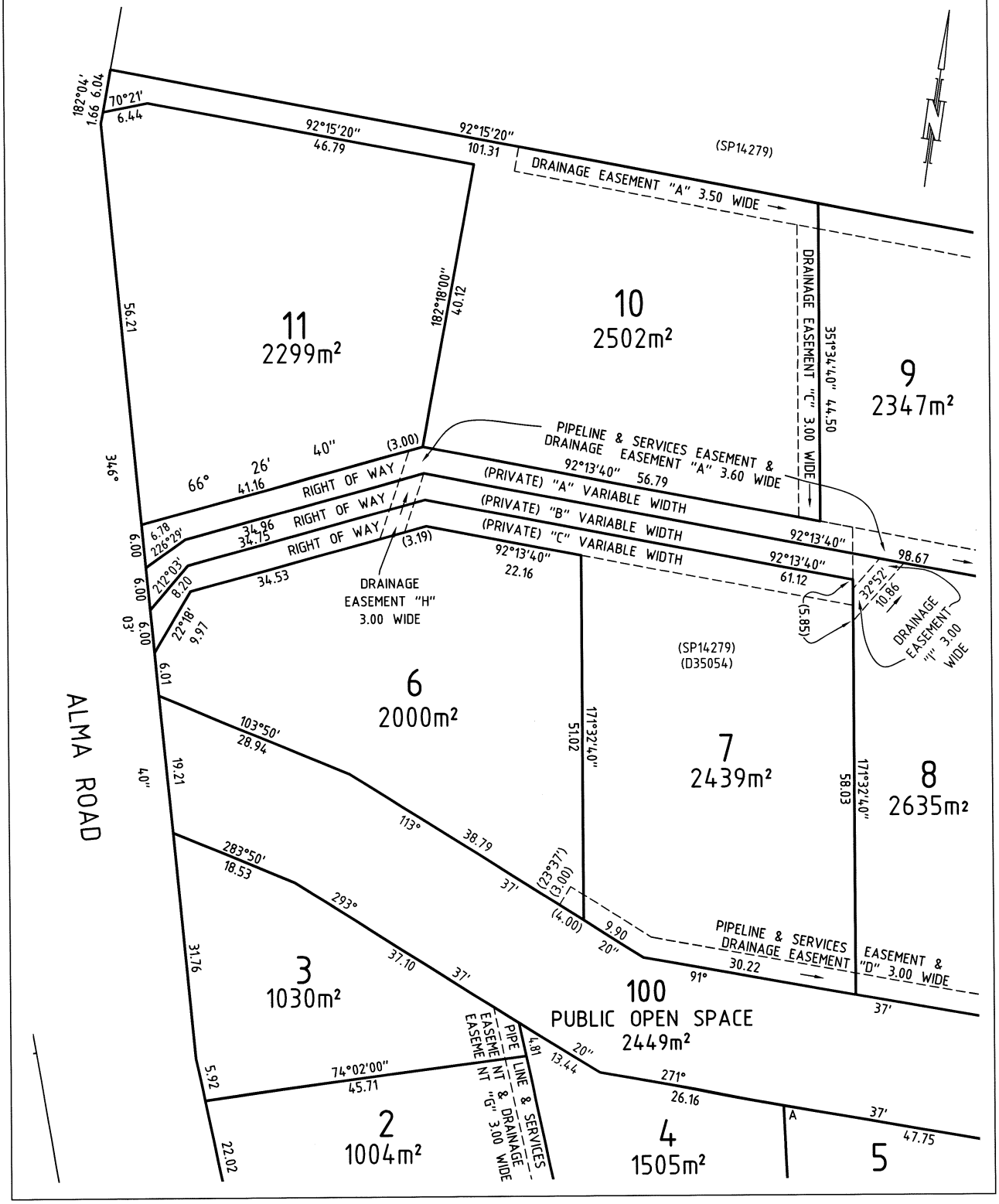
INDEX PLAN



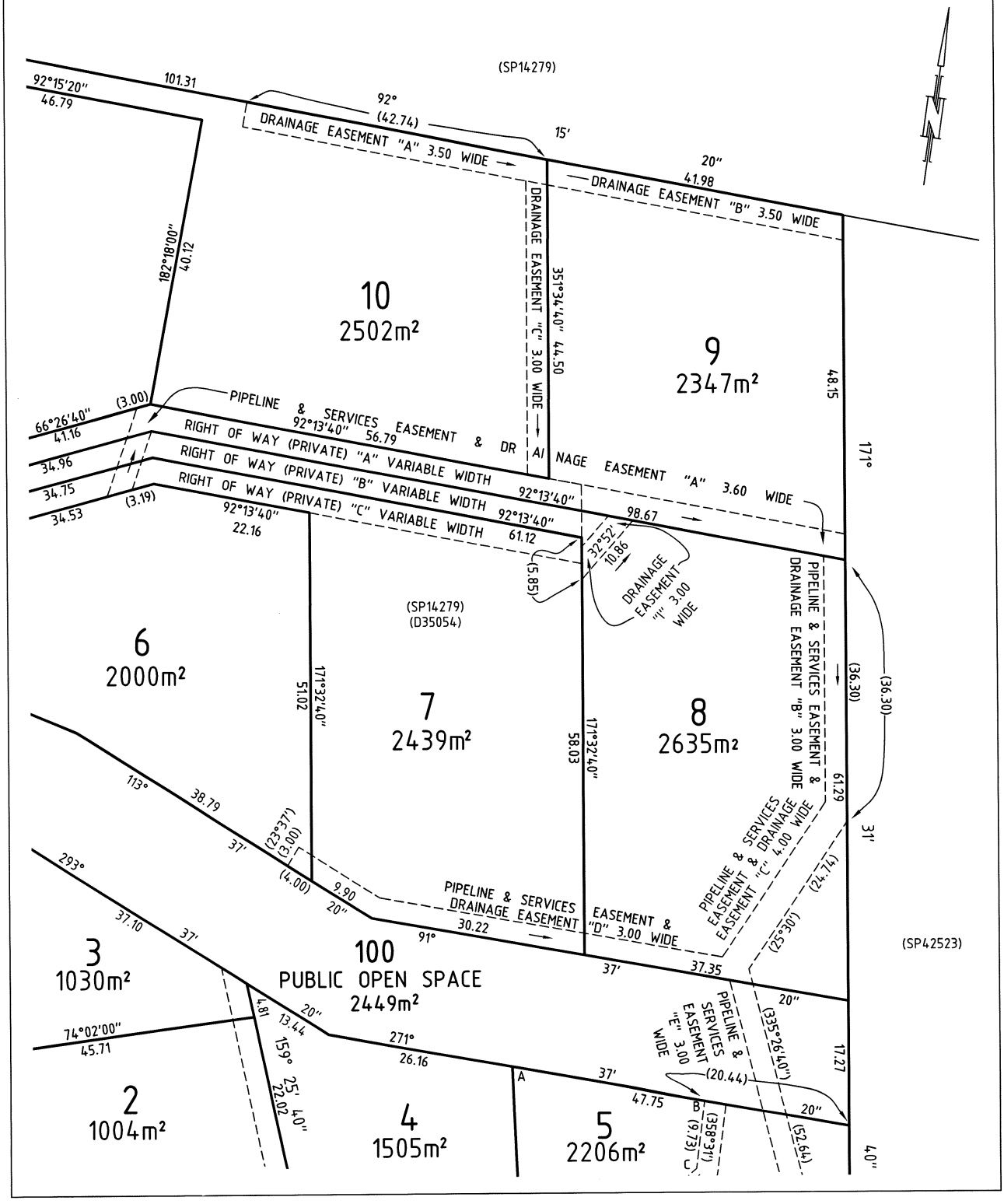
Registered Land Surveyor — 1/2/2024 Date

Council Delegate — 10/07/24 Date

PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS	OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1: ~~400~~ 500 LENGTH IN METRES SURVEYORS REF: 47605NG	Registered Number SP186679
SIGNED FOR IDENTIFICATION PURPOSES Council Delegate 10/07/24 Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor 1/2/2024 Date	APPROVED EFFECTIVE FROM 20 AUG 2024 Recorder of Titles



PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 3 SHEETS	OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:~~400~~ 500 LENGTH IN METRES SURVEYORS REF: 47605NG	Registered Number SP186679
SIGNED FOR IDENTIFICATION PURPOSES Council Delegate 10/07/24 Date	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. Registered Land Surveyor 1/7/2024 Date	APPROVED EFFECTIVE FROM 20 AUG 2024 Recorder of Titles



PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS	OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:~~400~~ 500 LENGTH IN METRES SURVEYORS REF: 47605NG	Registered Number SP186679
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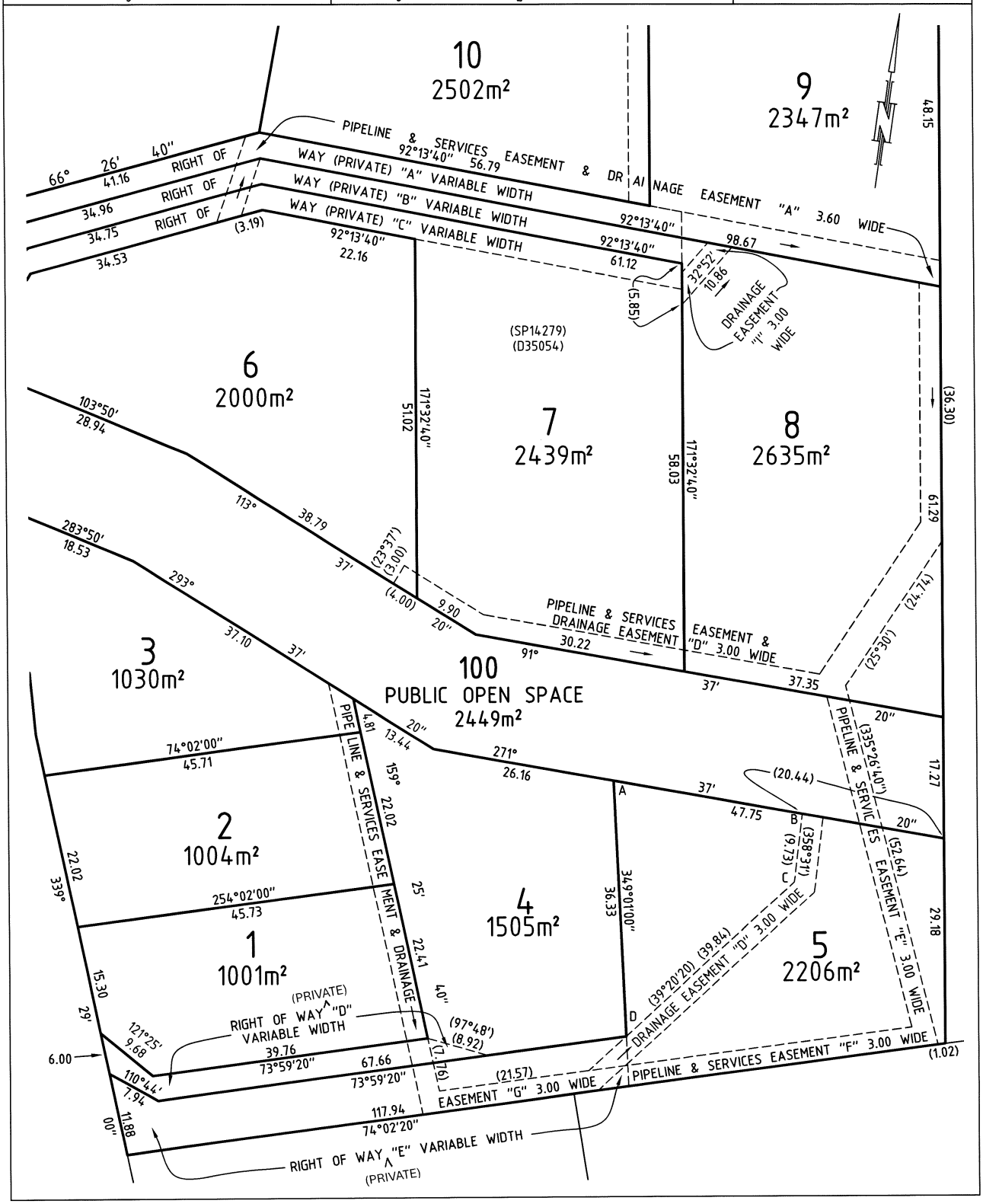

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BUSHFIRE HAZARD REPORT &

BUSHFIRE HAZARD MANAGEMENT PLAN

NEW RESIDENTIAL DWELLINGS X 2

44 ALMA ROAD
ORFORD 7190

1 SEPTEMBER 2025 – VERSION 1.0

EXECUTIVE SUMMARY

The subject land is located at 44 Alma Road, Orford. The proposed development includes the construction of two new single residential dwelling (Class 1a buildings). The site and proposed development are assessed to comply with the requirements of AS3959-2018 *Construction of Buildings in bushfire-prone areas,* Tasmanian Planning Scheme, Director's Determination – Bushfire Hazard Areas v1.2 (Determination), Building Regulations 2016.

If design and construction for the building works comply with the BAL – 19 of AS3959-2018 and provisions provided by the Bushfire Hazard Management Plan (BHMP) are implemented and maintained, the bushfire risk is reduced and the residual risk is deemed to be acceptable. The bushfire hazard management plan (BHMP) is certified as meeting the Deemed-to-Satisfy (DtS) requirements in the Determination.

LIMITATIONS

This report is based on findings concluded from a desktop and field investigation of the subject property. Classification of vegetation has been based on the site inspection and does not account for any further growth of existing or new vegetation.

The assessment is based on information provided at the time of the report. If the location of the proposed development differs from the location shown in the Bushfire Hazard Report and Bushfire Hazard Management Plan the author must be contacted otherwise both the report and plan is void.

The BAL assessment is based on the Fire Danger Index (FDI) of 50. The FDI will exceed 50 when the Australian Fire Danger Rating System is Extreme or Catastrophic.

The forward of AS3959 – 2018, *Construction of buildings in bushfire prone areas* states that "It should be borne in mind that the measures contained in this standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions."

Due to the unpredictable nature and behaviour of fire, compliance with AS359-2018 does not guarantee a dwelling will survive a bushfire event.

CONTENTS PAGE

1.0 INTRODUCTION

1.1 SCOPE

To determine a Bushfire Attack Level in accordance with *AS3959 – 2018 Construction of buildings in bushfire-prone areas* and assess the site against the *Director's Determination – Bushfire Hazard Areas v1.2.*

1.2 PROPOSAL

Two new residential dwellings.

1.3 GENERAL INFORMATION

SITE ADDRESS

44 Alma Road Cygnet

OWNER

Claire Horner

TITLE REFERENCE

C.T. 186679/1

PROPERTY ID NUMBER

9087544

PROPERTY SIZE

993m^2 (approximate)

PROPOSED DEVELOPMENT AREA SIZE

Two residential dwellings

MUNICPALITY

Glamorgan Spring Bay Council

ZONING

Low Density Residential, Tasmanian Planning Scheme

2.0 SITE DESCRIPTION

2.1 LOCALITY

The subject land is located at 44 Alma Road, Orford. The site located on the lower slopes of Rudds Hill with developing residential surrounds to the north, east and south. Further to the west, beyond Alma Road a large area of bushland extends up Rudds Hill. The closest nearby safer place is located at the Orford Golf Course which is a 2-minute drive from the site.

Figure 1: Locality map of the area with subject lot and proposed building area shown (red fill and blue circle). Source: Land Information System Tasmania, http://www.thelist.tas.gov.au

The property is accessed from Alma Road, which is a dual lane, sealed and council-maintained road.

2.1.2 FIRE HISTORY

Recent bushfires[1] / planned burns have burnt within 1km of the subject lot.

Ignition date	Fire / Planned burn name	Type	Size	Distance to site
1/12/2021	ORF_02AP	Planned burn	88.29 ha	250m
18/4/2018	Station Creek	Planned burn	1158.45 ha	92m

[1] Information sourced from Fire History Layer from http://www.thelist.tas.gov.au, this is an incomplete search and does not show most of the historic bushfire and burns.

2.1.2 PLANNING – ZONING & TENURE

The lot is zoned as Low Density Residential and is privately owned. Zoning and tenure of surrounding lots is shown below (within 100m from property boundaries).

Direction	Zoning	Tenure
North	Low Density Residential	Private Freehold & Local Government Act Reserve
East	Low Density Residential	Private Freehold
South	Low Density Residential	Private Freehold
West	Low Density Residential & General Residential	Private Freehold

2.1.3 PLANNING – OVERLAYS

Overlay	Within proposed Hazard Management Area (HMA)	Development Response
Bushfire-prone areas	Yes	The Bushfire Hazard Report and BHMP satisfy this code.

2.1.4 PLANNING – THREATENED FLORA AND FAUNA

A threatened flora and fauna search[2] revealed no threatened flora and fauna on the subject land.

[2] Threatened species search using Land Information Systems Tasmania. This is not a complete search and other information may be available from other agencies.

2.2 TOPOGRAPHY & VEGETATION

Figure 2: Aerial photo of the area with proposed development and existing buildings shown. The yellow circle is a minimum 100m from edge of the proposed building. Classified vegetation and exclusions shown. Source: Land Information System Tasmania, http://www.thelist.tas.gov.au.

The subject lot is mapped as FAG – Agricultural Land (TAS Veg 4.0) and towards the north and east. FUR – Urban area (Tas Veg 4.0) is mapped towards the south and along Alma Road. Tree vegetation towards the west is mapped as DPU – Eucalyptus pulchella forest and woodland.

Vegetation types and effective slope shown below. Distance measured from the edge of the lot.

Direction	Distance from site and vegetation description	Effective slope
North	0m: Vacant lots managed in minimal fuel condition[3]. **Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018.** 20m: Riparian strip along existing drainage channel. Future shrub plantings and other vegetation. **Classified vegetation: D: Scrub** 38m: Vacant lots managed in minimal fuel condition. **Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018.**	**Upslope / 0°**
East	0m: Vacant lots managed in minimal fuel condition. **Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018.** 50m: Riparian strip along existing drainage channel. Future shrub plantings and other vegetation. **Classified vegetation: D: Scrub** 78m: Dense pasture with over storey foliage cover estimated to be <10%. **Classified vegetation: G: Grassland**	**Downslope >0° - 5°**
South	0m: Roadway and road reserve. **Exclusion: Low threat vegetation as per clause 2.2.3.2 (e) & (f) of AS3959:2018.** 10.7m: Dense pasture, periodically cured. Isolated tree vegetation. Over storey foliage cover <10%. **Classified vegetation: G: Grassland** 80m: Managed residential gardens and lawn. **Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018.**	**Upslope / 0°**

[3] Bushfire Hazard Report, Proposed Subdivision, 66 Alma Road Orford, PDA Surveyors dated 30 June 2020.

West	0m: Dense pasture, vegetation to be managed in 'minimal fuel condition.' **Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018.** 75m: Over storey of eucalypts with a canopy height of 20m. Under storey of smaller trees, shrubs and grass. Overall foliage cover estimated to be between 30-70%. **Classified vegetation: A: Forest**	**Upslope / 0^{o}**

3.0 BUSHFIRE SITE ASSESSMENT

3.1 EXISTING BUSHFIRE HAZARD ASSESSMENT

3.1.1 CONSTRUCTION & DESIGN No existing buildings on site subject lot.
3.1.2 PROPERTY ACCESS The property is accessed from Bedford Street. The existing property access has a length <30m, gravel and terminates near the sheds at the southern end of the property.
3.1.3 WATER SUPPLY The site has a reticulated water supply. Fire hydrants are located along the east side of Bedford Street.
3.1.4 HAZARD MANAGEMENT AREA At the time of inspection, the lot was well maintained with ground fuels cleared and lawn kept to a short height.
3.1.5 EMERGENCY PLAN No emergency plan exists for the subject lot.

3.2 BUSHFIRE ATTACK LEVEL ASSESSMENT

Proposed residential dwelling x 2

	North	East	South	West
Vegetation classification as per AS3959:2018	Scrub	Scrub & Grassland	Grassland	Forest
Exclusions (where applicable from clause 2.2.3.2 of AS3959 - 2018)				
Distance to classified vegetation (m) from proposed / existing edge of building.	20	>100	10.7	75
Classified vegetation	Scrub	Scrub	Grassland	Forest
Effective slope under the classified vegetation	Upslope / 0^{o}	Downslope >0^{o} - 5^{o}	Upslope / 0^{o}	Upslope / 0^{o}
Minimum separation distance to achieve BAL – 19.	**19m**	**22m**	**10m**	**23m**
Minimum separation distance to achieve BAL – 12.5.	**27m**	**31m**	**14m**	**32m**
Minimum Hazard Management Area Dimensions	**To property boundary**	**To property boundary**	**To property boundary**	**To property boundary**

The assessment is based on a FDI of 50. The FDI will exceed 50 when the Australian Fire Danger Rating System is Extreme or Catastrophic.

4.0 BUSHFIRE HAZARD MANAGEMENT REQUIREMENTS

The following bushfire hazard management requirements are required comply with the DtS provisions of the Determination. A DtS solution which complies with the following DtS provisions is deemed to achieve compliance with the Performance Requirements in the Determination.

4.1 Design and Construction

4.1.1 Deemed-to-Satisfy Provisions

(1) Building work (including additions or alterations to an existing building) in a bushfire-prone area must be designed and constructed in accordance with the relevant Deemed-to-Satisfy provisions of:

(a) NCC Volume 1, Part G5 for Class 2 or Class 3 Buildings or Certain Class 9 Buildings and a Class 10a Building or deck associated with a building to which this Division applies.

(b) NCC Volume 2, Part H7 for Class 1 building and Class 10a Building or deck associated with a building to which the Division applies.

(2) Despite subclause (1) is above, permissible variations are specified in Table 1 below for Class 1, Class 2 and Class 3 Buildings and an associated Class 10a Building or deck.

(3) Performance Requirements for buildings subject to BAL – 40 or BAL Flame Zone (BAL-FZ) cannot be satisfied by Deemed-to-Satisfy provisions and must be satisfied by means of a Performance Solutions

4.1.2 Proposed Development Solutions

(1) The proposed building works shall comply with DtS provisions of Part H7 of the NCC 2022.

(2) Permissible variations (if any) are demonstrated in Table 1 within the appendix of this report.

(3) Not applicable – Site is not assessed as BAL 40 or BAL Flame Zone.

4.2 Property Access

4.2.1 Deemed-to-Satisfy Provisions

(1) The following building work must be provided with property access to the building and the firefighting water point, accessible by a carriageway, designed and constructed as specified in subclause (4) below:

(a) a new habitable building

(b) a new Class 10a Building to which this Division applies, if not accessible using an existing property access.

(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no property access available, property access must be provided to the building and the firefighting water point accessible by a carriageway as specified in subclause (4).

(3) An addition or alteration to an existing building in a bushfire-prone area must not restrict any existing property access to the building or the water supply for firefighting.

(4) Vehicular access from a public road to a building must:

(a) comply with the property access requirements specified in Table 2;

(b) include access from a public road to a hardstand within 90 metres of the furthest part of the building as measured by a hose lay;

(c) include access to the hardstand area for the firefighting water point.

(5) Certain Class 9 Buildings have additional property access requirements as specified in Table 2.

4.2.2 Proposed Development Solutions

(1) Proposed works are for habitable buildings and thus the property access shall be designed and constructed with accordance to subclause (4). Property access requirements for Table 2 are shown in the appendix of this report.

(2) Not applicable – Proposed works are not for an addition to existing building.

(3) Not applicable – Proposed works are not for an addition to existing building.

(4) The proposed property access shall comply with subclause (4).

(5) Not applicable – Proposed works are for a not for a certain Class 9 building.

4.3 Water Supply for Fire Fighting

4.3.1 Deemed-to-Satisfy Provisions

(1) The following building work must be provided with a water supply dedicated for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B:

(a) a new habitable building; or

(b) a new Class 10a Building to which this division applies; if not protected by an existing firefighting water supply.

(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no water supply for firefighting available, the building must be provided with a water supply for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B.

(3) Certain Class 9 Buildings have specific requirements for water supply for firefighting as specified in Table 3A or Table 3B.

4.3.2 Proposed Development Solutions

(1) The existing reticulated water supply dedicated for firefighting purposes complies with the requirements specified in Table 3A.

(2) Not applicable – Proposed building works is not for additions or alteration to an existing building.

(3) Not applicable – Proposed building works is not for a Class 9 building.

4.4 Hazard Management Areas

4.4.1 Deemed-to-Satisfy Provisions

(1) The following building work must be provided with a hazard management area of sufficient dimensions and which provides an area around the building which separates the building from the bushfire hazard and complies with subclause (2), (3), (4) and (5):

(a) a new habitable building;

(b) an existing building in the case of an addition or alteration to a building; or

(c) a new Class 10a Building to which this Determination applies unless fire separation is provided in accordance with clause 3.2.3 of AS3959.

(2) The hazard management area must comply with the requirements specified in Table 4.

(3) The hazard management area for a particular BAL must have the minimum dimensions required for the separation distances specified for the BAL in Table 2.6 of AS 3959 (Method 1)

(4) The hazard management area must be established and maintained such that fuels are reduced sufficiently, and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.

(5) Certain Class 9 Buildings have additional requirements for hazard management areas as specified in Table 4.

4.4.2 Proposed Development Solutions

(1) The new buildings must be provided with a hazard management area of sufficient dimensions and provides an area around the building that separates the building from the bushfire hazard. The hazard management area must comply with subclauses (2), (3), (4) and (5) below.

(2) The hazard management area shall comply with the requirements specified in Table 4.

(3) The hazard management area must have minimum dimensions required for the separation distances specified in Table 2.6 of AS 3959 (Method 1).

(4) The hazard management area shall be established and maintained such that fuels are reduced sufficiently, and other hazards are removed such that the fuel s and other hazard do not significantly contribute to the bushfire attack. The hazard management area shall be installed as per the certified BHMP

(5) Not applicable – Proposed building works are for Class 1a building.

4.5 Bushfire Emergency Plan

4.5.1 Deemed-to-Satisfy Provisions

(1) In a bushfire prone area, a bushfire emergency plan must be prepared for:

(a) a new building

(b) an existing building in the case of an addition or alteration to a building;

(c) an existing building in the case of a change of building class;

(d) a building associated with the use, handling, generation or storage of a hazardous chemical or explosive;

(i) clause (1) does not apply to following:

(a) Class 1a Buildings;
(b) Class 10a Buildings; or
(c) decks associated with another class of building.

(2) A bushfire emergency plan must comply with the requirements specified in Table 5.

4.5.2 Proposed Development Solutions

(1) A bushfire emergency plan is not required for a residential building (Class 1a).

(2) Not applicable (as above).

5.0 CONCLUSIONS AND RECOMMENDATIONS

A bushfire hazard assessment report has been completed for the proposed development which includes the construction of two residential dwellings on the subject lot.

The site is within 100m of bushfire-prone vegetation greater than 1Ha in area and is within the Bushfire Prone Area overlay. The bushfire attack level for the proposed development with the proposed HMA installed has been assessed as BAL – 19. The building works shall be constructed to BAL – 19 construction requirements as per section 3 and 5 of AS3959:2018.

For client information minimum separation distance for BAL – 12.5 has also been provided. A building must be located wholly within the BAL – 12.5 separation distance to apply to the building.

The proposed property access shall comply with the DtS provisions of the Determination including Table 2.

The existing reticulated water supply for firefighting purposes complies with the DtS provisions of the Determination including Table 3A.

The BHMP is certified and meets the DtS provisions of the Determination.

This Bushfire Hazard Report and BHMP does not endorse the removal of any vegetation without the approval from the local government authority.

It is the owners' responsibility to ensure that the requirements of the bushfire assessment report and bushfire hazard management plan are implemented and maintained for the life of the development.

6.0 REFERENCES

AS3959 – 2018 - Construction of Buildings in Bushfire Prone Areas

Director's Determination – Bushfire Hazard Areas, version 1.2

Building regulations 2016

The LIST - Department of Primary Industries Parks Water & Environment

Tasmanian Planning Scheme

Bushfire Hazard Report, Proposed Subdivision, 66 Alma Road Orford, dated 30 June 2020

7.0 APPENDIX

7.1 FIELD PHOTOS

Photo 1: Photo facing north from the subject lot. Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018 shown.

Photo 2: Photo facing east from the subject lot. Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018 shown.

Photo 3: Photo facing south from the subject lot. Exclusion: Low threat vegetation as per clause 2.2.3.2 (e) & (f) of AS3959:2018 shown in the foreground and G: Grassland in the background.

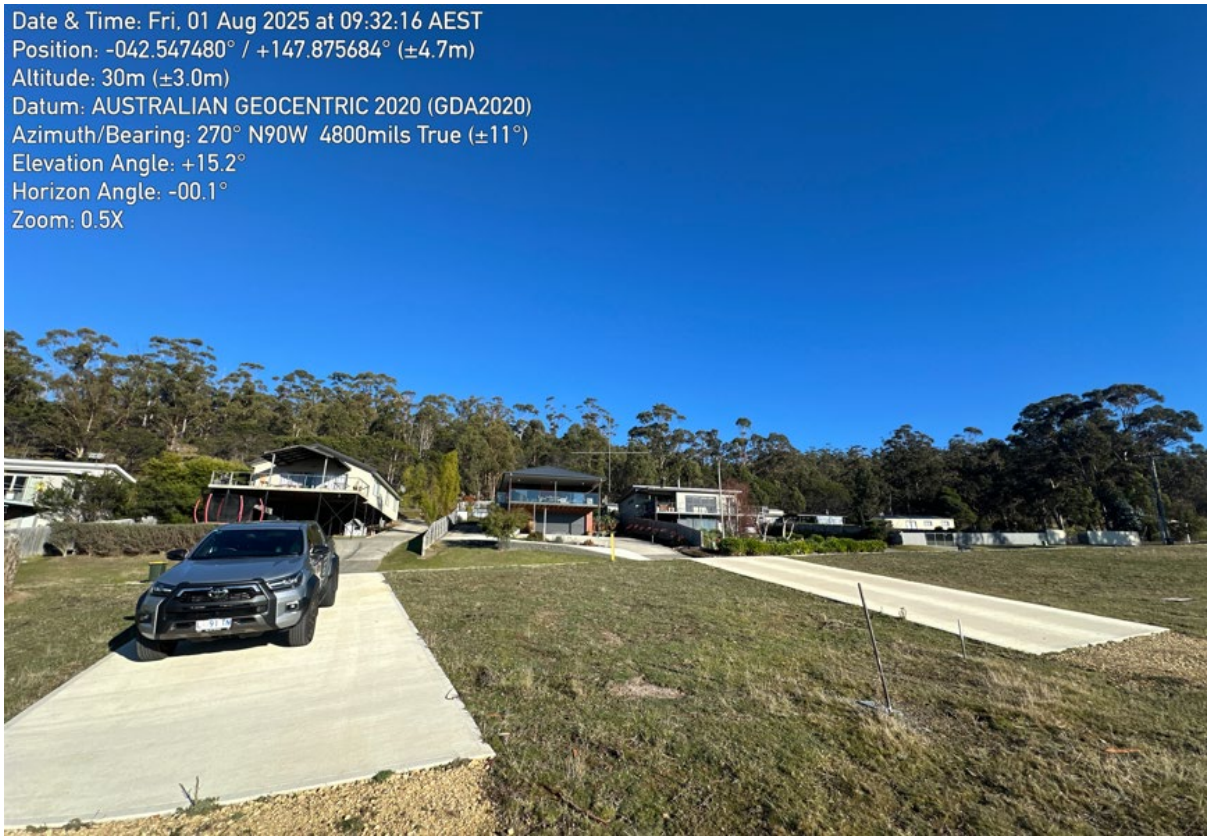

Photo 4: Photo facing west from the subject lot. Exclusion: Low threat vegetation as per clause 2.2.3.2 (f) of AS3959:2018 shown in the foreground and A: Forest in the background.

Photo 5: Example of Classified vegetation: G: Grassland towards the south from the subject lot.

Photo 6: Field photo showing an example of Classified vegetation: A: Forest shown towards west of the subject lot.

Photo 7: Field photo showing location of fire hydrant adjacent the subject lot. Car is park on property access.

BUSHFIRE HAZARD MANAGEMENT REQUIREMENTS

1. Building Design & Construction

- Minimum separation distances shown on this plan provide for a BAL - 19 solution.

- Building works must be designed and constructed to comply with AS3959:2018 - Section 3 for General Requirements and Section 6 for BAL - 19 requirements.

- BAL - 12.5 setback also shown. Buildings wholly constructed within this setback can be constructed to BAL - 12.5 requirements (Section 3 and Section 5 of the AS3959:2018).

2. Property Access

- Property access is not required for fire appliance to access the fire fighting water point. There are no specified property access design and construction requirements for firefighting purposes.

3. Reticulated Water Supply For Firefighting

- Water supply for fire fighting is provided by the existing fire hydrant located within less than 120m of the furthest element of the habitable building measured as a hose lay.

- Carriageway of the public road serves as hardstand.

4. Hazard Management Area (HMA)

- The dimensioned HMA to be managed as defendable space from a bushfire flame, radiant heat and ember attack.

- Maintain in minimal fuel condition in perpetuity, ensuring all fuels are reduced significantly and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.

- Limited amounts of low flammability plants are acceptable within the HMA. This includes maintained lawn, low growing plants and ground covers, low flammability ornamental gardens, vegetable gardens and similar.

- Do not plant adjacent to walls & decks or directly below glazed elements.

- Ground fuels such as fallen branches, sticks, leaves, bark, lawn clippings etc. to be removed regularly.

- Maintain lawn height to less than 100mm.

- Non - combustible ground cover of small rock and pebbles to be used instead of pine bark or mulch.

- Thin-out understory vegetation and prune low-hanging tree branches. Prune canopies to maintain horizontal separation between canopies.

- Minimise storage of flammable materials such as firewood and building materials.

- Keep roof gutters clear of leaves and other debris.

BUSHFIRE HAZARD MANAGEMENT PLAN

CLIENT:
ADDRESS: 44 ALMA ROAD ORFORD 7190
PROPERTY ID: 9087544 CT: 186679/1
DATE: 1/9/2025
VERSION: 1.0
CERTIFIED BY: JOE HEPPER

BUSHFIRE PRACTITIONER (BFP - 148, SCOPE 1, 2, 3A, 3B)

SIGNED:

HED CONSULTING
1-7 LIVERPOOL STREET HOBART TAS 7000
P 03 6146 0334 / E info@hed-consulting.com.au

N

0 5 10 15 20 25
SCALE (M)

KEY:

- HAZARD MANAGEMENT AREA (ENTIRE LOT)

- FIRE HYDRANT

- HOSE LAY FROM FIRE HYDRANT

7.3.1 DIRECTOR'S DETERMINATION – BUSHFIRE HAZARD AREAS V1.2

Table 1 – Construction Requirements and Construction Variations

Column 1		**Column 2**	**Proposed development can satisfy**	**Development response**
Element		**Requirement**		
A.	Straw Bale Construction	May be used in exposures up to and including BAL 19.	Yes	Straw Bale Construction is acceptable.
B.	Shielding provisions under Section 3.5 of AS3959-2018.	To reduce construction requirements due to shielding, building plans must include suitable detailed elevations or plans that demonstrate that the requirements of Section 3.5 of the Standard can be met. Comment: Application of Section 3.5 of the standard cannot result in an assessment of BAL – LOW.	No	Bushfire can come from all directions thus the shielding provisions cannot be used.
C.	Additional requirements for Certain Class 9 Buildings.	Refer to NCC Vol. 1 – Part G5 (incorporating TAS G5P1 and TAS G5P2) and Specification 43.	NA	Not applicable. Proposed building works is not a Certain Class 9 building.

7.3.2 DIRECTOR'S DETERMINATION – BUSHFIRE HAZARDS V1.2

Table 2 – Requirements for Property Access

Column 1		**Column 2**		
Element		**Requirement**	**Existing property access can satisfy**	**Notes**
A.	Property access length is less than 30 metres, or access is not required for a fire appliance to access a firefighting water point.	There are no specified design and construction requirements.	Yes	Access is less than 30m and access is not required for a fire appliance to access a firefighting water point.
B.	Property access length is 30 metres or greater, or access is required for a fire appliance to a firefighting water point	The following design and construction requirements apply to property access: (a) All – weather construction;	NA	Not applicable.
		(b) Load capacity of at least 20 tonnes, including for bridges and culverts;	NA	Not applicable.
		(c) Minimum carriageway width of 4m;	NA	Not applicable.
		(d) Minimum vertical clearance of 4m;	NA	Not applicable.
		(e) Minimum horizontal clearance of 0.5m from the edge of the carriageway;	NA	Not applicable.

		(f) Cross falls of less than 3° (1:20 or 5%);	NA	Not applicable.
		(g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;	NA	Not applicable.
		(h) Curves with a minimum inner radius of 10m	NA	Not applicable.
		(i) Maximum gradient of 15° (1:3.5 or 28%) for sealed road, and 10° (1:5.5 or 18%) for unsealed roads;	NA	Not applicable.
		(j) Terminate with a turning area for fire appliances provided by one of the following: (i) A turning circle with a minimum outer radius of 10m (ii) A property access encircling the building; or (iii) A hammerhead "T" or "Y" turning head 4m wide and 8m long	NA	Not applicable.
C.	Property access length is 200m or greater.	The following design and construction requirements apply to property access: (a) The Requirements for B above; and (b) Passing bays of 2m additional	NA	Not applicable. Property access is less than 200m.

		carriageway width and 20m length provided every 200m		
D.	Property access length is greater than 30m, and access is provided to 3 or more properties	The following design and construction requirements apply to property access: (a) The Requirements for B above; and (b) Passing bays of 2m additional carriageway width and 20m length provided every 100m	NA	Property access provides access to a single property.

7.3.3 DIRECTOR'S DETERMINATION – BUSHFIRE HAZARDS V1.2

Table 3A – Requirements for Reticulated Water Supply for Firefighting

Column 1		**Column 2**	**Existing reticulated water supply for firefighting purposes compliance**	**Development response**
Element		**Requirement**		
A.	Distance between building to be protected and water supply	The following requirements apply: (a) the building area to be protected must be located within 120m of a fire hydrant;	Yes	The existing fire hydrant is located within 120m of the building area.
		(b) the distance must be measured as a hose lay, between the fire fighting point and the furthest part of the building area.	Yes	The existing fire hydrant is located within 120m from the furthest part of the building area.
B.	Design criteria for proposed fire hydrants	The following requirements apply; (a) fire hydrant system must be designed and constructed in accordance with *TasWater Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA* Edition V2.0 as amended from time to time; and	NA	Not applicable - no proposed fire hydrant.
		(b) fire hydrants are not installed in parking areas.	NA	Not applicable - no proposed fire hydrant.

C.	Hardstand associated with proposed fire hydrants	A hardstand area for fire appliance must be provided: (a) no more than thirty metres from the hydrant, measured as a hose lay;	NA	Not applicable - no proposed fire hydrant.
		(b) no closer than six metres from the building to be protected;	NA	Not applicable - no proposed fire hydrant.
		(c) with a minimum width of 3 metres and minimum length of six metres constructed to the same standard as the carriageway; and	NA	Not applicable - no proposed fire hydrant.
		(d) connected to the property access by a carriageway equivalent to the standard of the property access.	NA	Not applicable - no proposed fire hydrant.

7.3.4 DIRECTOR'S DETERMINATION – BUSHFIRE HAZARDS V1.2

Table 4 – Requirements for Hazard Management Area

Column 1		**Column 2**	**Proposed HMA compliance required**	**Development response**
Element		**Requirement**		
A.	New buildings on lots provided with a BAL at the time of subdivision.	A new building must: (a) be provided with a HMA no smaller than the required separation distances required for BAL – 19, except where a higher BAL was approved as part of the subdivision bushfire hazard management plan; and	Yes	A new building shall be provided with a HMA no smaller than the separation distances required for BAL – 19.
		(b) have a HMA established in accordance with a certified bushfire hazard management plan.	Yes	HMA is established in accordance with a certified bushfire hazard management plan.
B.	New buildings on lots not provided with a BAL at the time of subdivision.	A new building must: (a) be provided with a HMA no smaller than the required separation distances required for BAL – 29; and	NA	Not applicable.
		(b) Hve a HMA established in accordance with a certified bushfire hazard management plan.	NA	Not applicable.

C.	Alterations and additions to buildings.	An alteration or addition to a building must: (a) be located on the lot so as to be provided with a HMA which: (i) has the separation distance required for the BAL assessed for the construction of the existing building; or (ii) in the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL 29; and	NA	Not applicable.
		(b) Have an HMA established in accordance with a certified bushfire hazard management plan.	NA	Not applicable.
D.	New buildings and additions and alterations to buildings classified as an accommodation building Class 1b, Class 2, or Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: (a) be located on the lot so as to provided with HMA's no smaller than the separation distances required for BAL – 12.5; and	NA	Not applicable.
		(b) have an HMA established in accordance with	NA	Not applicable.

		a certified bushfire hazard management plan.		
E.	New buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an alteration or addition, including change of use, for a building associated with the use, handling, generation or storage of a hazardous chemical must: (a) be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan; and	NA	Not applicable
		(b) have an HMA established in accordance with a certified bushfire hazard management plan.	NA	Not applicable
F.	New buildings or additions and alterations to buildings associated with the use, handling, generation or storage of a hazardous chemical or explosive.	A new building or an alteration or addition, including change of use, for a building associated with the use, handling, generation or storage of a hazardous chemical must: (a) be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan: and	NA	Not applicable
		(b) have a HMA established in accordance with a certified bushfire hazard management	NA	Not applicable

		plan.		
G.	Additional requirements for Certain Class 9 Buildings and associated Class 10a Buildings and decks.	Refer to NCC Vol. 1 – Part G5 (incorporating TAS G5P1 and TAS G5P2) and Specification 43.	NA	Not applicable.

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: *Owner /Agent*

Address

Suburb/postcode

Form **55**

Qualified person details:

Qualified person: JOE HEPPER

Address: UNIT 2, 1 LIVERPOOL STREET

HOBART 7000

Phone No: 03 6146 0334

Fax No:

Licence No: BFP - 148

Email address: info@hed-consulting.com.au

Qualifications and Insurance details: Accredited to report on bushfire hazards under Part IVA of the *Fire Services Act 1979.*
About Underwriting, AHWB Pty Ltd t/as HED Consulting.

(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items

Speciality area of expertise: Analysis of hazards in bushfire-prone areas

(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: 44 ALMA ROAD

ORFORD 7190

Lot No: 1

Certificate of title No: 186679

The assessable item related to this certificate: Assessment of the Bushfire Attack Level (BAL) and Bushfire Hazard Management Plan

(description of the assessable item being certified)
Assessable item includes –
- *a material;*
- *a design*
- *a form of construction*
- *a document*
- *testing of a component, building system or plumbing system*
- *an inspection, or assessment, performed*

Certificate details:

Certificate type: Bushfire Hazard

(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - *(tick one)*

building work, plumbing work or plumbing installation or demolition work: ✓

or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report dated 1 September 2025, version 1.0 and Bushfire Hazard Management Plan dated 1 September 2025, version 1.0
Relevant calculations:	
References:	AS3959 – 2018 Construction of buildings in bushfire prone areas Director's Determination – Bushfire Hazard Areas, 16 July 2024, version 1.2 Tasmanian Planning Scheme Building Regulations 2016 Bushfire Hazard Report, Proposed Subdivision, 66 Alma Road Orford, dated 30 June 2020.

Substance of Certificate: (what it is that is being certified)

Bushfire Hazard Report dated 1 September 2025, version 1.0 and Bushfire Hazard Management Plan dated 1 September 2025, version 1.0

Scope and/or Limitations

The provisions in the Bushfire Hazard Assessment Report and Bushfire Hazard Management Plan as based on present conditions at the time of inspection. Vegetation growth (natural and manmade) or any other changes on the existing property and adjacent properties have not been considered.

The assessment is based on information provided at the time of the report. If the location of the proposed development differs from the location shown in the Bushfire Hazard Assessment Report and Bushfire Hazard Management Plan, both the report and plan is void.

The Bushfire Hazard Management Plan must be implemented and maintained for the life of the development otherwise the plan is void.

I certify the matters described in this certificate.

	Signed:	*Certificate No:*	*Date:*
Qualified person:	JOE HEPPER	H3069	1/9/2025

H4U_02 - CLAIRE HORNER

44 ALMA ROAD, ORFORD

Site Information

Land Title Reference:	CT 186679/1
Wind Classification:	N2
Soil Classification:	P
Climate Zone:	7
BAL Level:	12.5
Alpine Area:	N/A Less than 900m AHD
Corrosion Envrionment:	TBC
Other Hazards:	
Zoning:	

AREA SCHEDULE

Site Area	:	1001 m²
Main Dwelling Area	:	37.4 m²
Deck	:	21 m²
Ancillary Dwelling Area	:	37.4 m²
Deck	:	21 m²
Total Area (37.4+37.4)	:	**74.8 m²**
Total Deck	:	**42 m²**

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PLEASE NOTE: No Variations will be accepted on these plans after signature. I the owner/s accept these plans:

SIGNATURE:

DATE:

Drawing No.	Description
01	SITE PLAN
02	FLOOR PLAN_MAIN DWELLING
03	ROOF PLAN_MAIN DWELLING
04	ELEVATIONS_MAIN DWELLING
05	SECTION_MAIN DWELLING
06	ELECTRICAL PLAN_ MAIN DWELLING
07	FLOOR PLAN_ANCILLARY DWELLING
08	ROOF PLAN__ANCILLARY DWELLING
09	ELEVATIONS__ANCILLARY DWELLING
10	SECTION__ANCILLARY DWELLING
11	ELECTRICAL PLAN_ ANCILLARY DWELLING

Drawing No.	Description
12	3D VIEWS
13	DRAINAGE PLAN
14	BAL 12.5 NOTES
15	GENERAL NOTES
16	WET AREA SPECS

NOTE:
3D View colours/materials is indicative only and is subject to final selection

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

No.	Amendment	Date	Drawn
	DA PLANS	14.11.2025	RK

PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

HOMES4YOU
132 Forster Street, Invermay
TAS 7248

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TITLE: COVER SHEET

Scale Check 40mm original size

Scale: 1 : 200

Date: 14.11.2025

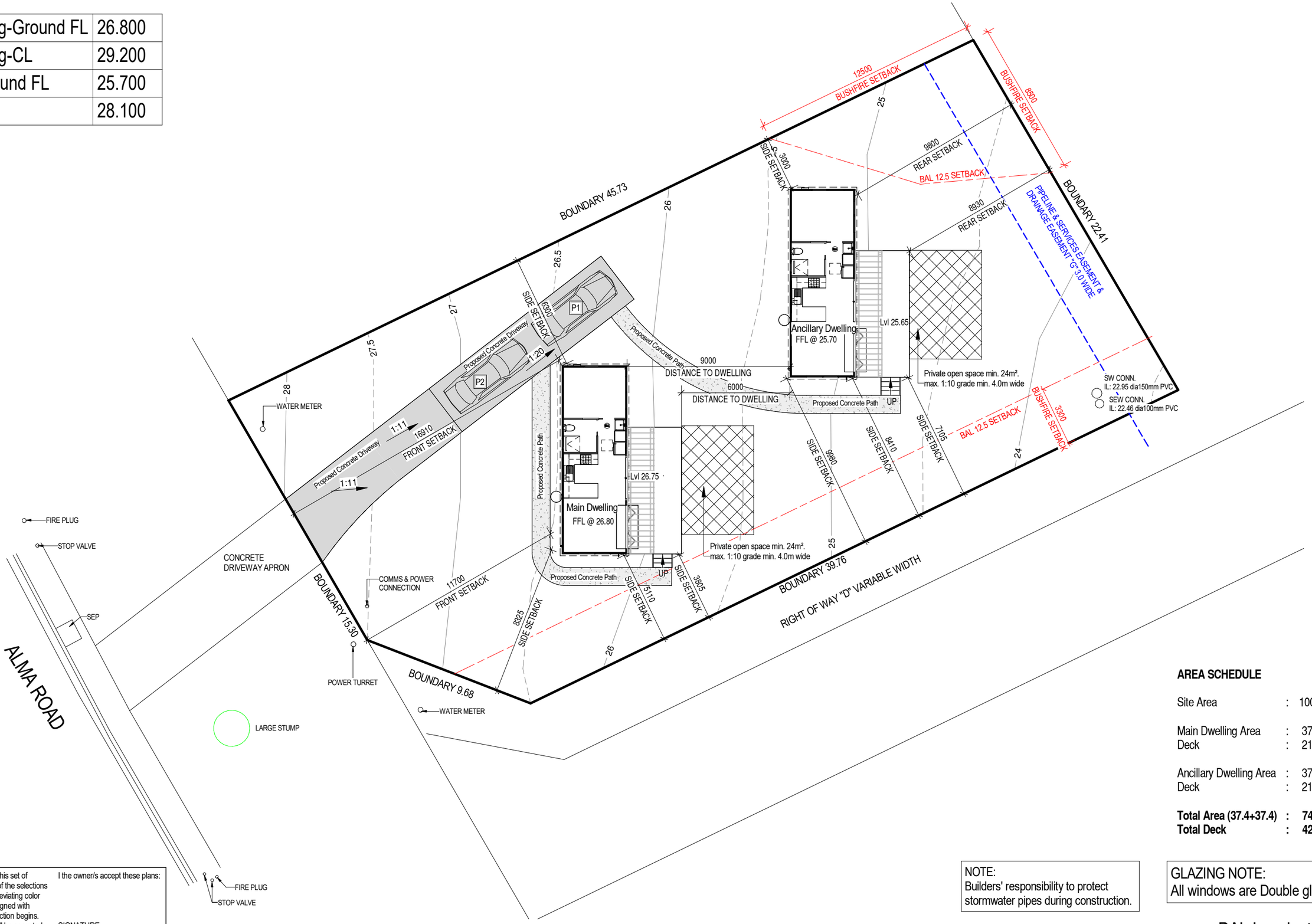
Drawn by: Ranjot Kaur

Project Address: 44 ALMA ROAD, ORFORD

Job No: H4U_02

Sheet No: 00

Main Dwelling-Ground FL	26.800
Main Dwelling-CL	29.200
Ancillary-Ground FL	25.700
Ancillary-CL	28.100



AREA SCHEDULE

Site Area	:	1001 m²
Main Dwelling Area	:	37.4 m²
Deck	:	21 m²
Ancillary Dwelling Area	:	37.4 m²
Deck	:	21 m²
Total Area (37.4+37.4)	:	**74.8 m²**
Total Deck	:	**42 m²**

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

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SIGNATURE:
DATE:

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

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TITLE
SITE PLAN
Scale Check 40mm original size

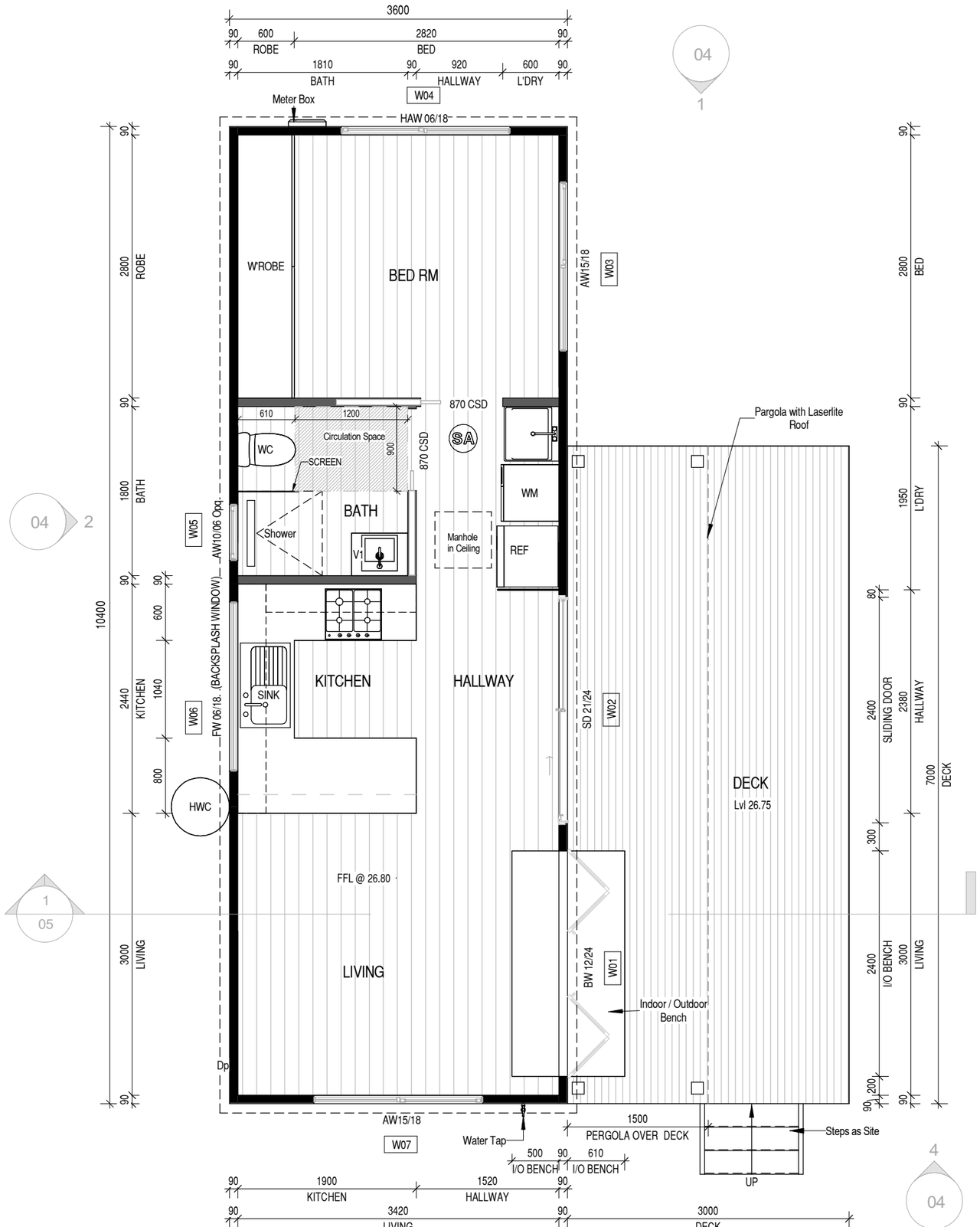
Scale: 1 : 200
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 01

Main Dwelling-Ground FL	26.800
Main Dwelling-CL	29.200



Window Schedule

Window No.	Type	Size	Glass	Height	Width	Sill Height	Head Height
01	BW	12-24	Clear	1200	2400	900	2100
02	SD	21-24	Clear	2100	2400	0	2100
03	AW	15-18	Clear	1500	1800	600	2100
04	HAW	06-18	Clear	600	1800	1500	2100
05	AW	10-06	Opaque	1000	600	1100	2100
06	FW	06-18	Clear	600	1800	900	1500
07	AW	15-18	Clear	1500	1800	600	2100

LEGEND:
BF = Bi-Fold Window;
AW = Awning window;
FW = Fixed Window;
SD = Sliding Door,
FD = French Door;
TW = Transom Window
SW = Sliding Window;

NOTE:

Windows supplied MUST HAVE Uw, SHGC & Air infiltration performance values EQUAL TO or BETTER THAN those specified above.
* Glass specification may change to comply with BAL requirements.
(Refer to sheet 'BAL NOTES')

AREA SCHEDULE

Site Area	:	1001 m²
Main Dwelling Area	:	37.4 m²
Deck	:	21 m²
Ancillary Dwelling Area	:	37.4 m²
Deck	:	21 m²
Total Area (37.4+37.4)	**:**	**74.8 m²**
Total Deck	**:**	**42 m²**

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

NOTE:
Steel Frame and Roof System

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

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Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

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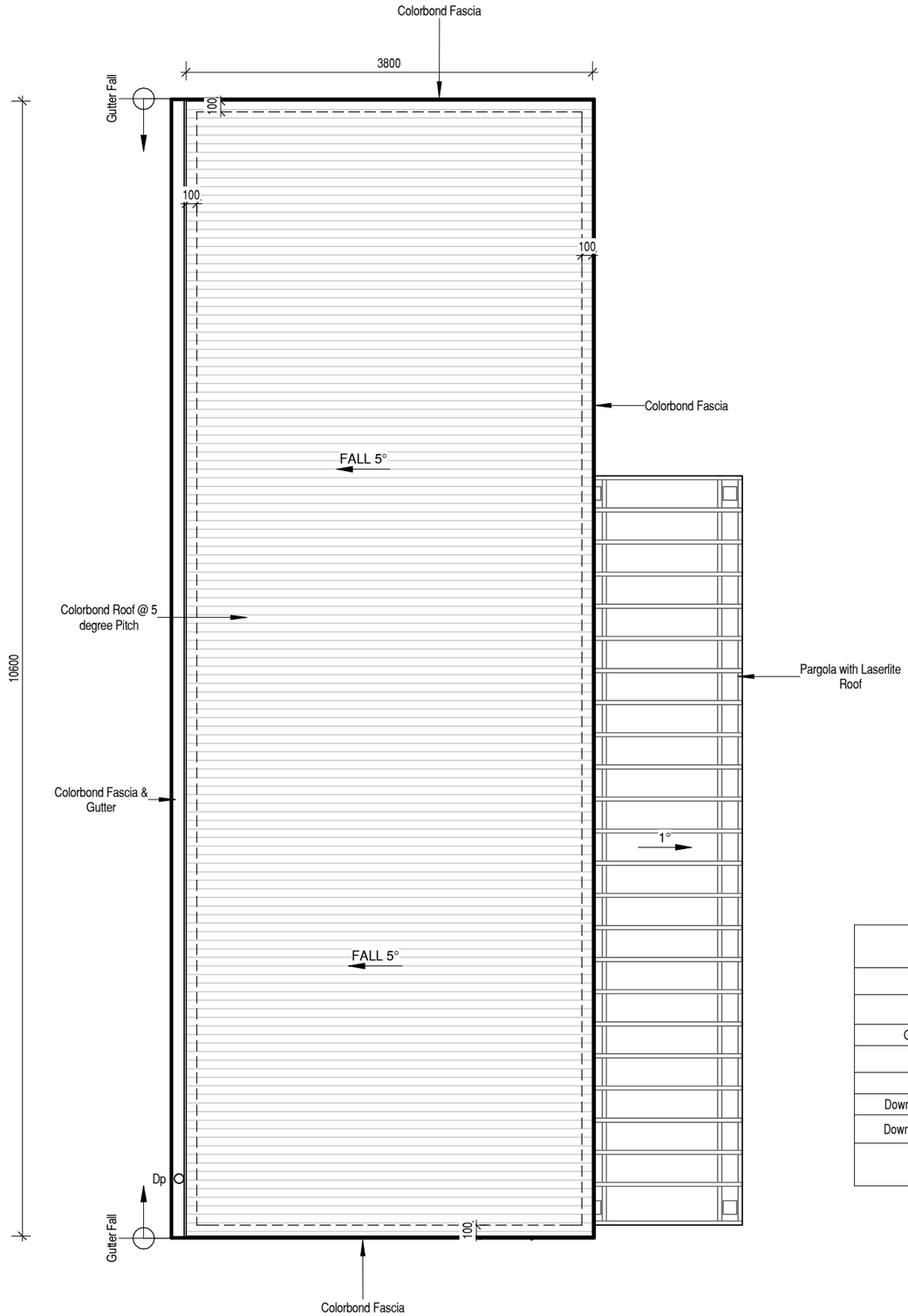
TITLE
FLOOR PLAN_MAIN DWELLING

Scale Check 40mm original size

Scale: As indicated
Date: 14.11.2025
Drawn by: Ranjot Kaur

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 02



ROOF CATCHMENT AREA CALCULATION		
Ah	42 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	43.7 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 7.4.3b)
DRI	85	Design Rainfall intensity Hobart (determined from NCC Table 7.4.3d)
Acdp	70	Max.catchment area of roof per 90mm downpipe
Downpipes required	1	Ac / Acdp
Downpipes provided	1	
NOTE: Roof catcment areas to comply with AS3500.3		

GLAZING NOTE:
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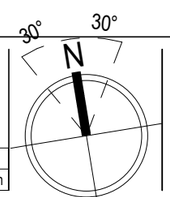
Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK



PERYTON HOMES
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Hobart TAS 7140
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HOMES4YOU
YOUR HOME..YOUR CHOICE
HOMES4YOU
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TAS 7248

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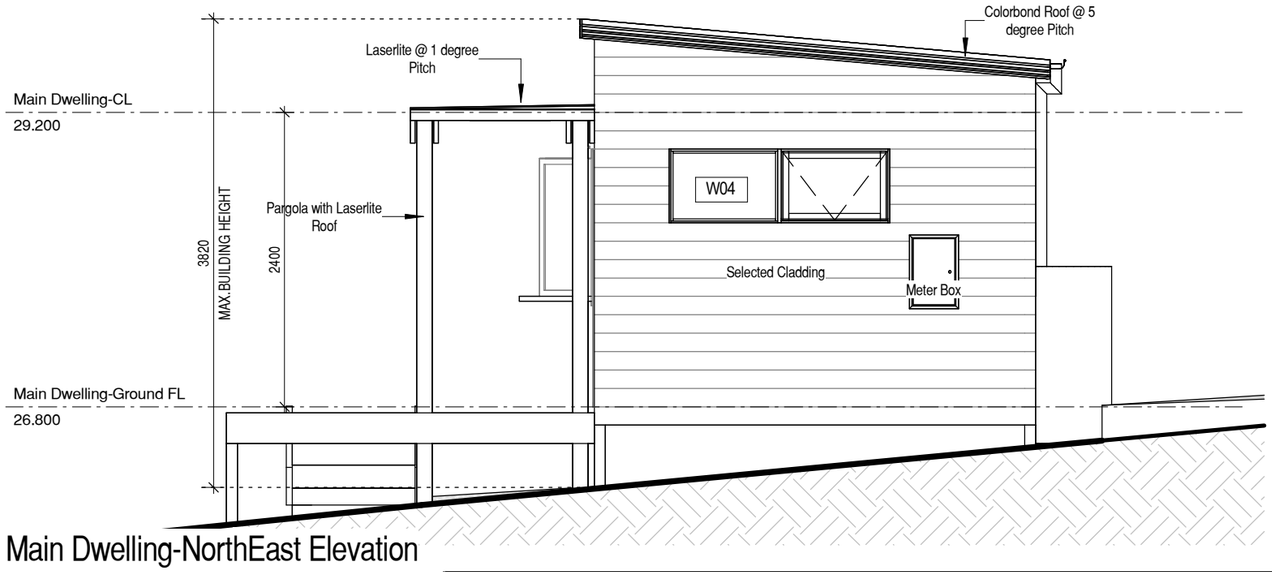
TITLE
ROOF PLAN_MAIN DWELLING
Scale Check 40mm original size

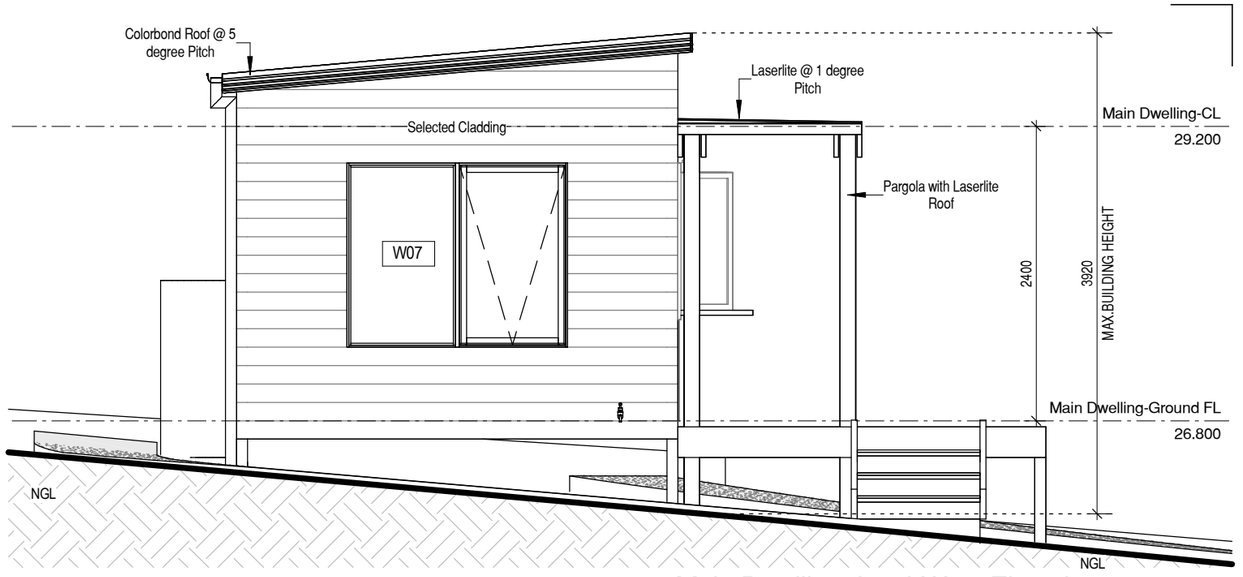
Scale: 1 : 50
Date: 14.11.2025
Drawn by: Ranjot Kaur

Project Address
44 ALMA ROAD, ORFORD

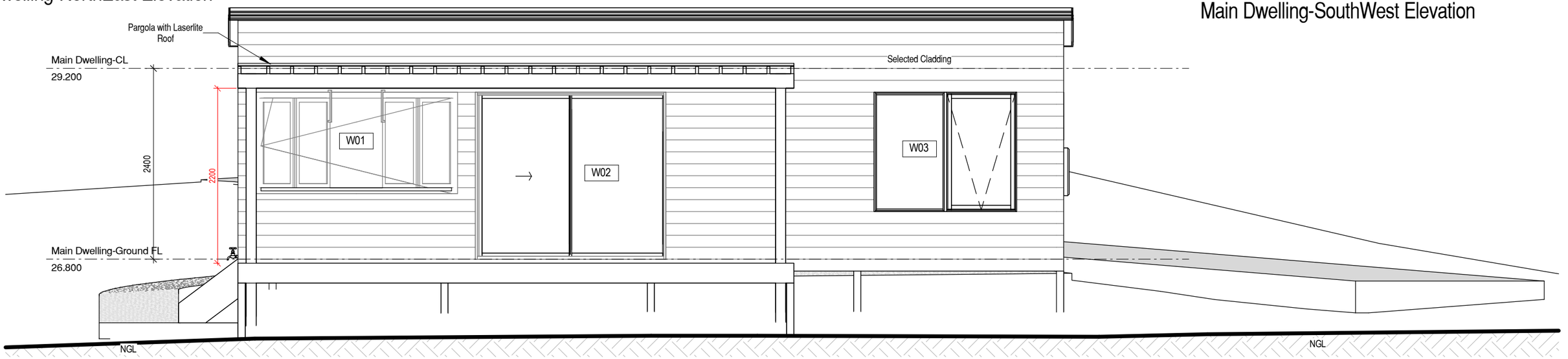
Job No: H4U_02
Sheet No: 03



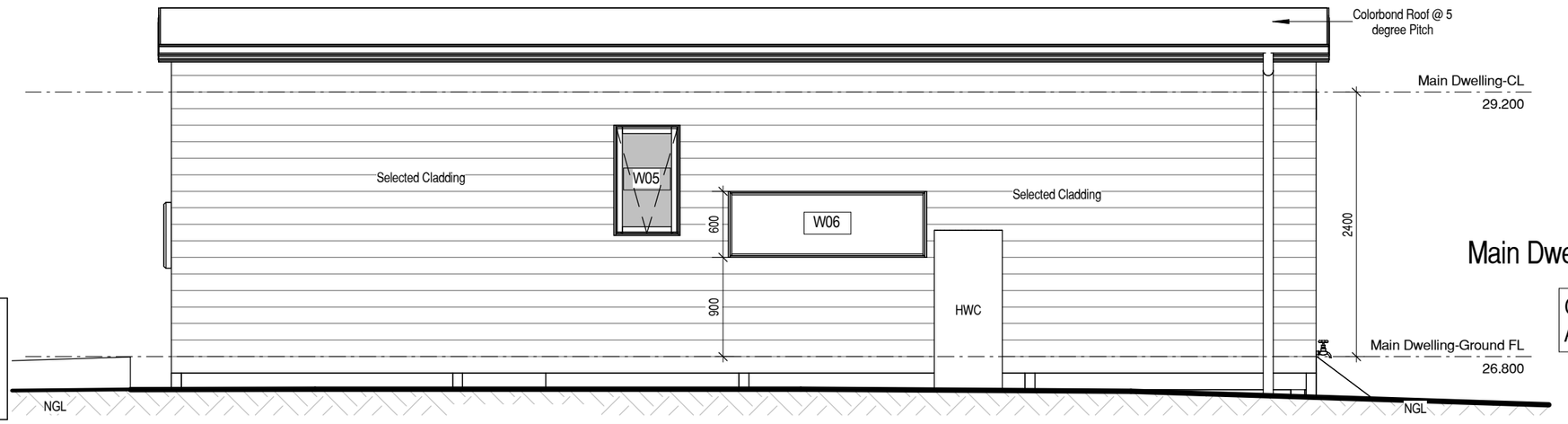
Main Dwelling-NorthEast Elevation



Main Dwelling-SouthWest Elevation



Main Dwelling-SouthEast Elevation



Main Dwelling-NorthWest Elevation

CLADDING / COLOUR SELECTION	
Element	**Colour / Type**
Roof	TBC
Brick	TBC
Cladding	TBC

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection

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SIGNATURE:
DATE:

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

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TITLE
ELEVATIONS_MAIN DWELLING

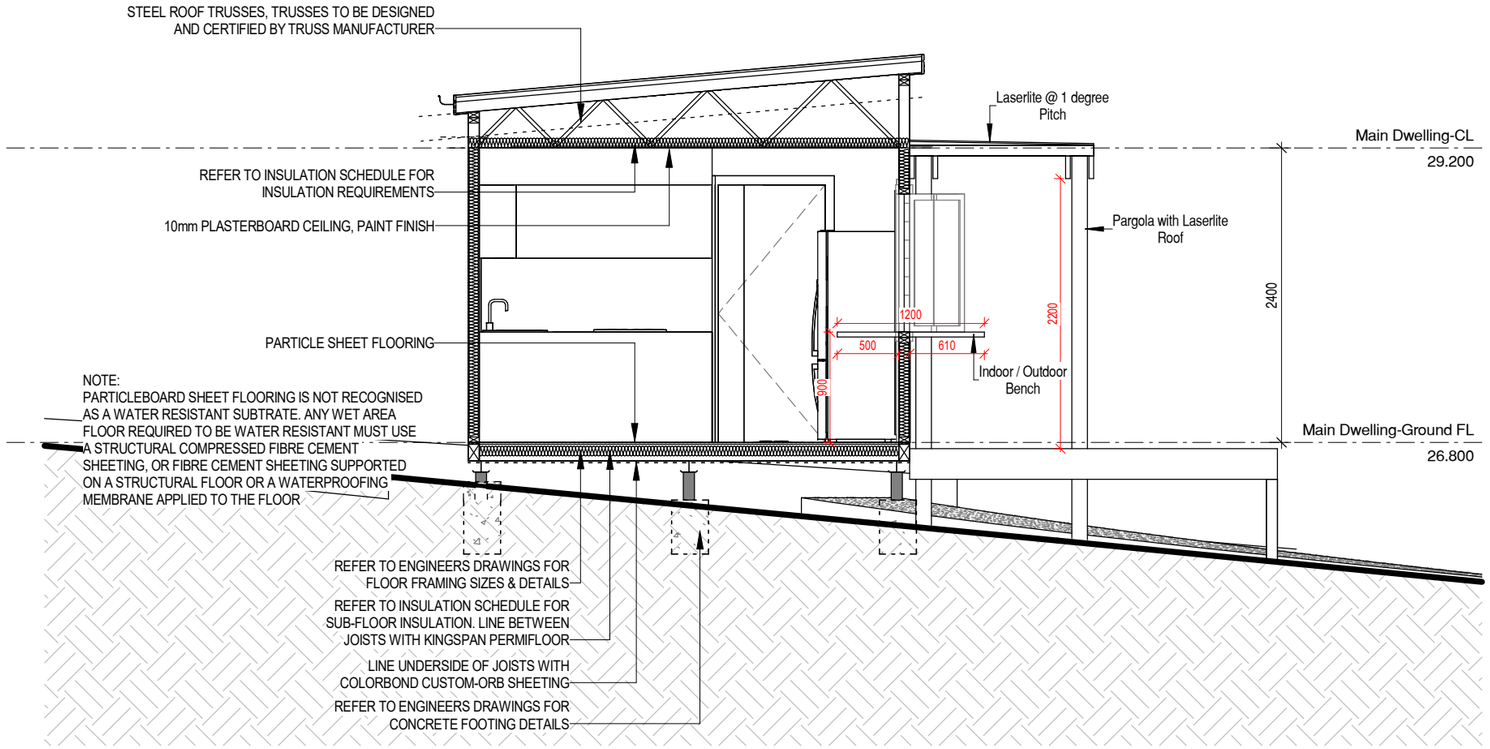
Scale Check 40mm original size

Scale: 1 : 50
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 04



Main Dwelling-Section 1

Scale 1:50

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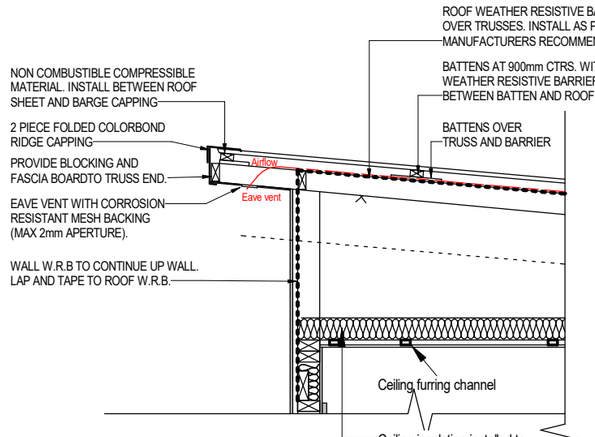

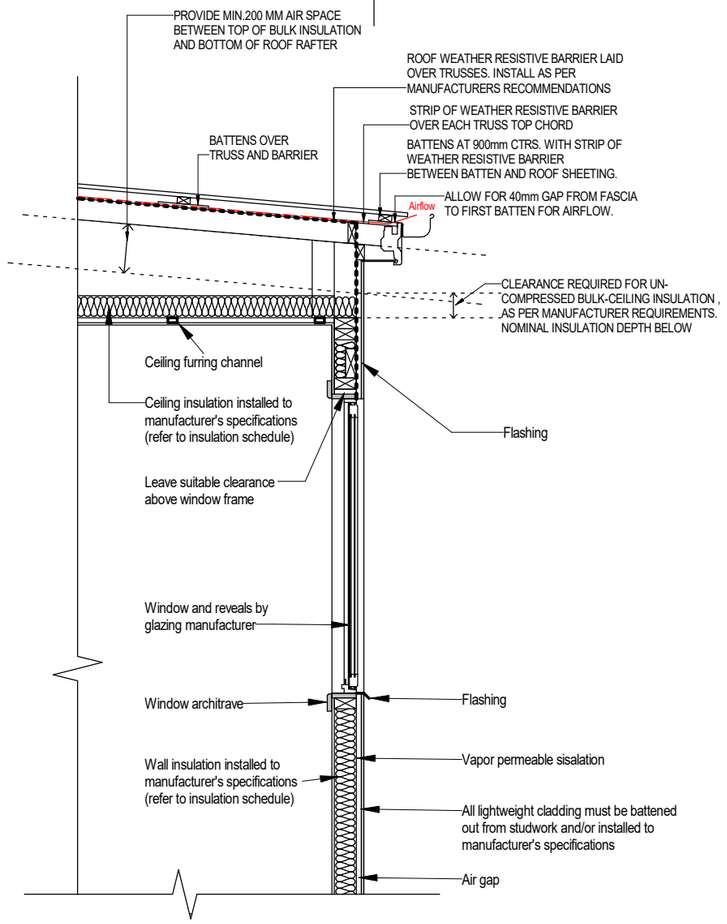

Section Details

Scale 1:25

BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

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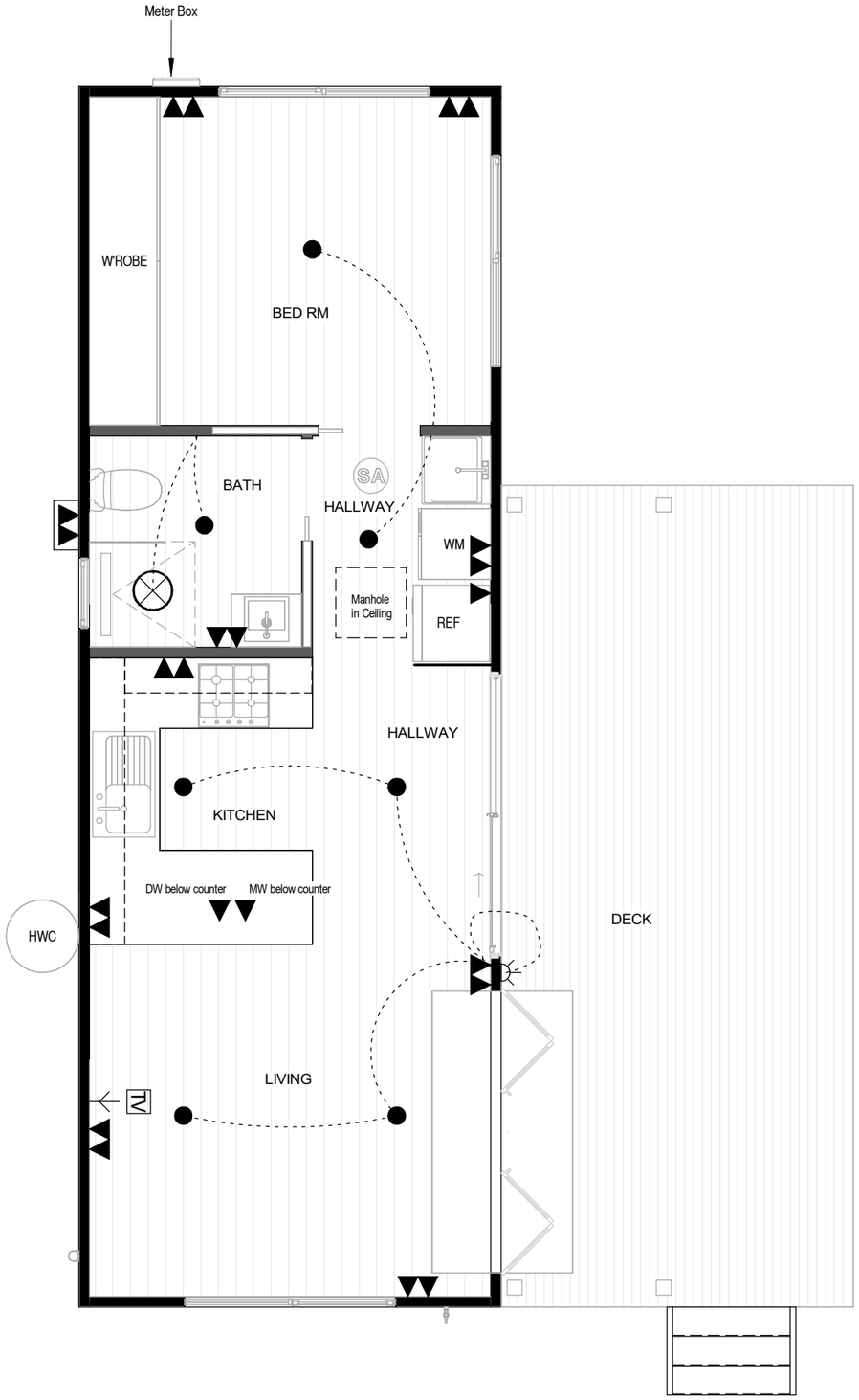
TITLE
SECTION_MAIN DWELLING

Scale Check 40mm original size

Scale:	As indicated		Job No: H4U_02
Date:	14.11.2025	Project Address	Sheet No: 05
Drawn by:	Ranjot Kaur	44 ALMA ROAD, ORFORD	



ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	3
▼▼	Double GPOs	9
●	LED Downlight	7
⊗	Mechanical Exhaust Fan	1
SA	Smoke Alarm	1
TV	TV Point	1
▼▼	Power Point Weatherproof	1
	Wall Light	1

NOTES:
- Rangehood to be ducted to outside
- External NBN under meterbox [where applicable]
- Where Exhaust fans are provided with no other form of ventilation, fan must be activated simultaneously with light
- Smoke alarm to be connected to the mains power supply and possess a battery back-up and be interconnected; to provide a common alarm throughout the building, and be to AS 3786-2014, and installed to NCC Clause 3.7.5.5.

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

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SIGNATURE:
DATE:

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

PERYTON HOMES
PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

HOMES4YOU
YOUR HOME, YOUR CHOICE
HOMES4YOU
132 Forster Street, Invermay
TAS 7248

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TITLE
ELECTRICAL PLAN_ MAIN DWELLING

Scale Check 40mm original size

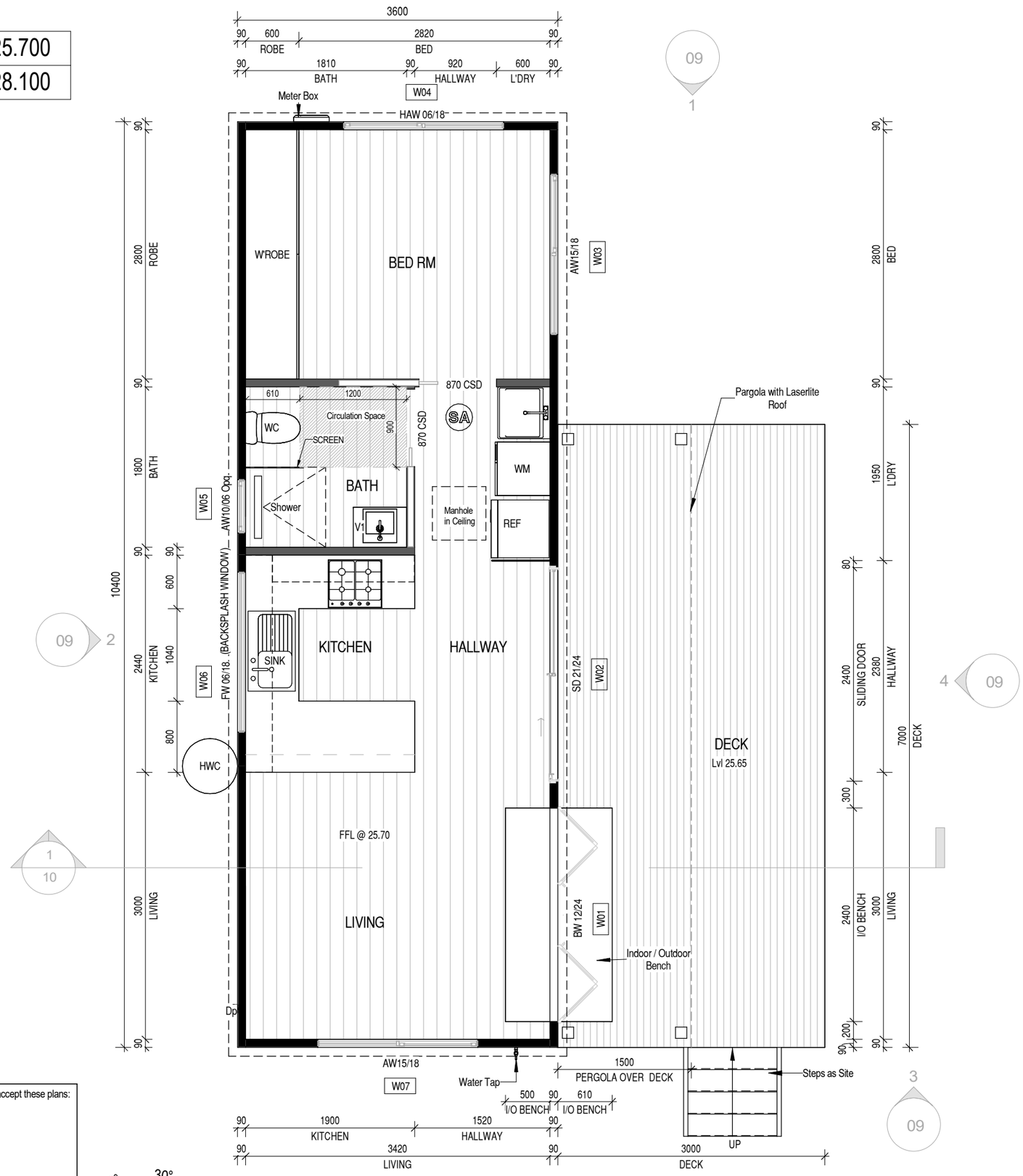
Scale: As indicated
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 06

Ancillary-Ground FL	25.700
Ancillary-CL	28.100



Window Schedule

Window No.	Type	Size	Glass	Height	Width	Sill Height	Head Height
01	BW	12-24	Clear	1200	2400	900	2100
02	SD	21-24	Clear	2100	2400	0	2100
03	AW	15-18	Clear	1500	1800	600	2100
04	HAW	06-18	Clear	600	1800	1500	2100
05	AW	10-06	Opaque	1000	600	1100	2100
06	FW	06-18	Clear	600	1800	900	1500
07	AW	15-18	Clear	1500	1800	600	2100

LEGEND:
BW = Bi-Fold Window;
AW = Awning window;
FW = Fixed Window;
SD = Sliding Door,
FD = French Door;
TW = Transom Window
SW = Sliding Window;

NOTE:

Windows supplied MUST HAVE Uw, SHGC & Air infiltration performance values EQUAL TO or BETTER THAN those specified above.
* Glass specification may change to comply with BAL requirements.
(Refer to sheet 'BAL NOTES')

AREA SCHEDULE

Site Area	:	1001 m²
Main Dwelling Area	:	37.4 m²
Deck	:	21 m²
Ancillary Dwelling Area	:	37.4 m²
Deck	:	21 m²
Total Area (37.4+37.4)	:	**74.8 m²**
Total Deck	:	**42 m²**

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

NOTE:
Steel Frame and Roof System

GLAZING NOTE:
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BAL Level: 12.5

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TITLE
FLOOR PLAN_ANCILLARY DWELLING

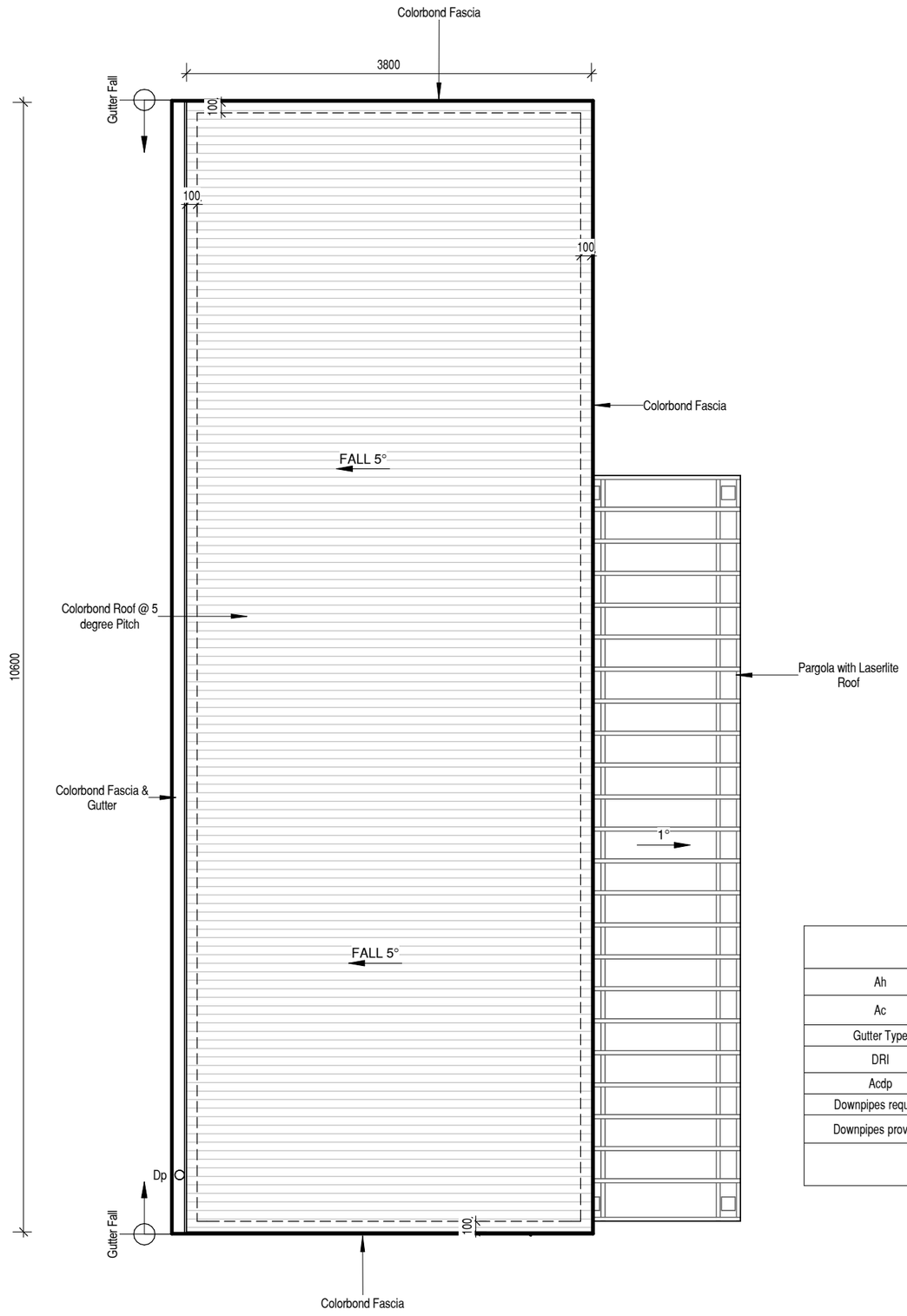
Scale Check 40mm original size

Scale: As indicated
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 07



ROOF CATCHMENT AREA CALCULATION		
Ah	42 m²	Plan area of roof including 115mm Quad gutter (m²)
Ac	43.7 m²	catchment area of a roof - Ah x slope factor (m²)
Gutter Type	A	effective cross-sectional area 6500 mm² (determined from NCC Table 7.4.3b)
DRI	85	Design Rainfall intensity Hobart (determined from NCC Table 7.4.3d)
Acdp	70	Max.catchment area of roof per 90mm downpipe
Downpipes required	1	Ac / Acdp
Downpipes provided	1	
NOTE: Roof catcment areas to comply with AS3500.3		

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SIGNATURE:
DATE:

GLAZING NOTE:
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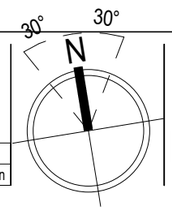
BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK



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TITLE
ROOF PLAN__ANCILLARY DWELLING

Scale Check 40mm original size

Scale: 1 : 50

Date: 14.11.2025

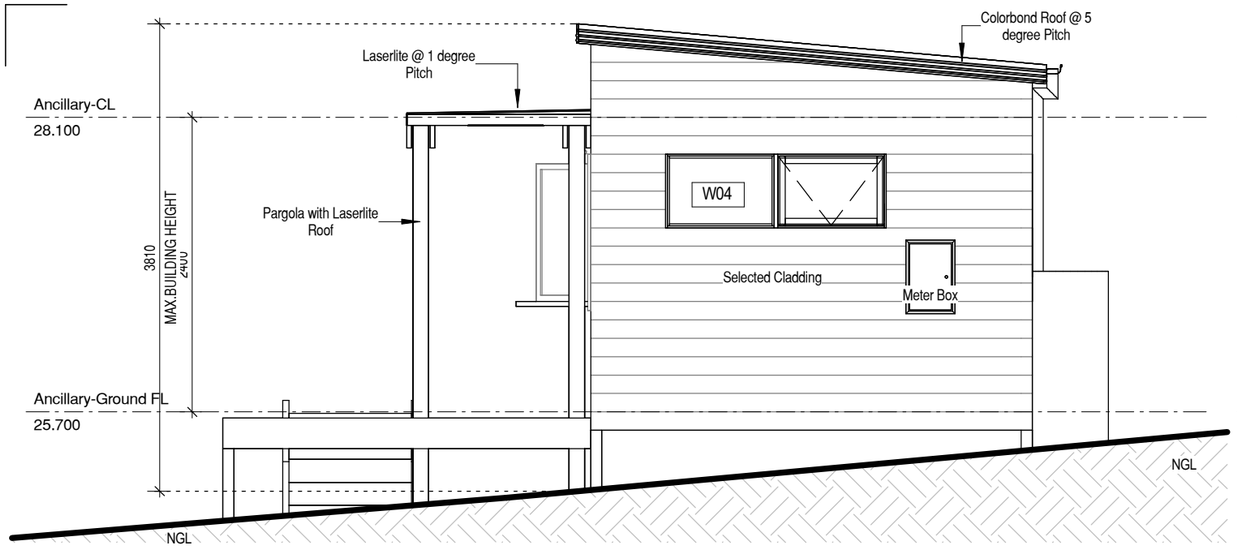
Drawn by: Ranjot Kaur

Client / Project Name

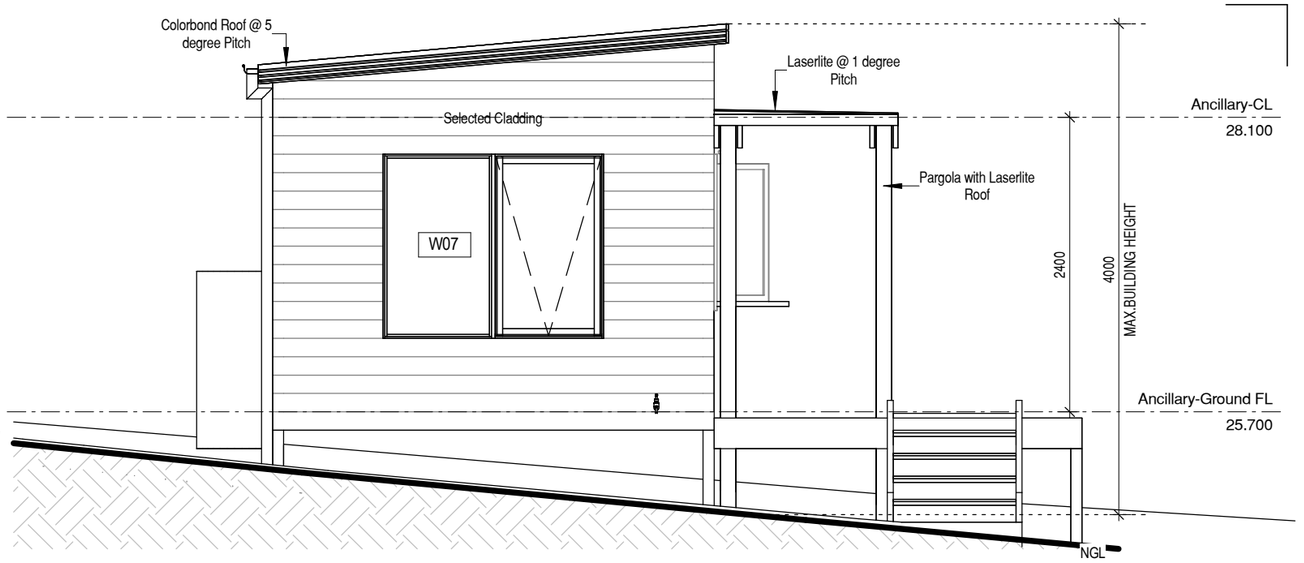
Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02

Sheet No: 08

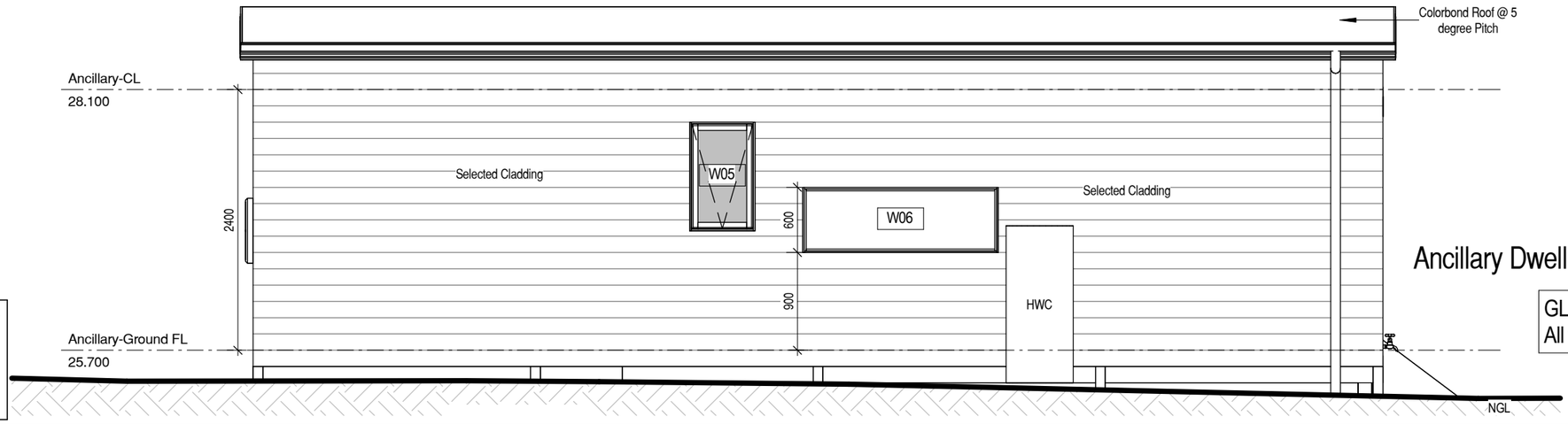


Ancillary Dwelling-NorthEast Elevation



Ancillary Dwelling-SouthWest Elevation

Ancillary Dwelling-SouthEast Elevation



Ancillary Dwelling-NorthWest Elevation

CLADDING / COLOUR SELECTION	
Element	**Colour / Type**
Roof	TBC
Brick	TBC
Cladding	TBC

NOTE:
The colours shown on this plan may not reflect the colour of the final product. If colour has been listed as TBC this means the colours is indicative only and is subject to final selection

GLAZING NOTE:
All windows are Double glazed

BAL Level: 12.5

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TITLE
ELEVATIONS__ANCILLARY DWELLING

Scale Check 40mm original size

Scale: 1 : 50

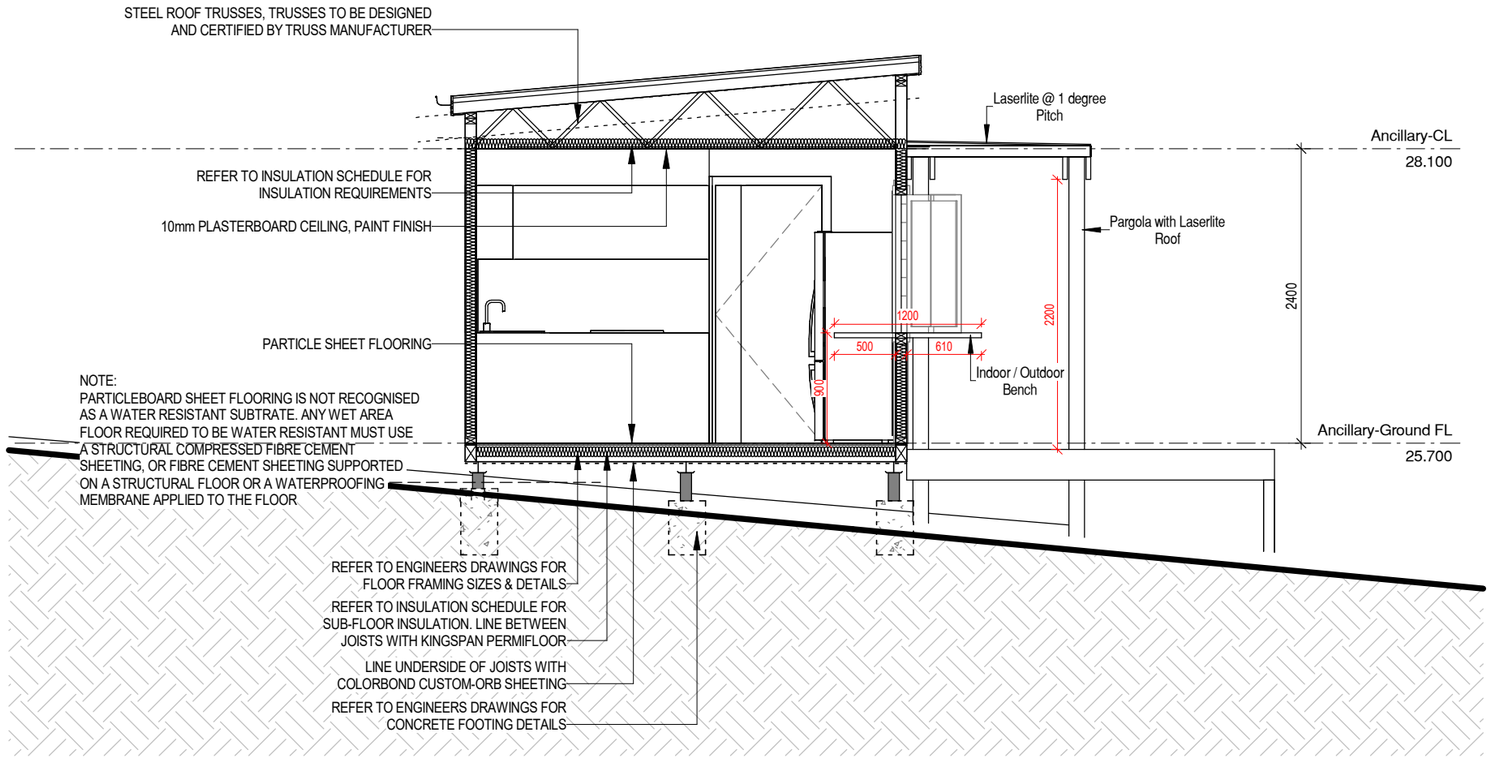
Date: 14.11.2025

Drawn by: Ranjot Kaur

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02

Sheet No: 09



Ancillary Dwelling-Section 2

Scale 1:50

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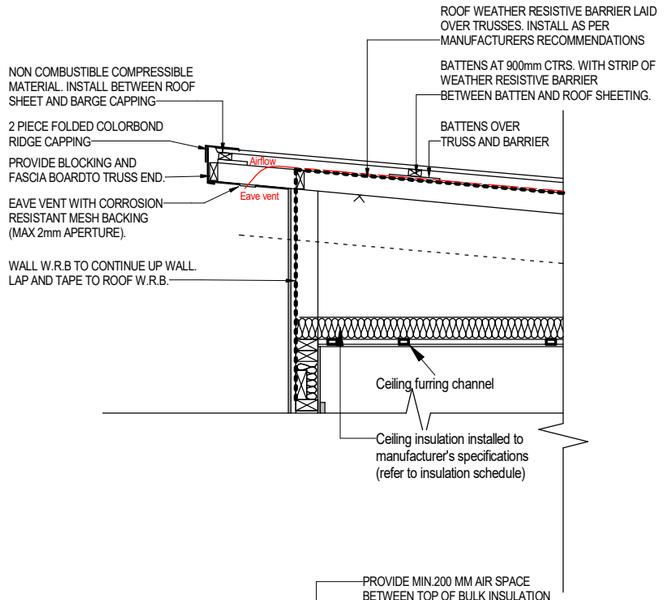

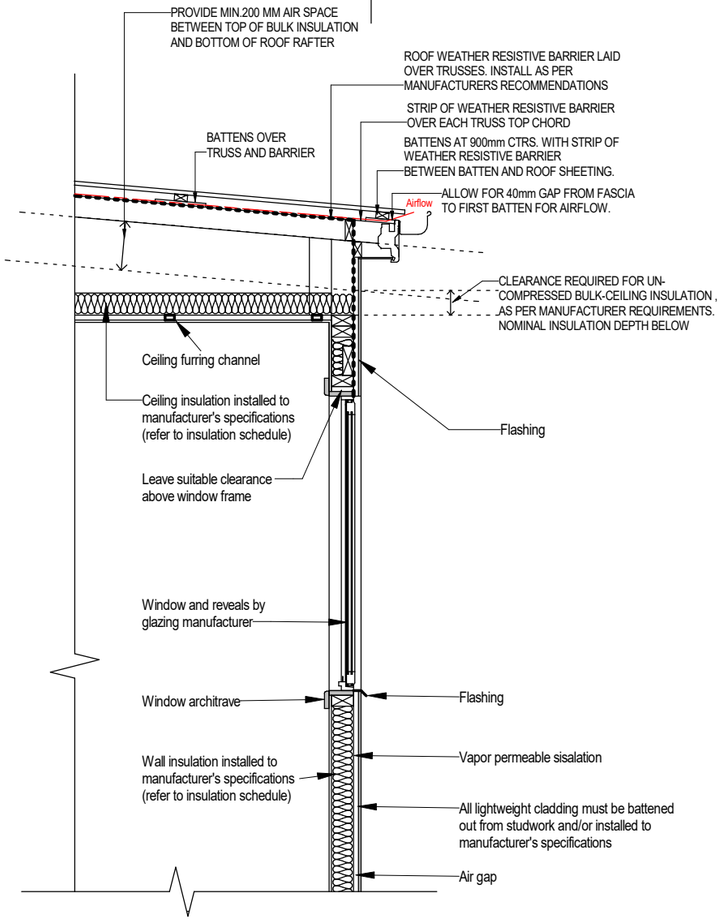

Section Detail

Scale 1:25

BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

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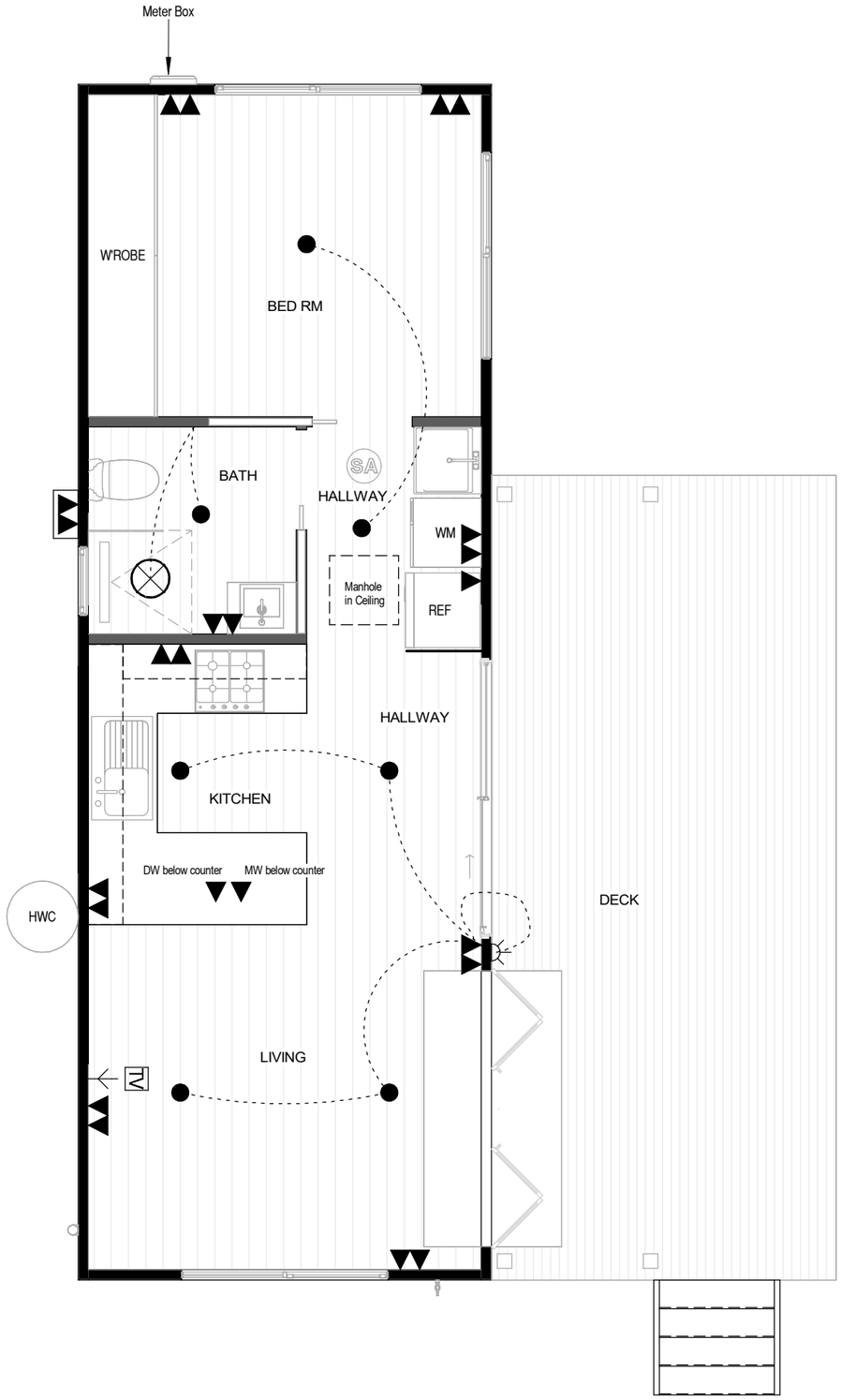
TITLE
SECTION__ANCILLARY DWELLING

Scale Check 40mm original size

Scale:	As indicated	Client / Project Name	Job No: H4U_02
Date:	14.11.2025	Project Address: 44 ALMA ROAD, ORFORD	Sheet No: 10
Drawn by:	Ranjot Kaur		



ELECTRICAL LEGEND		
		No.s
▼	Single GPOs	3
▼▼	Double GPOs	9
●	LED Downlight	7
⊗	Mechanical Exhaust Fan	1
SA	Smoke Alarm	1
	TV Point	1
▼▼	Power Point Weatherproof	1
	Wall Light	1

NOTES:
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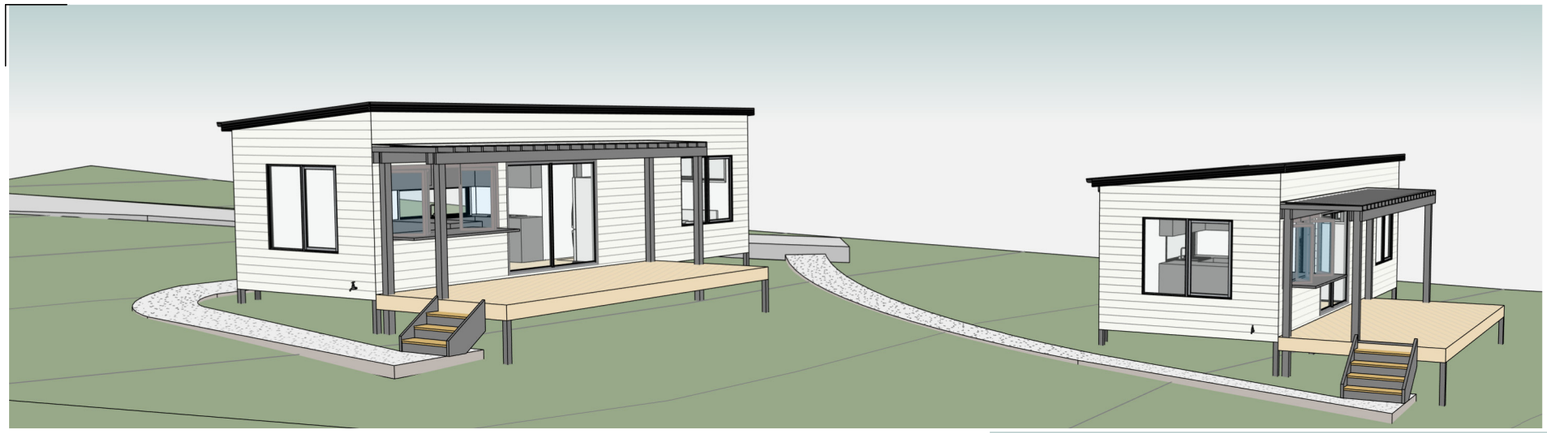
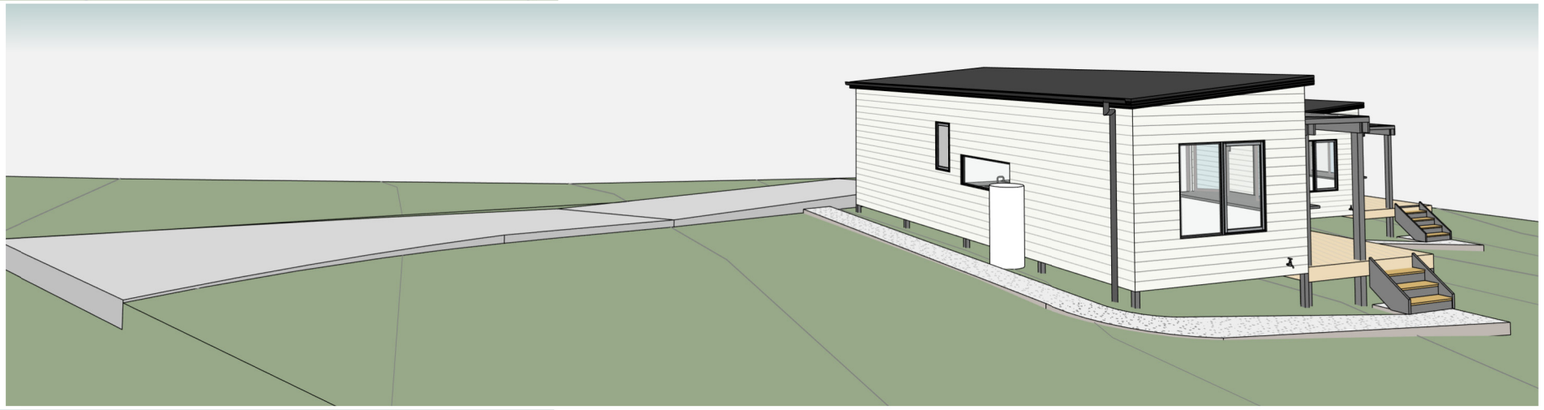
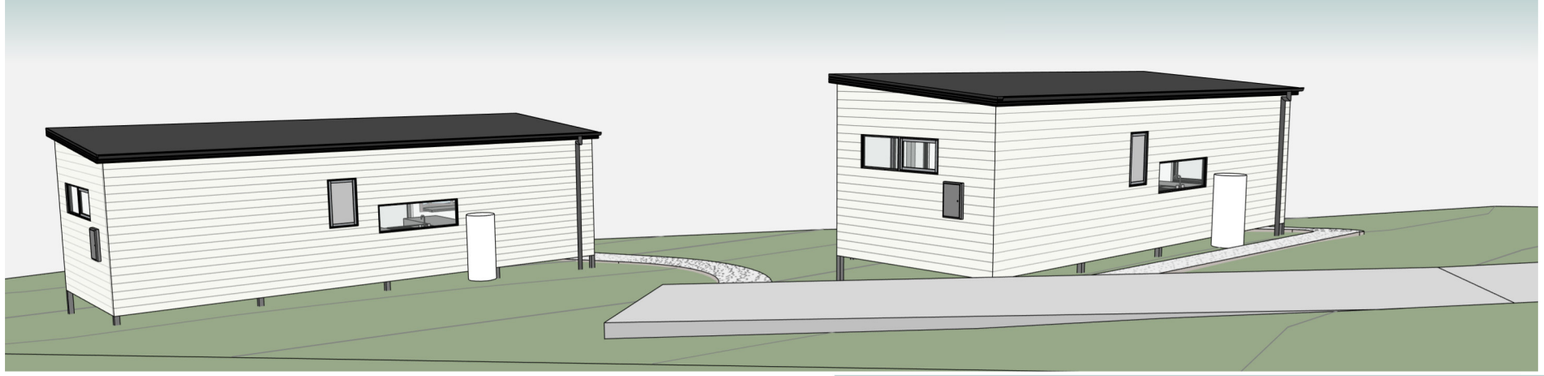
TITLE
ELECTRICAL PLAN_
ANCILLARY DWELLING

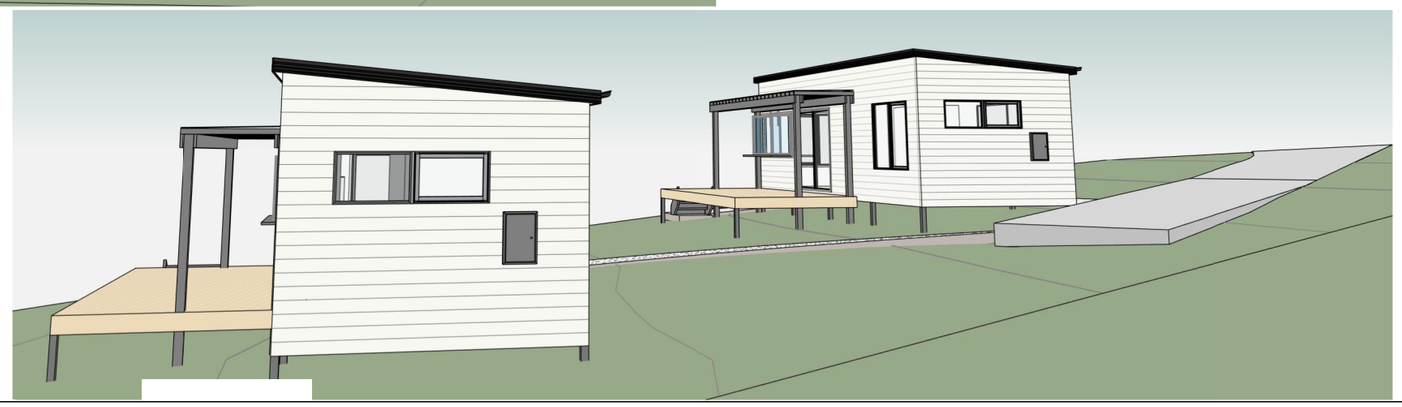
Scale Check 40mm original size

Scale:	As indicated	Client / Project Name	Job No: H4U_02
Date:	14.11.2025	Project Address: 44 ALMA ROAD, ORFORD	Sheet No: 11
Drawn by:	Ranjot Kaur		









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BAL Level: 12.5

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TITLE
3D VIEWS

Scale Check 40mm original size

Scale:

Date: 14.11.2025

Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

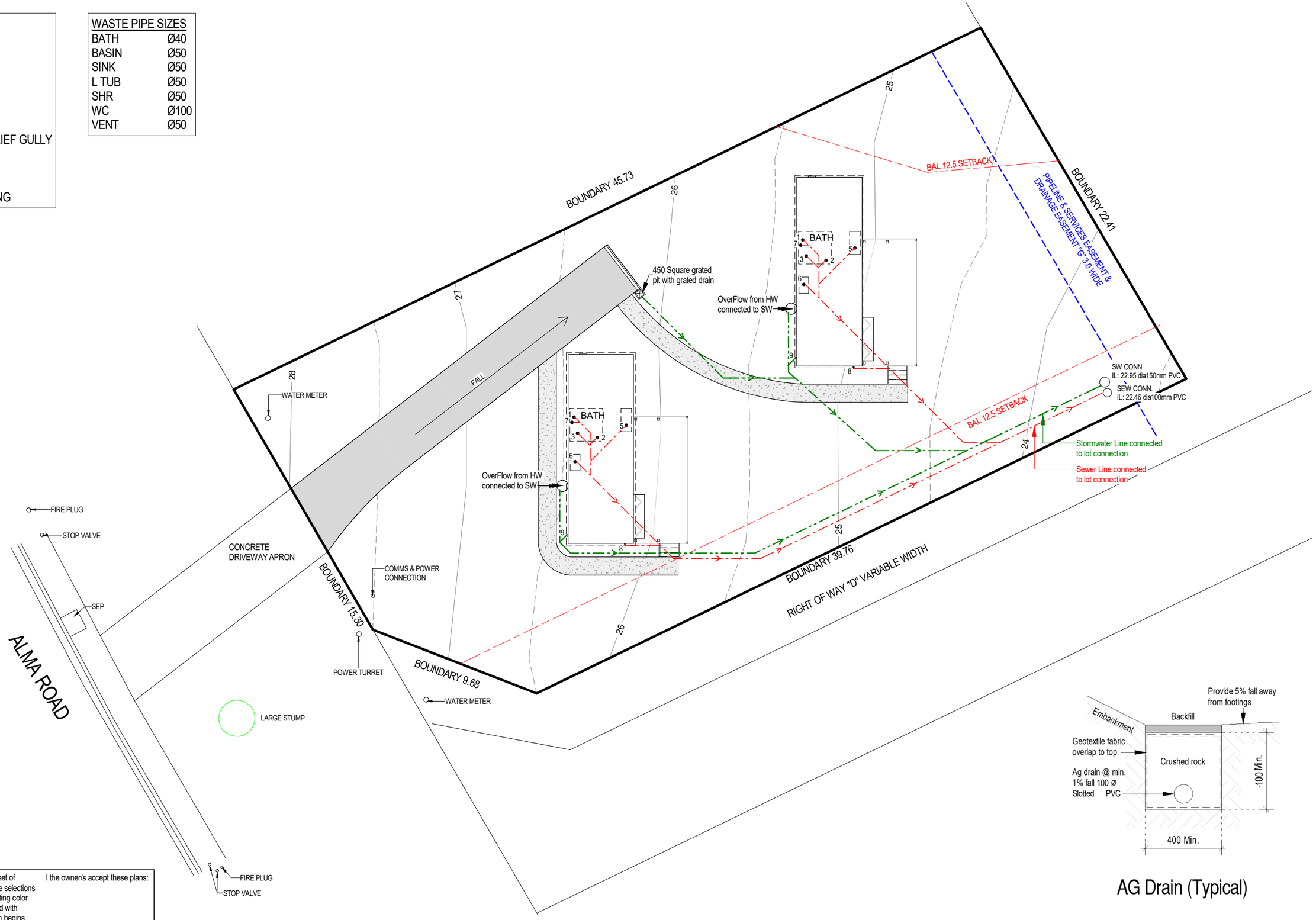
Job No:
H4U_02

Sheet No:
12

LEGEND
1 WATER CLOSET
2 BASIN
3 SHOWER
4 BATH
5 L'DRY
6 SINK
7 VENT PIPE
8 ORG OVERFLOW RELIEF GULLY
9 DOWN PIPE
10 WATER TAP

IO INSPECTION OPENING

WASTE PIPE SIZES	
BATH	Ø40
BASIN	Ø50
SINK	Ø50
L TUB	Ø50
SHR	Ø50
WC	Ø100
VENT	Ø50



AG Drain (Typical)

BAL Level: 12.5

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TITLE
DRAINAGE PLAN
Scale Check 40mm original size

Scale: 1 : 200
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 13

CONSTRUCTION SCHEDULE BAL-12.5

Construction shall be in accordance with Bushfire Attack Level 12.5 BAL-125) specified in AS 7955-2018 Construction of Buildings in Bushfire Prone Areas, Sections 3 and 5.

SUEFLOOR shall be either stab-on-ground or timber on isolated piers with brick perimeter. The standard does not provide construction requirements for either of these subfloor construction methods. Refer Section 5.3.1 for detail.

EXTERNAL WALLS shall be timber framing, externally lined with sarking and clad with brick veneer or Weathertex cladding respectively Weathertex is stated as having a density of 990kg/m^3 Any exposed timber shall bushfire resistant timber (AS 3999-2018 Appendix E1 or Appendix F compliant). Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density Is 750 kg/m^3 or greater. Refer section 5.4.1 for detail.

JOINTS IN EXTERNAL WALLS are to be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Refer section 5.4.2 for detail.

VENTS, WEEPHOLES AND GAPS IN EXTERNAL WALLS greater than 3mm are to be fitted with 2mm minimum aperture, corrosion resistant steel, bronze, or aluminium mesh. Refer section 5.4.3 for detail.

BUSHFIRE SHUTTERS when used, shall protect the whole window/door assembly and shall be fixed to the building and be non-removable with gaps no greater than 3mm between the shutter and the wall, sill, or head. They must be manually openable from either inside or outside. They shall be made of non-combustible material or bushfire resistant timber AS 3959-2018 Appendix F compliant). Perforations must have an area no greater than 20% of the shutter and be uniformly distributed with gaps no greater than 3mm (or no greater than 2mm when the openable portion of the window is not screened).

SCREENS shall be fitted internally or externally to openable portions of windows. Screens shall be aluminium framed with 2mm minimum aperture, corrosion resistant steel, bronze, or aluminium mesh. No gaps between the perimeter of the screen assembly and the building are to be greater than 3mm. Refer section 5.5.2 for detail. Alternatively, compliant bushfire shutters may be installed.

WINDOWS AND GLAZED SLIDING DOORS and their frames, joinery and architraves can be aluminium framed but can also be PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate. Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m^3 or greater.

Windows less than 400mm from the ground or less than 400mm above decks, carport roofs, veranda roofs and awnings which have an angle less than 18 degrees shall be a minimum of 4mm Grade A safety glass. When using double glazing this requirement applies to the external face only. Windows above 400mm (when specific glazing is not required by other relevant standards) may use annealed glass. Sliding doors shall be glazed with a minimum of Grade A safety glass. Refer section 5.5.3 for detail. Alternatively, compliant bushfire shutters may be installed. Care should be taken to ensure that the energy assessor for this project is aware of the minimum glazing requirements for this BAL classification so as to avoid conflict with glazing specifications.

SIDE HUNG EXTERNAL DOORS can be either non-combustible or solid timber with a minimum thickness of 35mm or hollow core with a non-combustible kick plate on the outside for the first 400mm above the threshold Glazed doors including French doors and bi-fold must have glazing that complies with the glazing requirements for windows and the frame can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m^3 or greater Refer section 5.5.3 for detail.

DOOR JAMBS AND ARCHITRAVES can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timbe (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650kg/m^3 or greater. Doors must be tight-fitting to the door jamb (and to the abutting door where applicable). Weather strips or draught excluders shall be installed to all side-hung external doors.

GARAGE DOORS must be fully non-combustible or have the lower portion of the door which is within 400mm of the ground be non-combustible. Panel lift, tilt or side hung doors shall be fitted with weather strips, draught excluders or guide tracks as appropriate to the door type with gaps no greater than 3mm. Roller doors shall have guide tracks with gaps no greater than 3mm or fitted with a nylon brush that is in contact with the door. Refer section 5.5.6 for detail.

ROOF shall be timber framing, lined with sarking on the outside of the frame and clad with corrugated Colourbond cladding. Any gaps under ribs or roof components such as roof eave, fascia and wall junctions are to be sealed with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh, or filled with mineral wool to prevent openings greater than 3mm. Refer section 5.6.1, 5.6.2 & 5.6.3 for detail.

VERANDAH, CARPORT OR AWNING ROOFS forming part of the main roof shall meet the requirements of the main roof. Refer section 5.6.4 for detail.

ROOF PENETRATIONS such as skylights, vent pipes and aerials that penetrate the roof shall be sealed to prevent openings greater than 3mm Openable and vented skylights or vent pipes shall be fitted with 2mm aperture corrosion resistant, steel, bronze, or aluminium mesh ember guards. All overhead glazing shall be Grade A safety glass. PVC vent pipes are permitted. Refer section 5.6.5 for detail.

EAVES LINING, FASCIA AND GABLES shall be cement sheet or equivalent non-combustible material and sealed to prevent openings greater than 3mm. Refer section 5.6.6 for detail.

GUTTERS AND DOWNPIPE materials and requirements are not specified in the standard for BAL-12.5 with the exception of box gutters which shall be non-combustible. Gutter and valley leaf guards are not a requirement of the standard but they are strongly recommended. If installed, they must be non-combustible. Refer section 5.6.7 for detail.

VERANDAH AND DECK SUPPORTS AND FRAMING can be timber construction as there are no construction requirements in the standard for BAL-12.5. Decking may be spaced or un-spaced and the sub-floor either enclosed or unenclosed. If the decking is spaced, it is assumed that the spacing shall be 3mm nominal spacing with an allowance of between 0-5mm due to seasonal changes. If the deck sub-floor is enclosed, then all materials less than 400mm from the ground shall be non-combustible. Refer section 5.7.1, 5.7.2 & 5.7.3 for detail.

VERANDAHS, DECKS, STEPS, LANDINGS AND RAMPS and their elements can be timber construction as there are no construction requirements for BAL-12.5 except for elements less than 300mm horizontally and 400mm vertically from glazed elements which must be bushfire resistant timber (AS 3959-2018 Appendix El or Appendix F compliant) or equivalent non-combustible material. Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Cum) or Southern Blue Gum as long as the density of 750kg/m^3 or greater. An acceptable solution would be to line the area with cement sheet with ceramic tiles over. Refer section 5.7.2.4 for detail.

BALUSTRADES AND HANDRAILS can be timber construction as there are no construction requirements in the standard for BAL 12.5. Refer section 5.7.4 for detail.

WATER AND GAS SUPPLY PIPING where it is above ground and exposed shall be metal. Refer section 5.8 for detail

The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.	I the owner/s accept these plans: SIGNATURE: DATE:

BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

PERYTON HOMES

PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
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Licence Number: 173530973

HOMES4YOU
YOUR HOME. YOUR CHOICE

HOMES4YOU
132 Forster Street, Invermay
TAS 7248

*GENERAL NOTES:
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- All products and materials must be installed as per the relevant manufacturers specifications
- This document is uncontrolled in hard copy format, do not scale from drawings
- Builder to confirm all dimensions are correct prior to start of works.

CONTROL MEASURE:
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TITLE
BAL 12.5 NOTES

Scale Check 40mm original size

Scale: 1 : 20
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02

Sheet No: 14

GENERAL NOTES

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FOUNDATION MAINTENANCE
It is the owners responsibility for the maintenance of the buildings foundations, the owner must be familiar with the requirements set out in the CSIRO 'Building Technology File 18-2011'. This document can be found on the CSIRO website

SITEWORK

GENERAL
All earthworks to comply with NCC 3.1. Any earthworks shown are subject to engineers advice. All unprotected embankments must be stabilised with vegetation to prevent erosion. Unprotected embankments must not exceed 2.0m high as per NCC 3.1.1.1. Refer to NCC Table 3.1.1.1 for suitable embankment slope ratios.

CONCRETE

GENERAL
All footing and slabs to be in accordance with AS2870.
All concrete to comply with AS3600.
All footings and slabs to be as per engineer's specifications

CUPOLEX FLOOR SYSTEM
General: Where applicable Cupolex floor system must be installed to manufacturers specifications and engineers plans

Coventional Slab
The external finished surface that is surrounding the concrete slab-on-grade shall:
be 150mm below the top of the slab, and
be drained to move surface water away from building - at the rate of 50mm over the first 1m from the building, and
be graded to NCC figure 3.1.3.2.

TIMBER FRAMING

STANDARDS
Framing: To AS1684.2, AS1684.3 or AS1684.4, as appropriate and NCC 3.4.3
Design: To AS1720.3.
Nail plated roof trusses: To AS1720.5.

FRAMING
Wall framing to be MPG10 radiata pine. Studwork - 90x35 @ max 450crs.
Noggings - 90x35 @ max 1200crs Provide double top and bottom plate.
Provide double studs adjacent to openings.

WALL FRAMING ADDITIONAL SUPPORT
Provide additional support in the form of noggings, trimmers and studs for fixing lining, cladding, hardware, accessories, fixtures and fittings as required. Spacing of noggings: Maximum 1350crs.

FLASHINGS
Provide flashings to external openings sufficient to prevent the entry of moisture. Form trays at the ends of sill flashings.

ROOF FRAMING FIXING PLATES
Provide 45mm minimum thick timber fixing plates to transfer the design loads where timber joists, rafters or purlins bear on or into steel members. Bolt to the steel member at maximum 500crs. and maximum 100mm from the end of the fixing plate.

BEAM FRAMING
Ridge straps: Butt ends of rafters together at ridge,and strap each pair together with 900mm long steel strap passing over the ridge, triple nail to each rafter.

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PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE:
DATE:

STEEL FRAMING

GENERAL
Design, materials and protection: To AS/NZS 4600 and NCC 3.4.4
Residential and low-rise steel framing: To NASH- I (National Association of Steel Housing) and NASH-2 Standard.

COLD-FORMED STEEL FRAMING
Cold-form sections from metallic-coated steel: To AS1397
Corrosion: To NCC3.4.2.2

METAL SEPARATION
General: Install lagging to separate non-ferrous service pipes and accessories from the framing.

UNSEASONED OR CCA TREATED TIMBER
Do not fix in contact with framing without fully painting the timber and/or the steel.

EARTHING
Permanent earthing: Required.
Temporary earthing: Provide temporary earthing during erection until the permanent earthing is installed.

PROTECTION
General: Restore coatings which have been damaged by welding or other causes. Thoroughly clean affected areas back to base metal and coat with a zinc rich organic primer.
Grommets: Provide grommets to isolate piping and wiring from cold-formed steel framing.

FLOORING - TIMBER

GENERAL
Protection: If floor framing is for ground floor construction, make sure that it is protected from moisture.
Construction loads: If construction loadding exceeds design loading, provide additional support so as to avoid overstressing of members.

PARTICLEBOARD FLOORING
Installation: To AS 1860.2

TIMBER DECKING
Installation: Lay in long lengths with the ends of each board firmly butted to the next and firmly in contact with the joists. Stagger joints and make over joists.
Gap between edges of seasoned boards: 4mm. Minimum number of spans across support: 3. Nailing: Make sure the boards are in contact with the joists at the time of nailing, particularly where boards are machine nailed. If nails are to be less than 10mm from ends of boards, pre-drill nail holes to 1mm undersize.
Top nailing: Double nail at each bearing with nails driven flush. Offset nails at intermediate fixings or skew nails 10° in opposite directions.
Sealing: Apply 1 coat of water repellent preservative and 1 coat of finish coat to top surface of joists and all surfaces of boards before fixing.

SUB FLOOR VENTILATION (where applicable)
Subfloor ventilation: To NCC 3.4.1
Minimum 150mm of sub floor clearance is to be provided between finished surface level & the underside of the floor bearer.
Sub floor area to be clear of organic materials & rubbish.
Minimum subfloor vetilation 6000mm² per metre of sub floor perimeter is to be uniformly distributed around the perimeter of the building.
Vents to be located no greater than 600mm from an internal or external corner.
Additional ventilation provisions to be installed where obstructions such as concrete verandah's, decks, patios and paving are installed & obstruct ventilation.

MASONRY

GENERAL
All masonry to comply with NCC 3.3, AS3700 & AS4773

Articulation Joints
Where the slab and footings are designed in accordance with AS2870 for articulated masonry, articulation joints shall be provided in masonry walls in accordance with the following locations:
(a) In straight wall continuous wall having no openings, at centres not more than the values given in table 13.1
(b) Where the height of the wall changes abruptly by more than 20% of its lesser height
(c) Where openings more than 900x900mm occur, at no more than 5000mm centres
(d) where wall changes thickness (excluding engaged piers)
(e) At control or construction joints in footing or slabs
(f) At a distance from all corners not greater than 4500mm and not less than 470mm for cavity walls or 230mm for veneer walls
Articulation joints shall be vertical, not trothed, full height of the masonry wall, and free of mortar

CLADDING

GENERAL
Wall cladding: To NCC 3.5.3

PROFILED SHEET METAL CLADDING
Standard: To AS1562.1

FLASHING MATERIAL
Standard: To AS/NZS 2904

SUBSTRATES OR FRAMING
Requirement: Before fixing cladding check the alignment of substrates or framing and adjust if necessary.

FIXING
Method: Nail to timber framing, screw to steel framing.

ACCESSORIES AND TRIM
Requirement : Provide accessories and trim required to complete the installation.

FIXING EAVES AND SOFFIT LINING
Nailing: 150 mm centres to bearers at maximum 450 mm centres.

METAL SEPARATION
Requirement: Prevent direct contact between incompatible metals, and between green hardwood or chemically treated timber and aluminium or coated steel, by either of the following methods:
Applying an anti-corrosion, low moisture transmission coating to contact surfaces.
Inserting a separation layer.

PROFILED SHEET METAL CLADDING INSTALLATION
Swarf: Remove swarf and other debris as soon as it is deposited.
Accessories: Provide material with the same finish as cladding sheets.

DOORS AND WINDOWS

GENERAL
Glazing: To NCC 3.6
Selection and installation: To AS2047

GLAZING
Glass type and thickness: To AS1288, if no glass type or thickness is nominated.
Quality requirements for cut-to-size and processed glass: To AS/NZS 4667

GLASS
Safety glass: To AS/NZS 2208

ALUMINIUM FRAME FINISHES
Powder coating: To AS3715
Grade: Architectural coating.

FLASHINGS
Standard: To AS/NZS 2904

WINDOW LABELLING AND CERTIFICATION
Requirement: To AS2047 Section 8

WINDOWS AND GLAZED DOORS
Install windows and glazed doors frames as follows: Plumb, level, straight and true within acceptable building tolerances.
Fixed or anchored to the building structure in conformance with the wind action loading requirements.
Isolated from any building loads, including loads caused by structural deflection or shortening. Allow for thermal movement.

WEATHERPROOFING
Flashings and weatherings: Install flashings, weather bars, drips, storm moulds, caulking and pointing so that water is prevented from penetrating the building between frames and the building structure under prevailing service conditions. Including normal structural movement of the building.

FIXING
Packing: Pack behind fixing points with durable full width packing.

TRIM
Provide mouldings, architraves, reveal linings, and other internal trim using materials and finishes matching the window frames. Install to make neat and clean junctions between frames and the adjoining building surfaces.

DOORS TO SANITARY COMPARTMENTS
Door opening: To NCC 3.8.3.3
Doors to sanitary compartments to be openable outwards, slide or be readily removable from outside the compartment unless there is a clear space of at least 1.2m between the WC pan and door swing.

Windows and other openings in external masonry walls shall be weatherproofed and flashed to:
AS3700 - 2018, or
AS4773.1 - 2015 and AS 4773.2-2015

ROOFING

SHEET METAL ROOFING
Standard: To AS1562.1
Corrosion protection: To NCC Table 3.5.1.1(a)
Supply and install roofing and flashings to roof sheeting manufacturers specification.

ROOF PLUMBING
Standard: To AS/NZS3500.3 and NCC 3.5.2
Requirement: Provide the flashings, cappings, gutters, rainwater heads, outlets and downpipes necessary to complete the roof system.

MATERIALS
Metal rainwater goods: To AS/NZS2179.1
PVC-U rainwater goods and accessories: To AS/NZS3500.3

FLASHINGS AND CAPPINGS
Standard: To AS/NZS2904

PROTECTION
Keep the roofing and rainwater system free of debris and loose material during construction, and leave chem clean and unobstructed on completion. Repair damage to the roofing and rainwater system.

THERMAL MOVEMENT
Requirement: Provide for thermal movement in the roof installation and the structure, including movement in joints and fastenings.

METAL SEPARATION
Requirement: Prevent direct contact between incompatible metals, and between green hardwood or chemically treated timber and aluminium or coated steel, by either of the following methods:
Applying an anti-corrosion, low moisture transmission coating to contact surfaces.
Inserting a separation layer.

ROOF SHEET INSTALLATION
Ridges and eaves: Treat sheet ends as follows: Project sheets 50mm into gutters.
Close off ribs at bottom of sheets using mechanical means or with purpose-made fillers or end caps.
Turn pans of sheets up at tops and down into gutters by mechanical means.
Provide pre-cut notched eaves flashing and bird proofing if required.
Close off ridges with purpose-made ridge fillers of closed cell polyethylene foam.
Swarf: Remove swarf and other debris as soon as it is deposited.
Accessories: Provide material with the same finish as roofing sheets.

JOINTING SHEET METAL RAINWATER GOODS
Sealing: Seal fasteners and mechanically fastened joints. Fill the holes of blind rivets with silicone sealant.

FLASHINGS AND CAPPINGS
Upstands: Flash projections above or through the roof with two part flashings consisting of an apron flashing and an over flashing, with at least 100mm vertical overlap. Provide for independent movement between the roof and the projection. Wall abutments: Provide over/lashings where roofs abut walls, stepped to the roof slope in masonry and planked cladding, otherwise raking and as follows:
In masonry: Build into the full width of the outer leaf. Turn up within cavity, sloping inward across the cavity and fixed to or built in to the inner leaf at least 75mm above.

GUTTERS
Minimum slope of eaves gutters: I:200.
Minimum width overall of valley gutters: 400 mm
Eaves gutter overflow measures : To NCC 3.5.2.4

DOWNPIPES
General: Prefabricate downpipes to the required section and shape where possible. Connect heads to gutter outlets and connect feet to rainwater drains.
Downpipe support : Provide supports and fixings for down pipes.

VENT PIPES
Staying to roof: If fixings for stays penetrate the roof covering, seal the penetrations and make watertight.
Terminations: Provide bird-proof vent cowls made of the same material and colour as the vent pipe.

DRAINAGE PLAN STANDARD NOTES

GENERAL:
Ensure that there are inspection openings are installed at all major bends for stormwater and all low points of downpipes.

All plumbing & drainage shall be in accordance with local Council requirements.

Provide surface drain to back of any bulk excavation on site to drain levelled pad prior to commencing footing excavation.

SERVICES:
The heated water system shall be designed and installed with Part B2 of the NCC Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:
A) be protected against the effects of weather and sunlight; and
B) be able to withstand the tempretures within the piping; and
C) use thermal insulation in accordance with AS/NZS 4859.1

ARCHITECTURAL NOTES

ARCHITECTURAL PLANS DRAWING NOTE:
All plans shown in this document are architectural only, for structural specification/design refer to engineer drawings. (Engineering plans are documented after DA permit)

ARCHITECTURAL PLANS DRIVEWAY NOTES:
Driveway grades to be in accordance with AS2890.
If noted with "to be designed by Engineer at BA Stage" Engineer design to take precedence over Architectural Driveway.

PLUMBING STACK NOTE:
Plumber to check plumbing stack location with framing plan prior to start of works.

DESIGN RETAINING WALL NOTES:
Extent of any retaining wall design should be assessed on site to determine if unprotected embankment could replace retaining wall.

UNPROTECTED EMBANKMENT :
Any excavation adjacent to boundary shall comply to NCC 2019 3.1.1 Earthworks. For slope ratio refer to the site plan on the Architectural documentation

KITCHEN NOTES:
Kitchen appliances/design/sizes/location are indicitive only (objects shown as placeholders only). Refer to selection documentation.

BATHROOM NOTES:
Bathroom fixtures/design/sizes/location are indicitive
only (objects shown as placeholders only). Refer to selection documentation.

STAIR NOTES:
All internal/external stairs including concrete or timber timber risers and treads shall comply to NCC 3.9.1.2 Stairway construction.

SOIL & WATER MANAGEMENT

SOIL & WATER MANAGEMENT STRATEGIES:
Downpipes shall be installed into Council stormwater as soon as the roof has been installed

Ensure that AG drains have been installed prior to footing excavation. Refer to Drainage Plan on the Architectural Drawing Plans

Any excavated materials that are placed up-slope of an Ag drain. Shall be removed when the building works are complete and used as fill on site for any other low points. Ensure a install a sediment fence on the downslope side of material.

All construction vehicles shall be parked on the street only, to prevent transferring debris onto street.

SITE INFORMATION NOTES

Title Reference:	Certificate volume and folio
Wind Classification/	Site Classification to AS 4055-2006 Site
Classificaiton	Soil Classification to AS 2870-2011 Refer to *SITE CLASSIFICATION AND SOIL CLASSIFICATION REPORT*
Climate Zone	(www.abcb.gov.au map)
BAL Level:	As determined by Registered Bushfire Assessor / or The List Bushfire overlay
Alpine	NCC 2019 Volume Two Schedule 3 Definitions (c) in Tasmania more than 900m above the Australian Height Datum
Corrosion Environment	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to N.C.C. Table 3.3.5.4.Corrosion prection for wall ties. Table 3.3.5.6 Corrosion protection - Lintels. 3.4.4.7 Protective coats for steel work. For futher detail on particular items not noted in this briefing refer to N.C.C 2019.
Other Hazards	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors.

BAL Level: 12.5

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

PERYTON HOMES
PERYTON HOMES Pty Ltd
177 Pulpit Rock Road, New Norfolk
Hobart TAS 7140

Designer: Ranjot Kaur
Mob. 0450 656 007
Email: ranjot@perytonhomes.com.au
Licence Number: 173530973

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TITLE
GENERAL NOTES
Scale Check 40mm original size

Scale: 1 : 1
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address
44 ALMA ROAD, ORFORD

Job No: H4U_02
Sheet No: 15

Wet Areas (to comply with BCA H4D2 and AS 3740)

H4D2 Part 10.2.1 Wet Areas

Building elements in *wet areas* within a building must·

(a) be *waterproof* or *water resistant* in accordance with Table 10.2.2; and

(b) comply with AS 3740.

Table 10.2.2 Waterproofing and water resistance requirements for building elements in wet areas

***Vessels* or area where the fixture is installed**	**Floors and horizontal surfaces**	**Walls**	**Wall junctions and joints**	**Wall / floor junctions**	**Penetrations**
Shower area (enclosed and unenclosed)					
With hob	*Waterproof* floor in *shower area* (including any hob or step-down)	The walls of the shower area must be waterproof not less than 1800 mm above the floor substrate	*Wall junctions and joints within the shower area must be waterproof not less than 40 mm either side of the junction*	*Wall/floor junctions within the shower area must be waterproof*	*Waterproof* penetrations in *shower area.*
With step-down					
Without hob or step-down					
Vessels or area where the fixture is installed					
Area outside shower area					
For concrete and compressed fibre-cement sheet flooring	*Water resistant* floor of the room.	*N/A*	*N/A*	*a) Waterproof* wall / floor junctions b) where a flashing is used, the horizontal leg must be not less than 40 mm	*N/A*
For timber floors including particleboard, plywood and other timber based flooring materials	*Waterproof* floor of the room				
Areas adjacent to baths and spas					
For concrete and compressed fibre-cement sheet flooring	*Water resistant* floor of the room.	(a) *Water resistant* to a height of not less than 150 mm above the *vessel*, for the extent of the *vessel*, where the *vessel* is within 75 mm of a wall. (b) *Water resistant* all exposed surfaces below *vessel* lip.	*Water resistant* junctions within 150 mm above a *vessel* for the extent of the *vessel.*	*Water proof* wall / floor junctions for the extent of the *vessel.*	*Waterproof* tap and spout penetrations where they occur in horizontal surfaces.
For timber floors including particleboard, plywood and other timber based flooring materials	*Waterproof* floor of the room.	(a) *Water resistant* to a height of not less than 150 mm above the *vessel*, for the extent of the *vessel*, where the *vessel* is within 75 mm of a wall. (b) *Water resistant* all exposed surfaces below *vessel* lip.	*Water resistant* junctions within 150 mm above a *vessel* for the extent of the *vessel.*	*Water proof* wall / floor junctions for the extent of the *vessel.*	*Waterproof* tap and spout penetrations where they occur in horizontal surfaces.
Inserted baths and spas	(a) *Waterproof* shelf area, incorporating waterstop under the vessel lip. (b) No requirement under bath.	(a) *Waterproof* to not less than 150 mm above the lip of the bath or spa; and (b) No requirement under bath.	(a)*Waterproof* junctions within 150 mm above bath or spa; and (b)No requirement under bath.	*N/A*	*Waterproof* tap and spout penetrations where they occur in horizontal surfaces.

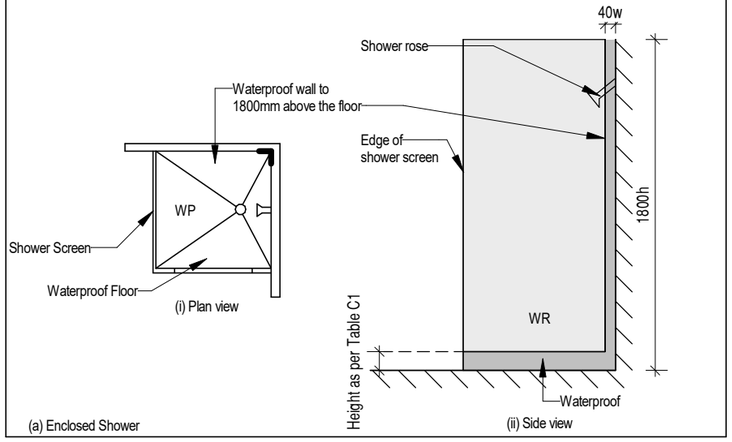
NOTE: User of this Standard should refer to the current edition of the NCC for any changes to the tables.

***Vessels* or area where the fixture is installed**	**Floors and horizontal surfaces**	**Walls**	**Wall junctions and joints**	**Wall / floor junctions**	**Penetrations**
Other areas					
Laundries and WCs	*Water resistant* floor of the room	*N/A*	*N/A*	*Water resistant* wall / floor junctions. and where a flashing is used, the horizontal leg must not be less than 40 mm.	N/A
Walls adjoining other *vessels* (e.g. sink, basin or laundry tub	*N/A*	*Water resistant* to a height of not less than 150 mm above the *vessel*, for the extent of the *vessel*, where the *vessel* is within 75 mm of a wall.	*Waterproof* wall junctions where a *vessel* is fixed to a wall.	N/A	*Waterproof* tap and spout penetrations where they occur in surfaces *required* to be *waterproof* or *water resistant.*
N/A means not applicable. Where a shower is above a bath or spa, use requirements for shower.					

Extent of Waterproofing

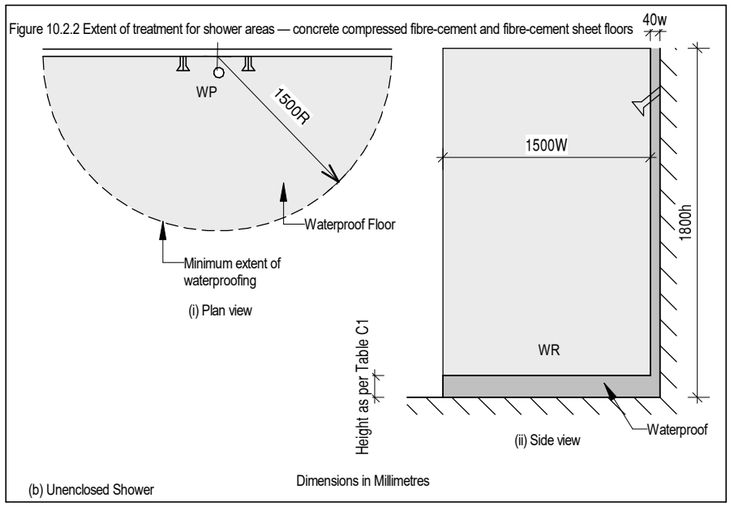
Where the shower shown in the Figures is not enclosed, the wet area is to be taken as 1500 mm from the shower connection.

Figure 10.2.2 Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors



(a) Enclosed Shower

Figure 10.2.2 Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors



(b) Unenclosed Shower

For further wet area notes not shown on this document, refer to AS3740
AS3740 to take precedence of this document

BAL Level: 12.5

The owner (s) acknowledge that this set of contract plans may not reflect all of the selections made or requested. I agree that deviating color choices or update plans can be signed with construction plans before construction begins. PLEASE NOTE: No Variations will be accepted on these plans after signature.

I the owner/s accept these plans:

SIGNATURE:
DATE:

Rev.	Revision Description	Date	Drawn
	DA PLANS	14.11.2025	RK

PERYTON HOMES

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Hobart TAS 7140

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*GENERAL NOTES:
- All works to be completed as per the current National Construction Code (N.C.C.) and relevant Australian Standards
- All products and materials must be installed as per the relevant manufacturers specifications
- This document is uncontrolled in hard copy format, do not scale from drawings
- Builder to confirm all dimensions are correct prior to start of works.

CONTROL MEASURE:
All persons entering the site must be made aware of potential hazards and take relevant actions to ensure that their work are is maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your site supervisor immediately so that action can be taken to remedy the situation.

TITLE: WET AREA SPECS

Scale Check 40mm original size

Scale: 1 : 1
Date: 14.11.2025
Drawn by: Ranjot Kaur

Client / Project Name

Project Address: 44 ALMA ROAD, ORFORD

Job No: H4U_02

Sheet No: 16