



GLAMORGAN/SPRING BAY COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **18 Nairn Street, Buckland**
CT 185631/2

PROPOSAL: **Residential - Single Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 05 February 2026.

APPLICANT: **Wilson Homes / Lutzia Brown**
DATE: **18/11/2025**
APPLICATION NO: **DA 2025 / 00209**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site (Note: If your application is discretionary, the following will be placed on public exhibition)

Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details Complete for All Applications

Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPAA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	<i>Lutzia Brown</i>	Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
185631	2
EDITION	DATE OF ISSUE
2	09-Sep-2025

SEARCH DATE : 11-Nov-2025

SEARCH TIME : 09.39 AM

DESCRIPTION OF LAND

Town of BUCKLAND

Lot 2 on Sealed Plan [185631](#)

Derivation : Part of 1A-2R-OP (Sec. M) Gtd. to William Rout

Prior CT [123934/1](#)**SCHEDULE 1**

[N275401](#) TRANSFER to Registered
09-Sep-2025 at 12.01 PM

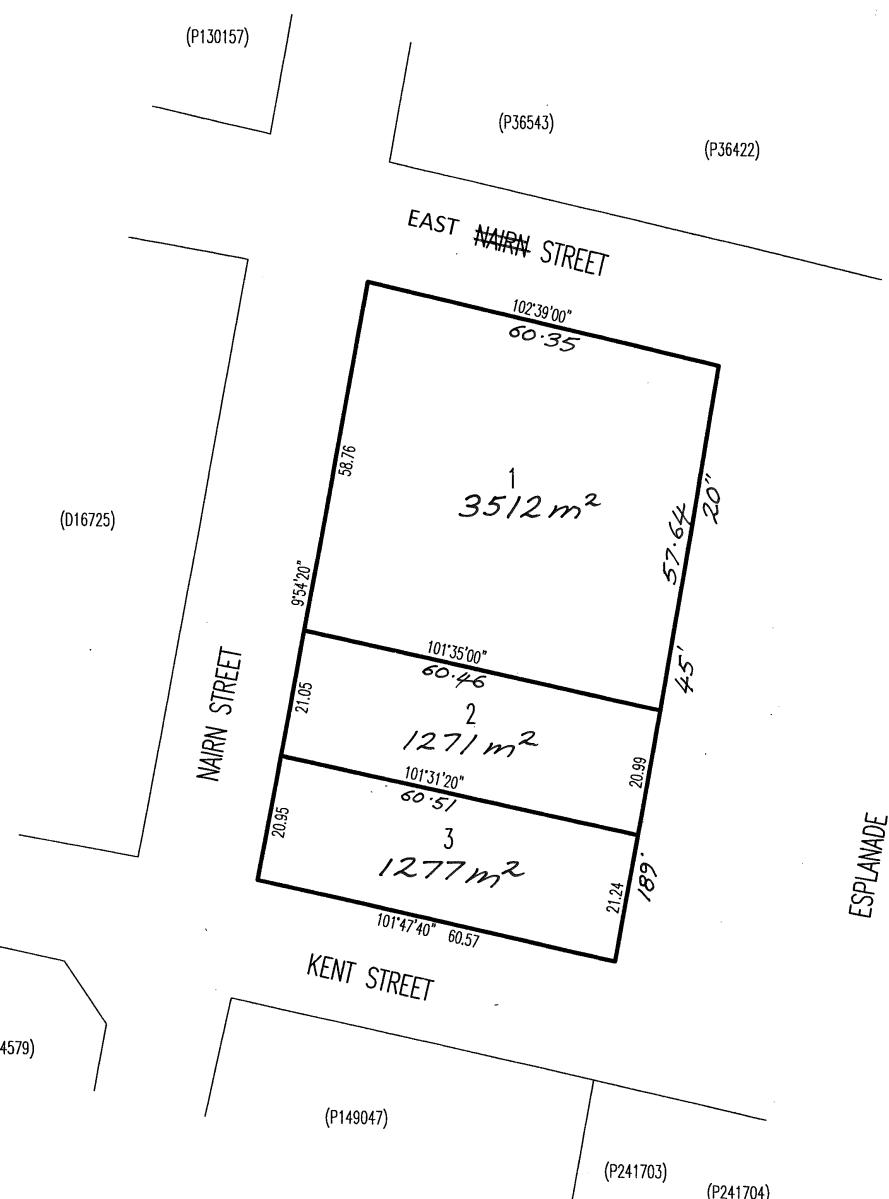
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP185631](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER PETER NORMAN PORCH	PLAN OF SURVEY BY SURVEYOR A. S. HAMILTON LOCATION TOWN OF BUCKLAND SECTION M SCALE 1: 750 LENGTHS IN METRES	Registered Number SP 185631 APPROVED EFFECTIVE FROM 23 NOV 2023 Recorder of Titles ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185631

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Fencing Provision In respect of each Lot on the Plan

The Owner Peter Norman Porch shall not be required to fence.

Signed by the Registered Proprietor of land

contained in Certificate of Title Volume 20784 Folio 1

123934 *574
17/11/25

Peter Norman Porch

In the presence of: (signed) D. Clark

Name Dianne Margaret Clark *574 17/11/25
Address 92 Under Rd Primrose Sands TAS 7171
Occupation Administration

*574 17/11/25
Sebastian Thomas-
Wilson
Subdivider Lawyer

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: P N Porch	PLAN SEALED BY: Glamorgan Spring Bay Council
FOLIO REF: CT 123934-1	DATE: 17/07/2025
SOLICITOR & REFERENCE: TIERNEY LAW	REF NO. 5A2022/148 1. M Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

APPROX. CUT/FILL

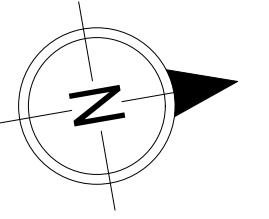
CUT	0.05m ³	0.11
FILL	22.81m ³	51.32
DIFFERENCE	22.76m ³	51.21

51 TONNES OF IMPORT FILL

LOT SIZE: 1271m²
HOUSE (COVERED AREA): 108.98m²
SITE COVERAGE: 8.57%

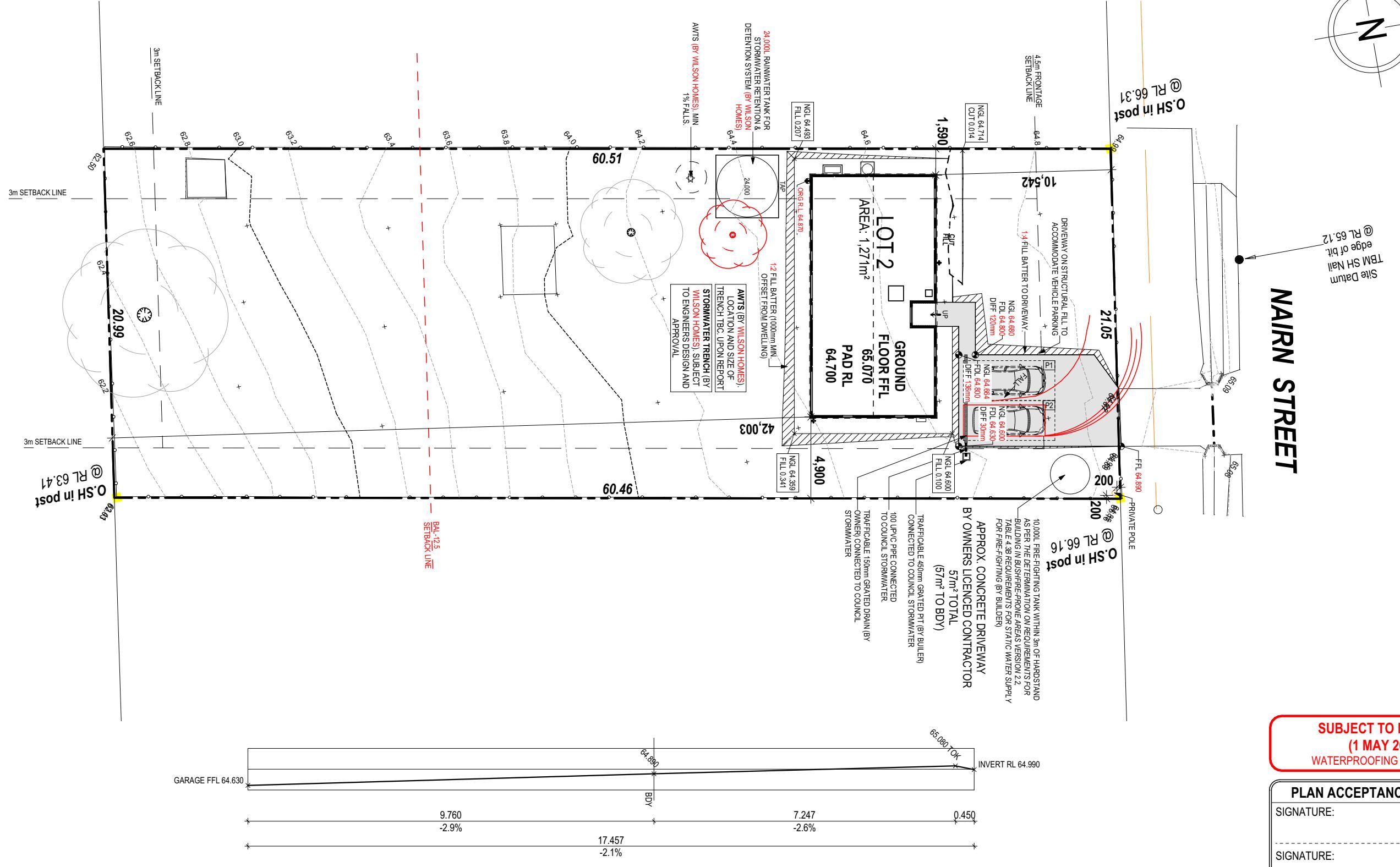
BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

**PLANS ARE PRELIMINARY ONLY
PENDING ENGINEER'S DESIGN**



Last Published: Thursday, 11 December 2025 11:33 AM

NAIRN STREET



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

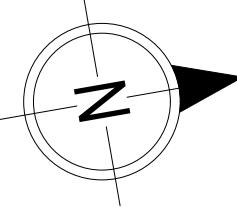
SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: BARN HOUSE	REVISION	DRAWN		CLIENT:	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.			
	1	DRAFT SALE PLAN - CT1	HMI							
COPYRIGHT: © 2025	2	CT1 - AMENDMENT	HMI	06/10/2025	ADDRESS: 18 NAIRN ST, BUCKLAND TAS 7190	FAÇADE DESIGN: BARN	FAÇADE CODE: F-WBH10B10BARN			
	3	PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025						
	4	PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: SITE PLAN 1:250	SHEET NO.: 3 / 21	SCALES: 1:250	714463
	5	PRELIM PLANS - AMENDMENTS	PL1	11/12/2025						



NAIRN STREET

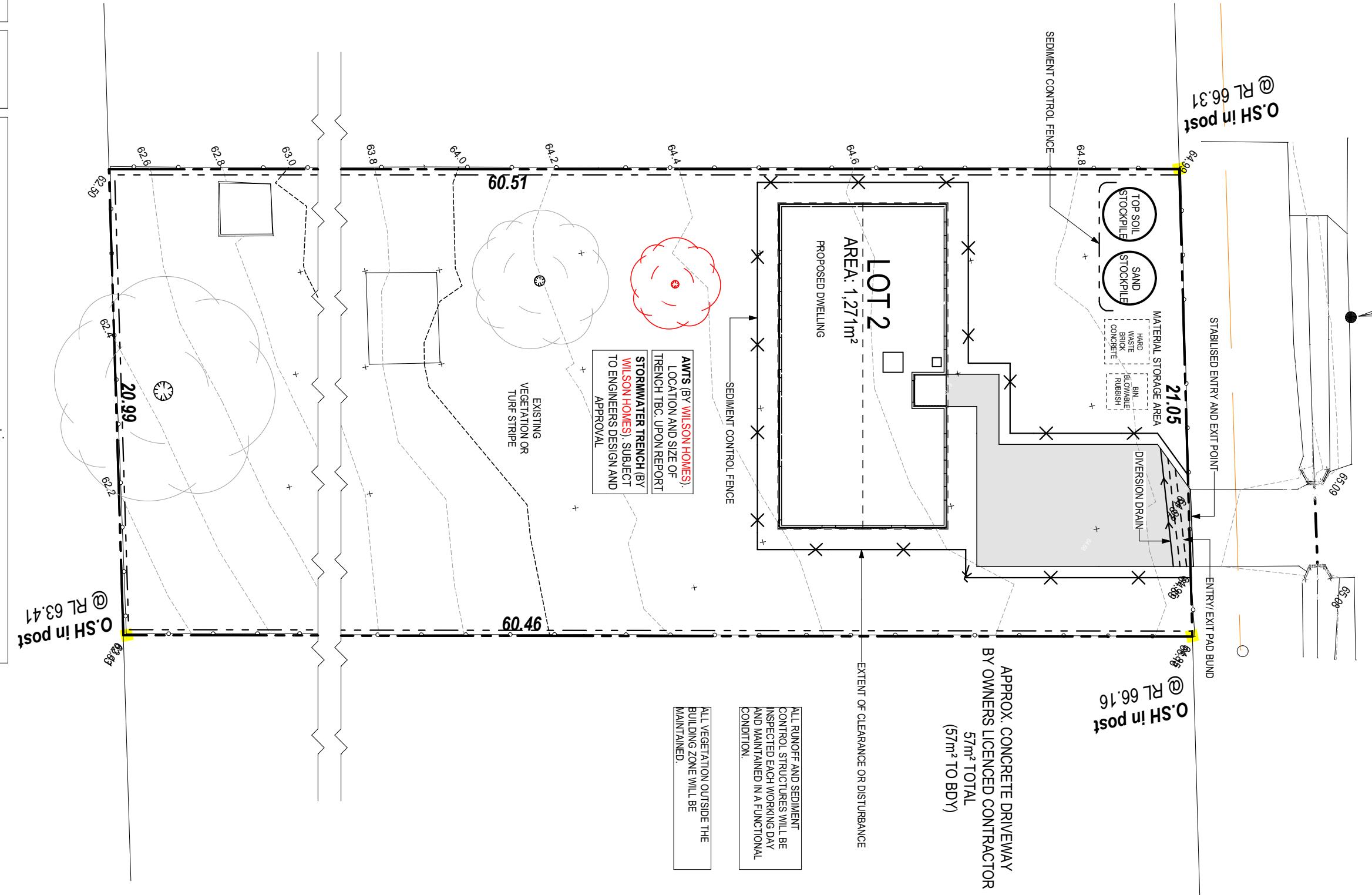
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

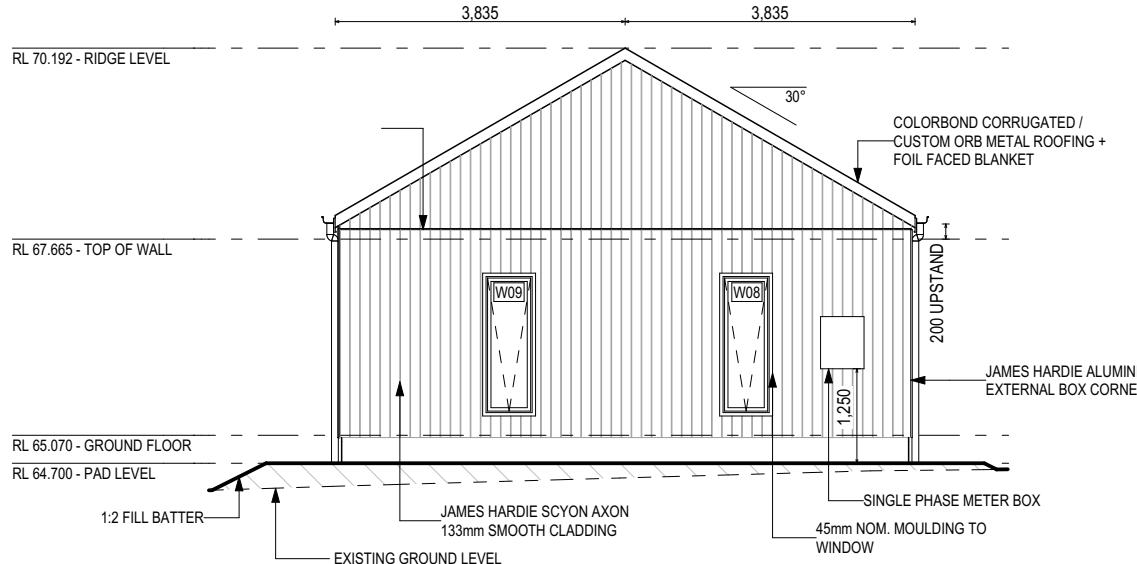
SOME DETAILS ON THIS SHEET ARE
INDICATIVE ONLY FOR EXAMPLE
BRICKWORK AND CLADDING (EXPANSION
JOINTS, ORIENTATION AND LAYOUT) AND
ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS
ABOVE 2m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS
REQUIRED BY NCC 11.3.7 (VOLUME
TWO)

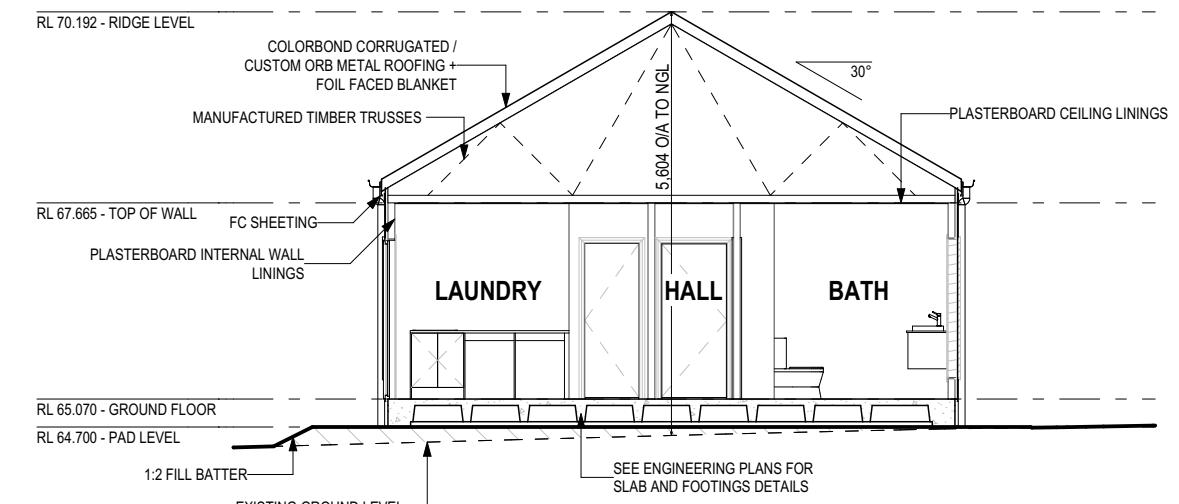
ROOMS OTHER THAN BEDROOM
WINDOW OPENINGS ABOVE 4m OFF
THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC
11.3.7 (VOLUME TWO)

**REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001**

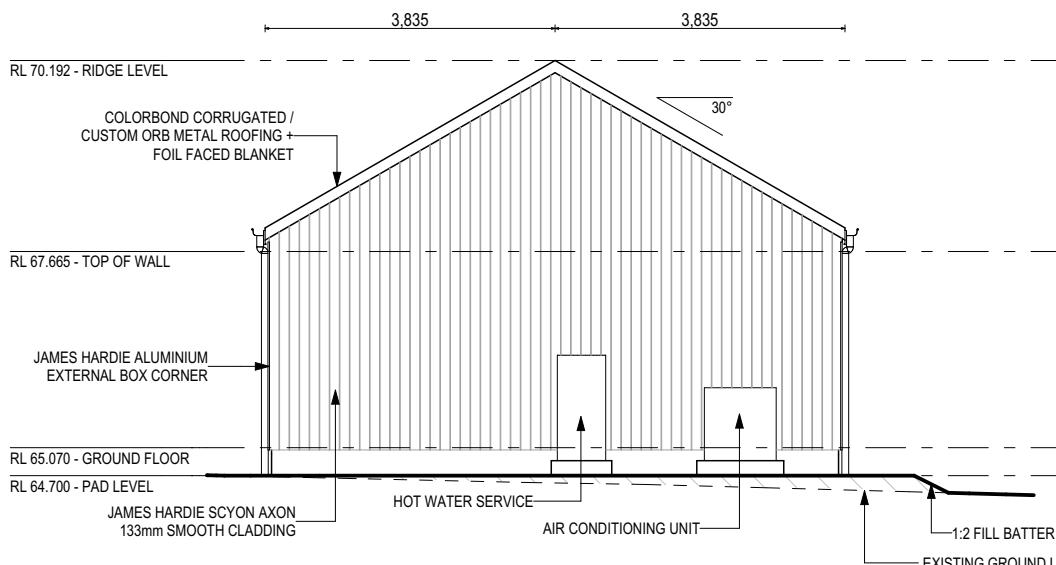


NORTH ELEVATION

SCALE: 1:10

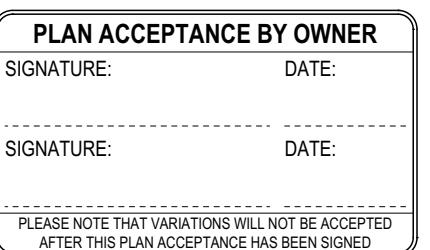
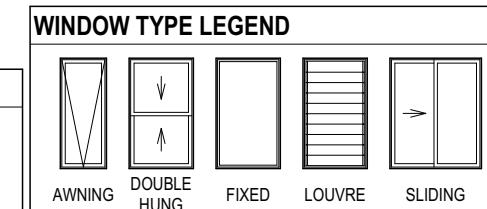
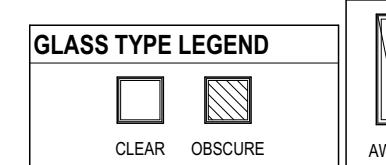


SECTION A-A
SCALE: 1:100



SOUTH ELEVATION
SCALE 1:100

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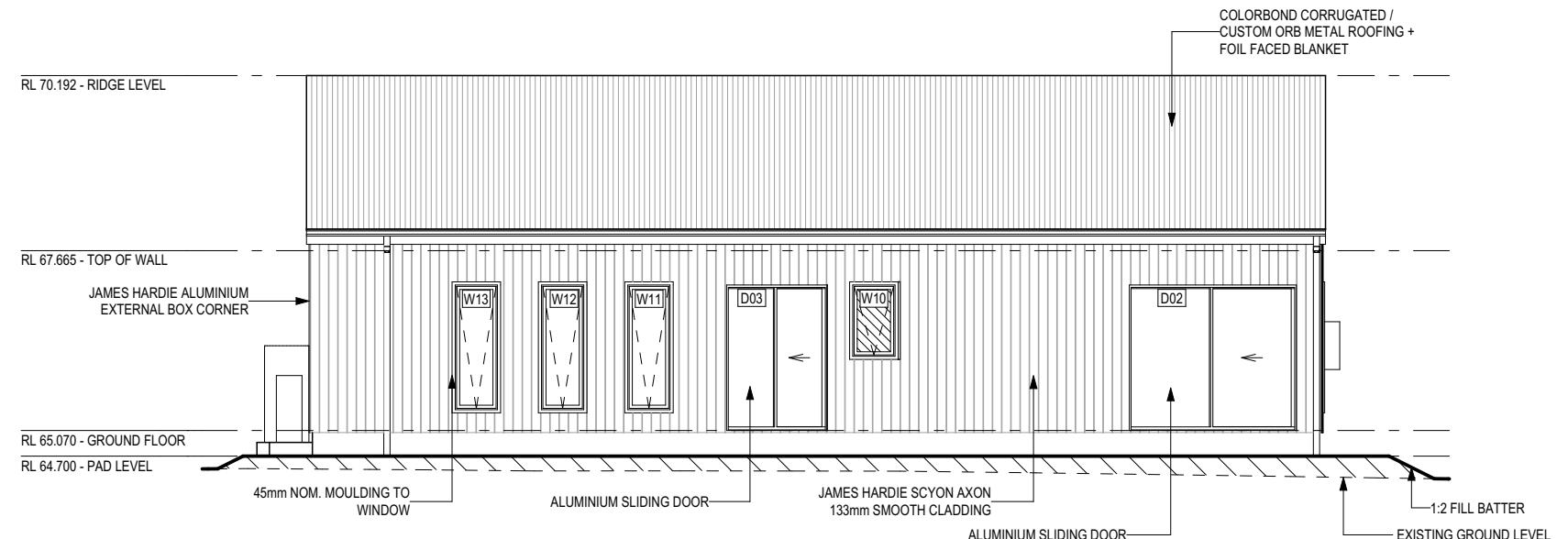
SA BARNA	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p>
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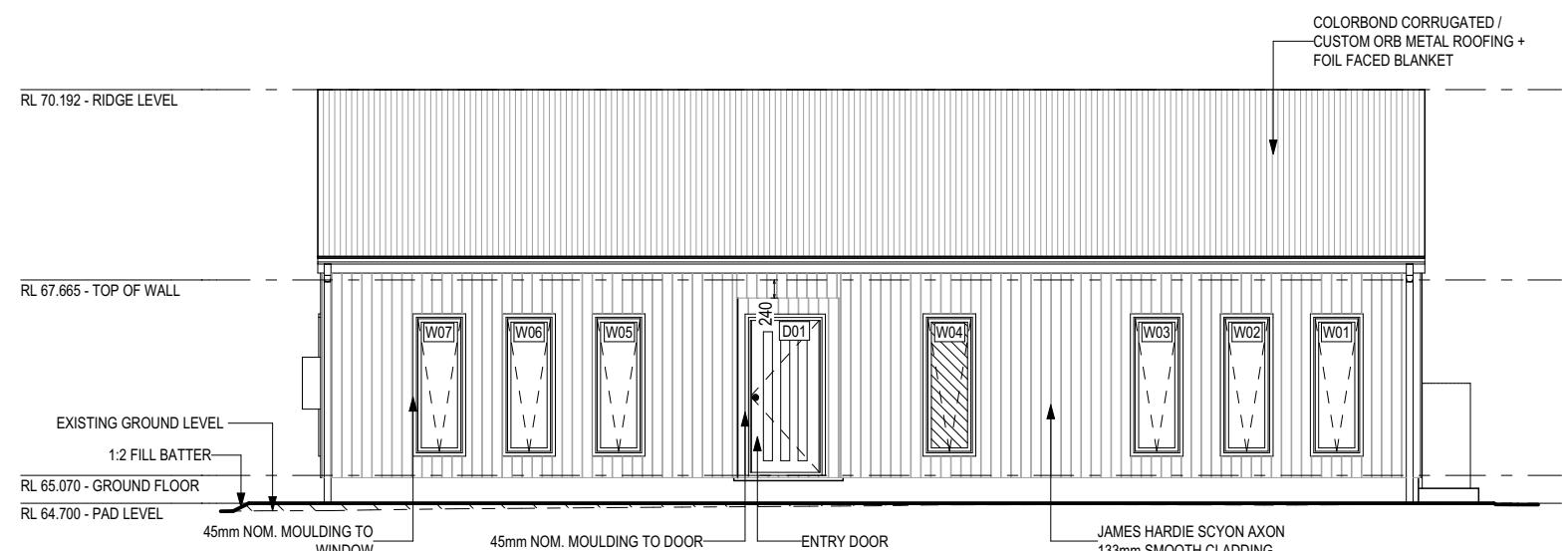


SPECIFICATION: BARN HOUSE	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN		CLIENT:	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
		HMI	06/10/2025					
COPYRIGHT: © 2025	2 CT1 - AMENDMENT	HMI	06/10/2025	ADDRESS: 18 NAIRN ST, BUCKLAND TAS 7190	FAÇADE DESIGN: BARN	FAÇADE CODE: F-WBH10B10BARN		
	3 PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025					
	4 PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GI AMORGAN SPRING BAY	SHEET TITLE: ELEVATIONS / SECTION	SHEET No.: 6 / 21	SCALES: 1:100
	5 PRELIM PLANS - AMENDMENTS	PL1	11/12/2025					



EAST ELEVATION

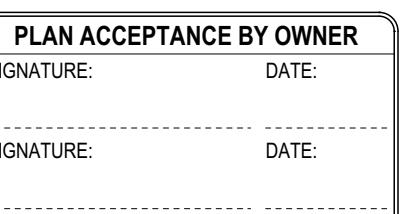
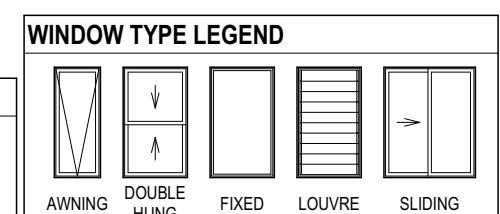
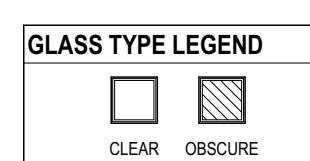
SCALE: 1:100



WEST ELEVATION

SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**



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	1 DRAFT SALE PLAN - CT1	HMI	06/10/2025		BARN HOUSE 10B		H-WBH10B10SA	
	2 CT1 - AMENDMENT	HMI	06/10/2025					
	3 PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025				F-WBH10B10BARNA	
	4 PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025		LOT / SECTION / CT:		SHEET TITLE:	
	5 PRELIM PLANS - AMENDMENTS	PL1	11/12/2025	185631 / - / 2	COUNCIL:	GLAMORGAN SPRING BAY	SHEET No.:	SCALES:
						ELEVATIONS	7 / 21	1:100
								714463

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

EXTERIOR WINDOW & DOOR SCHEDULE ASSUME LOOKING FROM 0018

STOREY	ID	CODE ¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION ²
WINDOW															
GROUND FLOOR	W01	A1806	AWNING	BED 1	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W02	A1806	AWNING	BED 1	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W03	A1806	AWNING	BED 1	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W04	A1806	AWNING	BATH	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W05	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W06	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W07	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	W	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W08	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	N	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W09	A1806	AWNING	DINING	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	N	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W10	A1006	AWNING	WC	1,029	610	3,278	0.63	ALUMINIUM	BAL-12.5	NONE	E	0.44	OBSCURE, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W11	A1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	E	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W12	A1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	E	0.81	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W13	A1806	AWNING	BED 2	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	NONE	E	0.81	CLEAR, DOUBLE GLAZED	
							61,118 mm	13.80					10.14		
DOOR															
GROUND FLOOR	D01	920	SWINGING	ENTRY	2,097	976	6,146	2.05	ALUMINIUM	BAL-12.5	NONE	W	1.41	CLEAR	
GROUND FLOOR	D02	FS2124	SLIDING	DINING	2,100	2,410	9,020	5.06	ALUMINIUM	BAL-12.5	NONE	E	4.51	CLEAR, TOUGHENED	ALI VIEW SECURITY SCREEN
GROUND FLOOR	D03	FS2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-12.5	NONE	E	2.59	CLEAR, TOUGHENED	ALI VIEW SECURITY SCREEN
							22,266 mm	10.15					8.52		
							83,384 mm	23.96					18.66		

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Window Manufacturer: Dowell Windows

Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
awning Window	DOW-005-001	3.9	0.58
ixed External Window	DOW-038-001	3.03	0.71
liding Door	DAR-034-001	3.97	0.63
tacking Door	DAR-034-001	3.97	0.63
inged Door	DOW-017-001	4.1	0.55
l-Fold Door	DOW-020-001	4.1	0.54
AL 19			
Window Type	WERS Code	U Value	SHGC
liding Window	TND-034-001	3.1	0.61
awning Window	STG-001-066	3.91	0.54
ixed External Window	DOW-038-005	3.02	0.66
liding Door	AUW-009-009	4.03	0.58
tacking Door	AUW-009-009	4.03	0.58
inged Door	GRN-009-001	4.25	0.53
l-Fold Door	DOW-020-001	4.1	0.54
AL 29			
Window Type	WERS Code	U Value	SHGC
liding Window	TND-034-001	3.1	0.61
awning Window	STG-001-066	3.91	0.54
ixed External Window	DOW-038-005	3.02	0.66
liding Door	AMJ-007-005	4.03	0.59
tacking Door	AMJ-007-005	4.03	0.59
inged Door	GRN-009-001	4.29	0.53

OTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1000 SS	SQUARE SET OPENING	2,100	1,000	N/A	
GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	1	770	SWINGING	2,040	770	N/A	
GROUND FLOOR	1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	3	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	1	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	1	870	SWINGING	2,040	870	N/A	LIFT-OFF HINGES

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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(1 MAY 2023)
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SPECIFICATION: BARN HOUSE	REVISION	DRAWN		CLIENT: 1 DRAFT SALE PLAN - CT1	HMI	06/10/2025	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. A DISCREPANCY TO BE REPORTED TO THE DRAFTING OFFICE.
	2 CT1 - AMENDMENT								
COPYRIGHT: © 2025	3 PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025	ADDRESS: 18 NAIRN ST, BUCKLAND TAS 7190	FAÇADE DESIGN: BARN	FAÇADE CODE: F-WBH10B10BARN	SHEET TITLE: WINDOW & DOOR SCHEDULES	SHEET NO.: 8 / 21	SCALES: 714463
	4 PRELIM PLANS - COLOUR UPDATE								
	5 PRELIM PLANS - AMENDMENTS	PL1	11/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY				

NATURAL LIGHT AND VENTILATION

ROOM	AREA (m ²)	WINDOW ID	LIGHT REQUIRED (m ²)	LIGHT ACHIEVED (m ²)	VENTILATION REQ'D (m ²)	VENTILATION ACH'D (m ²)
OPEN KITCHEN/ LIVING/ DINING	38.89 m ²	W05, W06, W07, W08, W09, D02	3.89 m ²	8.56 m ²	1.94 m ²	7.36 m ²
BED 1	16.30 m ²	W01, W02, W03	1.63 m ²	2.43 m ²	0.82 m ²	3.00 m ²
BED 2	14.40 m ²	W11, W12, W13	1.44 m ²	2.43 m ²	0.72 m ²	3.00 m ²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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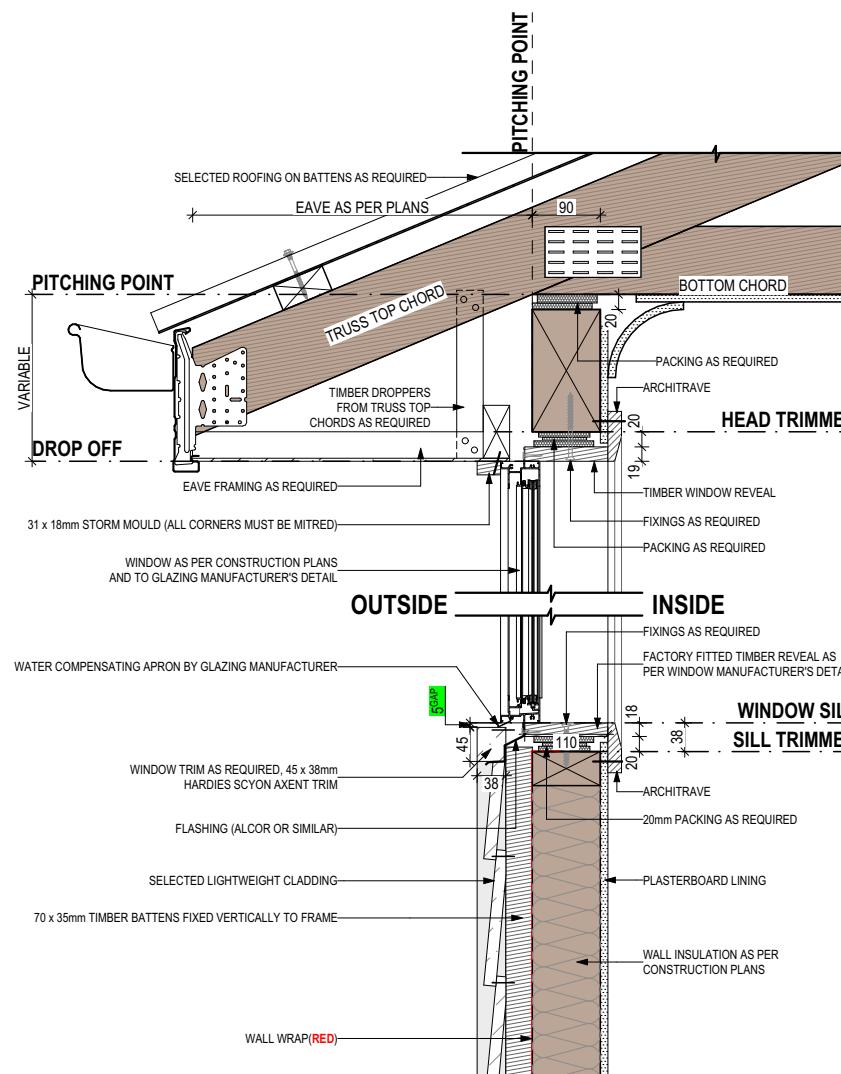


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	1 DRAFT SALE PLAN - CT1	HMI 06/10/2025		BARN HOUSE 10B	H-WBH10B10SA	
	2 CT1 - AMENDMENT	HMI 06/10/2025	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	3 PRELIM PLANS - INITIAL ISSUE	TDI 02/11/2025	18 NAIRN ST, BUCKLAND TAS 7190	BARN	F-WBH10B10BARNA	
	4 PRELIM PLANS - COLOUR UPDATE	TDI 09/12/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SCALES:
	5 PRELIM PLANS - AMENDMENTS	PL1 11/12/2025	185631 / - / 2	GLAMORGAN SPRING BAY	CALCULATIONS	9 / 21

REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

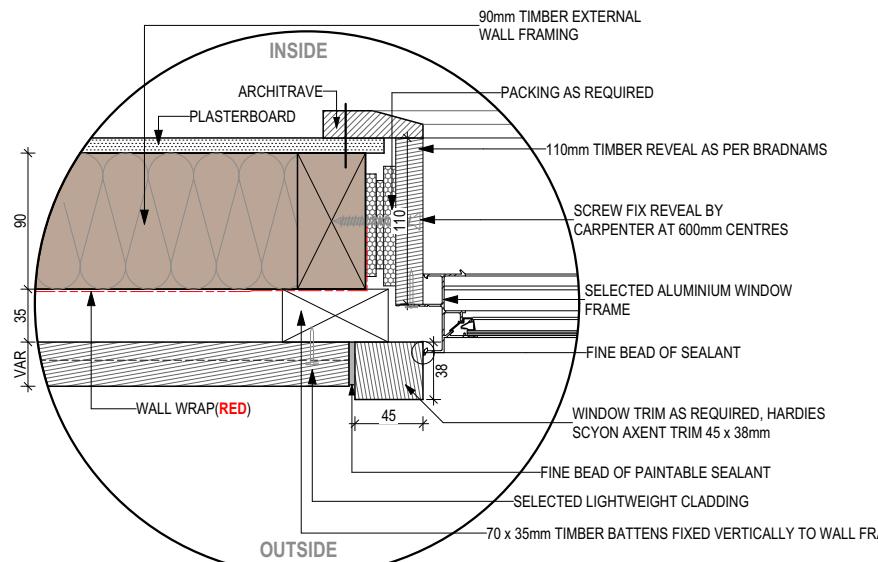
SHEET CLADDING

Last Published: Thursday, 11 December 2025 11:33 AM



SECTIONS

SCALE: 1:1



DETAILS

SCALE: 1

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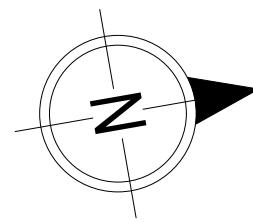
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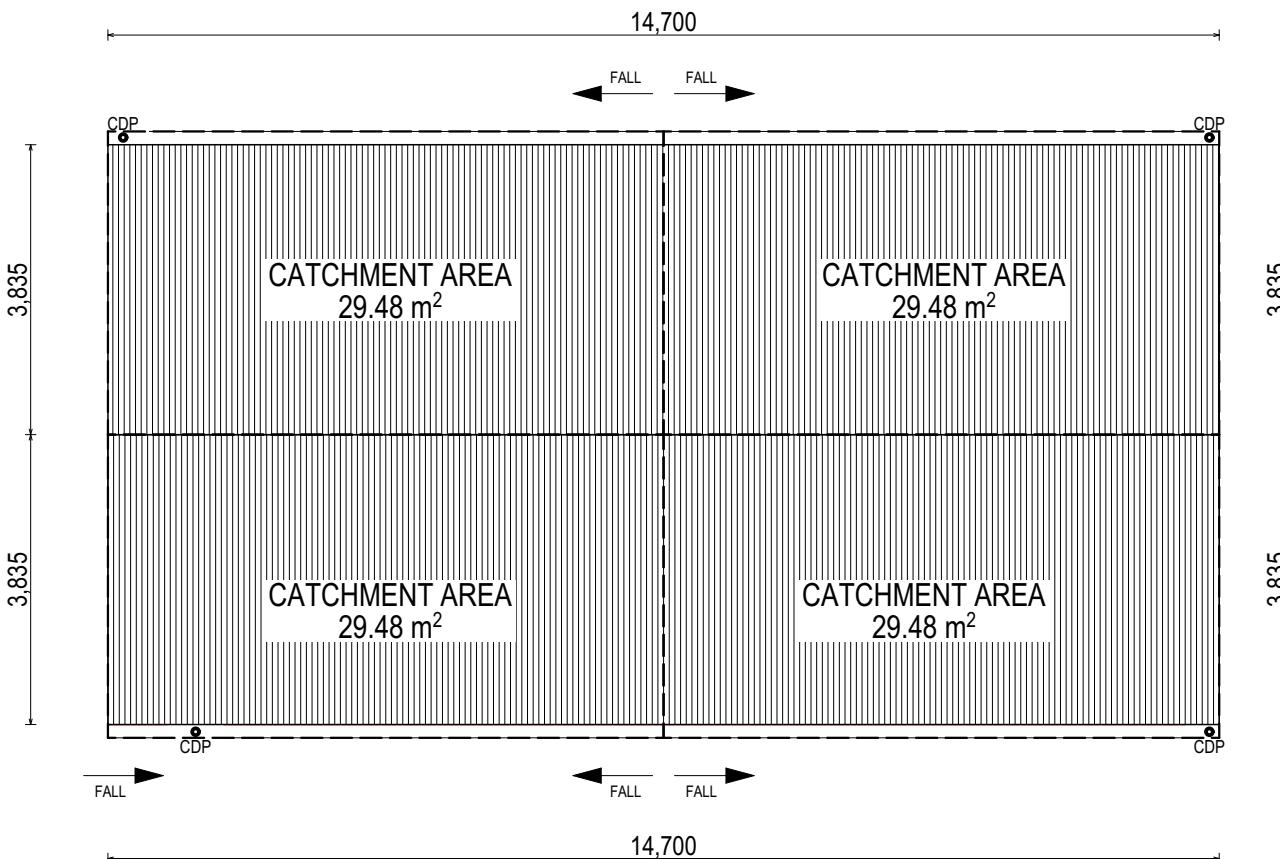
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		3	PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025						
		4	PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025						
		5	PRELIM PLANS - AMENDMENTS	PL1	11/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: DETAILS (CLADDING)	SHEET NO.: 10 / 21	SCALES:	714463



100



WHERE DOWNPipes ARE FURTHER THAN
1.2m AWAY FROM VALLEY REFER TO
N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES
ARE NOT TO BE ALTERED WITHOUT
CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS
CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data

	112.75	Flat Roof Area (excluding gutter and slope factor) (m ²)
	130.19	Roof Surface Area (includes slope factor, excludes gutter) (m ²)

Downpipe roof calculations (as per AS/NZS3500.3:2021)

Ah	120.01	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	154.81	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.29 for 30° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	108	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	2.42	Ac / Acdp
Downpipes Provided	4	

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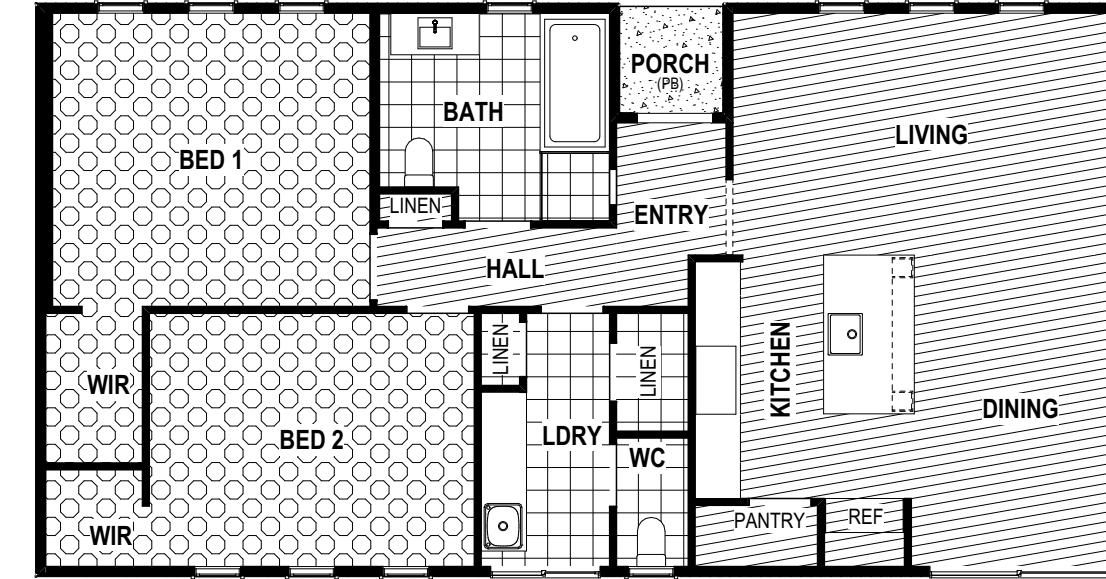
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

Last Published: Thursday, 11 December 2025 11:33 AM



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(1 MAY 2023)**
WATERPROOFING & PLUMBING

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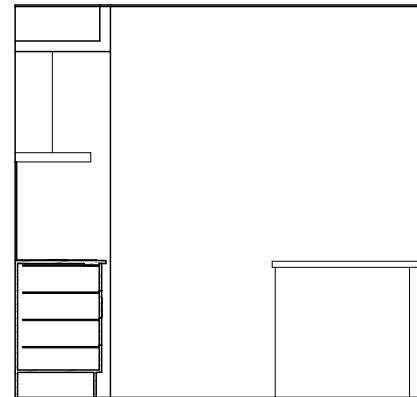
BAL-12.5 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

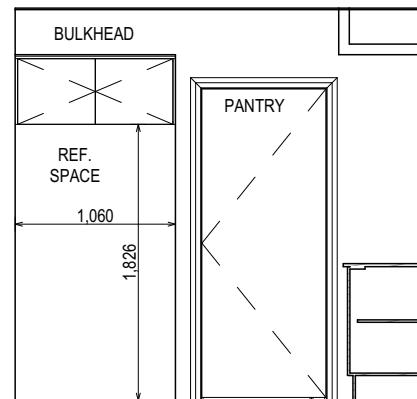
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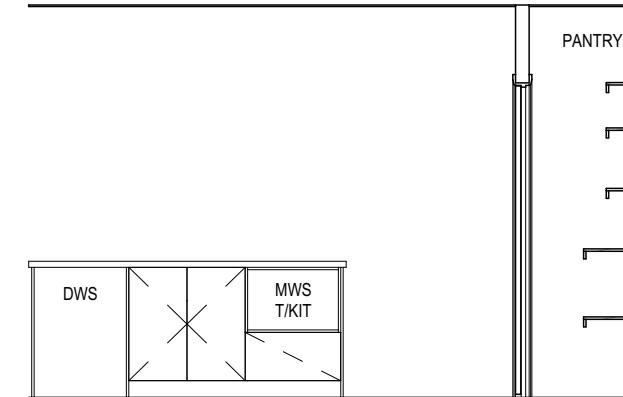
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	3 PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025			FAÇADE CODE: F-WBH10B10BARN		
	4 PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: FLOOR COVERINGS	SHEET No.: 12 / 21 SCALE: 1:100	
	5 PRELIM PLANS - AMENDMENTS	PL1	11/12/2025					



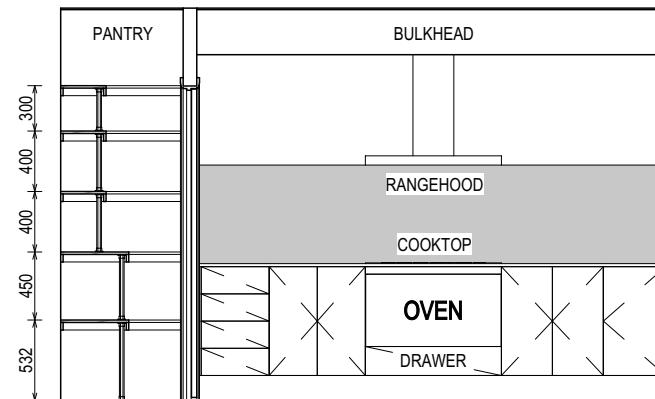
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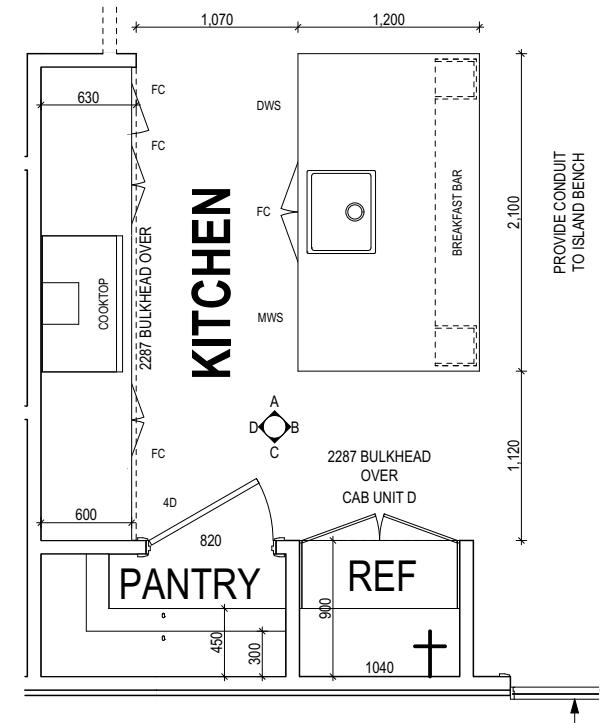
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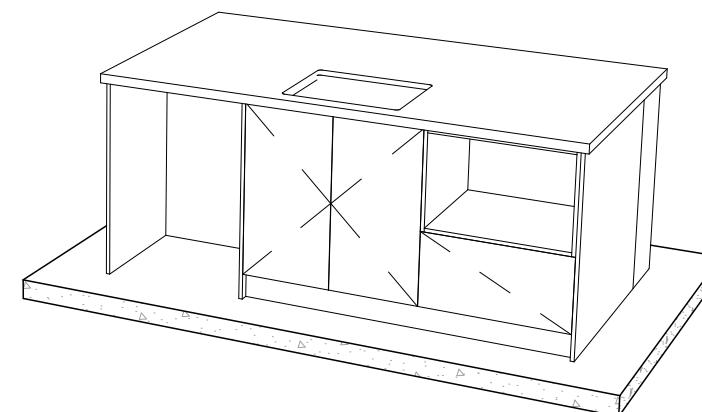
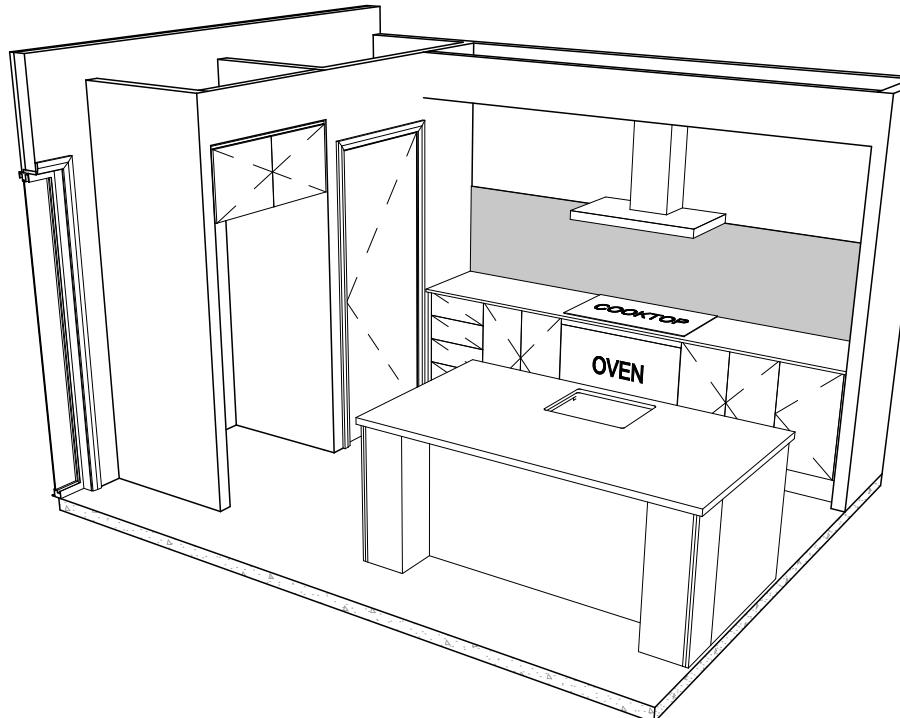
1:50
ELEVATION
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN



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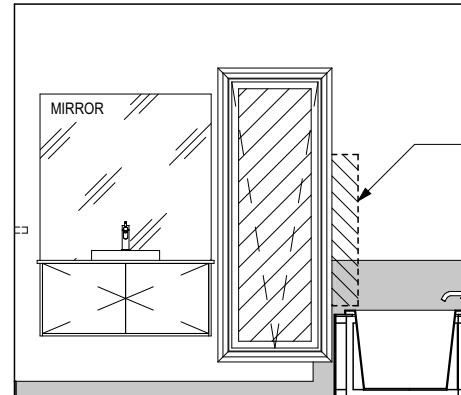
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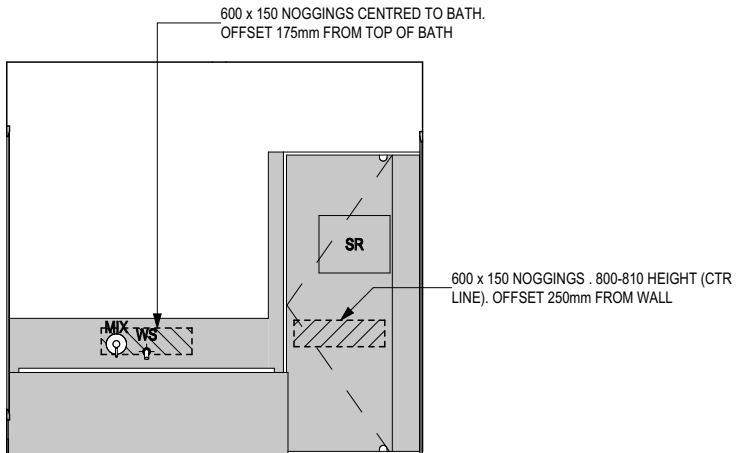
SPECIFICATION: BARN HOUSE		REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 06/10/2025		CLIENT: ADDRESS: 18 NAIRN ST, BUCKLAND TAS 7190	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.		
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		3 PRELIM PLANS - INITIAL ISSUE	TDI 02/11/2025		LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: KITCHEN DETAILS		SHEET NO.: 13 / 21	SCALES: 1:50
		4 PRELIM PLANS - COLOUR UPDATE	TDI 09/12/2025							
		5 PRELIM PLANS - AMENDMENTS	PL1 11/12/2025							

LEGEND

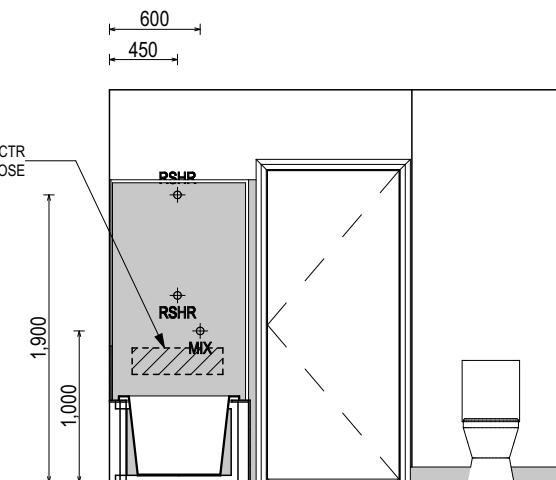
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



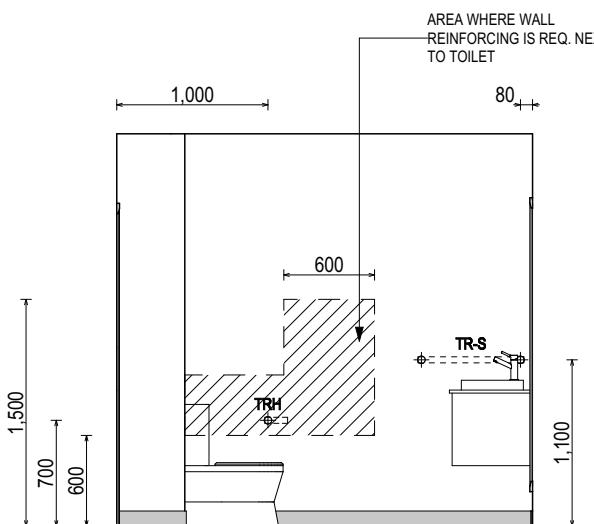
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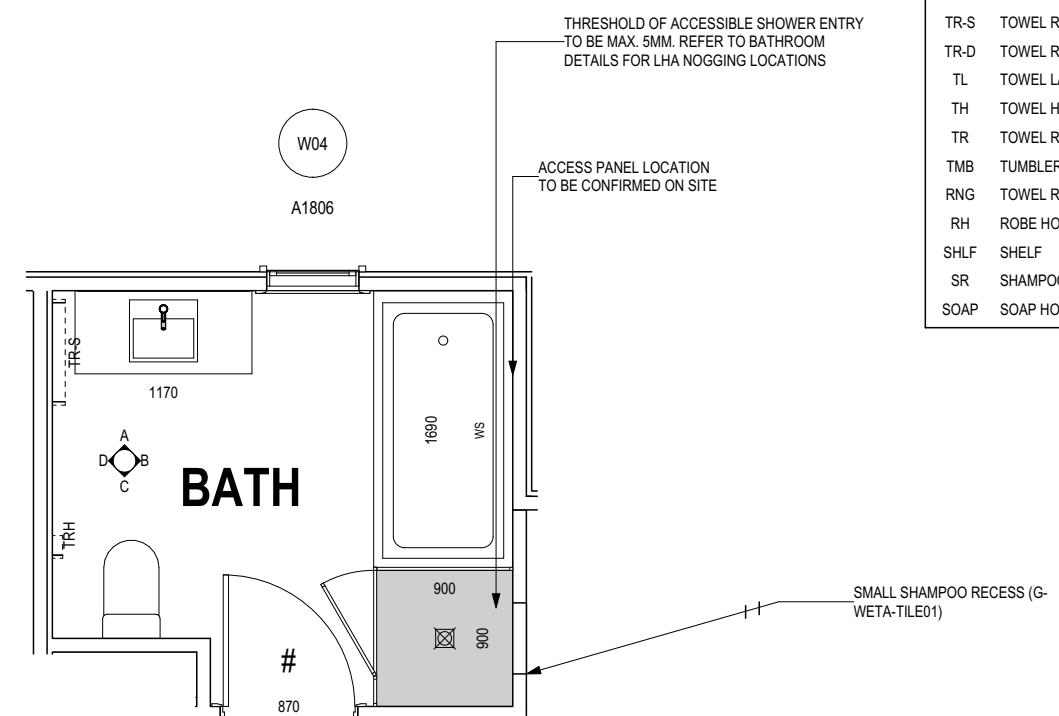
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SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BATHROOM PLAN

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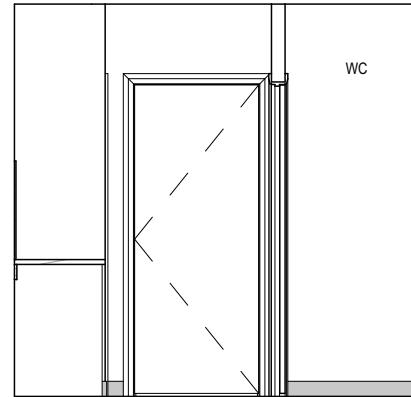
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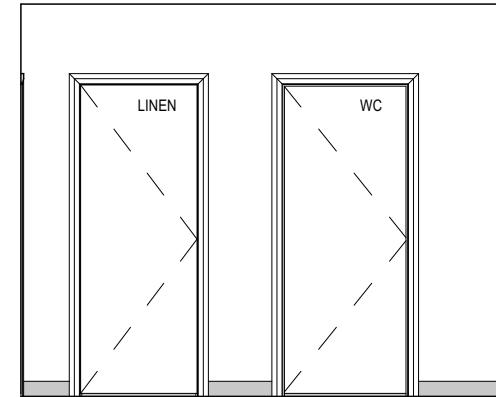
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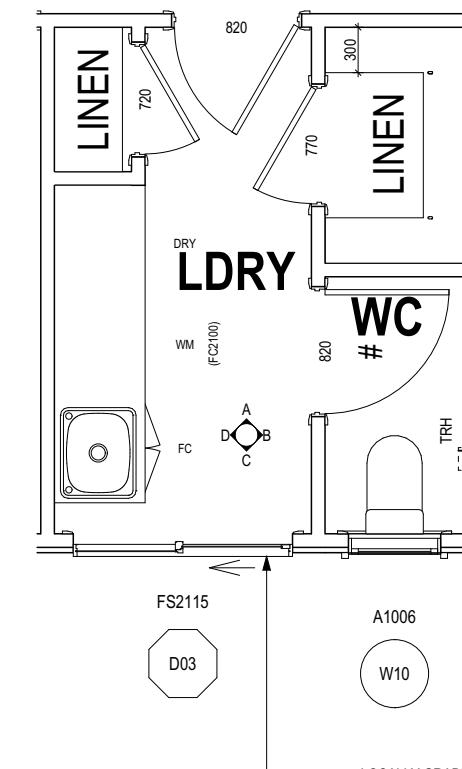
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	1 DRAFT SALE PLAN - CT1	HMI	06/10/2025					
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	3 PRELIM PLANS - INITIAL ISSUE	TDI	02/11/2025			FAÇADE CODE: F-WBH10B10BARN		
	4 PRELIM PLANS - COLOUR UPDATE	TDI	09/12/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: BATHROOM DETAILS	SHEET No.: 14 / 21 SCALES: 1:50	
	5 PRELIM PLANS - AMENDMENTS	PL1	11/12/2025	714463				



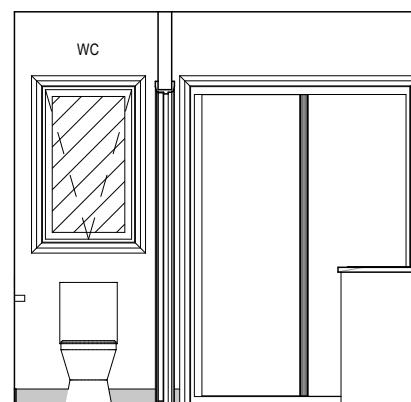
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SCALE: 1:50



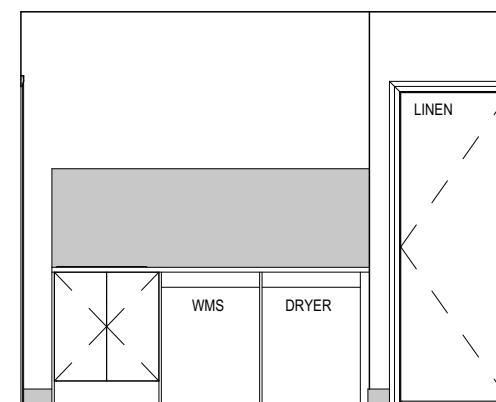
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER	
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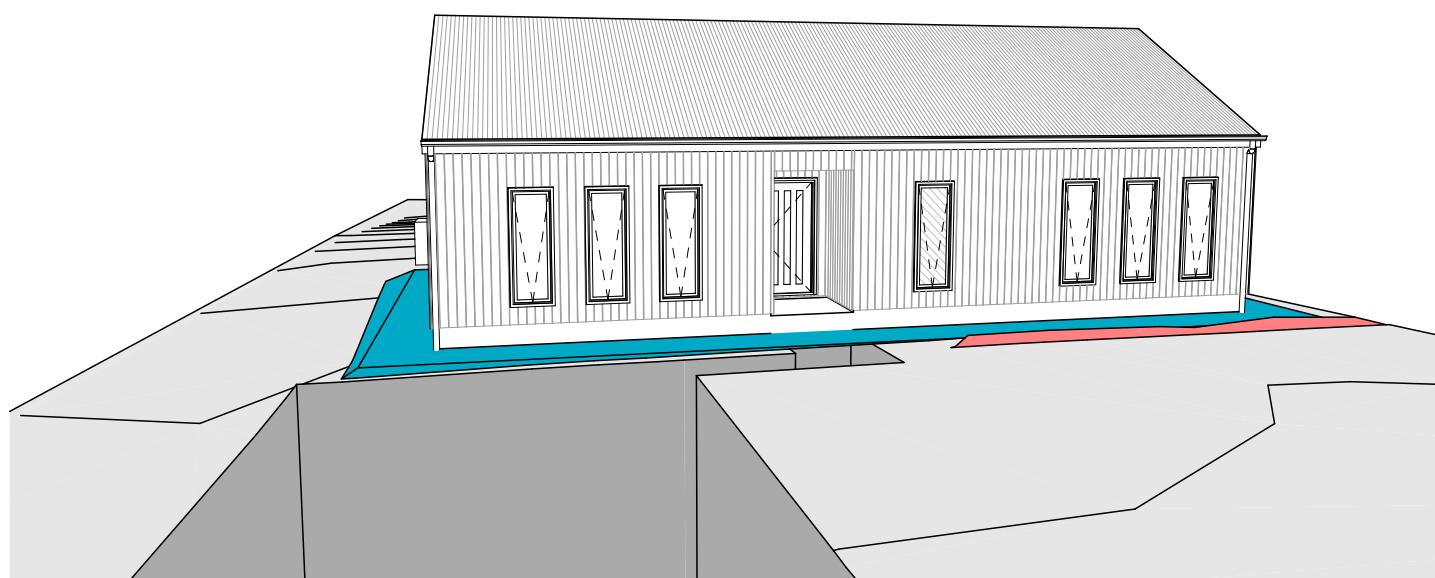
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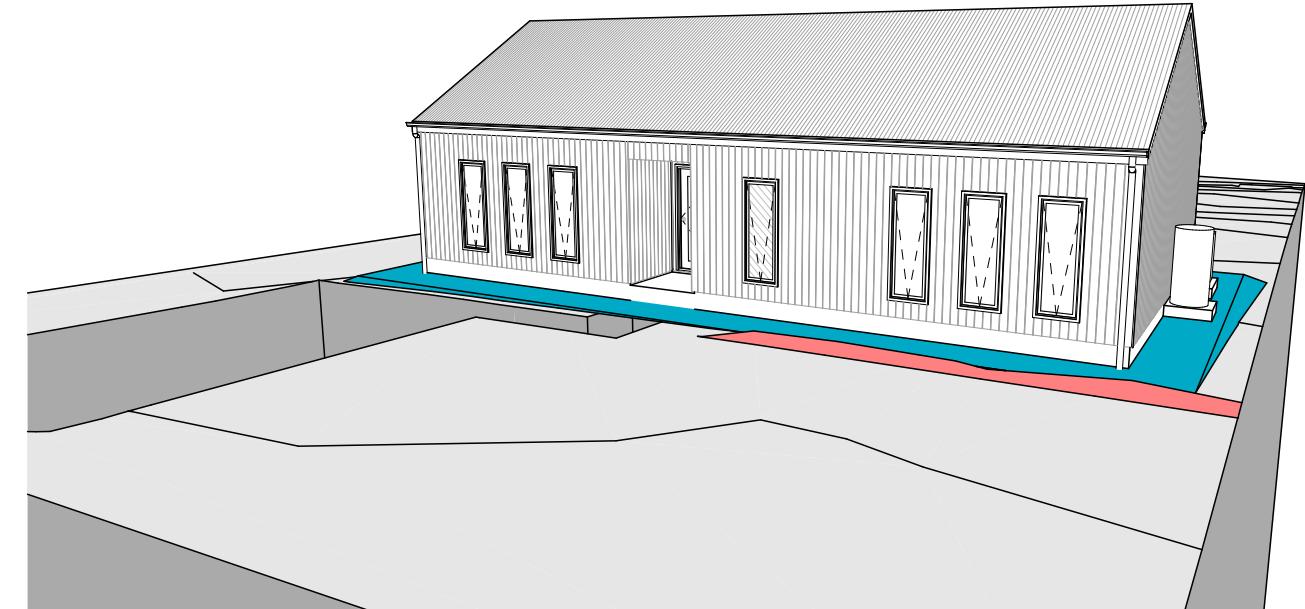
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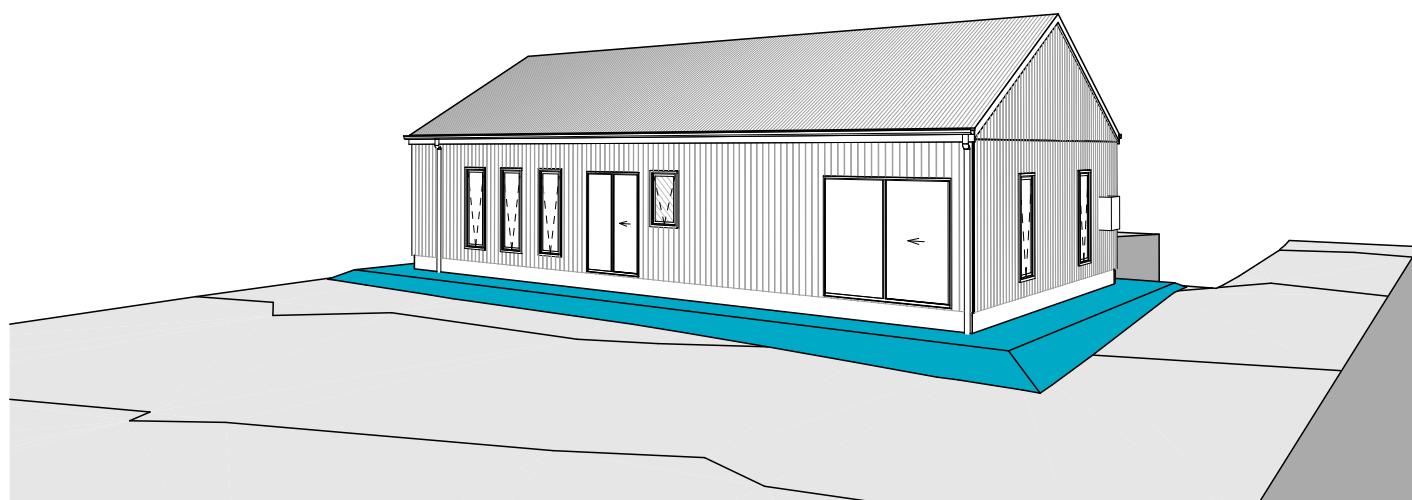
SPECIFICATION: BARN HOUSE	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 06/10/2025	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
				BARN HOUSE 10B	H-WBH10B10SA	
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	3 PRELIM PLANS - INITIAL ISSUE	TDI 02/11/2025	LOT / SECTION / CT: 185631 / - / 2	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: LAUNDRY DETAILS	SCALES: 1:50
	4 PRELIM PLANS - COLOUR UPDATE	TDI 09/12/2025				714463
	5 PRELIM PLANS - AMENDMENTS	PL1 11/12/2025				15 / 21



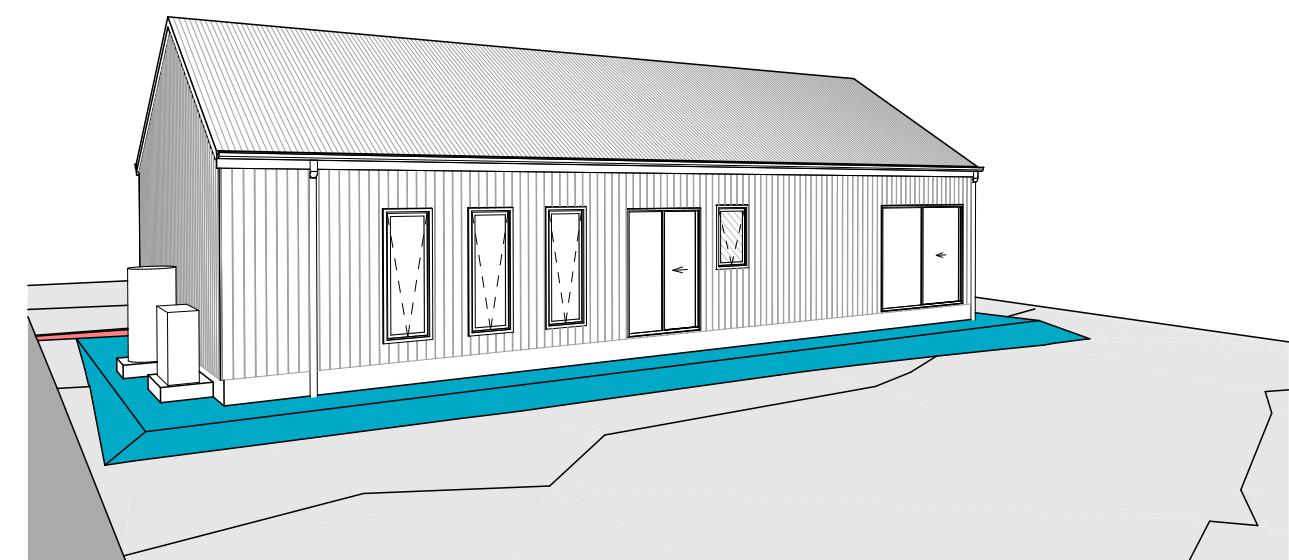
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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
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	1	DRAFT SALE PLAN - CT1	HMI	06/10/2025			BARN HOUSE 10B		H-WBH10B10SA			
	2	CT1 - AMENDMENT	HMI	06/10/2025	ADDRESS:		FACADE DESIGN:		FACADE CODE:			
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	5	PRELIM PLANS - AMENDMENTS	PL1	11/12/2025	185631 / - / 2	GLAMORGAN SPRING BAY	3D VIEWS		16 / 21		714463	

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1.6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5m CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

0 - 1500	120 x 35
1500 - 2400	140 x 35
2400 - 2700	190 x 35

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

0 - 2700	90 x 90 x 6 EA
2700 - 3200	100 x 100 x 8 EA
3200 - 4000	150 x 90 x 8 EA

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25Mpa (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPAKTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150MM. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1

- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3

- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

STAIRCASES / BALUSTRADES / HANDRAILS

- STAIR TREADS 240mm MIN. - 355mm MAX.
- STAIR RISERS 115mm MIN. - 190mm MAX.
- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4

- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

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BARN HOUSE		1 DRAFT SALE PLAN - CT1	HMI 06/10/2025	BARN HOUSE 10B		H-WBH10B10SA	
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WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WATERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

- (i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
- (ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUNDS WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

- (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL; OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

- (a) A HEATED SPACE; OR
- (b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

- (i) 5W/m² IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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SPECIFICATION: BARN HOUSE	REVISION: DRAFT SALE PLAN - CT1	DRAWN: HMI 06/10/2025	CLIENT: 18 NAIRN ST, BUCKLAND TAS 7190	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
				FACADE DESIGN: BARN	FACADE CODE: F-WBH10B10BARNA	
COPRIGHT: © 2025	2 CT1 - AMENDMENT	HMI 06/10/2025	ADDRESS: 18 NAIRN ST, BUCKLAND TAS 7190	FACADE DESIGN: BARN	FACADE CODE: F-WBH10B10BARNA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	3 PRELIM PLANS - INITIAL ISSUE	TDI 02/11/2025				
	4 PRELIM PLANS - COLOUR UPDATE	TDI 09/12/2025	LOT / SECTION / CT:	COUNCIL: GLAMORGAN SPRING BAY	SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SHEET No.: 18 / 21
	5 PRELIM PLANS - AMENDMENTS	PL1 11/12/2025	185631 / - / 2			SCALES: 714463

Requirements for Building In Bushfire Hazard Areas

Building Act 2016

Directors Determination - Bushfire Hazard Areas

V1.1, dated 08 April 2021

Deemed-to-Satisfy Requirements (Part 2.3)

2.3.1 Design and construction

- (1) Building work in a bushfire-prone area must be designed and constructed in accordance with either:
 - (a) AS 3959-2018; or
 - (b) Standard for Steel Framed Construction in Bushfire Areas published by the National Association of Steel Framed Housing Inc. (NASH), as appropriate for a BAL determined for that site using table 2.6 of AS 3959.
- (2) Subclause (1)(a) is only applicable to the following:
 - (a) a Class 1, 2 or 3 building; or
 - (b) a Class 10a building or deck associated with a Class 1, 2 or 3 building.
- (3) Subclause (1)(b) is only applicable to the following:
 - (a) a Class 1 building; or
 - (b) a Class 10a building or deck associated with a Class 1 building.
- (4) Despite subsection (1) permissible, variations from requirements specified in 1(a) and (b) are as specified in Table 1.
- (5) Despite subsections (1) and (4), performance requirements for buildings subject to BAL 40 or BAL Flame Zone (BAL-FZ) are not satisfied by compliance with subsections (1) or (4).

2.3.2 Property Access

- (1) A new building in a bushfire-prone area must be provided with property access to the building area and the firefighting water point, accessible by a carriageway, designed and constructed as specified in subclause (4).

(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no property access available property access must be provided to the building area and the firefighting water point accessible by a carriageway as specified in subclause (4).

(3) An addition or alteration to an existing building in a bushfire-prone area must not restrict any existing property access to the building area or to water supply for firefighting.

(4) Vehicular access from a public road to a building must:

- (a) comply with the property access requirements specified in Table 2;
- (b) include access from a public road to within 90 metres of the furthest part of the building measured as a hose lay; and
- (c) include access to the hardstand area for the firefighting water point.

2.3.3 Water Supply for Fire fighting

(1) A new building constructed in a bushfire-prone area, must be provided with a water supply dedicated for fire fighting purposes as specified in Table 3A or Table 3B.

(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no water supply for firefighting available the building must be provided with a water supply dedicated for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B.

2.3.4 Hazard Management Areas

(1) A new building, and an existing building in the case of an addition or alteration to a building, in a bushfire-prone area must be provided with a hazard management area.

(2) The hazard management area must comply with the requirements specified in Table 4.

(3) The hazard management area for a particular BAL must have the minimum dimensions required for the separation distances specified for that BAL in Table 2.6 of AS 3959.

(4) The hazard management area must be established and maintained such that fuels are reduced sufficiently, and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.

2.3.5 Bushfire emergency plan

- (1) An emergency plan must be provided for:
 - (a) a new building;
 - (b) an existing building in the case of an addition or alteration to a building;
 - (c) an existing building in the case of a change of building class;
 - (d) a building associated with the use, handling, generation or storage of a hazardous chemical or explosive, in a bushfire-prone area.
- (2) A bushfire emergency plan must comply with the requirements specified in Table 5.

7. Interpretation of Tables

(1) For the purposes of the deemed-to-satisfy provisions in clause 2.3 of this Determination, Tables 1, 2, 3A, 3B, 4, and 5 must be complied with in the following way:

- (a) for a particular element specified in column 1, the corresponding requirement specified in column 2 must be complied with.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

BAL-12.5 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

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SPECIFICATION: BARN HOUSE	REVISION 1 DRAFT SALE PLAN - CT1	DRAWN HMI 06/10/2025	CLIENT:	HOUSE DESIGN: BARN HOUSE 10B	HOUSE CODE: H-WBH10B10SA	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	2 CT1 - AMENDMENT	HMI 06/10/2025				
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	4 PRELIM PLANS - COLOUR UPDATE	TDI 09/12/2025	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE: BUILDING ACT BUSHFIRE HAZARD AREAS	SCALES: 714463
	5 PRELIM PLANS - AMENDMENTS	PL1 11/12/2025	185631 / - 2	GLAMORGAN SPRING BAY	SHEET No.: 19 / 21	

Table 1 - Construction Requirements & Construction Variations

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Straw Bale Construction	May be used in exposures up to and including BAL 19.
B. Shielding provisions under Section 3.5 of AS3959-2018	To reduce construction requirements due to shielding, building plans must include suitable detailed elevations or plans that demonstrate that the requirements of Section 3.5 of the Standard can be met. Comment: Application of Section 3.5 of the Standard cannot result in and assessment of BAL-LOW.

Table 2 - Requirements for Property Access

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Property access length is less than 30 metres; or access is not for a fire appliance to access a water connection point.	There are no specified design and construction requirements.
B. Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) All-weather construction; (2) Load capacity of at least 20 tonnes, including for bridges and culverts; (3) Minimum carriageway widths of 4 metres; (4) Minimum vertical clearance of 4 metres; (5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (6) Cross falls of less than 3° (1:20 or 5%); (7) Dips less than 7° (1:8 or 12.5%) entry and exit angle; (8) Curves with a minimum inner radius of 10 metres; (9) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and (10) Terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (a) A turning circle with a minimum inner radius of 10 metres; (b) A property access encircling the building; or (c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
C. Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) The Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
D. Property access length is greater than 30 metres, and access is provided to 3 or more properties.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (1) Complies with Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table 3A - Reticulated Water Supply for Firefighting

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (1) The building area to be protected must be located within 120 metres of a fire hydrant; and (2) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B. Design criteria for fire hydrants	The following requirements apply: <ul style="list-style-type: none"> (1) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 - 2011-3.1 MRWA Edition 2.0; and (2) Fire hydrants are not installed in parking areas.
C. Hardstand	A hardstand area for fire appliances must be provided: <ul style="list-style-type: none"> (1) no more than three metres from the hydrant, measured as a hose lay; (2) No closer than six metres from the building area to be protected; (3) With a minimum width of three metres constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access

Table 3B - Static Water Supply for Firefighting

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Distance between building area to be protected and water supply	The following requirements apply: <ul style="list-style-type: none"> (a) The building area to be protected must be located within 90 metres of the water connection point of a static water supply; and (b) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B. Static Water Supplies	A static water supply: <ul style="list-style-type: none"> (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: <ul style="list-style-type: none"> (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C. Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a water connection point for a static water supply must: <ul style="list-style-type: none"> (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450 - 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D. Signage for static water connections	(1) The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: <ul style="list-style-type: none"> (a) comply with water tank signage requirements within AS 2304; or (b) comply with the TFS Water Supply Signage Guideline.
E. Hardstand	A hardstand area for fire appliances must be provided: <ul style="list-style-type: none"> (a) No more than three metres from the water connection point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Table 4 - Requirements for Hazard Management Area

Column 1	Column 2
ELEMENT	REQUIREMENT
A. Hazard management areas for new buildings on lots provided with a BAL at the time of subdivision.	A new building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined at the time of the subdivision; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
B. Hazard management areas for new buildings on lots not provided with a BAL at the time of subdivision.	A new building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
C. Hazard management areas for alterations or additions to buildings.	An alteration or addition to a building must: <ul style="list-style-type: none"> (a) Be located on the lot so as to be provided with a HMA which: <ul style="list-style-type: none"> (i) Has the separation distances required for the BAL assessed for the construction of the existing building; or (ii) In the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
D. Hazard management areas for new buildings and additions and alterations to buildings classified as an accommodation building BCA Class 1b, BCA Class 2, or BCA Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: <ul style="list-style-type: none"> (a) be located on the lot so as to be provided with HMAS no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
E. Hazard management areas for new buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an addition or alteration including change of use must: <ul style="list-style-type

