



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:** **18 Freycinet Drive, Coles Bay**  
**CT 242868/19**

**PROPOSAL:** **Extension to Dwelling & Carport**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received before midnight on 08 January 2025.

**APPLICANT:** **Hamish Dingemanse**  
**DATE:** **07/11/2025**  
**APPLICATION NO:** **DA 2025 / 00197**

# Application for Planning Approval

## Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m <sup>2</sup> or Ha)			
Certificate of Title(s):			
Current use of site:			

<b>General Application Details</b> <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No <input checked="" type="checkbox"/>
<b>For all Non-Residential Applications</b>	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
<b>Personal Information Protection Statement</b>	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.


You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## **Checklist of application documents:**

*Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 242868	FOLIO 19
EDITION 5	DATE OF ISSUE 12-Jan-2021

SEARCH DATE : 05-Nov-2025

SEARCH TIME : 05.55 PM

DESCRIPTION OF LAND

Town of COLES BAY

Lot 19 on Plan [242868](#)

Derivation : Whole of Lot 19 Sec F Gtd to R Standage

Prior CT [3960/63](#)

SCHEDULE 1

[M605149](#)

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[E245994](#) MORTGAGE to Westpac Banking Corporation Registered

12-Jan-2021 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CS D 435

VOL.

FOL.

ANNEXURE TO CERTIFICATE OF TITLE

3960 63



ACTING DEPUTY Recorder of Titles

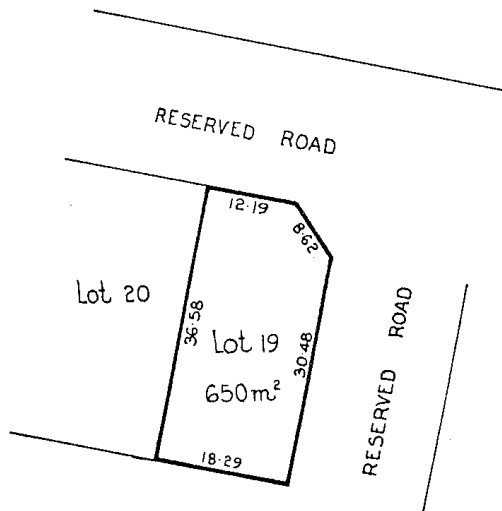
REGISTERED NUMBER

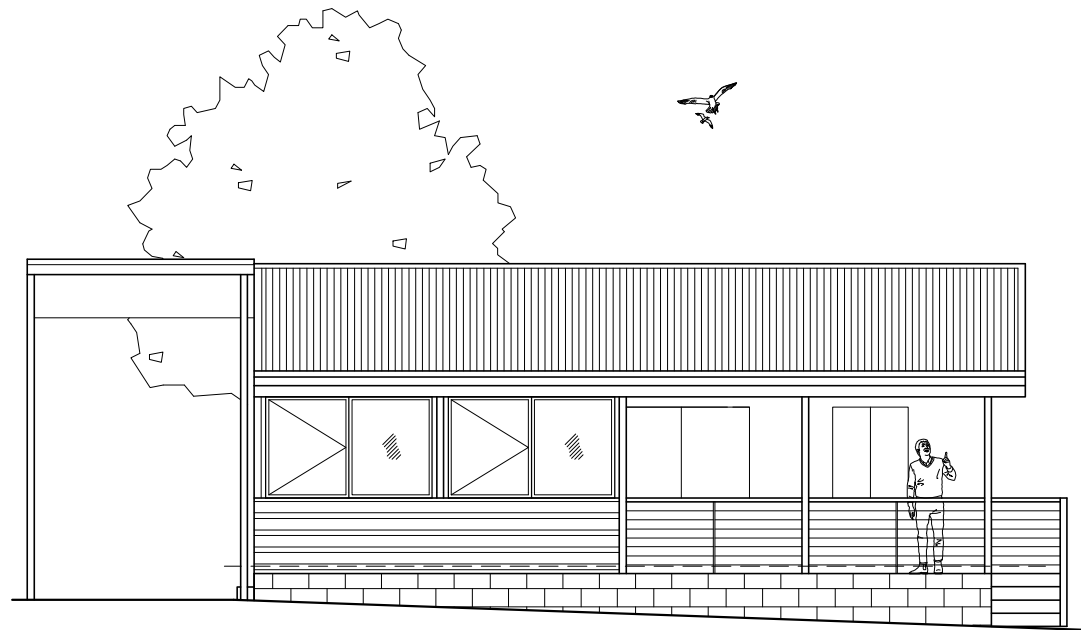
242868

Lot 19 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

Whole of Lot 19 Sec. F Gtd.  
to R. Standage  
Meas. in Metres  
+ 1/100

TWN. COLES BAY





# E.F & C.A DINGEMANSE

## PROPOSED EXTENSION TO RESIDENCE

### 18 FREYCINET DRIVE

### COLESBAY 7215

Job Number: 25DIN1  
 Issue : **A2** – For all Approvals

#### DRAWING SCHEDULE

- A01 - COVER PAGE
- A02 - ENSISTING FLOOR/ ELEVATIONS
- A03 - SITE / SERVICES PLAN
- A05 - PROPOSED FLOOR PLAN
- A05 - SECTION/ CONSTRUCTION NOTES
- A06 - ELEVATIONS
- A07 - GLAZING/ VENTILATION/ REFLECTED CEILING
- A08- ROOF DETAIL
- A09 - WET AREA DETAILS 1
- A10 - WET AREA DETAILS 2
- A11 - ONSITE WASTE WATER SYSTEM (Plan by Others)

#### Site Information

Land Title Reference:	<b>242868/19</b>	Certificate folio and volume
Property ID:	<b>5289456</b>	
Wind Classification:	<b>N2 (Adopted)</b>	Attached Site Classification to AS 4055–2006
Soil Classification:	<b>H1 (Adopted)</b>	Attached Site Classification to AS 2870–2011
Climate Zone:	<b>7</b>	www.abcb.gov.au map
BAL Level	<b>19</b>	Bushfire Hazard Report– Nova Land Consulting
Alpine Area:	<b>NA</b>	NCC Vol.2 2022 Schedule1 Glossary Fig. 3 and Table 2
Corrosion Environment:	<b>NA</b>	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC Vol.2 2022 section 6.3.9 & AS 4100. Cladding and fixings to manufacturer's specifications.
Other Hazards:	<b>NA</b>	High wind, earthquake, flooding, landslpipe, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors
Current Enclosed Area:	<b>79.7 sq.m</b>	
Current Balcony/Deck Area:	<b>42.1 sq.m</b>	
New Enclosed Area:	<b>121.0 sq.m</b>	
New Alfresco Area:	<b>38.9 sq.m</b>	
Carport Area :	<b>33.0 sq.m</b>	

• THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC Vol.2) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES.  
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 • CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

PRINT DATE:

**Mark Evans**  
 Building Designs & Drafting  
 11 Balfour Place  
 Launceston 7250  
 Mob. 0407071492  
 mdebuidingdesigns@bigpond.com  
 ABN 62650579624  
 Trading as  
 MDE Building Designs  
 Accred No. CC1629 D

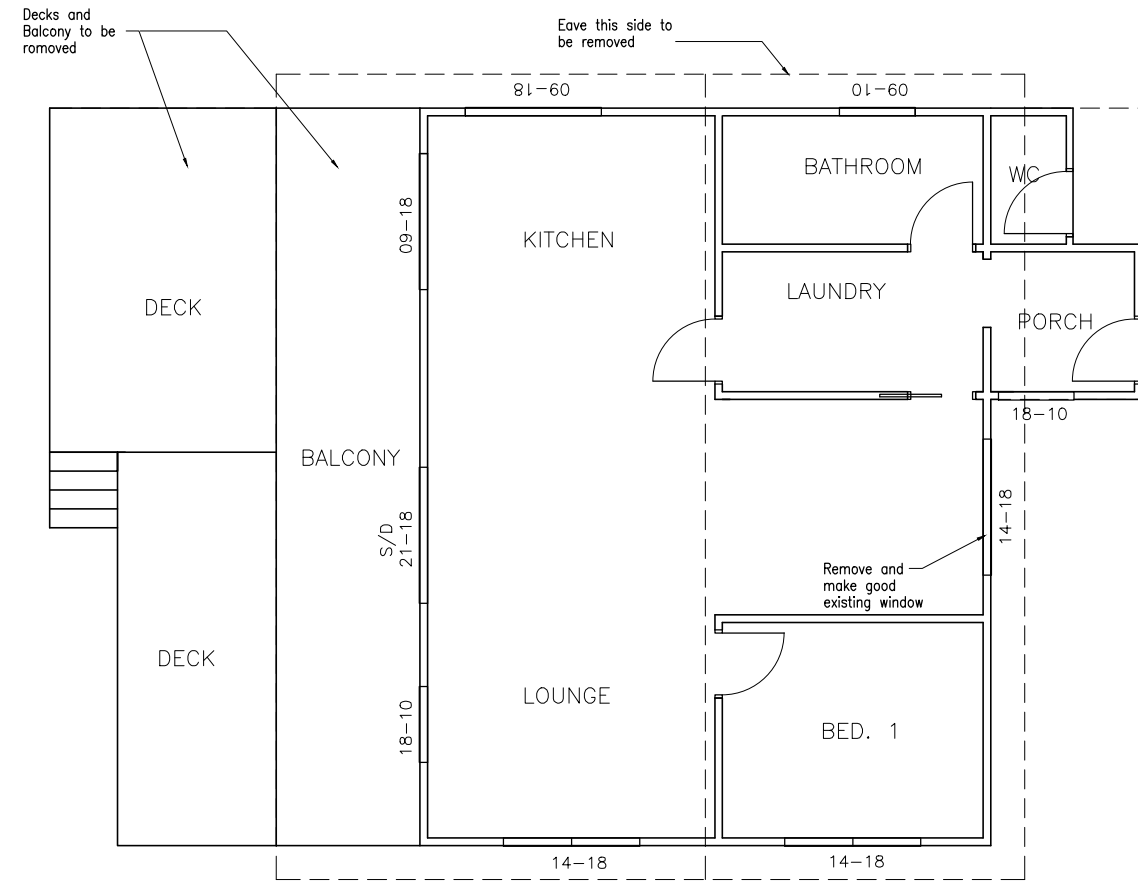
ISSUE:	DATE:	DESCRIPTION:
A1	OCT. 2025	FOR TENDERS AND ALL APPROVALS
A2	NOV. 2025	FIR– Glamorgan Spring Bay Council

SCALE:  
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 (A3)  
 Check dimensions.  
 Dimensions take  
 precedence over scale

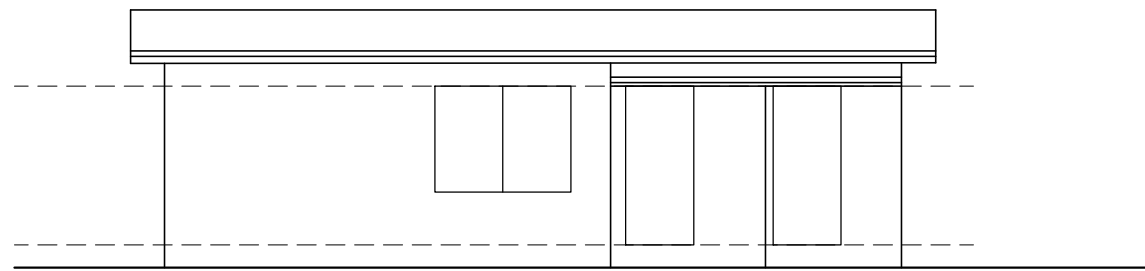
DRAWING NO: **A01**  
 DRAWN BY: ME  
 SHEET NO. : 1 of 11



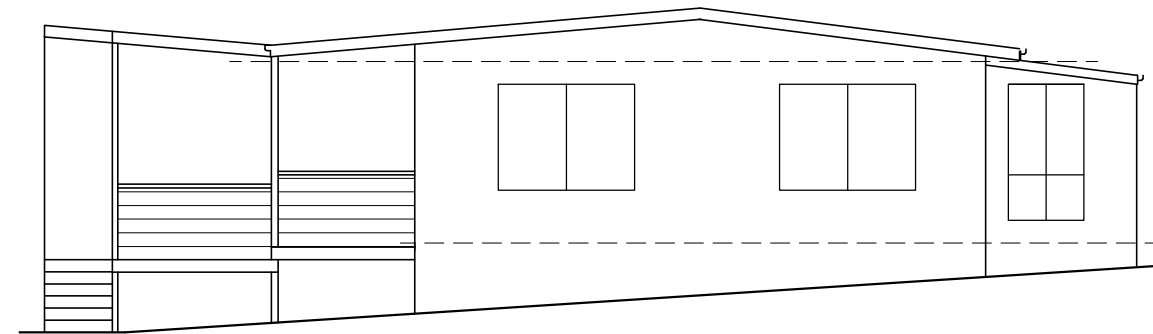
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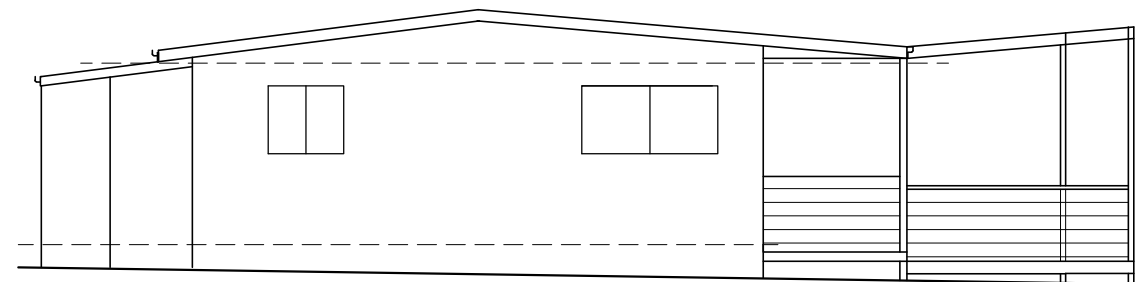
EXISTING FLOOR PLAN  
 Scale 1:100



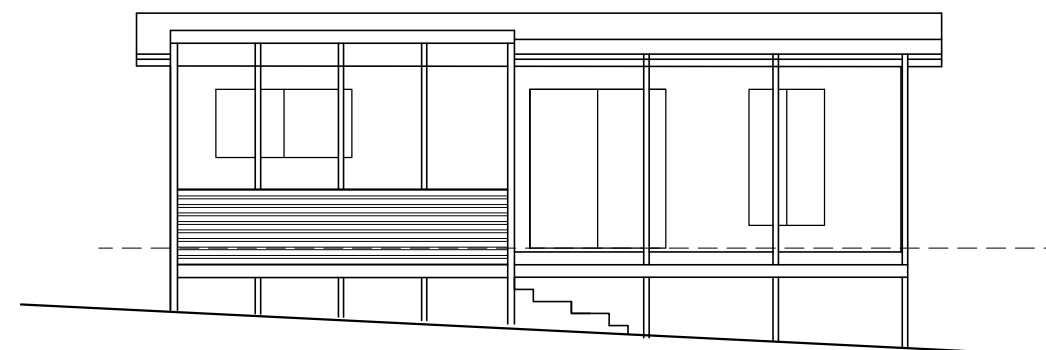
SOUTHERN ELEVATION



WESTERN ELEVATION



EASTERN ELEVATION



NORTHERN ELEVATION

EXISTING ELEVATIONS  
 Scale 1:100

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CLIENT:  
 PROJECT: PROPOSED EXTENSION TO RESIDENCE  
 18 FREYCNET DRIVE  
 COLES BAY 7215

DRAWING TITLE(S):  
 EXISTING FLOOR PLAN  
 EXISTING ELEVATIONS

SCALE:  
 1:100  
 (A3)  
 Check dimensions.  
 Dimensions take  
 precedence over scale

DRAWING NO: **A02**  
 DRAWN BY: ME  
 SHEET NO. :2 of 11

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND MUST BE CARRIED OUT BY A LICENSED PLUMBER

DOWNPIPES - 90 dia  
 STORMWATER-100 dia PVC AT 1:100 GRADIENT MIN.  
 SEWER - 100 dia. PVC AT 1:60 GRADIENT MIN.

--- STORMWATER  
 --- SEWERAGE

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2/ WSA 02-2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes.

**COLD WATER**  
 FROM METER TO HOUSE USE 25mm CLASS 12 POLYETHYLENE. INSIDE HOUSE USE 20mm CLASS 'B' WITH 12mm CLASS 'B' COPPER BRANCH LINES

**HOT WATER**  
 FROM HWC USE 18mm CLASS 'B' WITH 15mm COPPER BRANCH LINES TO FIXTURES. INSTALL 'RMC' OR EQUAL TEMPERING VALVE SET TO 50 deg. C

HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IAW AS/NZS 3500.

**LEGEND OF DIAMETERS**

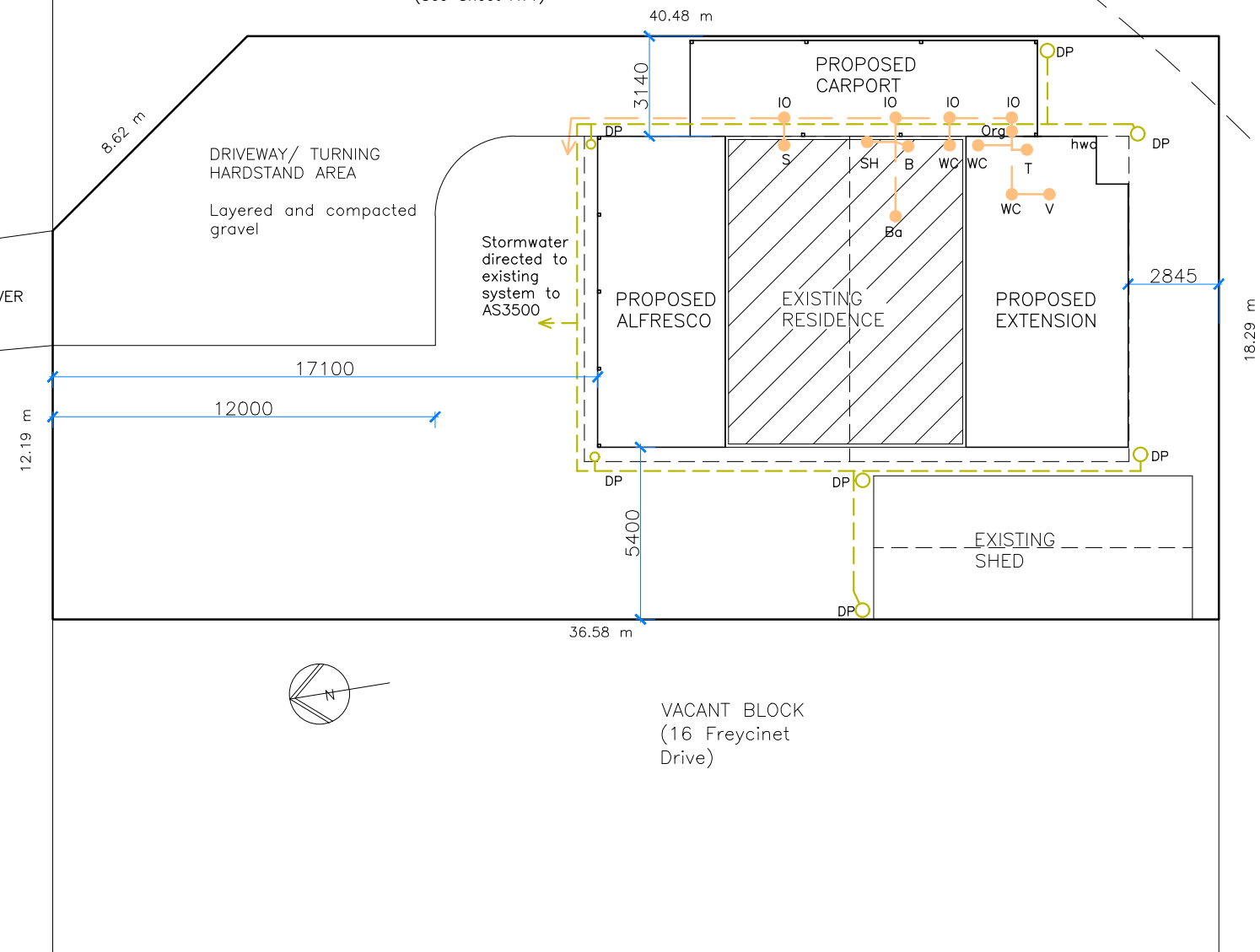
TROUGH = 50mm  
 SINK = 50mm  
 BATH = 40mm  
 BASIN = 40mm  
 SHOWER = 50mm  
 WC = 100mm

**LEGEND**

B - BASIN  
 Ba - BATH  
 S - SINK  
 T - LAUNDRY TUB  
 SH - SHOWER  
 WC - WATER CLOSET  
 FW - FLOOR WASTE  
 DP - DOWN PIPE  
 V - VENT  
 IO - INSPECTION OPENING  
 ORG - OVERFLOW RELIEF GULLY  
 RE - RODDING EYE  
 HWC - HOT WATER CYLINDER  
 X - EXTERNAL TAP

All fixtures (new and existing) directed to existing Septic System to AS3500 and TasWater Standards. (See Sheet A11)

FREYCINET DRIVE



See Sheet A11 for Onsite Waste Water System Design. (Original System 2009 -Plan by Others)

BAL- 19  
 See attached Bushfire Hazard Management Report  
 Nova Land Consulting

**LEGEND & NOTES:**

ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS FOR THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.

ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE NCC Vol.2 2022 AND AUSTRALIAN STANDARDS.

ANY ENGINEERS SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.

⊗ EXISTING LEVELS  
 ⊕ NEW LEVELS  
 CONTOUR INTERVALS = 10 m

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

PROTECTION MUST BE PROVIDED TO ADJOINING PROPERTIES IN ACCORDANCE WITH BUILDING REGULATIONS.

ENSURE FINISHED FLOOR LEVEL IS 150mm MIN. ABOVE FINISHED GROUND LEVEL.

**SITWORKS SOIL & WATER MANAGEMENT STRATEGIES**

SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.

SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS IAW NCC Vol.2 PART 3.2 AND AS3798.

SURFACE DRAINAGE -FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.

DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER AS SOON AS ROOF ID INSTALLED.

DRAINAGE WORKS TO BE IAW NCC Vol.2 PART 3.3 AND AS/NZS 3500

INSTALL ANY AG DRAINS PRIOR TO FOOTING EXCAVATION. SEE DRAINAGE PLAN FOR LOCATION.

SURFACE DRAINAGE -FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1m AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.

PREVENT PONDING OF WATER UNDER SUSPENDED FLOORS.

EXCAVATED MATERIAL PLACED UP-SLOPE OF AG DRAINS. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETED AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.

THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC Vol.2) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES.

USE ONLY FIGURED DIMENSIONS. DO NOT SCALE.

NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERS CERTIFICATES.

CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

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CLIENT:  
 PROJECT: PROPOSED EXTENSION TO RESIDENCE  
 18 FREYCINET DRIVE  
 COLES BAY 7215

DRAWING TITLE(S):  
 SITE/SERVICES PLAN

SCALE:  
 1:200  
 (A3)  
 Check dimensions. Dimensions take precedence over scale

DRAWING NO: **A03**  
 DRAWN BY: ME  
 SHEET NO. :3 of 11

NOTES:  
 -ALL DIMENSIONS INDICATED ARE  
 FRAME TO FRAME AND DO NOT  
 ACCOUNT FOR WALL LININGS.

● 240V HARD-WIRED SMOKE  
 DETECTORS ALL INTER-CONNECTED

DO NOT SCALE DRAWINGS-IF ANY DOUBT CONTACT DESIGNER.

ALL DIMENSIONS IN MILLIMETRES UNLESS SPECIFIED

CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT  
 OF ANY BUILDING WORK.

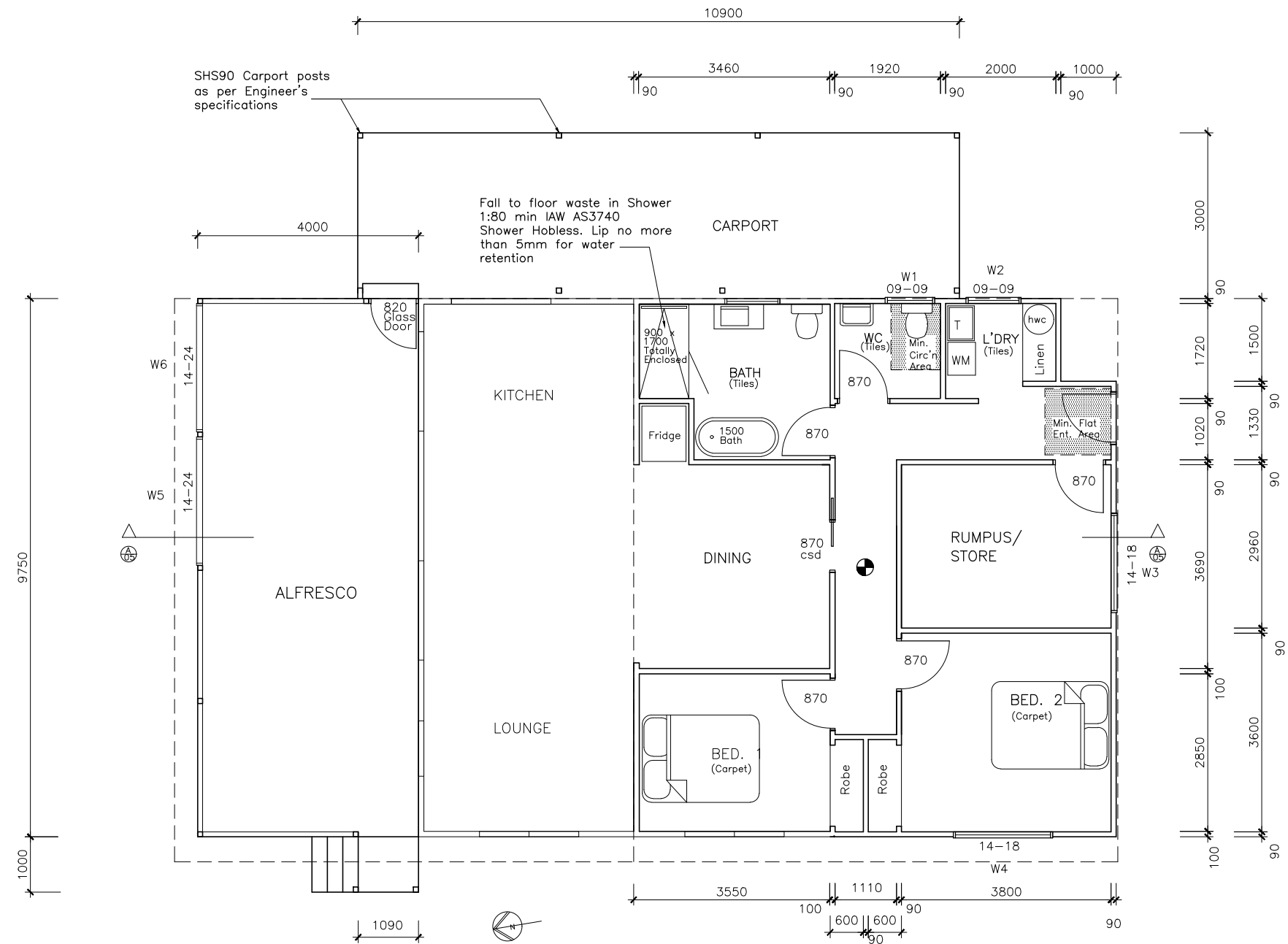
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 NCC Vol.2 2022 AND AUSTRALIAN STANDARDS.

ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.

ALL BUILDING MATERIALS USED NEED TO MEET RELEVANT CORROSION RESISTANT  
 REQUIREMENTS FOR THE LOCAL ENVIRONMENT AND COMPATIBILITY OF MATERIALS.

ALL PLUMBING AND DRAINAGE TO COMPLY AS3500 AND LOCAL COUNCIL PLUMBING  
 REQUIREMENTS.



LIVABLE HOUSING DESIGN STANDARD

CONSTRUCTION MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND MEET ALL ASPECTS OF ABCB STANDARD SATISFYING PART H8  
 AND PART G7 OF NCC 2022- LIVEABLE HOUSING DEIGN.

Note:

- 870 wide 35mm doors to habitable rooms allow 820mm openings between door stops.
- Corridor/ hall 1000mm widths min. (Stud to stud allowing 10mm plaster lining and architraves)
- Within the bathroom & WC) wall reinforcement as required in Part H8 NCC Vol.2 to the Shower,Bath and WC walls with 12mm structural ply (min.) or timber noggins 25mm thick (min.)
- Bathroom shower to be hobless, step free entry with lip not more than 5mm to be provided for water retention purposes.

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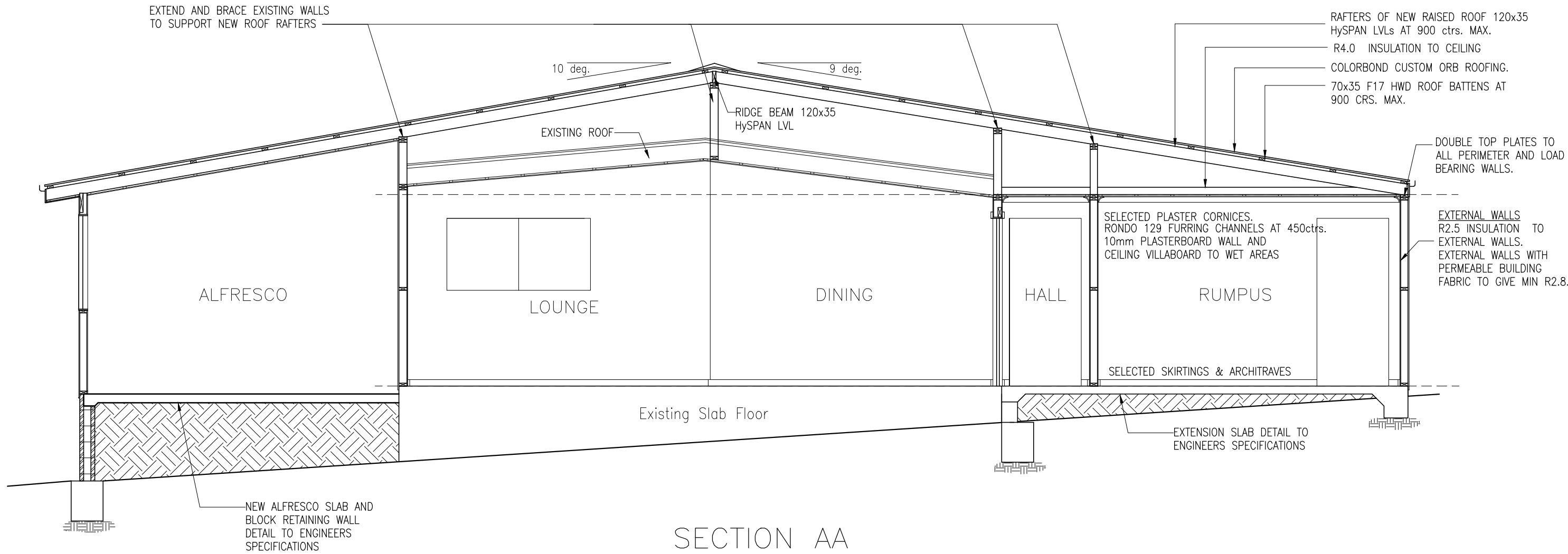
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DRAWING TITLE(S):  
 PROPOSED FLOOR PLAN

SCALE:  
 1:100  
 (A3)  
 Check dimensions.  
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DRAWING NO: **A04**  
 DRAWN BY: ME  
 SHEET NO. :4 of 11

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SECTION AA

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) Vol. 2, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

- DO NOT SCALE DRAWINGS—IF ANY DOUBT CONTACT DESIGNER.**
- ALL DIMENSIONS IN MILLIMETRES UNLESS SPECIFIED.
  - CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.
  - ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.
  - ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (NCC Vol.2) AND AUSTRALIAN STANDARDS.
  - ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.
  - ALL BUILDING MATERIALS USED NEED TO MEET RELEVANT CORROSION RESISTANT REQUIREMENTS FOR THE LOCAL ENVIRONMENT AND COMPATIBILITY OF MATERIALS.
  - ALL PLUMBING AND DRAINAGE TO COMPLY AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS.
- STEELWORKS**
- SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.
  - SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS IAW WITH NCC Vol.2 2022 3.2 AND AS3798.
  - DRAINAGE WORKS TO BE IAW NCC Vol.2 2022 PART 3.3 AND AS/NZS 3500
  - SURFACE DRAINAGE—FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1m AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.
  - PREVENT PONDING OF WATER UNDER ANY SUSPENDED FLOORS.
- STEELWORK**
- GENERALLY TO BE IAW WITH AS4100—STEEL STRUCTURES AND AS1544—WELDING IN BUILDING.
  - STEELWORK TO BE COATED WITH ANTI-OXIDISING PAINT PRIOR TO ERECTION.
  - ALL STEEL IN EXPOSED CONDITIONS TO BE GALVANISED OR PROPRIETARY GALVANISED PRODUCT.
  - ANY STRUCTURAL STEEL FRAMING TO BE IAW NCC VOL.2 Part 6.3, AS1250, AS4100, MANUFACTURERS SPECIFICATIONS AND STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS.

**MASONRY**

- GENERALLY MASONRY WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOL.2 2020 PART 5 & AS3700.
- MASONRY VENEER TO NCC VOL.2 2020 PART 5.2,
- CAVITY MASONRY TO NCC VOL.2 2020 PART 5.3,
- UNREINFORCED LEAF MASONRY TO NCC VOL.2 2020 PART 5.4,
- ISOLATED PIERS TO NCC VOL.2 2020 PART 5.5 and
- MASONRY COMPONENTS AND ACCESSORIES TO NCC VOL.2 2020 PART 5.6

**WALL FRAMING**

- ALL TIMBER FRAMING TO COMPLY WITH AS1684.2, NCC Vol.2 2022 PART 6.1, ANY ENGINEERS DETAILS, MATERIAL SUPPLIERS SPECS AND LOCAL COUNCIL REQUIREMENTS.
- HARDWOOD MINIMUM STRESS GRADE F17
- SOFTWOOD MINIMUM STRESS GRADE MGP10,
- TIMBER STUDS: 90x35 MPG 10 STRUC. PINE OR 90x35 F17 HWD AT 450 ctrs.
- TOP AND BOTTOM PLATES & NOGGINS: 90x35 MPG 10 STRUC. PINE OR 90x35 F17 HWD.
- BRACING OF TIMBER CONSTRUCTION TO BE IAW SECTION 8 OF AS1684.2 AND ANY ENGINEERS SPECIFICATIONS
- TIE-DOWN OF TIMBER FRAME TO BE IN ACCORDANCE WITH SECTION 9 OF AS1684.2, AS4055 AND ENGINEER'S SPECIFICATIONS.
- LINTELS AS PER WINDOW SCHEDULE AND/ OR TRUSS MANUFACTURER TAKING INTO ACCOUNT WHERE GIRDER TRUSSES ETC, ARE LOCATED.

**EXTERIOR WALL CLADDING**

- GENERALLY IAW NCC Vol.2 2022 PART 7
- ANY EXTERNAL TIMBER CLADDING TO BE FIXED IAW MANUFACTURERS SPECIFICATIONS.
- IF APPLICABLE WEATHERBOARDS AND CHAMFERBOARDS TO BE PRIMED PRIOR TO FIXING.
- VAPOR PERMEABLE SARKING TO BE PROVIDED BETWEEN EXTERNAL WALL CLADDING AND FRAMING.
- WALL CLADDING TO BE IAW MANUFACTURERS SPECIFICATIONS.
- FLASHINGS TO WINDOW/DOOR OPENINGS ARE TO AS290

**ELECTRICAL**

- ALL WIRING, LIGHTING, ELECTRICAL OUTLETS AND FIXTURES MUST BE INSTALLED BY A LICENCED PRACTITIONER.
- ALL LIGHTING AND ELECTRICAL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER AT TIME OF INSTALLATION.

**FACILITIES**

- THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN AND THE NEAREST PART OF THE DOORWAY.
- PROVISION OF NATURAL LIGHT TO BE IAW NCC Vol.2 2022 PART 10.4
- WINDOWS/ROOFLIGHTS TO PROVIDE LIGHT TRANSMISSION AREA EQUAL TO 10% OF FLOOR AREA OF ROOM.
- VENTILATION TO BE IAW NCC Vol.2 2022 PART 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FAN FOR BATHROOM/ WC TO BE VENTED TO OUTSIDE FOR STEEL ROOF AND TO ROOF SPACE FOR TILE ROOF.
- NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5% OF ROOM FLOOR AREA IAW NCC Vol.2 2022 PART 10.6

**LIVABLE HOUSING DESIGN STANDARD**

- CONSTRUCTION MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND MEET ALL ASPECTS OF ABCB STANDARD SATISFYING PART H8 AND PART G7 OF NCC 2022— LIVEABLE HOUSING DEIGN

Note —All ceiling, roof, external wall & floor insulation nominated in these plans and accompanying Energy rating assessment has been applied only to areas that are connected to external elements (i.e Earth or outside air)

**INTERNAL LINING**

- LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING WITH SELECTED PLASTER CORNICES.
- CEILING PLASTER FITTED TO METAL FURRING CHANNELS AT 450 ctrs.
- PLASTERBOARD LINING TO WET AREAS TO BE 'VILLABOARD', W.R BOARD OR OTHER APPROVED WATERPROOF LINING
- ALL EAVE AND SOFFIT LININGS TO BE 'VILLABOARD'. W.R BOARD OR OTHER APPROVED WATERPROOF LINING UNLESS OTHERWISE NOTED.
- ALL DOORS, WINDOWS, ARCHITRAVES, SKIRTING, WALL AND FLOOR SURFACES AND ALL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER.

**GENERAL FIRE SAFETY**

- GENERALLY TO BE IAW NCC Vol.2 2022 PART 9
- FIRE SEPARATION TO IAW NCC Vol.2 2022 PARTS 9.2, 9.3,9.4 EXTERNAL WALLS AND GABLE ENDS CONSTRUCTED WITHIN 900mm OF BOUNDARY ARE TO EXTEND TO UNDERSIDE OF NON COMBUSTIBLE ROOFING/ EAVES AND ARE TO BE CONSTRUCTED OF A MASONRY SKIN 90mm THICK AND WITH AN FRL OF 60/ 60/60.
- SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5.
- ROOF LIGHTS NOT TO BE PLACED CLOSER THAN 900 FROM BOUNDARY.
- SMOKE ALARM INSTALLATION TO BE IAW NCC Vol.2 2022 PART 9.5. AND AS1670, LOCATIONS INDICATED ON FLOOR PLAN.
- INSTALLATION LOCATIONS:
  - CEILINGS— 300 AWAY FROM WALL JUNCTION.
  - CATHEDRAL CEILING— 500 DOWN FROM APEX.
  - WALLS— 300 DOWN FROM CEILING JUNCTION
- HEATING APPLIANCES GENERALLY TO BE IN COMPLIANCE WITH NCC Vol.2 2022 PART 9 AND AS2918 "DOMESTIC SOLID FUEL BURNING APPLIANCE INSTALLATIONS".

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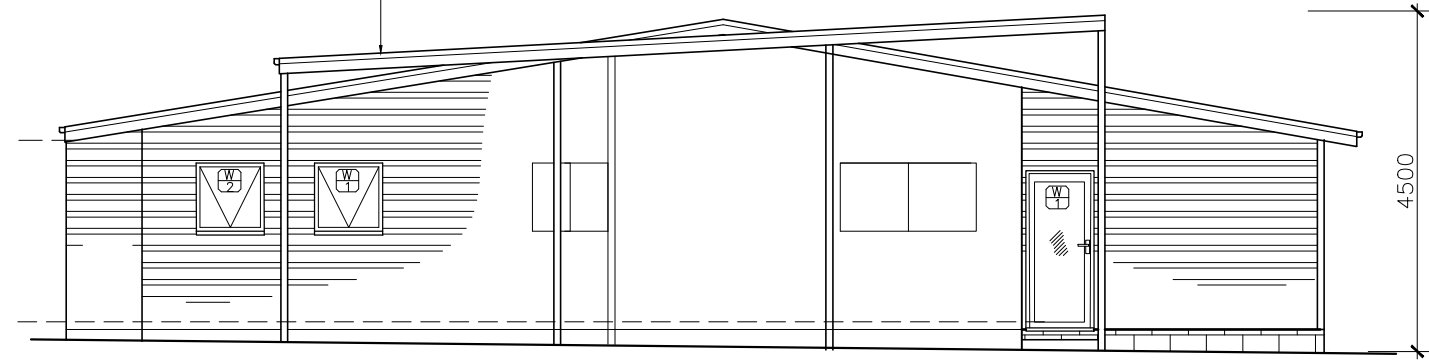
ISSUE:	DATE:	DESCRIPTION:
A1	OCT. 2025	FOR TENDERS AND ALL APPROVALS
A2	NOV. 2025	FIR— Glamorgan Spring Bay Council

CLIENT:  
 PROJECT: PROPOSED EXTENSION TO RESIDENCE  
 18 FREYCINET DRIVE  
 COLES BAY 7215

DRAWING TITLE(S):  
 SECTION  
 CONSTRUCTION NOTES

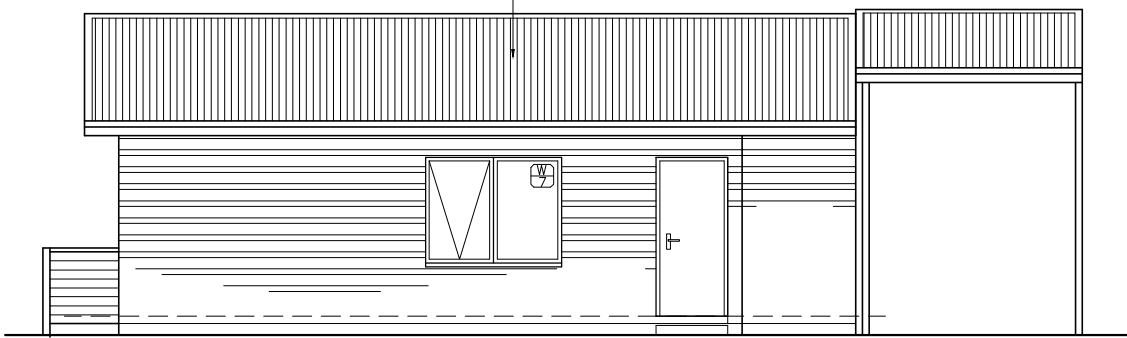
SCALE: 1:50 (A3) Check dimensions. Dimensions take precedence over scale	DRAWING NO: <b>A05</b> DRAWN BY: ME SHEET NO. :5 of 11
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ROOFING  
3 deg. CARPORT COLORBOND  
'TRIMDECK' ROOF CLADDING. INSTALLED  
IAW MANUFACTURERS INSTRUCTIONS.



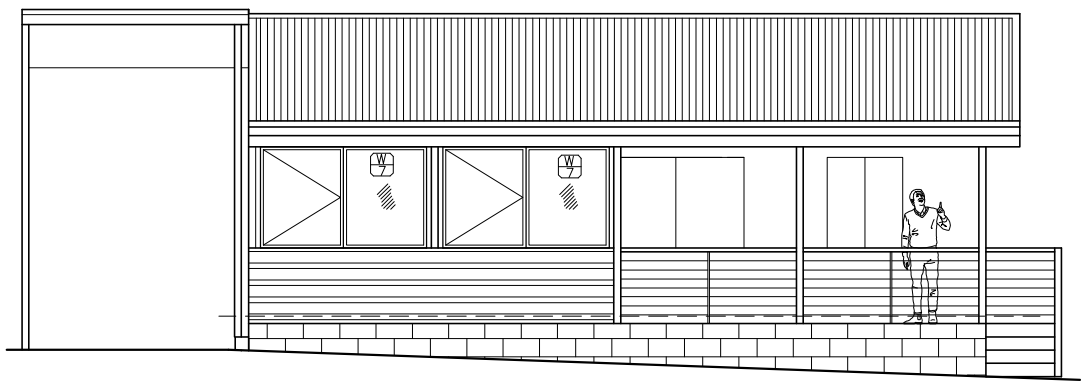
EASTERN ELEVATION

ROOFING  
COLORBOND CUSTOM ORB ROOF CLADDING,  
GUTTER AND FASCIA ALL ROUND.  
COLOUR TO CLIENTS SPECIFICATION.  
INSTALLED IAW MANUFACTURERS INSTRUCTIONS.



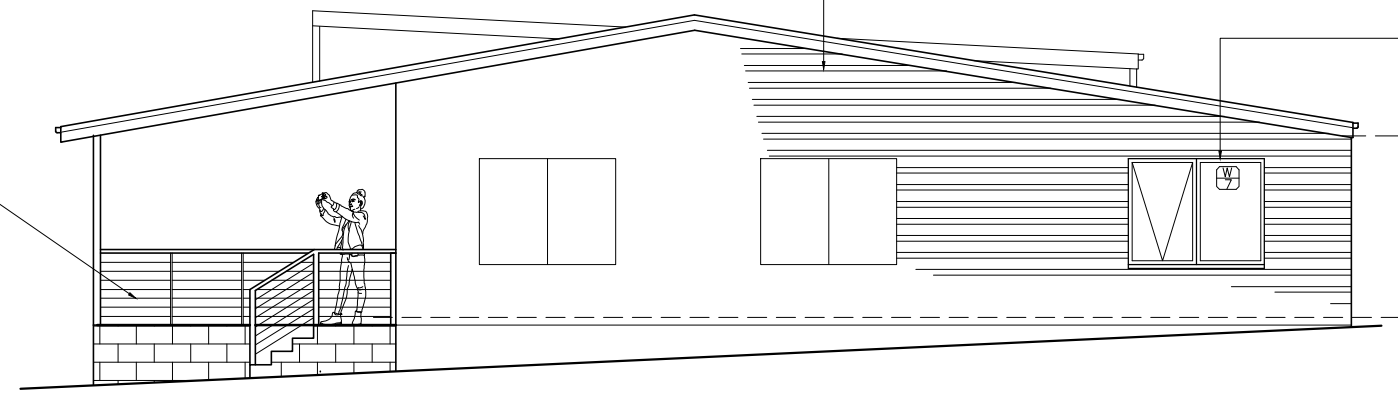
SOUTHERN ELEVATION

WALL CLADDING  
SELECTED WALL CLADDING TO  
COMPLY WITH BAL 19 RATING.  
Parts less than 400mm above  
ground or decks etc. to be of  
non-combustible material.



NORTHERN ELEVATION

1000 HIGH RAIL  
AND STAINLESS  
WIRE BALUSTRADE  
TO NCC V2 11.3



WESTERN ELEVATION

WINDOWS & DOORS  
ALUMINIUM FRAMED DOORS AND AWNING WINDOWS (See  
window schedule)  
TAS OAK OR MDF REVELS AND TRIMS  
ALL FLASHING TO MANUFACTURERS SPECIFICATIONS, NCC  
Vol.2 PART 8.2 & AS1288

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• CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

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CLIENT \_\_\_\_\_  
PROJECT: PROPOSED EXTENSION TO RESIDENCE  
18 FREYCINET DRIVE  
COLES BAY 7215

DRAWING TITLE(S):  
ELEVATIONS

SCALE:  
1:100  
(A3)  
Check dimensions.  
Dimensions take  
precedence over scale

DRAWING NO: **A06**  
DRAWN BY: ME  
SHEET NO. :6 of 11

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### Natural Light and Ventilation

#### PART 3.8.4 LIGHT

Minimum 10% of the floor area of a habitable room required (natural light)

#### PART 3.8.5 VENTILATION

Minimum 5% of the floor area of a habitable room required (An exhaust fan may be used for a sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

Room	Area (m sq.)		Light Required (m sq.)	Light Achieved (m sq.)	Ventilation Required (m sq.)	Ventilation Achieved (m sq.)
Bedroom 1	9.9	Existing	0.99	2.52	0.50	1.26
Bedroom 2	13.7	W4	1.37	2.52	0.69	1.26
Rumpus	11.2	W3	1.12	2.52	0.56	1.26

### Window Schedule & Glazing Areas

Number	Height	Width	Type	Room	Area (sq.m)	Orientation	Glass *	Material
W1	900	2100	Awning	Kitchen	1.89	Eastern	Double Glazed Clear	Aluminium
W2	1000	600	Awning	Dining	0.60	Eastern	Double Glazed Clear	Aluminium
D1	2100	2400	Stacker Door (OOX)	Dining	5.04	Eastern	Double Glazed Clear	Aluminium
Totals					7.53			

THE FOUR REPLACEMENT GLAZING ELEMENTS SPECIFIED BELOW ARE DOUBLE GLAZED TO REPLACE THE EXISTING SINGLE GLAZING. THESE ALTERATIONS TO THE EXISTING DWELLING ARE BENEFICIAL TO THE THERMAL PERFORMANCE OF THE BUILDING. SEE ATTACHED GLAZING CALCULATOR.

BUSHFIRE-PRONE AREA BAL RATING- 19 (SEE ATTACHED HAZARD MANAGEMENT PLAN FOR ASSESSMENT)

WINDOW AND DOOR ASSEMBLIES CONSTRUCTION AND FITTING TO COMPLY WITH AS3959-2018-SECTION 5.5

GRADE A SAFETY GLASS MINIMUM 5mm TOUGHENED GLASS WITHIN 400mm OF THE GROUND, DECK etc.  
(THIS IS ONLY REQUIRED ON THE EXTERNAL LEAF OF DOUBLE GLAZED UNITS)

OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY WITH SCREENS THAT HAVE A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTENT STEEL, BRONZE OR ALUMINIUM. GAPS BETWEEN THE PERIMETER OF THE SCREEN ASSEMBLY AND THE BUILDING ELEMENT TO WHICH IT IS FITTED SHALL NOT EXCEED 3mm.  
SCREENING SHOULD COMPLY WITH CLAUSE 5.5.3 FOR SPECIFIED SIDE HUNG EXTERNAL DOORS AND CLAUSE 5.5.4 FOR SLIDING DOORS.

EXTERNAL DOORS PROTECTED BY BUSHFIRE SHUTTER OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR GLAZED WITH 5 mm TOUGHENED GLASS, NON-COMBUSTIBLE OR 35mm SOLID TIMBER FOR 400mm ABOVE THRESHOLD, METAL OR BUSHFIRE RESISTING TIMBER FRAMED FOR 400mm ABOVE THE GROUND, DECKING, ETC. TIGHT-FITTING WITH WEATHER STRIPS AT BASE.

VEHICLE ACCESS DOORS (GARAGE) COLORBOND PANEL LIFT DOOR WITH BOTTOM WEATHER SEAL AND GUIDE TRACKS WITH MAX. GAP NO LARGER THAN 3mm. NO VENTILATION SLOTS ARE PERMISSIBLE.

#### ADDITION GLAZING REQUIREMENTS

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH NCC (Vol.2) 8.2 & 8.3 AS 2047. ALL OTHER GLASS TO COMPLY WITH AS1288

NEW ADDITION SLIDING DOORS AND WINDOWS ARE DOUBLE GLAZED POWDER COATED ALUMINIUM FRAMES MDF OR TAS OAK REVEALS.

ALL FLASHINGS AND FASTENINGS TO MANUFACTURERS SPECIFICATIONS. DIMENSIONS SHOWN IN ELEVATIONS FOR THESE WINDOWS ARE NOMINAL ONLY. DOORS/ WINDOWS ARE TO BE FABRICATED USING ON-SITE MEASUREMENTS.

#### ENERGY EFFICIENCY

GENERALLY IAW 3.12

CLIMATE ZONE 7 APPLICABLE TO TASMANIA (ZONE 8 APPLICABLE TO ALPINE AREAS).

ALL EXHAUST FANS TO BE SELF CLOSING. MAX. 250mm DIA.

WINDOW FRAMES TO BE WEATHER STRIPPED.

ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH AS3999

#### LIGHTING

LIGHTING LAYOUT IS INDICATIVE ONLY AND SHOULD BE CONFIRMED WITH BUILDING CONTRACTOR AND CLIENT PRIOR TO INSTALLATION, HOWEVER MUST COMPLY WITH MINIMUM ILLUMINATION POWER LOAD ALLOWANCES IN THIS TABLE.

LIGHTING SCHEDULE			
ROOM NAME	FLOOR AREA (sqm)	ALLOWANCE (W/sqm)	ILLUMINATION POWER LOAD ALLOWANCE (Watt)
01- ALFRESCO	38.9	4	156
02- LOUNGE/KITCH./DINING	49.3	5	247
03- BATHROOM	8.6	5	43
04- WC	3.3	5	17
05- LAUNDRY	2.3	5	12
06- HALL	11.2	5	56
07- RUMPUS/ STORE	11.2	5	56
08- BEDROOM 2	13.7	5	69
04- BEDROOM 3	9.9	5	50
TOTAL	148.4		703

Light Switch( 2w=2 way switch) (Dim =dimmer)

Smoke Alarm -all interconnected, hard wired with battery backup.  
To AS 3786 and Part 3.7.2 of current NCC(Vol2)

Surface mounted batten light fitting with 11W LED globes.

Downlights -IC Rated LED -fitted with approved covers that allow bulk insulation to fully cover.

Track Lights

Range Hood/ Exhaust Fan

Combination light, fan & heat lamp unit (4 lamp)  
4x275W heat lamps (not included in calculation)  
1x 15W fluorescent globe.

Combination light, fan & heat lamp unit (2 lamp)  
4x275W heat lamps (not included in calculation)  
1x 15W fluorescent globe.

Exhaust ducts to Exterior

- Bathroom fans to be fitted with backdraught dampers/ shutters
- External lights must be controlled by a daylight sensor (as shown), or have an average light source efficiency of not less than 40 lumens/W

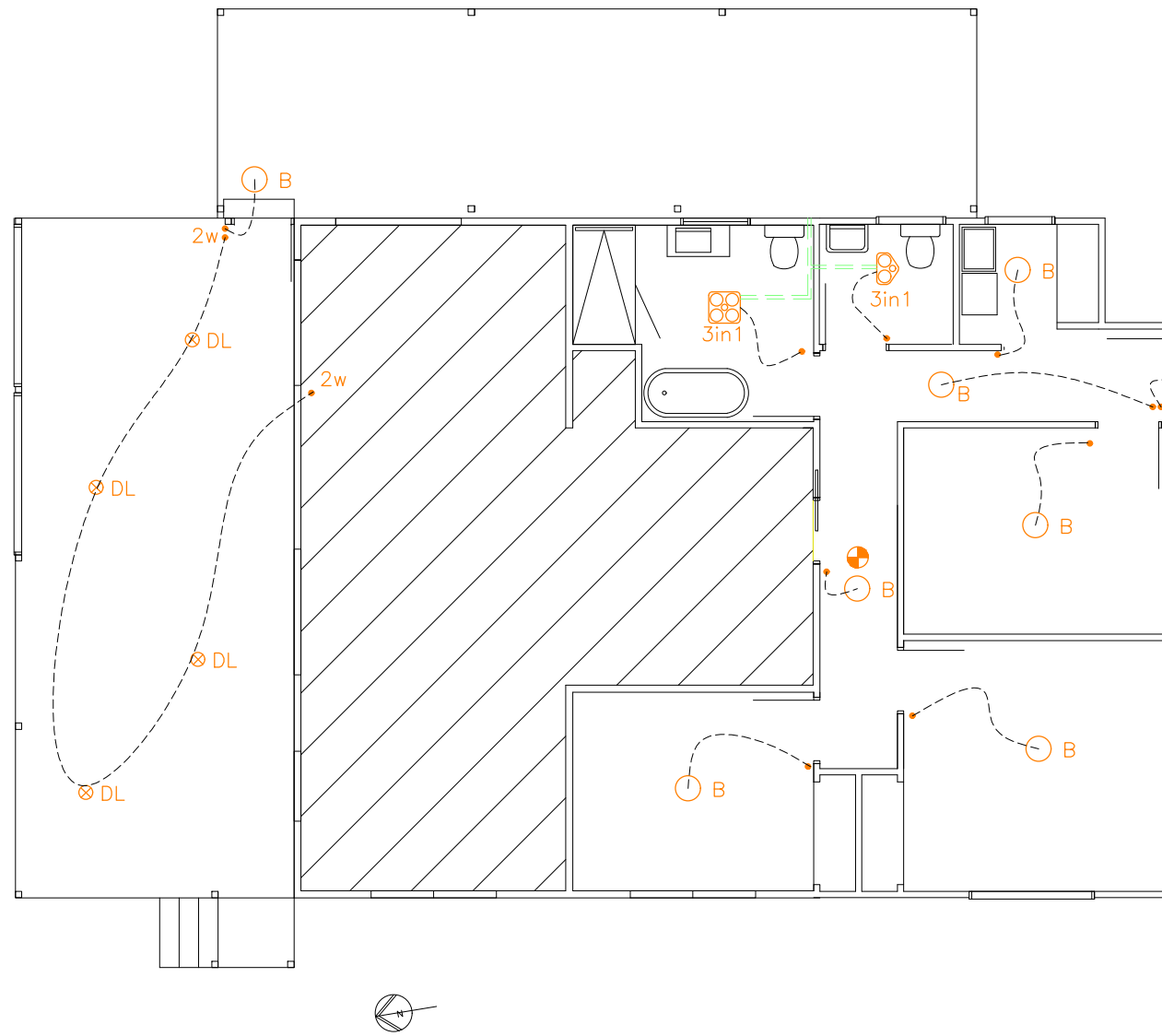
- Adjustment of minimum R -Value for loss of ceiling insulation. (NCC Vol.2 2022 13.2)

- Minimum R-Value of ceiling insulation required to satisfy NCC Vol.2 2022 Table 13.2.3h = R4.5

- Total Extension habitable ceiling area (excl. Alfresco): 121.0 sq.m  
Area of fans/ lights: 0.6 sq.m

- Percentage of ceiling un-insulated due to light fittings and fans(NCC Vol.2 2022 table 13.2) = 0.49%

- No adjustment of ceiling insulation is required. (if percentage un-insulated is less than 0.5%)



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DRAWING TITLE(S):  
 GLAZING/ VENTILATION DETAILS  
 REFLECTED CEILING PLAN

SCALE:  
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 (A3)  
 Check dimensions.  
 Dimensions take  
 precedence over scale

DRAWING NO: **A07**  
 DRAWN BY: ME  
 SHEET NO. :7 of 11

**COMPLIANCE FOR ROOF & ROOFING ELEMENTS WITH AS3959  
SECTION 5-CONSTRUCTION FOR BAL 19**

**GENERALLY:**  
ALL ROOF COVERINGS AND ACCESSORIES SHALL BE NON-COMBUSTABLE.

ROOF AND WALL JUNCTIONS SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 3mm, EITHER BY THE USE OF FASCIA AND EAVES LININGS OR BY SEALING BETWEEN THE TOP OF THE WALL AND THE UNDERSIDE OF THE ROOF AND BETWEEN THE RAFTERS AT THE LINE OF THE WALL.

ROOF VENTILATION OPENINGS, SUCH AS GABLE AND ROOF VENTS, SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTABLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

**SPECIFICALLY SHEET ROOF:**  
SHEET ROOF SHALL BE FULLY SARKED. THE SARKING WILL BE LOCATED ON TOP OF THE ROOF FRAMING AND MAY BE INSTALLED OVER THE BATTENS.  
SARKING SHALL COVER THE ENTIRE ROOF AREA INCLUDING RIDGES AND HIPS AND EXTEND INTO GUTTERS AND VALLEYS.

ANY GAPS GREATER THAN 3mm (eg UNDER CORRUGATIONS AND RIBS) SHALL BE SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES BY ANY OR A COMBINATION OF:  
- A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.  
- MINERAL WOOL  
- OTHER NON-COMBUSTABLE MATERIAL.

**ROOF PENETRATIONS:**  
ROOF PENETRATIONS SUCH AS ROOF LIGHTS, ROOF VENTILATORS, ROOF-MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS, SHALL BE ADEQUATELY SEALED AT THE ROOF WITH A NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.

OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH EMBER GUARDS MADE FROM MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. THIS DOES NOT APPLY TO EXHAUST FLUES OF HEATING AND COOKING DEVICES WITH CLOSED COMBUSTION CHAMBERS OR GAS APPLIANCE FLUES.

EAVES LININGS, FASCIAS AND GABLES:  
EAVES PENETRATIONS SHALL BE PROTECTED AS FOR ROOF PENETRATIONS.

EAVE VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTABLE MATERIAL OR MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

GUTTERS AND DOWNPIPES:  
IF INSTALLED, GUTTER AND VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE.

BOX GUTTERS SHALL BE NON-COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF WITH NON-COMBUSTIBLE MATERIAL.

**ROOF CLADDING**  
ROOF CLADDING TO BE GENERALLY IAW NCC VOL.2 PART 7

ROOF TILES AS2049 & AS 2050 (N/A)  
METAL SHEET ROOFING AS 1562.1  
PLASTIC SHEET ROOFING AS/NZS 4256.1,2,3&5 & AS 1562.3.

VAPOR PERMEABLE SARKING TO BE PROVIDED BETWEEN ROOF CLADDING AND FRAMING.

FLASHINGS TO NCC Vol.2 2022 Part 7.2

COLORBOND ROOF CLADDING ON 70x35 BATTENS AT 900 ctrs. MAX. AND ANY CONCRETE ROOF TILES ON 50x30 BATTENS AT 330 MAX. BOTH INSTALLED STRICTLY IAW MANUFACTURERS SPECIFICATIONS

**FASCIA, GUTTERS AND DOWNPIPES**  
COLORBOND METAL FASCIA, GUTTERING, FLASHINGS AND RIDGE CAPPING TO MATCH EXISTING AND INSTALLED IAW MANUFACTURERS SPECIFICATIONS.

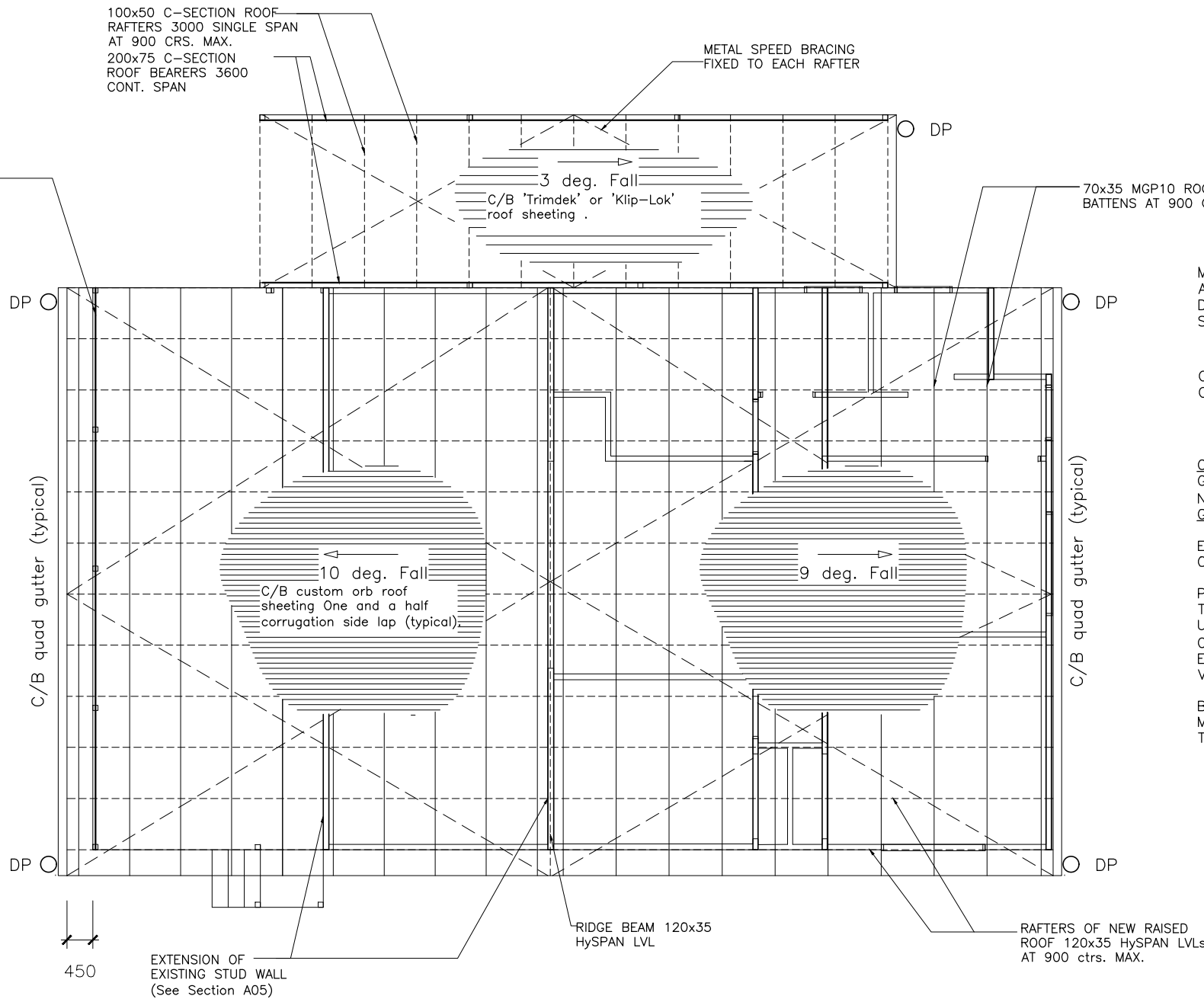
GUTTERS AND DOWNPIPES GENERALLY TO BE IAW NCC Vol.2 2022 PART 7.4 & AS/NZS 3500.3.2 & THE TASMANIAN PLUMBING CODE.

LAP GUTTERING 75mm IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

VALLEY GUTTERS TO BE 145 WIDE COLORBOND STEEL TO MATCH ROOF. TAKE 150mm UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES AND LAPPED 150mm IN DIRECTION OF FLOW.

MAXIMUM SEPARATION OF DOWN PIPES TO BE 12 METRES AND TO BE WITHIN 1000mm OF INTERNAL/VALLEY GUTTER AS TO COMPLY WITH NCC Vol.2 2022 PART 7.4.

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- CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.



MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BCA AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDING IF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED.

CHIMNEYS AND FLUES MUST HAVE A DAMPER THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

**CONDENSATION DETAILS**  
GENERALLY ALL CONDENSATION DETAILS TO BE IN ACCORDANCE WITH NCC Vol.2 8.8 and Condensation in Buildings - Tasmanian Designers' Guide - Version 2

EXHAUST FANS FROM BATHROOMS AND EN-SUITES TO BE DUCTED TO OUTSIDE AIR.

POLY EAVE VENTS INSTALLED IF ANY EXHAUST SYSTEM IS DIRECTED TO THE ROOF SPACE. MINIMUM VENT AREA SHOULD BE WITH MINIMUM UNOBSTRUCTED VENT AREA OPENING REQUIRED TO BE A TOTAL CEILING AREA/300 FOR THE 22.5 deg. ROOF PITCH. OTHERWISE EXHAUST SYSTEMS TO BE DISCHARGED DIRECTLY OUTDOORS IAW NCC Vol.2 8.8.7.4

BUILDING MEMBRANE USED FOR BUILDING CEILING OF ROOF AND WALLS MUST BE PERMEABLE BUILDING FABRIC. ROOF PERMEABLE FABRIC TO THE ROOF MUST BE LOCATED UNDER THE BATTENS

**Mark Evans Building Designs & Drafting**  
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ISSUE:	DATE:	DESCRIPTION:
A1	OCT. 2025	FOR TENDERS AND ALL APPROVALS
A2	NOV. 2025	FIR- Glamorgan Spring Bay Council

CLIENT:  
PROJECT: PROPOSED EXTENSION TO RESIDENCE  
18 FREYCINET DRIVE  
COLES BAY 7215

DRAWING TITLE(S):  
ROOFING DETAILS

SCALE:  
1:100  
(A3)  
Check dimensions.  
Dimensions take precedence over scale

DRAWING NO: **A08**  
DRAWN BY: ME  
SHEET NO. :8 of 11



## WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS:

VESSEL OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. HOB	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. WATERSTOP	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO MIN. 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH STEP DOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. THE STEPDOWN	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	NOT APPLICABLE	WATER RESISTANT TO A HEIGHT NOT LESS THAN 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
UN-ENCLOSED SHOWERS	WATERPROOF ENTIRE UN-ENCLOSED SHOWER FLOOR	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEETING	WATER RESISTANT TO ENTIRE FLOOR	NOT APPLICABLE	WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER AND PARTICLE BOARD FLOORING	WATER PROOF TO ENTIRE FLOOR	NOT APPLICABLE	WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEETING	WATER RESISTANT TO ENTIRE FLOOR	WATER RESITANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL UP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER A BATH AND WATER RESITANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ONHORIZONTAL SURFACES
AREAS ADJACENT TO BATHS AND SPAS FOR TIMBER AND PARTICLE BOARD FLOORING	WATER PROOF TO ENTIRE FLOOR	WATER RESITANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL UP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER A BATH AND WATER RESITANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. WATERPROOF ENTIRE SHELF AREA INCORPORATING 'WATERSTOP' UNDER THE BATH LIP AND PROJECT NOT LESS THAN 5mm ABOVE THE TILE SURFACE	NOT APPLICABLE FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	NOT APPLICABLE FOR WALL UNDER BATH	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
WALLS ADJOINING OTHER VESSELS (SINKS, TUBS, BASINS)	NOT APPLICABLE	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF THE VESSEL.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
LAUNDREYS & WC'S	WATER RESISTANT TO ENTIRE FLOOR	WATERPROOF ALL WALL/ FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FFL, SEALED TO FLOOR.	WATERPROOF ALL WALL/ FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE

ALL WATERPROOFING USE 'ARDEX' WPM SERIES PRODUCTS (OR SIMILAR) STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AS 3740- Waterproofing of Wet Areas within Residential Buildings.

- THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC Vol.2) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES.
- USE ONLY FIGURED DIMENSIONS. DO NOT SCALE.
- NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERS CERTIFICATES.
- CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

PRINT DATE:

 <b>Mark Evans</b> Building Designs & Drafting <small>Trading as MDE Building Designs                  Accred No. CC1629 D</small>	11 Balfour Place Loundceston 7250 Mob. 0407071492 mdebuildingdesigns@bigpond.com ABN 62650579624
	ISSUE: DATE: DESCRIPTION: A1 OCT. 2025 FOR TENDERS AND ALL APPROVALS A2 NOV. 2025 FIR- Glamorgan Spring Bay Council

CLIENT: PROJECT: PROPOSED EXTENSION TO RESIDENCE  
 18 FREYCINET DRIVE  
 COLES BAY 7215

DRAWING TITLE(S): WET AREA DETAILS 1

SCALE: N/A (A3)  
 Check dimensions. Dimensions take precedence over scale

DRAWING NO: **A09**  
 DRAWN BY: ME  
 SHEET NO. :9 of 11



WP-Waterproof  
WR-Water Resistant

WET AREAS – NCC Vol.2 2022 PART 10.2  
GENERAL NOTES

WET AREAS MUST BE WATER PROOF OR WATER RESISTANT IN ACCORDANCE WITH NCC Vol.2 2022 PART 10.2

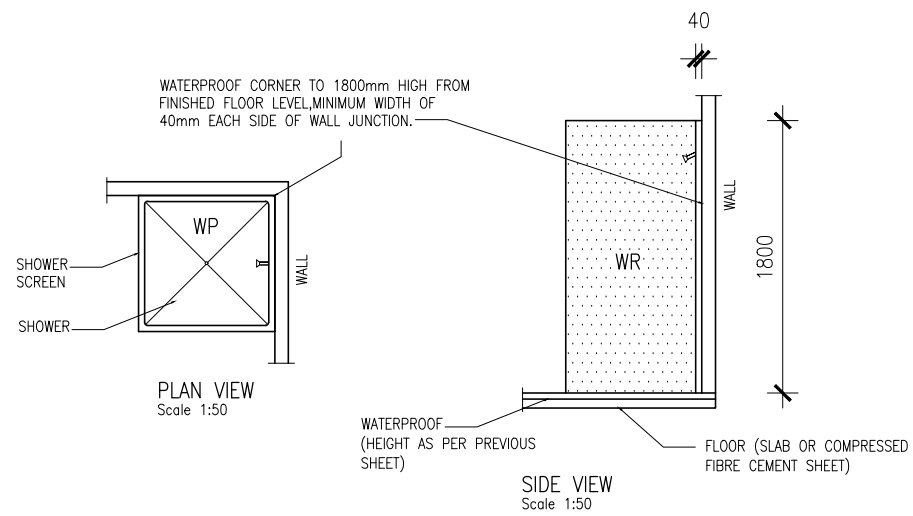
FOR DEFINITIONS OF WATERPROOF & WATER RESISTANT REFER TO NCC Vol.2 2022 PART 10.2

PREFORMED SHOWER BASES MUST BE INSTALLED IN A MANOR TO AVOID DISTORTION AND CRACKING.

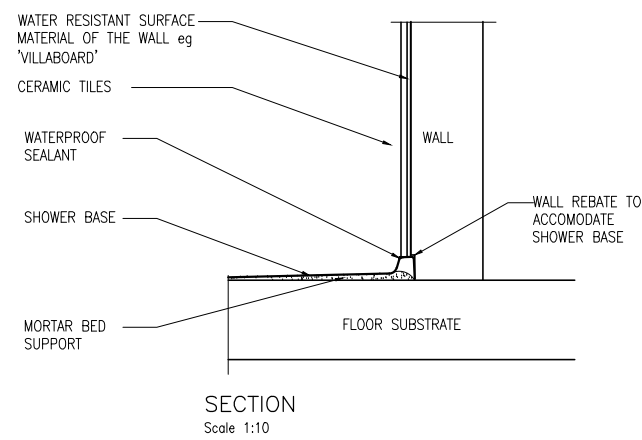
PREFORMED BATHS AND SPAS MUST BE INSTALLED IN A MANOR TO AVOID DISTORTION AND CRACKING.

WET AREA FLOORS MUST BE INSTALLED SO THAT WATER FLOWS TO THE WASTE WITHOUT PONDING. REFER TO NCC Vol.2 2022 Part 10.2

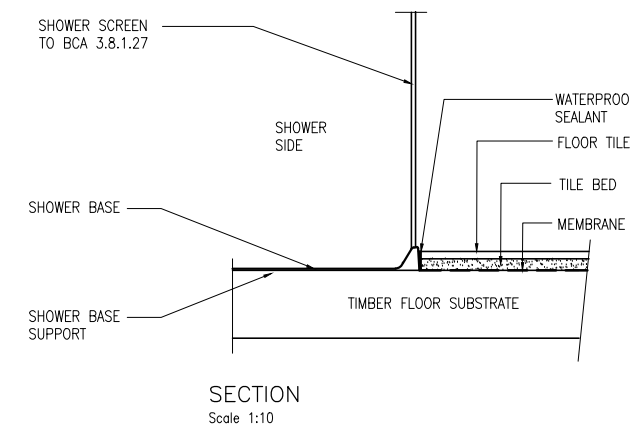
BOND BREAKERS MUST BE INSTALLED AT ALL WALL/ FLOOR, HOB/WALL JUNCTIONS AND AT MOVEMENT JOINTS. BOND BREAKERS MUST BE OF THE TYPE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE MEMBRANE USED.



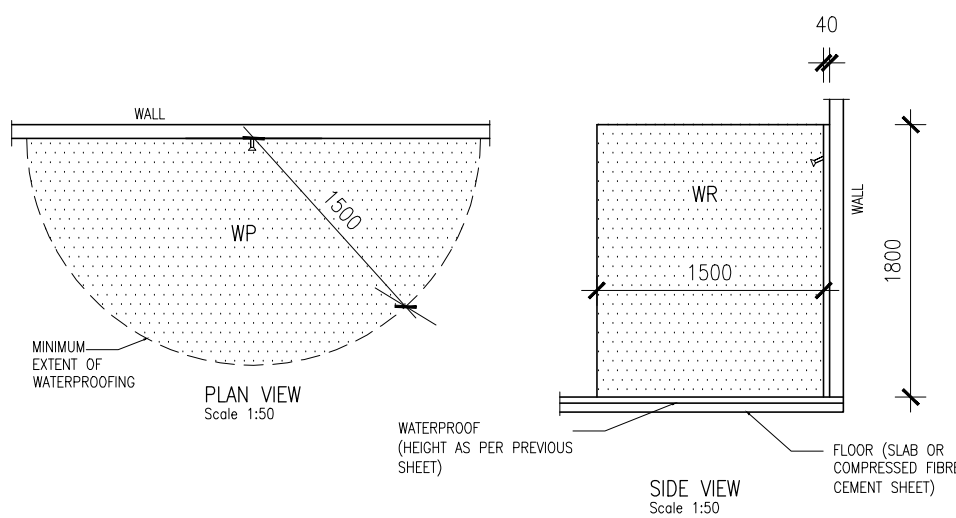
TYPICAL DETAIL-ENCLOSED SHOWER  
EXTENT OF TREATMENT FOR SHOWER AREA- CONCRETE & COMPRESSED CEMENT SHEET FLOOR



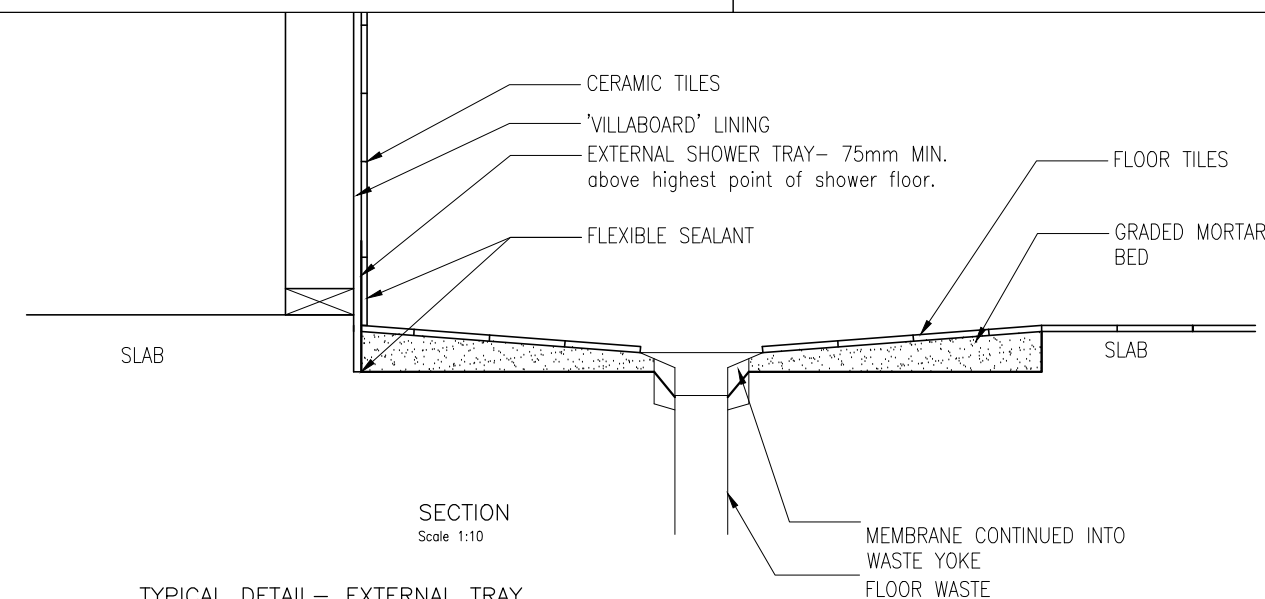
TYPICAL DETAIL-PREFORMED SHOWER BASE  
WALL/FLOOR JUNCTION



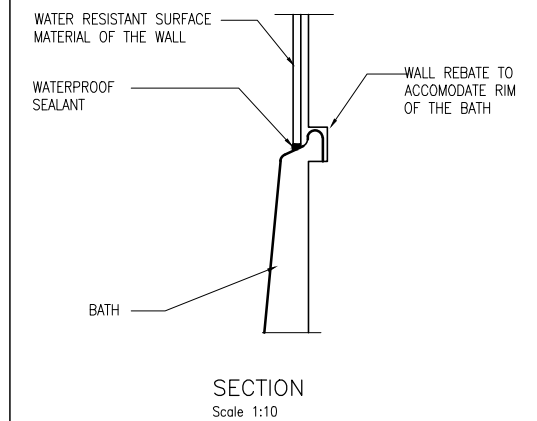
TYPICAL DETAIL-PREFORMED SHOWER BASE/  
SHOWER SCREEN-TIMBER FLOOR



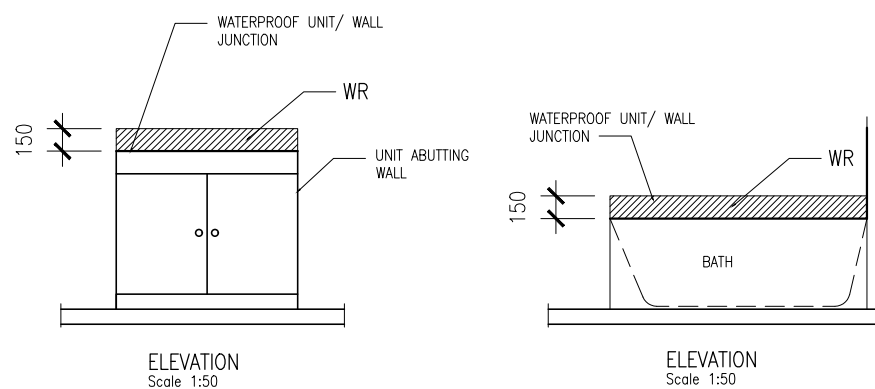
TYPICAL DETAIL UN-ENCLOSED SHOWER  
EXTENT OF TREATMENT FOR SHOWER AREA- CONCRETE & COMPRESSED CEMENT SHEET FLOOR



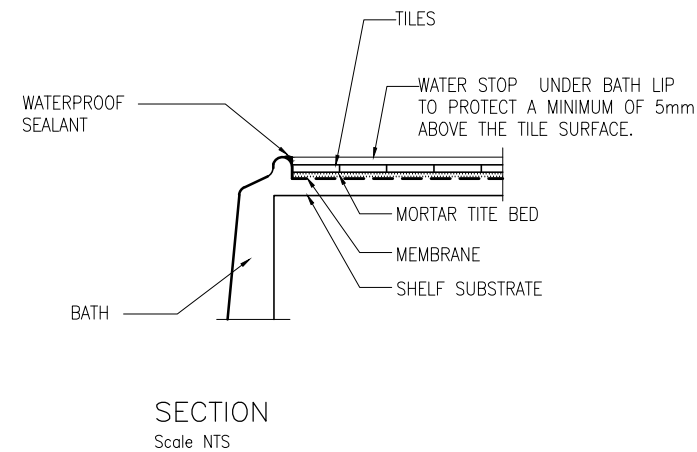
TYPICAL DETAIL- EXTERNAL TRAY  
SHOWER SET DOWN IN SLAB FLOOR



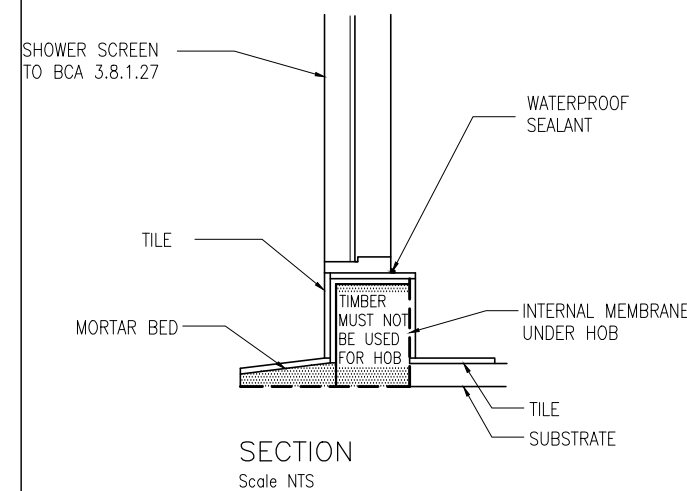
TYPICAL DETAIL-BATH/WALL JUNCTION-  
RECESSED



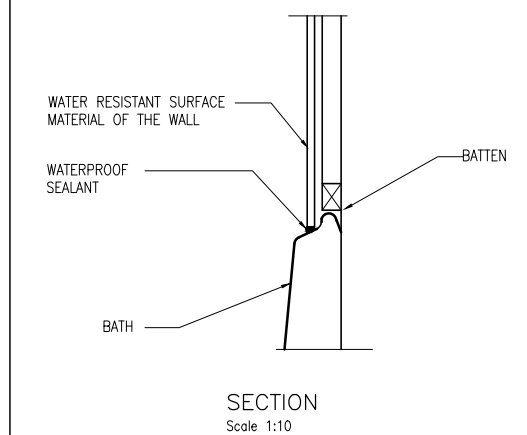
TYPICAL DETAIL -VESSEL & BATH ABUTTING WALL  
-AREAS TO BE TREATED



TYPICAL DETAIL-BATH/SHELF JUNCTION

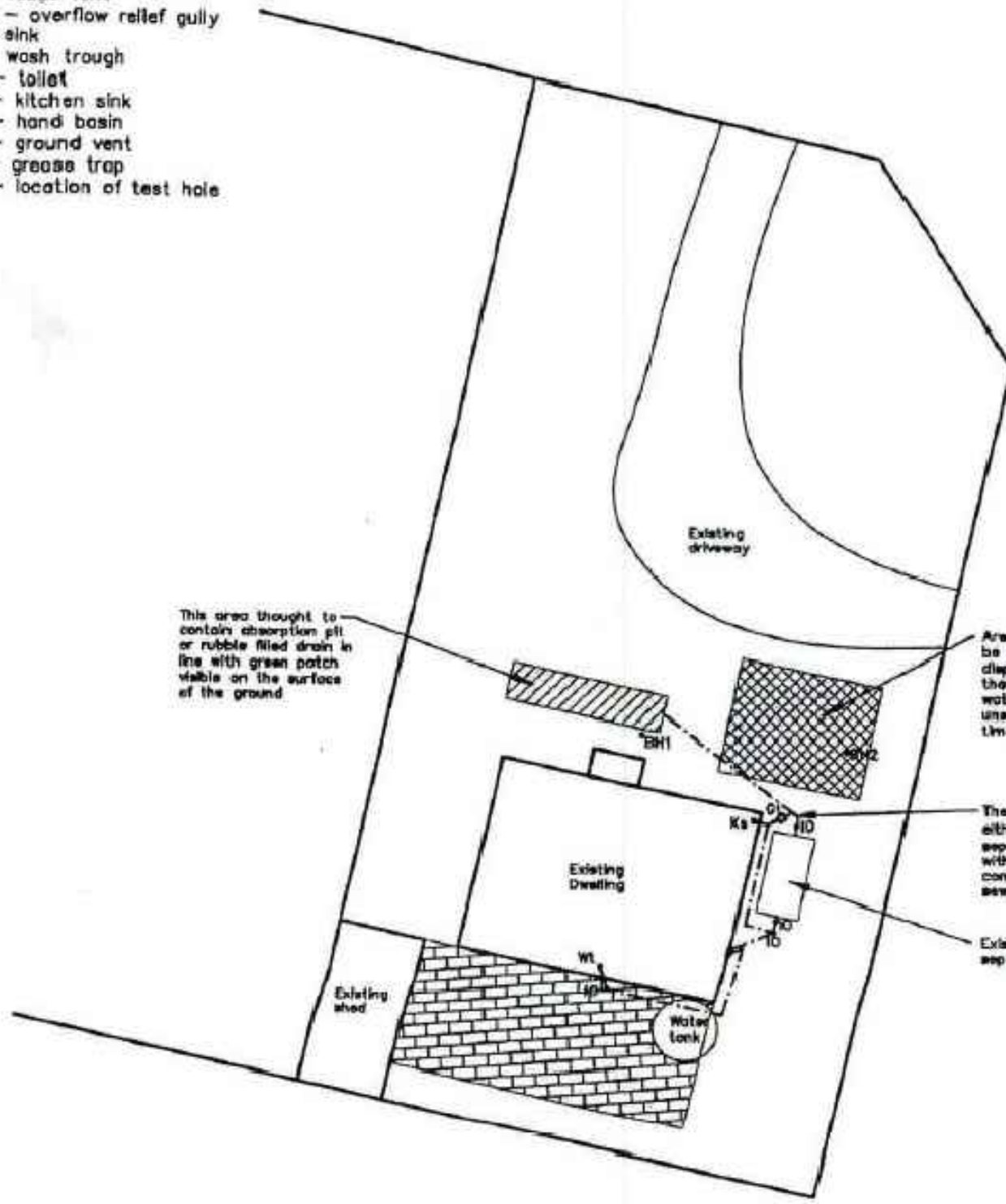


TYPICAL HOB CONSTRUCTION-EXTERNAL  
(PRE-FORMED) MEMBRANE



TYPICAL DETAIL-BATH/WALL JUNCTION-  
RECESSED

- LEGEND**  
 IO - inspection opening  
 EV - educt vent  
 ORG - overflow relief gully  
 S - sink  
 WT - wash trough  
 WC - toilet  
 KS - kitchen sink  
 HB - hand basin  
 GV - ground vent  
 Gt - grease trap  
 BH - location of test hole

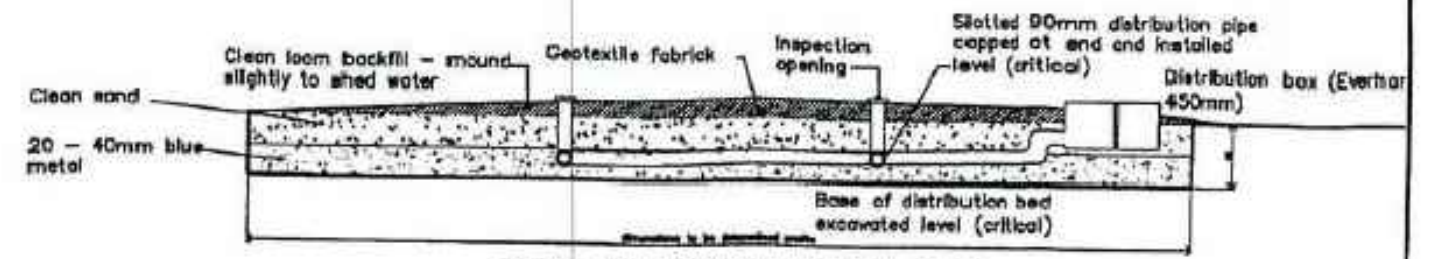


This area thought to contain absorption pit or rubble filled drain in line with green patch visible on the surface of the ground

Area totalling 5m x 4m is to be set aside for future bed disposal system in the event that the existing onsite waste water system is found to be unsatisfactory or fails at any time in the future.

The kitchen sink is to be either (1) directed through the septic tank; or (2) provided with a grease trap prior to connecting into the existing sewer line.

Existing 3000 litre septic tank



TYPICAL TRANSPIRATION BED DETAIL (1:45)

Note: the distribution bed detail attached is typical only. An actual site specific design will be required if and when the proposed future bed is to be installed to ensure that there are no other extenuating factors that may alter the initial design and onsite waste water evolution.

**SPECIAL PLUMBING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work as identified by permit No. 51109010  
 Date permit issued: 3/7/09  
 Permit Authority: [Signature]

**Potek**  
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Project  
**Onsite Waste Water System Design for Mr. Dale Lawrence at 18 Freycinet Drive, Coles Bay**

Drawing  
**SITE PLAN**

Designed PC Approved PC

Scale 1:200	© Copyright	
Date 21.05.2009	Drawn PC	
Project/Drawing 2533-0002 (01)	Rev 00	

**Building Designs & Drafting**  
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 ABN 62650579624

ISSUE:	DATE:	DESCRIPTION:
A1	OCT. 2025	FOR TENDERS AND ALL APPROVALS
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CLIENT:  
 PROJECT: PROPOSED EXTENSION TO RESIDENCE 18 FREYCINET DRIVE COLES BAY 7215

DRAWING TITLE(S):  
 ONSITE WASTE WATER SYSTEM (Plan by Others 2009)

SCALE:  
 N/A (A3)  
 Check dimensions. Dimensions take precedence over scale

DRAWING NO: **A11**  
 DRAWN BY: ME  
 SHEET NO. 11 of 11