



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:**                               **38 Kunzea Circuit, Coles Bay**  
**CT 182776/73**

**PROPOSAL:**                       **Dwelling, Shed & Carport (Staged)**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received before midnight on 08 January 2026.

**APPLICANT:**                       **Design To Live**  
**DATE:**                               **28/11/2025**  
**APPLICATION NO:**               **DA 2025 / 00211**

# Application for Planning Approval

## Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Design To Live		
Contact person: (if different from applicant)	Lyndon Stubbs		
Address:	202 Wellington Street		
Suburb:	South Launceston	Post Code:	7249
Email:	info@designtolive.com.au	Phone: / Mobile:	6344 7319

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:	j	Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	38 KUNZEA CIRCUIT		
Suburb:	COLES BAY	Post Code:	7215
Size of site: (m <sup>2</sup> or Ha)	1006m <sup>2</sup>		
Certificate of Title(s):	182776/73		
Current use of site:	VACANT		

**General Application Details** *Complete for All Applications*

Description of proposed use or development:	PROPOSED DWELLING, SHED AND CARPORT- (STAGED)	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.		
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No <input checked="" type="checkbox"/>	

**For all Non-Residential Applications**

Hours of Operation	N/A
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

**Personal Information Protection Statement**

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	4/12/2025
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## **Checklist of application documents:**

*Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 182776	FOLIO 73
EDITION 2	DATE OF ISSUE 24-Jun-2025

SEARCH DATE : 20-Oct-2025

SEARCH TIME : 02.21 PM

DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN  
 Lot 73 on Sealed Plan [182776](#)  
 Derivation : Part of 665 Acres Gtd. to S W Roberts and Johnson  
 Sinclair  
 Prior CT [179916/302](#)

SCHEDULE 1

[N259902](#) TRANSFER  
 Registered 24-Jun-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[SP182776](#) EASEMENTS in Schedule of Easements  
[SP182776](#) FENCING PROVISION in Schedule of Easements  
[SP6472](#), [SP175740](#), [SP176017](#), [SP176316](#), [SP177086](#), [SP177640](#),  
[SP179042](#) & [SP179916](#) FENCING PROVISION in Schedule of  
 Easements  
[SP107890](#), [SP139308](#) & [SP143490](#) FENCING COVENANT in Schedule of  
 Easements  
[SP179042](#) SEWERAGE AND/OR DRAINAGE RESTRICTION  
[C434769](#) AGREEMENT pursuant to Section 71 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 19-May-2003 at noon  
[E153042](#) AGREEMENT pursuant to Section 71 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 26-Oct-2018 at noon  
[E166139](#) AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 05-Jun-2019 at noon  
[E239953](#) AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 23-Nov-2020 at noon  
[E297798](#) AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 10-Mar-2022 at noon  
[E416542](#) MORTGAGE to Norfina Limited Registered 24-Jun-2025

at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Priority Final Plan

**PLAN OF SURVEY**

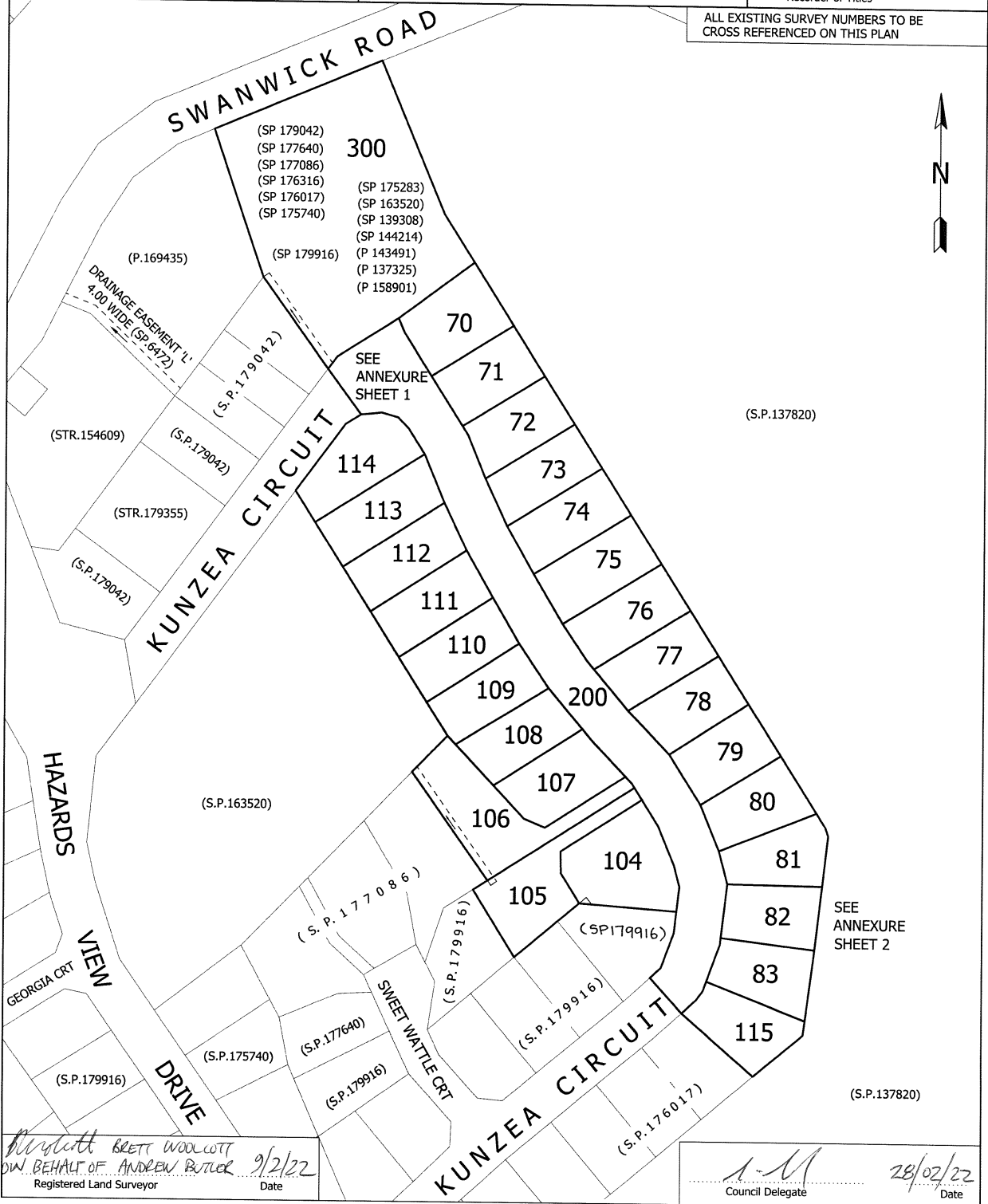
OWNER: COOROLINA PTY LTD  
 FOLIO REFERENCE: C.T. 179916/302  
 GRANTEE: PART OF 665 ACRES GRANTED TO S.W. ROBERTS AND JOHNSON SINCLAIR

BY SURVEYOR: ANDREW JOHN BUTLER  
 LOCATION: LAND DISTRICT OF GLAMORGAN PARISH OF MEREDITH  
 SCALE 1:1500@A3 LENGTHS IN METRES



REGISTERED NUMBER  
**SP182776**  
 APPROVED EFFECTIVE FROM 10 MAR 2022  
*Ren*  
 Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



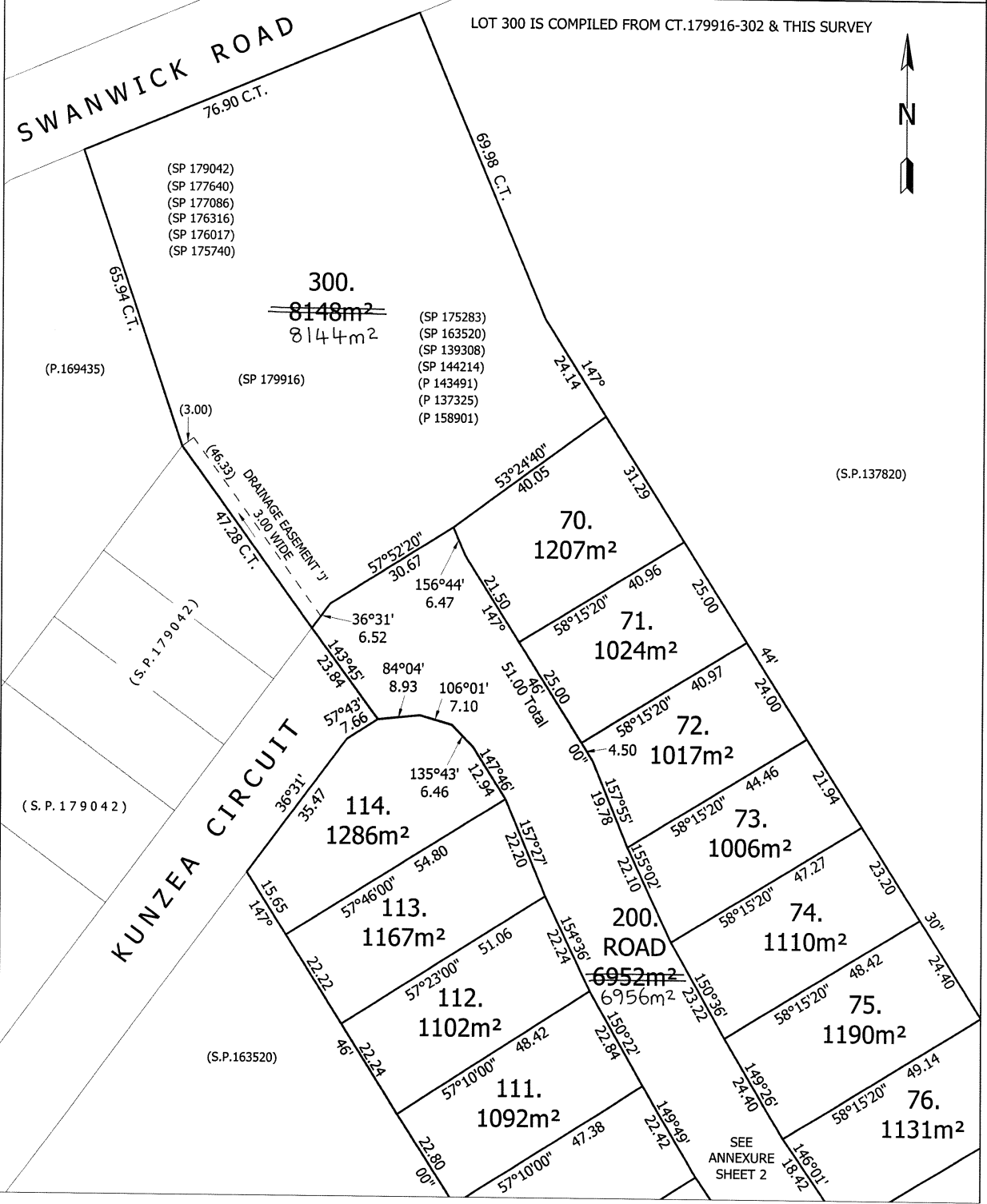
*Brett Woolcott*  
 ON BEHALF OF ANDREW BUTLER  
 Registered Land Surveyor  
 Date 9/2/22

*A.M.*  
 Council Delegate  
 Date 28/02/22



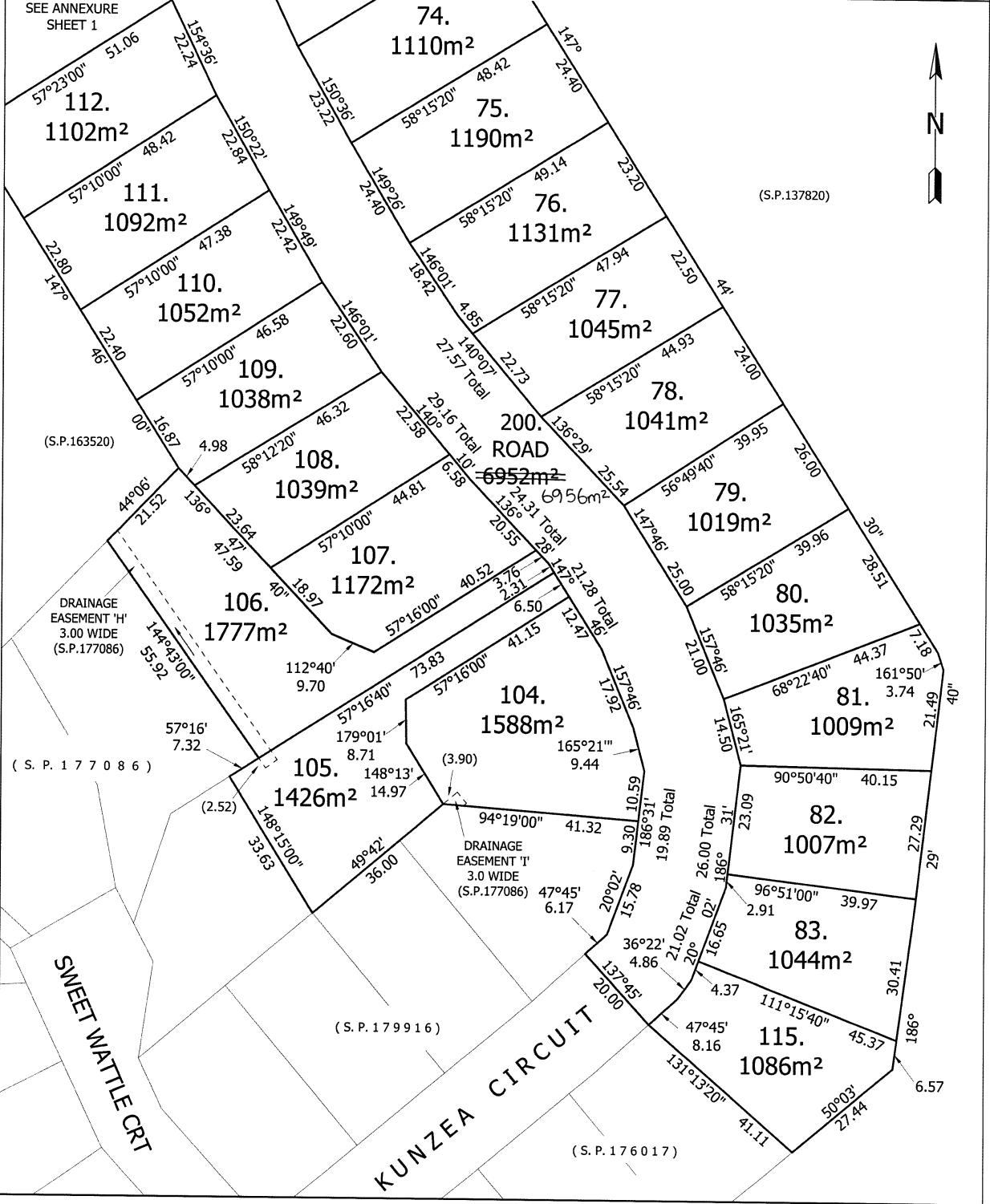
Priority Final Plan

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b></p> <p>SHEET 1 OF 2 SHEETS</p> <p> EAST COAST SURVEYING CONSULTING SURVEYORS 111 WILSON ROAD HOBART TASMANIA 7000</p>	<p>OWNER: COOROLINA PTY LTD</p> <p>FOLIO REFERENCE: C.T. 179916/302</p> <p>SCALE 1:750@A3 LENGTHS IN METRES</p>	<p>Registered Number</p> <p><b>SP 182776</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> Council Delegate</p> <p><i>28/2/2022</i> Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> BRETT WOOLCOTT</p> <p>ON BEHALF OF ANDREW BUTLER <i>9/2/22</i></p> <p>Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 MAR 2022</p> <p><i>[Signature]</i></p> <p>Recorder of Titles</p>



Priority Final Plan

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b></p> <p>SHEET 2 OF 2 SHEETS</p> <p>EAST COAST SURVEYING INCORPORATED IN AUSTRALIA</p>	<p>OWNER: COOROOLINA PTY LTD</p> <p>FOLIO REFERENCE: C.T. 179916/302</p> <p>SCALE 1:750@A3 LENGTHS IN METRES</p>	<p>Registered Number</p> <p><b>SP 182776</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> Council Delegate</p> <p>28/2/2022 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>[Signature]</i> <b>BRETT WOOLCOTT</b> ON BEHALF OF <b>ANDREW BUTLER</b> 9/2/22</p> <p>Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 MAR 2022</p> <p><i>[Signature]</i> Recorder of Titles</p>



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 182776

PAGE 1 OF 1 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

BURDENING EASEMENTS

Lot 300 on the Plan is SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council over the land marked 'DRAINAGE EASEMENT 'J' 3.00 WIDE' on the Plan.

Lots 105 and 106 on the Plan are SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council and Tasmanian Water and Sewerage Corporation Pty Ltd Limited, its successors and assigns ('TasWater') over the land marked 'DRAINAGE EASEMENT 'H' 3.00 WIDE (S.P.177086)' on the Plan.

Lot 104 on the Plan is SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council and TasWater over the land marked 'DRAINAGE EASEMENT 'I' 3.00 WIDE (S.P. 177086)' on the Plan.


BENEFITING EASEMENTS

Lots 70-83, 104-115 and 300 are TOGETHER WITH a Right of Drainage over the land marked 'DRAINAGE EASEMENT 'L' 4.00 WIDE (SP6472)' on the Plan.

FENCING PROVISION


In relation to the lots on the Plan the Vendor (Cooroolina Pty Ltd) shall not be required to fence.

Executed by **COOROLINA PTY LTD** by its attorney SAMUEL EDWARD PRATT pursuant to Power of Attorney Registered Number PA116270 (and the said Samuel Edward Pratt declares that he has received no notice of revocation of the said Power) in the presence of:

Witness   
 Full Name Joy Elizabeth Donnellan.  
 Address 45 Cameron St, Lاونceston.



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: COOROLINA PTY LTD (ACN 009 493 734) ATF THE JA BAIN SUPERANNUATION FUND FOLIO REF: 179916/302 SOLICITOR & REFERENCE: SIMMONS WOLFHAGEN SEP 220058	PLAN SEALED BY: GLAMORGAN-SPRING BAY COUNCIL DATE: <u>28/02/2022</u> REF NO. _____
 Council Delegate	
<p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p>	



**PROPOSED DWELLING, SHED  
AND CARPORT  
38 KUNZEA CIRCUIT,  
COLES BAY, 7215.**

NOTE: STAGED DEVELOPMENT  
STAGE 1: SHED AND CARPORT  
STAGE 2: DWELLING

DRAWING #	DRAWING
KNZC38-1	COVER PAGE
KNZC38-2	SITE PLAN
KNZC38-3	DWELLING PLANS
KNZC38-4	SHED FLOOR PLANS
KNZC38-5	EXTERNAL SERVICES

CLASSIFICATION OF BUILDING CLASS 1A/10A	COUNCIL GLAMORGAN-SPRING BAY	ZONE LOW DENSITY RESIDENTIAL
AREAS (m <sup>2</sup> )	LAND TITLE REFERENCE 182776/73	ENERGY STAR RATING TBC
PROPOSED SHED 81.25	PROPERTY ID 9231747	CLIMATE ZONE 7
PROPOSED CARPORT 43.75	LOT SIZE (M <sup>2</sup> ) 1006	ALPINE AREA N/A
PROPOSED DWELLING 55.61	BAL RATING N/A	CORROSION ENV' TBC
	DESIGN WIND CLASS TBC	SITE HAZARDS N/A
	SOIL CLASSIFICATION TBC	
PLANNING OVERLAY PRIORITY VEGETATION AREA		

**ATTACHMENTS**

1000507646 SHED DRAWINGS


 ACC # 371799313  
 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
 W. designtolive.com.au

**CLIENT/S:**  
  
**SITE ADDRESS:**  
 38 KUNZEA CIRCUIT,  
 COLES BAY, 7215.

**DRAWING  
COVER PAGE**

I/WE APPROVE THESE DRAWING TO BE  
CORRECT PER CONTRACT.

**SIGNATURE:**                      **DATE:**  
**SIGNATURE:**                      **DATE:**

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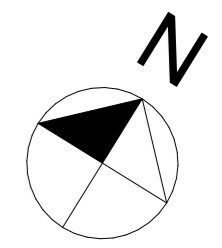
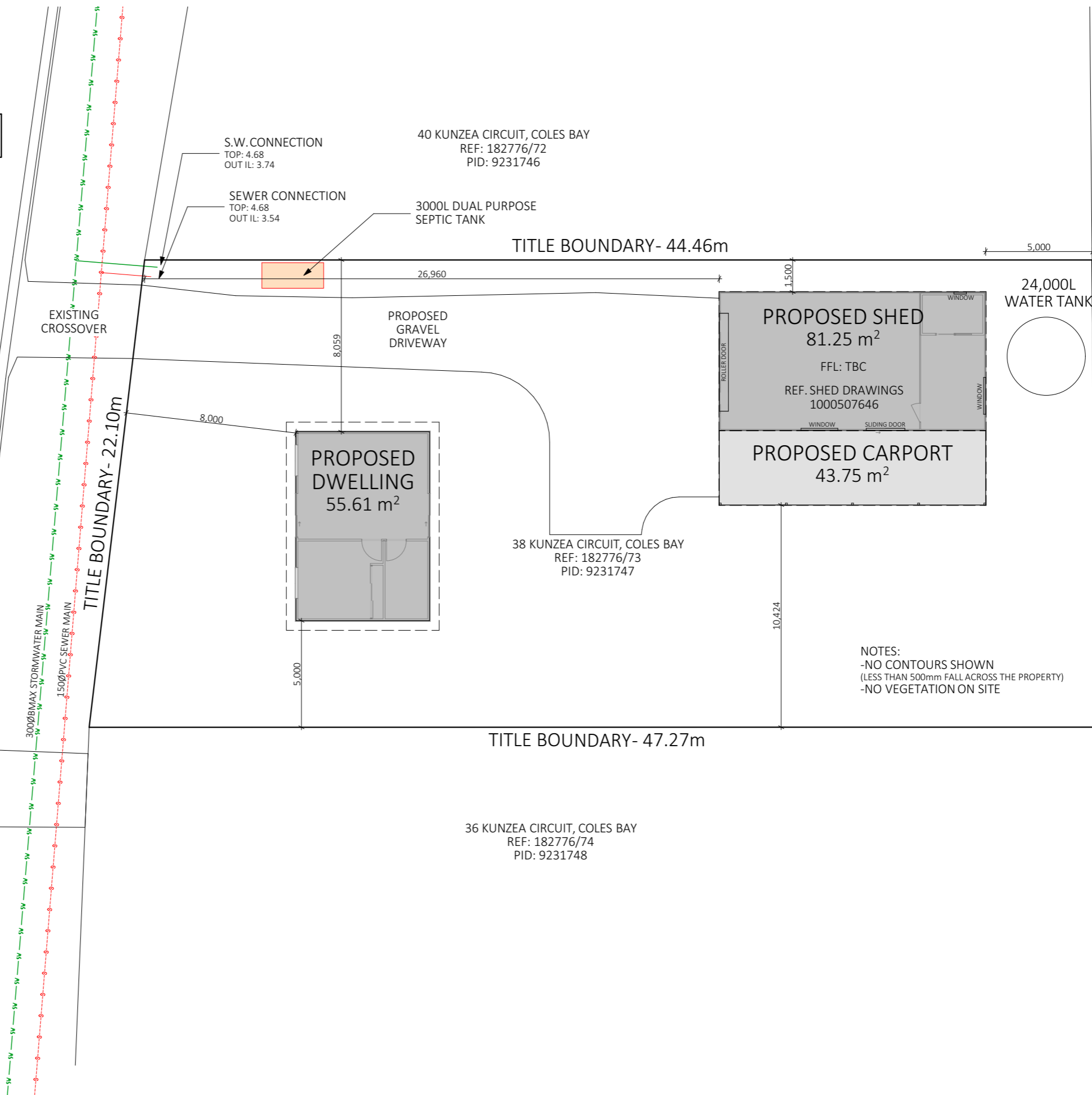
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R1	27/11/2025	FOR DA	<b>DRAWN</b>	L.S.	<b>DRAWING</b>	<b>1/5</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	NTS



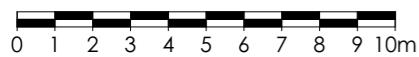
LOCALITY PLAN  
NOT TO SCALE

ADDRESS OF WORKS  
38 KUNZEA CIRCUIT,  
COLES BAY

KUNZEA CIRCUIT



AREA	m <sup>2</sup>
PROPOSED SHED	81.25
PROPOSED CARPORT	43.75
PROPOSED DWELLING	55.61



ACC # 371799313  
ABN. 71 615 812 747  
PH. 6344 7319  
E. info@designtolive.com.au  
W. designtolive.com.au

CLIENT/S:

SITE ADDRESS:  
38 KUNZEA CIRCUIT,  
COLES BAY, 7215.

DRAWING  
SITE PLAN

I/WE APPROVE THESE DRAWING TO BE  
CORRECT PER CONTRACT.

SIGNATURE:  
SIGNATURE:

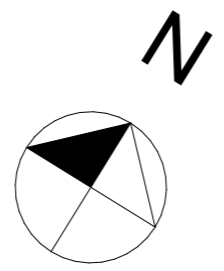
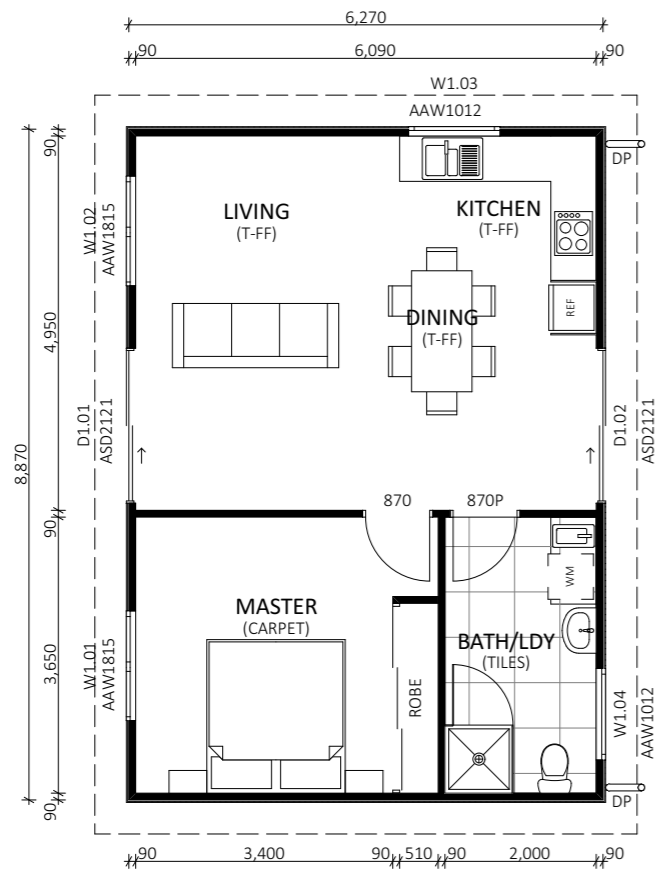
DATE:  
DATE:

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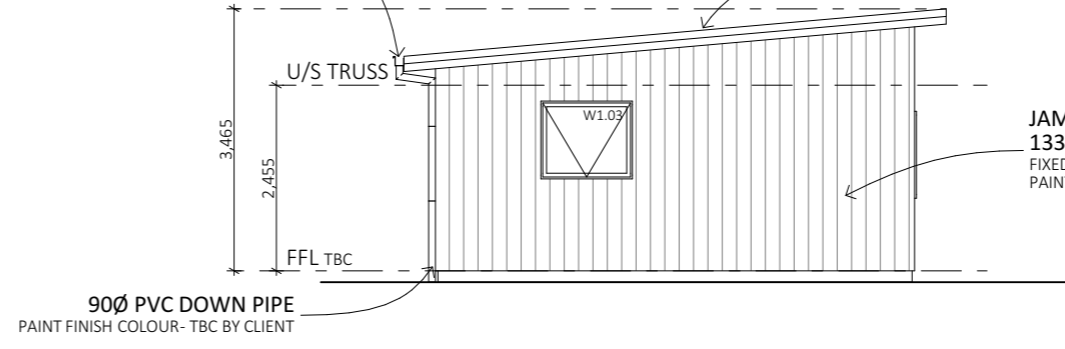
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R1	27/11/2025	FOR DA	DRAWN	L.S.	DRAWING	2/5
			CHECKED	M.L.	SCALE (@A3)	1:200





**COLORBOND FASCIA & GUTTER**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT

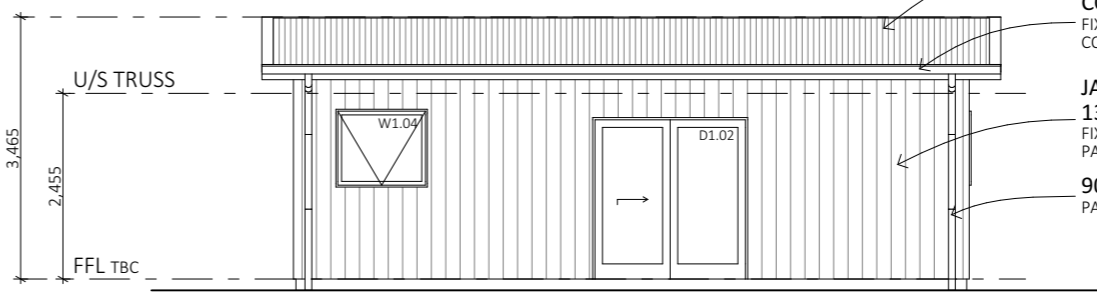
**CUSTOM ORB ROOF CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT



**NORTHERN ELEVATION**

**JAMES HARDIE AXON SMOOTH 133 WALL CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 PAINT FINISH COLOUR- TBC BY CLIENT

**CUSTOM ORB ROOF CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT



**EASTERN ELEVATION**

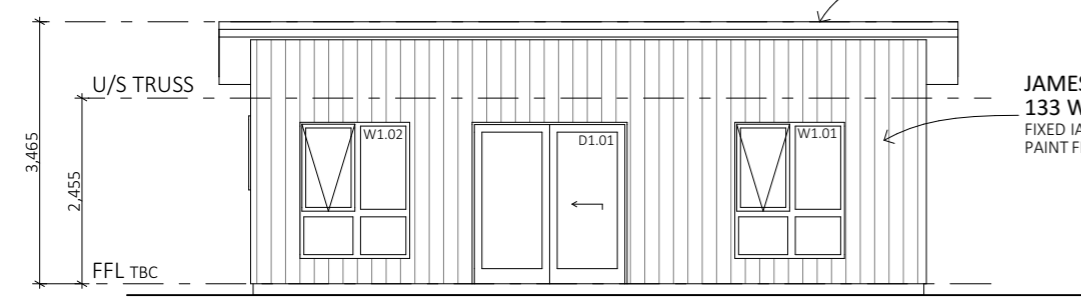
**COLORBOND FASCIA & GUTTER**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT

**JAMES HARDIE AXON SMOOTH 133 WALL CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 PAINT FINISH COLOUR- TBC BY CLIENT

**90Ø PVC DOWN PIPE**  
 PAINT FINISH COLOUR- TBC BY CLIENT

**CUSTOM ORB ROOF CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT

**JAMES HARDIE AXON SMOOTH 133 WALL CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 PAINT FINISH COLOUR- TBC BY CLIENT



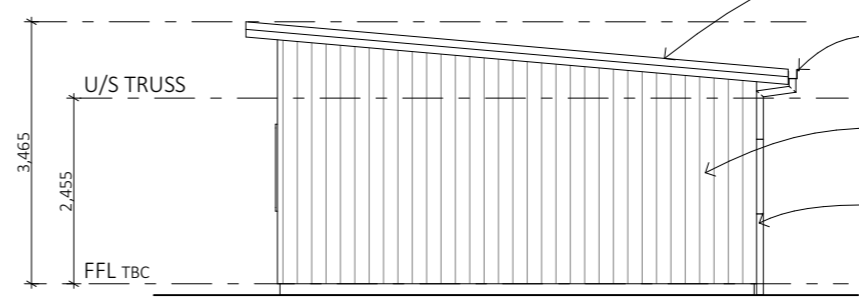
**WESTERN ELEVATION**

**CUSTOM ORB ROOF CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT

**COLORBOND FASCIA & GUTTER**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 COLOUR- TBC BY CLIENT

**JAMES HARDIE AXON SMOOTH 133 WALL CLADDING**  
 FIXED IAW MANUFACTURERS SPECIFICATIONS  
 PAINT FINISH COLOUR- TBC BY CLIENT

**90Ø PVC DOWN PIPE**  
 PAINT FINISH COLOUR- TBC BY CLIENT



**SOUTHERN ELEVATION**



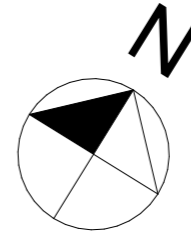
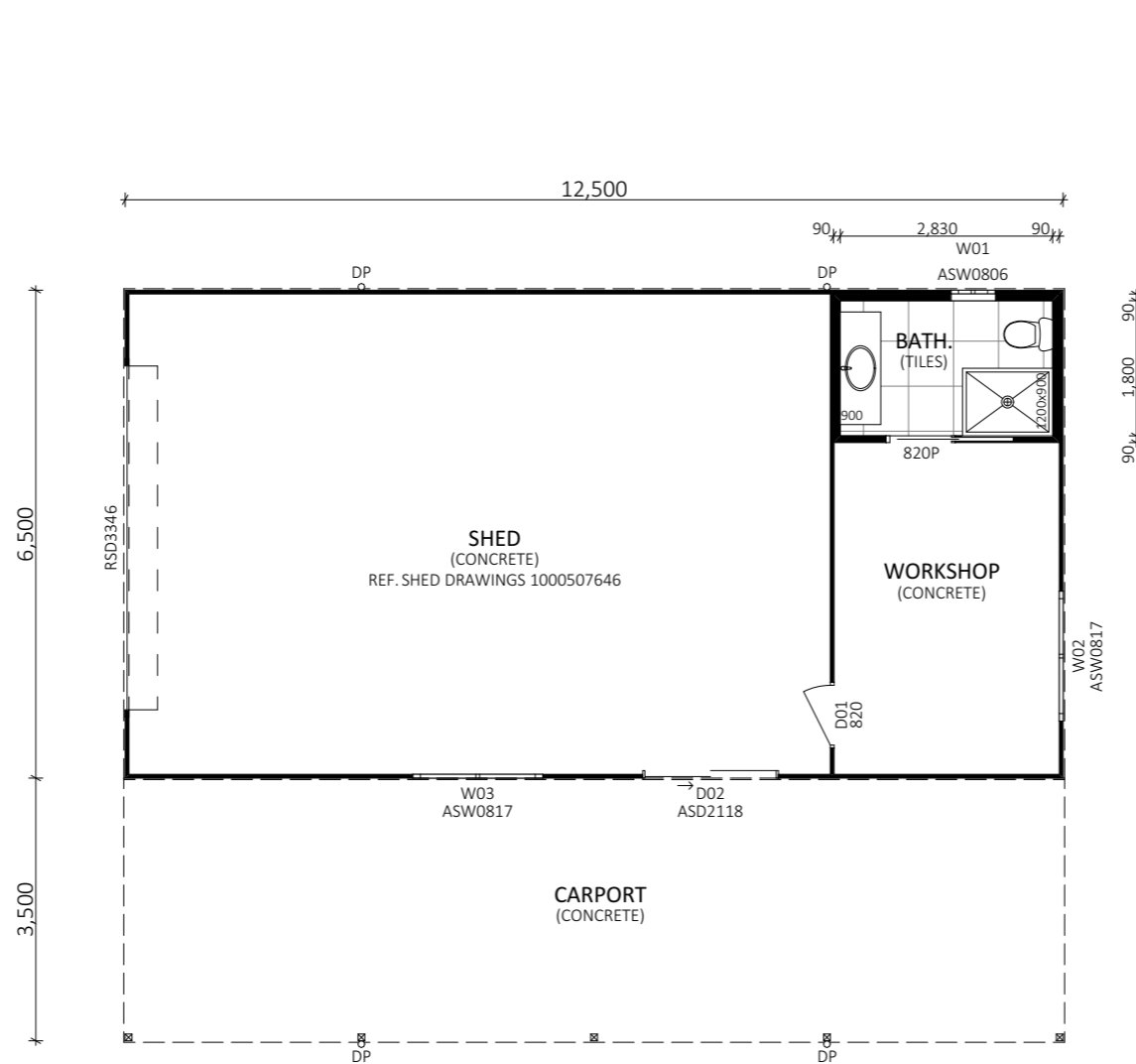
**CLIENT/S:** IS  
**SITE ADDRESS:**  
 38 KUNZEA CIRCUIT,  
 COLES BAY, 7215.

**DRAWING DWELLING PLANS**

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.  
**SIGNATURE:** **DATE:**  
**SIGNATURE:** **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	KNZC38
R1	27/11/2025	FOR DA	<b>DRAWN</b>	L.S.	<b>DRAWING</b>	<b>3/5</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:100</b>




ACC # 371799313  
 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
 W. designtolive.com.au

**CLIENT/S:**

**SITE ADDRESS:**  
 38 KUNZEA CIRCUIT,  
 COLES BAY, 7215.

**DRAWING  
 SHED FLOOR  
 PLANS**

I/WE APPROVE THESE DRAWING TO BE  
 CORRECT PER CONTRACT.

**SIGNATURE:**                      **DATE:**

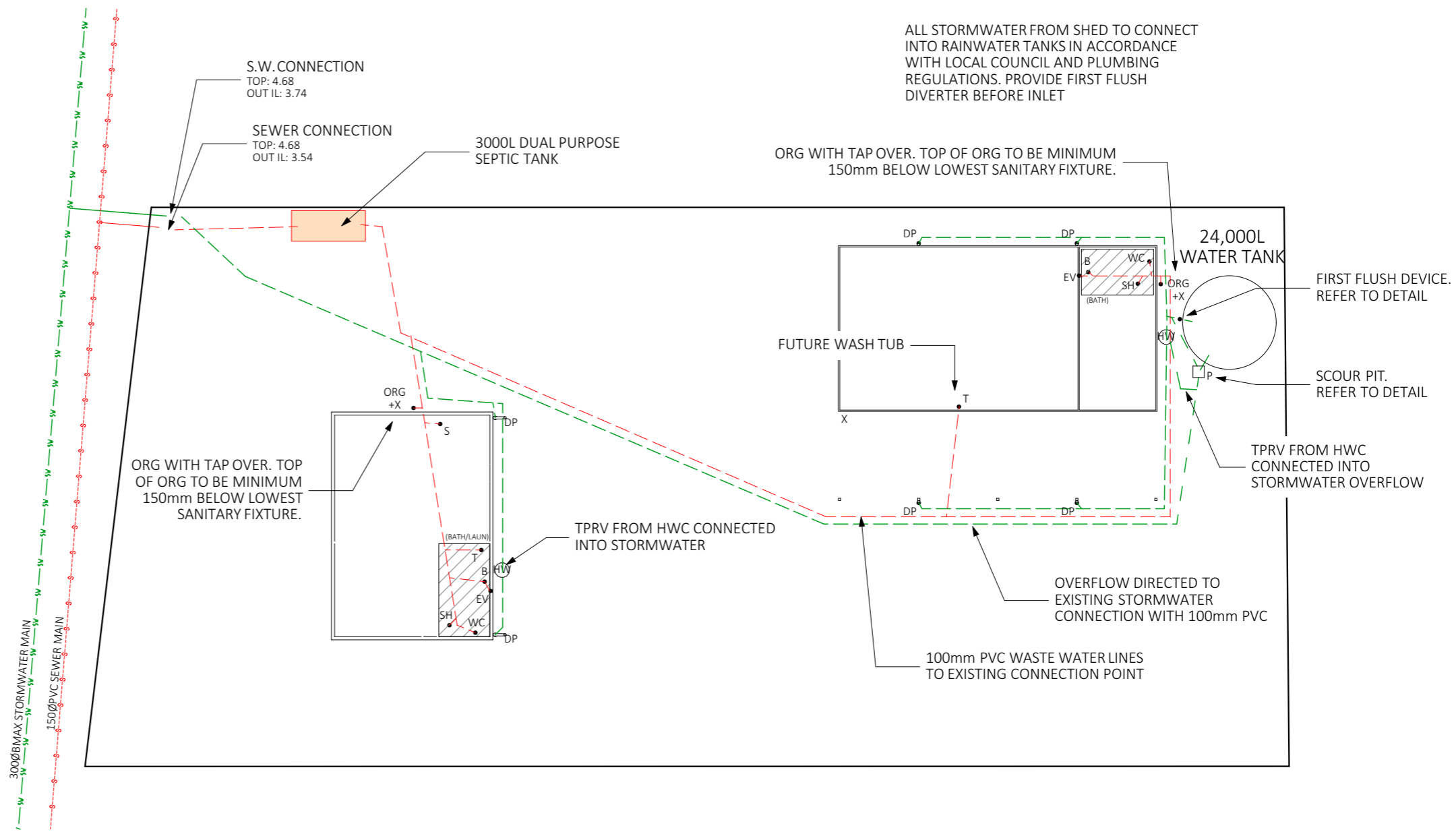
**SIGNATURE:**                      **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	KNZC38
R1	27/11/2025	FOR DA	<b>DRAWN</b>	L.S.	<b>DRAWING</b>	<b>4/5</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	1:100

LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
FW	FLOOR WASTE
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (357x357x452D)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

THIS PAGE IS TO BE PRINTED AND READ IN COLOUR.



INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

**SERVICES**

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:  
 A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND  
 B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND  
 C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/ NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

**1. INTERNAL PIPING**

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
  - i) WITHIN AN UNVENTILATED WALL SPACE
  - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
  - iii) BETWEEN CEILING INSULATION AND A CEILING
 MUST HAVE A MINIMUM R-VALUE OF 0.2

**2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

**3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

**NOTES:**

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.



ACC # 371799313  
 ABN. 71 615 812 747  
 PH. 6344 7319  
 E. info@designtolive.com.au  
 W. designtolive.com.au

**CLIENT/S:**

**SITE ADDRESS:**  
 38 KUNZEA CIRCUIT,  
 COLES BAY, 7215.

**DRAWING EXTERNAL SERVICES**

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

**SIGNATURE:**                      **DATE:**

**SIGNATURE:**                      **DATE:**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	KNZC38
R1	27/11/2025	FOR DA	<b>DRAWN</b>	L.S.	<b>DRAWING</b>	<b>5/5</b>
			<b>CHECKED</b>	M.L.	<b>SCALE (@A3)</b>	<b>1:200</b>



# WANT YOUR SHED BEFORE CHRISTMAS?

Order by the  
17th of October for  
guaranteed  
pre-Christmas delivery!



# TassieSheds

## Quotation

38 Kunzea Circuit  
Coles Bay  
TAS  
7250

**TASSIE SHEDS**

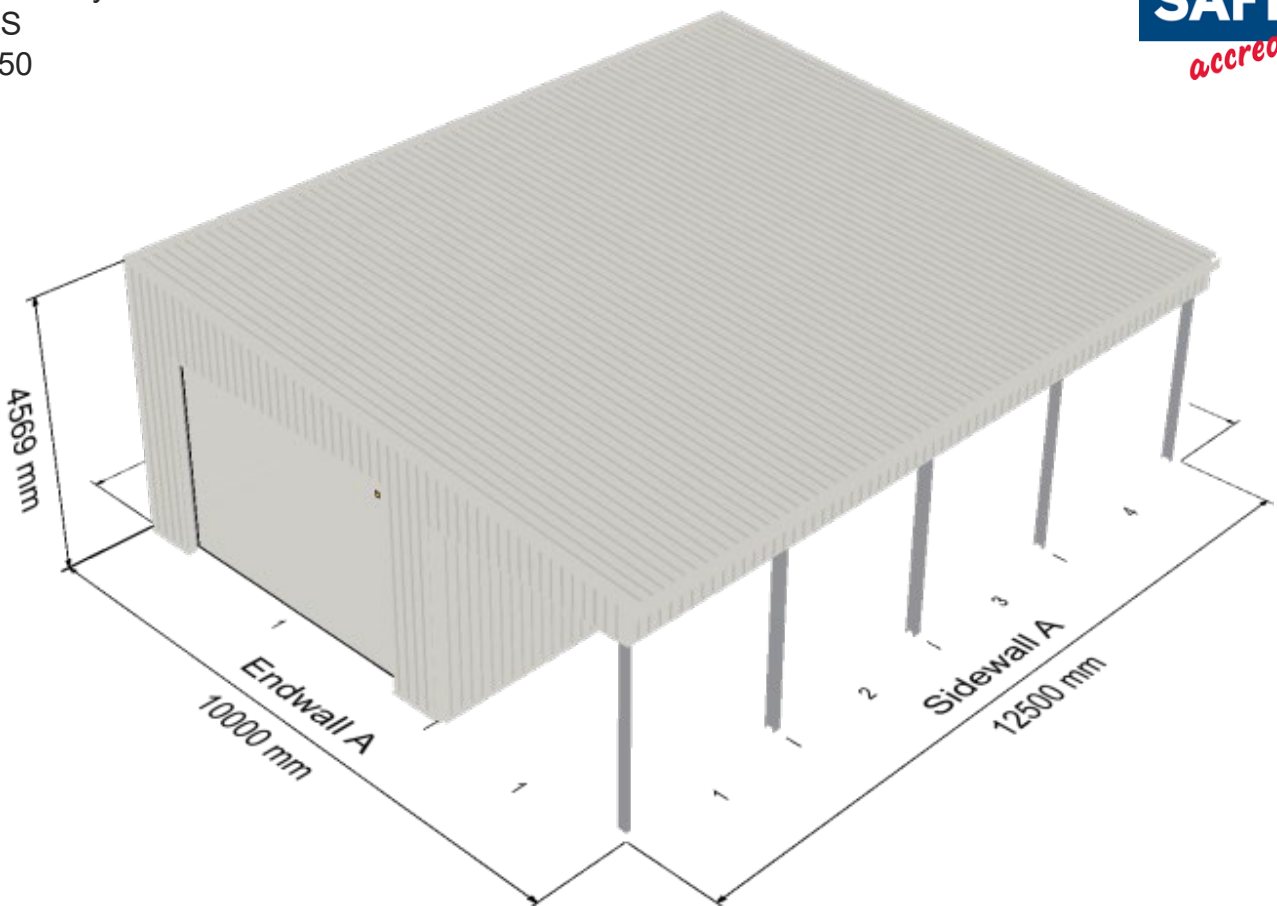
(03) 6165 0204

info@tassiesheds.com.au

CAN: 644 258 560

25-11-2025

Quote #1000507646



# Colorbond® Zinalume®



**Quote #1000507646, 25-11-2025**

**Building Specifications**

**Building Site Address:**

38 Kunzea Circuit, Coles Bay, TAS, 7250

**Design Criteria:**

Snow Load: N/A  
Wind Load/Exposure: 37.8 m/s  
Building Class: 10a  
Wind Region: A4  
Importance Level: 2  
Terrain Category: 2.88  
Shielding: 1  
Topography: 1

**Sheeting and Trim Details:**

Roof Type: Trimdek 0.42 BMT 0.47 TCT  
Roof Colour: Southerly  
Wall Type: Trimdek 0.42 BMT 0.47 TCT  
Wall Colour: Southerly  
Gutter Type: Quad Gutter 150 Hi-Front  
Trim Colour: Southerly (SY)  
Base Trim: Vermin Flashing  
Solar Load: N/A

**Building Dimensions:**

Width: 6.500 m  
Length: 12.500 m  
Eave Height: 4.000 m  
Apex Height: 4.569 m  
Roof Pitch: Monopitch 5 deg  
# Sidewall Bays: 4 Varies  
# Endwall Bays: 1 and 2 Varies

**Building Specs:**

Columns: 2C20015  
Rafters: 2C20015  
Floor Area: 125.000 sqm  
Endwall Column: C15019  
Roof Purlins: Z10015  
Side Wall Girts: Z10012  
End Wall Girts: Z10012

**Leanto A Details:**

Span: 3.500 m  
Bays: 4  
Drop: 0.000 m  
Roof Pitch: 5 deg  
Eave Height: 3.694 m

**Leanto B Details:**

Span: N/A  
Bays: N/A  
Drop: N/A  
Roof Pitch: N/A  
Eave Height: N/A

**Slab and Footing Details: (Slab Details For Quoting – Not Included)**

Bored Engineering plans included  
Bolt Down Anchor Brackets  
100mm Slab (100mm, 125mm & 150mm Available)  
Main Column Footings: 850 mm - 450 mm (Depth x Diameter)  
End Mullion Footings: 950 mm - 450 mm (Depth x Diameter)

## Opening Details:

- Personnel doors: 1x 2100X1810 XO Southerly  
1x Larnec 2040 x 820 x 35mm - P/C Tube Frame - N4 & C1 Southerly
- Roller Doors: 3280h x 4600w Roller Door (opening) Southerly Endwall A
- Included Windows: 2x 790X1731 XO Southerly  
1x 790X589 XO Southerly
- Framed Openings: None
- Open Bays: Bay 1 in Leanto A Sidewall is open  
Bay 2 in Leanto A Sidewall is open  
Bay 3 in Leanto A Sidewall is open  
Bay 4 in Leanto A Sidewall is open  
Bay 1 in Leanto A Endwall A is open  
Bay 1 in Leanto A Endwall B is open
- Translucent Panels: None
- Door Extras: 1x Box A Door

## Insulation Details:

None

## Mezzanine:

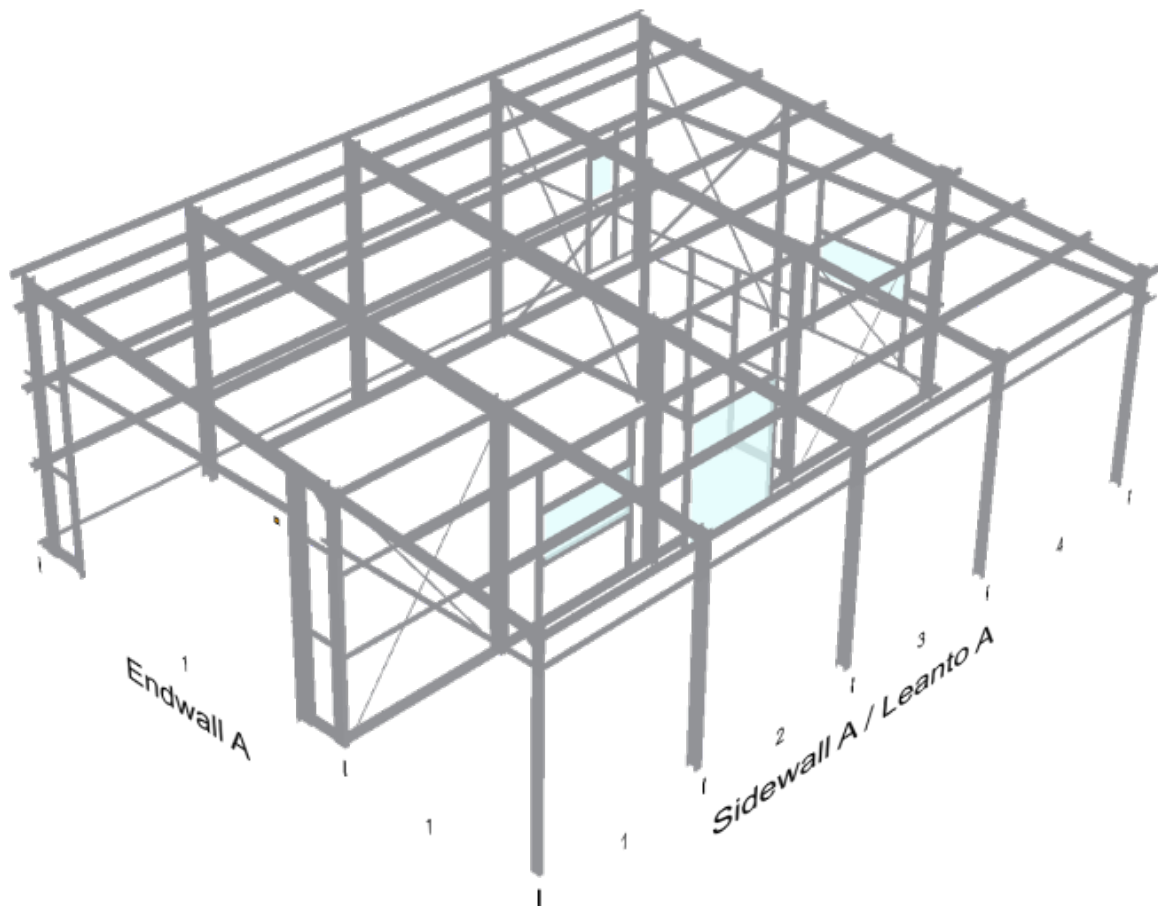
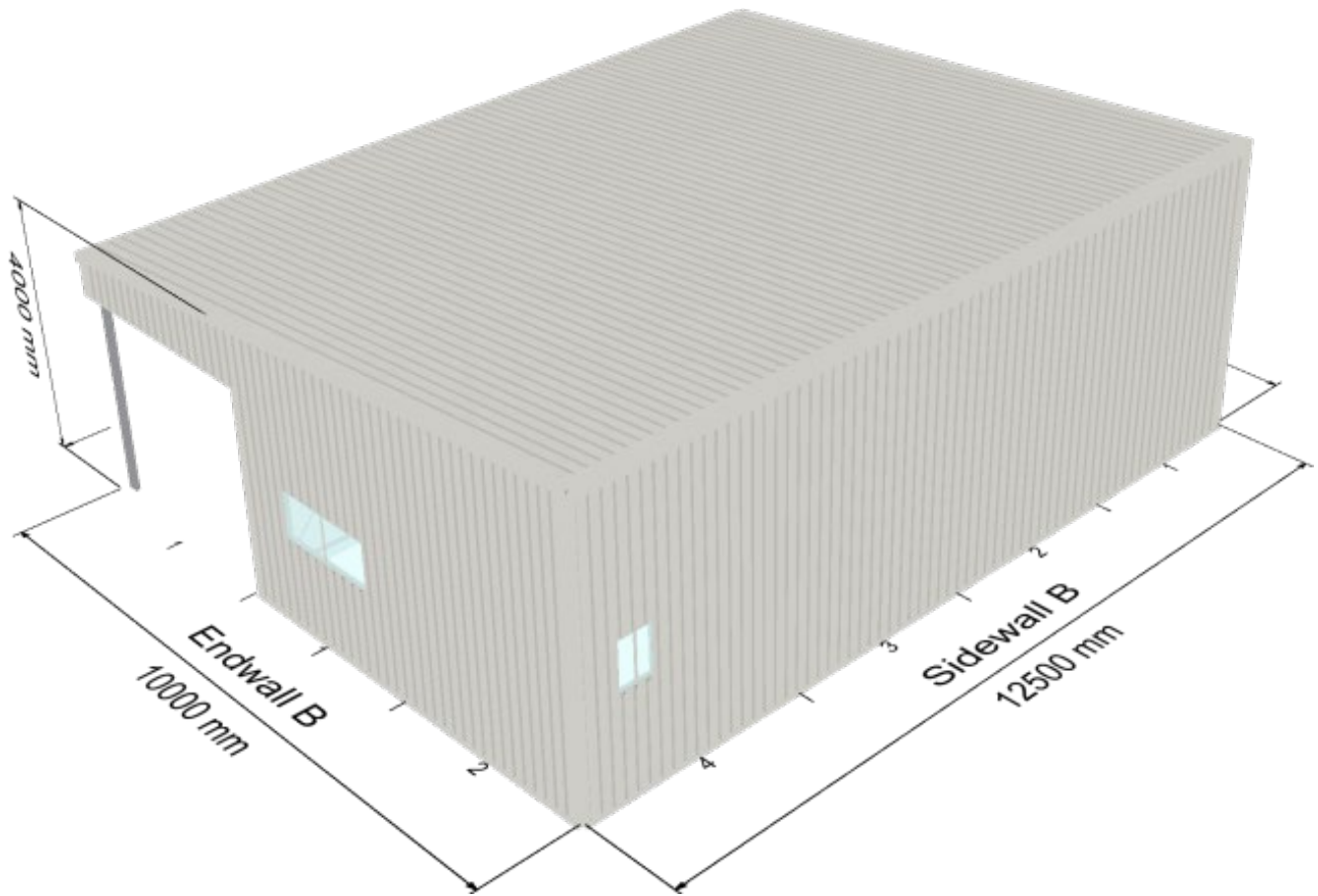
Floor Height: N/A    Bays: N/A  
Live Load: N/A    Joist Spacing: N/A

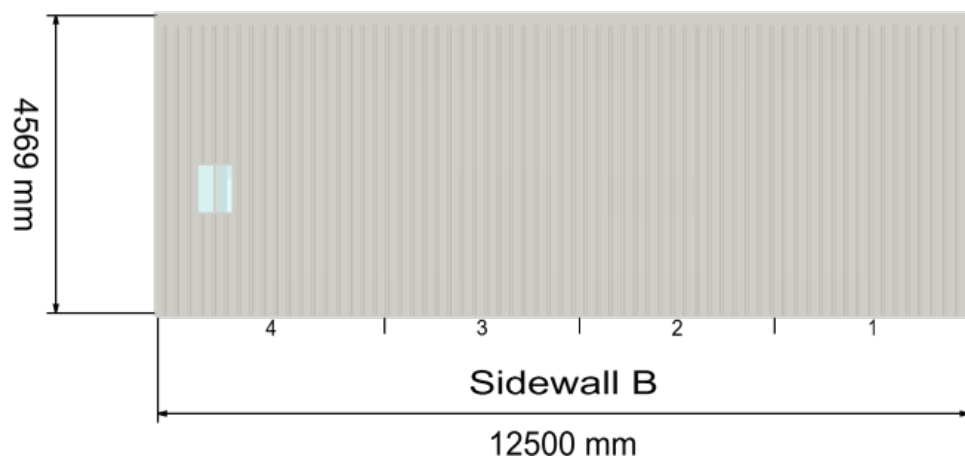
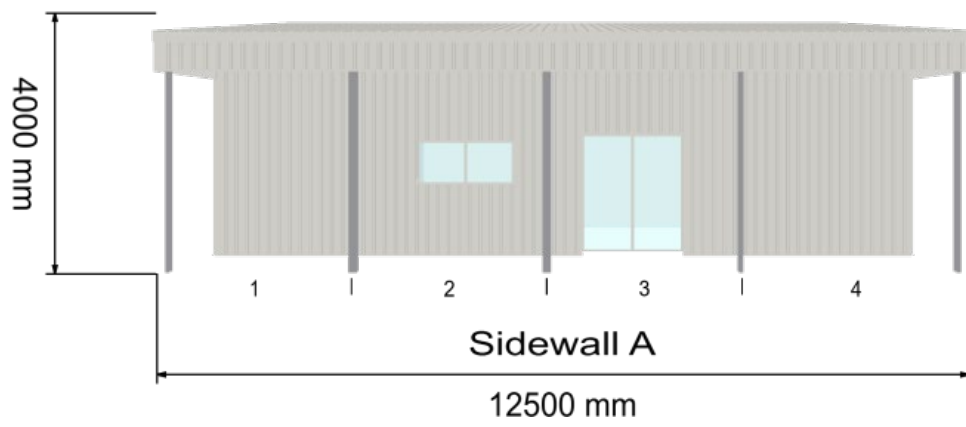
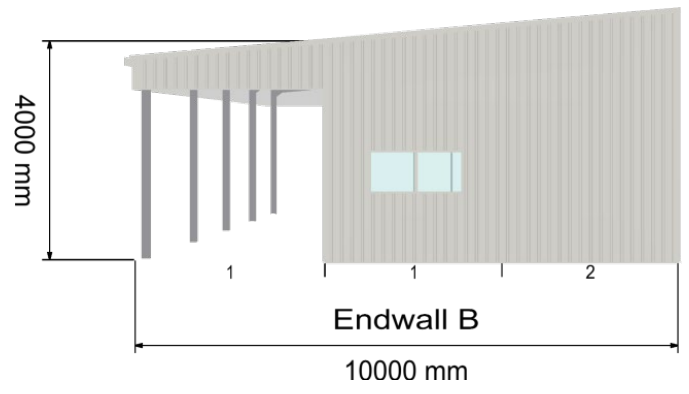
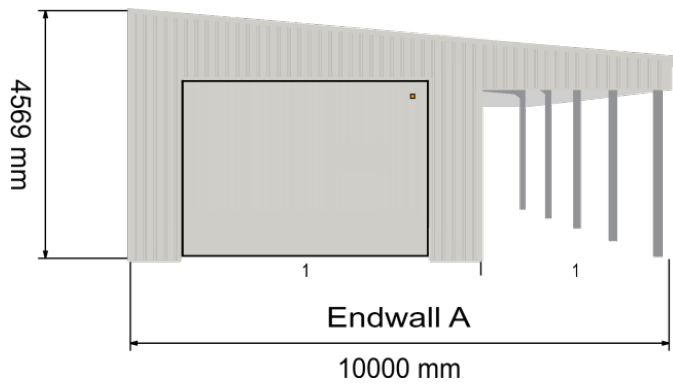
## Extra Options:

N/A  
Knee Brace: N/A  
Apex Brace: N/A

## Total Building Weight:

4011.38kg





## Pricing & Payment Terms

### Purchase Conditions:

10% Deposit for stamped engineering drawings.

50% Total prior to manufacturing. (40% due if 10% engineering has been paid)

50% Balance to be paid 14 days before delivery.

### Special Terms – Must Read

Delivery is to the front of the property only unless there is sufficient area for the delivery truck to turn around on your property.

The shed package remains the property of Tassie Sheds until fully paid for.

The purchaser agrees to accept the shed package within 4-6 weeks of ORDERING, barring any steel shortages or unforeseen issues. **In the event of a material price rise by the material manufacturer, the purchaser agrees to pay the increase.**

## Client Details

## Kit Price

## Quote Acceptance

**Signed Acceptance of Building Price and Design.**

---

**Signed That Terms and Conditions Have Been Read.**

---

### Tick Your Required Invoice:

**10% Engineering Invoice (We provide full engineering documents and local certificate.)** We need a total of 50% to go to manufacture. Only after paying 50% are you excluded from future price rises.)

**50% Manufacturing Invoice (You receive your engineering documentation, and we begin manufacture.)** Final 50% delivery invoice payment due 14 days before delivery.

**100% Full Payment Invoice (You receive your engineering documentation, and we begin manufacture.)**



## Important Terms & Conditions

### 1. **Payment**

- (a) The Customer shall pay the Supplier the amount(s) stated as per payment schedule accompanying the order.
- (b) The Supplier is not obliged to deliver any Goods unless the Customer has paid all amounts in full.
- (c) The Customer must pay to the Supplier all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.
- (d) Goods for each building are made as required, any orders cancelled after order placement will not be refunded.

### 2. **Ownership**

- (a) Ownership of the Goods does not pass to the Customer until all amounts due are paid to the Supplier. (b) Unless payment for the Goods is made to the Supplier by due date, the Supplier, or its agents or employees, may at any time enter on to the site where the Goods are stored and remove the Goods.
- (c) The Customer must indemnify the Supplier in respect of any claims, losses, costs, or damages that the Supplier may incur as a result of the Supplier taking action under clause 2(b).
- (d) Until the Customer has paid for the Goods;
  - (i) The Customer must not use, sell, lease, dispose, assign, or encumber the Goods (by mortgage, lien, charge or otherwise) without the consent of the Supplier; and
  - (ii) The Customer must store the Goods separately in a readily identifiable state.

### 3. **Council**

- (a) The Customer agrees to pay any additional costs incurred should the Local Council require any changes be made to the building.
- (b) A rejection of any building application or scope of works by the Local Council does not constitute a cancellation of the order and all moneys payable by the Customer to the Supplier shall become immediately due and payable.

### 4. **Delivery**

- (a) The Customer will at his expense provide or cause to be provided full and clear access to the delivery site.
- (b) Times for delivery are approximate and the Supplier can in no way be held responsible for variations to the proposed times.
- (c) Where delivery is specified to be made to a site, any additional mechanical assistance required to unload the Goods (e.g. crane, etc) must be paid for and organised by the Customer.
- (d) The Customer is to immediately notify the Supplier in writing upon discovery of any defect or shortage in the Goods. The Customer is deemed to have accepted the Goods and shall not have any claim in respect of defects or shortage unless the Supplier is notified in writing within forty-eight (48) hours of delivery of the Goods.
- (e) Windows are delivered direct to site or directed location via courier or and do not come with the shed delivery.
- (f) If delivery can not be made, we can generally hold the shed for the Customer for 2 weeks after which time it may be transferred to a storage yard at a cost of \$200 a week payable by the Customer.

### 5. **General**

- (a) Minor variations in measurements from those shown in the order shall not give rise to any claim for damages or breach of Agreement.
- (b) To the extent permitted by law, the Supplier's liability with respect to the supply of defective or faulty Goods is limited to the lowest of:
  - (i) The replacement or repair of the Goods; or
  - (ii) Payment of the costs of replacing the Goods or supplying equivalent Goods, in each case, at the Supplier's discretion. The Supplier shall not be liable for any labour costs associated with such repair or replacement.
- (c) The Customer warrants that he has carried out his own inquiries and investigations as to adequacy or suitability of the Goods for the purpose for which the Customer intends to use the Goods and the Customer has not relied on the Supplier or the supplier's employees, agents or distributors in determining the adequacy or suitability of the Goods for the Customer's purposes.
- (d) If the Customer defaults under any term of the Agreement or these Terms & Conditions, the Supplier may terminate the Agreement and all moneys payable by the Customer to the Supplier shall become immediately due and payable.
- (e) We use windlocked doors in region C & D as directed under the building code. Windlocked doors are not required to be used in other areas even if in a high wind speed location. Windlocked doors will not be used unless directed by the Customer and included in the signed quote that windlocked doors are to be used. If you, the Customer require windlocked doors, please advise the sales agent.
- (f) Please note the building dimensions are taken from the outside of the sidewall girts, the dimensions do not include the sheeting or the gutters. E.g. a 6 meter x 6 meter shed measure 6000mm x 6000mm to the outside of the girts that the sheeting is then fixed to. The slab will also be 6000mm x 6000mm allowing the sheeting to run down the wall and past the edge of the slab.
- (g) Mezzanine quotes only include the steel bearer, joists and fixings and does not include stairs, wood flooring or balustrades.

# Classic finish



**Dover White™**  
Classic finish  
SA = 0.28



**Surfmist®**  
Classic finish  
SA = 0.33  
U



**Evening Haze®**  
Classic finish  
SA = 0.43



**Southerly®**  
Classic finish  
SA = 0.40



**Dune®**  
Classic finish  
SA = 0.48  
U



**Paperbark®**  
Classic finish  
SA = 0.43



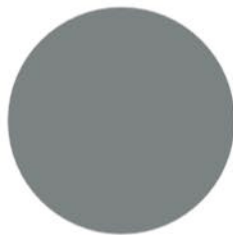
**Classic Cream™**  
Classic finish  
SA = 0.33



**Shale Grey™**  
Classic finish  
SA = 0.44  
U



**Bluegum®**  
Classic finish  
SA = 0.57



**Windspray®**  
Classic finish  
SA = 0.60  
U



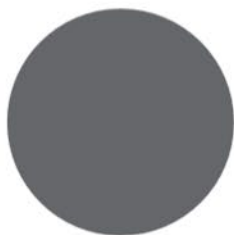
**Gully®**  
Classic finish  
SA = 0.64



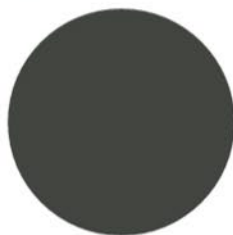
**Jasper®**  
Classic finish  
SA = 0.67



**Wallaby®**  
Classic finish  
SA = 0.64  
U



**Basalt®**  
Classic finish  
SA = 0.67



**Woodland Grey®**  
Classic finish  
SA = 0.70  
U



**Monument®**  
Classic finish  
SA = 0.73  
U



**Night Sky®**  
Classic finish  
SA = 0.95



**Ironstone®**  
Classic finish  
SA = 0.73



**Deep Ocean®**  
Classic finish  
SA = 0.74



**Cottage Green®**  
Classic finish  
SA = 0.73



**Pale Eucalypt®**  
Classic finish  
SA = 0.60



**Manor Red®**  
Classic finish  
SA = 0.70



## Full Sheeting And Flashing Colour Breakdown:

Roof Colour: Southerly

Wall Colour: Southerly

Gutter Colour: Southerly

Ridge Colour: Southerly

Downpipe Colour: N/A

Corner Flashings Colour: Southerly

Vermin Flashing Colour: Southerly

Opening Flashings: Southerly

Barge Flashing: Southerly

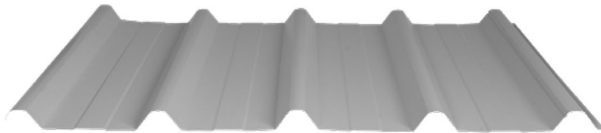
## Sheeting Profiles:

Corro



Cover: 762mm Height: 16mm

Trimclad



Pan Width: ≈ 130mm

Rib Width: ≈ 60mm

Cover: 762mm Height: 29mm



**Mail:** 202 Wellington Street, South Launceston 7249    27 November 2025  
**A.B.N:** 71 615 812 747  
**Phone:** 6344 7319  
**Email:** info@designtolive.com.au

## Planning Application Cover Letter

**Development:** Proposed Dwelling, Shed and Carport

**Owner:**

**Address**

**Council:** Glamorgan-Spring Bay

**Zone:** Low Density Residential

Please find below further information for the proposed Development at the above address.

### 10.4.3 – Setback

**A2 – Relies on Performance Criteria**

**P2 – The siting of a development must not result in an unreasonable loss of amenity to adjoining properties.**

1. The site is level, ensuring the floor level of the shed will not protrude above ground level at the boundary, minimising the height of the roof at that point.
2. Given the configuration of surrounding allotments, locating the shed at the rear of the property is reasonable, and aligning it with the crossover enhances functionality.
3. Although the subdivision is newly established, comparable developments in the Low-Density Residential Zone across Hazards View Drive contain numerous sheds within 5 metres of the side setback on lots of similar size and character.
4. The shed has been orientated to minimise bulk and visual impact when viewed from the street.
5. Adequate private open space remains available on the site.
6. Positioned along the northern boundary, the shed does not create overshadowing impacts on neighbouring properties.
7. As noted, while the subdivision is new, nearby developments feature sheds of similar scale, reinforcing consistency with the prevailing built form.

Regards,  
Lyndon Stubbs  
(BEnvDes, MArch)