



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:** **52 Tasman Highway, Bicheno  
CT 20931/2**

**PROPOSAL:** **Retrospective Home Business**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received before midnight on 08 January 2025..

**APPLICANT:** **Peter Coney**  
**DATE:** **07/11/2025**  
**APPLICATION NO:** **DA 2025 / 00195**

# Application for Planning Approval

## Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m <sup>2</sup> or Ha)			
Certificate of Title(s):			
Current use of site:			

**General Application Details** *Complete for All Applications*

Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	₤
Is the property on the State Heritage Register? (Circle one)	Yes / No

**For all Non-Residential Applications**

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

**Personal Information Protection Statement**

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## **Checklist of application documents:** *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

# APPENDIX 1

Certificate of Title and Folio Plan

SEARCH OF TORRENS TITLE

VOLUME 20931	FOLIO 2
EDITION 8	DATE OF ISSUE 10-Mar-2020

SEARCH DATE : 16-Jul-2020

SEARCH TIME : 12.50 PM

DESCRIPTION OF LAND

Town of BICHENO  
 Lot 2 on Diagram 20931  
 Being the land described in Conveyance No.68/0447  
 Derivation : Part of 7A-2R-28Ps. Gtd to Edward Westlake  
 Boothman.  
 Derived from Statement No.Y15 601

SCHEDULE 1

M797513

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 42/4927 CONVEYANCE Made Subject to Fencing Provision  
 E212148 MORTGAGE to Bendigo and Adelaide Bank Limited  
 Registered 10-Mar-2020 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

APPROVED 14 JUL 1983 <i>[Signature]</i> ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER D. 20931
FILE NUMBER Y 10 41	GRANTEE: PART OF 7 <sup>A</sup> -2 <sup>R</sup> -28 <sup>PS</sup> GTD TO EDWARD WESTLAKE BOOTHMAN	DRAWN S. L. 13-7-83

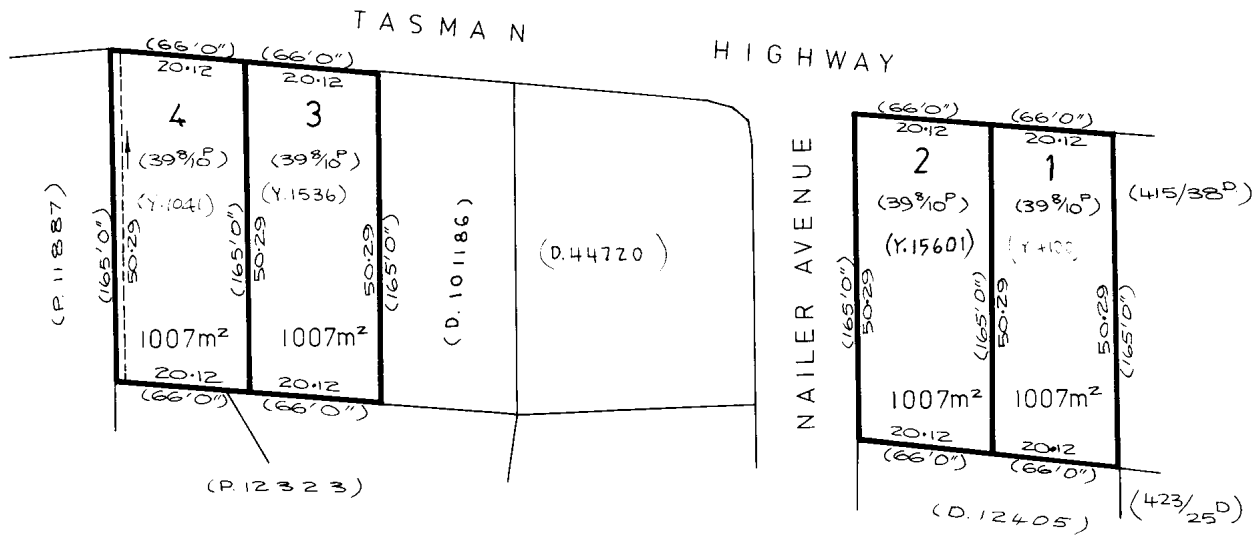
OS-K 2062

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF BICHENO  
LAND DISTRICT OF  
PARISH OF

LENGTHS ARE IN METRES NOT TO SCALE  
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES  
DRAINAGE EASEMENT 1.83 WIDE  
SHOWN THUS ----

SEC CC  
D 20931







# PLANNING ASSESSMENT

Change of use to home-based business, and associated development.

52 Tasman Highway, Bicheno

Land Use Planning and Development Tasmania Pty Ltd

ACN: 689 376 378

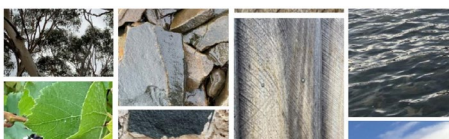
Authored by Peter Coney, Grad Dip Env Planning - November 2025

[Peter.coney@outlook.com.au](mailto:Peter.coney@outlook.com.au)

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Any benefit derived from such action will be subject to legal action.

Land Use Planning and Development Tasmania Pty Ltd ACN: 689 376 378



## 52 Tasman Highway, Bicheno

To the General Manager, Glamorgan Spring Bay Council

Land Use Planning and Development Tasmania Pty Ltd has been engaged by  
to prepare and submit a development application for a change of use to home-based business at  
52 Tasman Highway, Bicheno.

This letter is provided as an assessment of the permissibility of the use, as well as consideration of the development which supports the use. This assessment has been made with regard for the provisions of the General Residential Zone, C2.0 Parking and Sustainable Transport Code, and C3.0 Road and Railway Assets Code of the Tasmanian Planning Scheme – Glamorgan Spring Bay.

In short, the proposal is for a Permitted use, and it demonstrates compliance with the Acceptable Solutions of each of the applicable standards of the General Residential Zone, C2.0 Parking and Sustainable Transport Code, and the C3.0 Road and Railway Assets Code; except where reliant on the Performance Criteria for clause 8.4.2 Setbacks and building envelope for all dwellings and clause 8.4.7 Frontage fences for all dwellings. The development albeit discretionary is modest, and complies with the relevant Performance Criteria as outlined herein.

As such I expect a conditional permit can be granted.



# PROPOSAL

The proposal is for a home-based business to operate out of the dwelling at 52 Tasman Highway, Bicheno. The business is limited to two former bedrooms of the dwelling, whilst areas otherwise will be shared between the business and the resident (i.e bathroom, lounge and kitchen) of the dwelling.

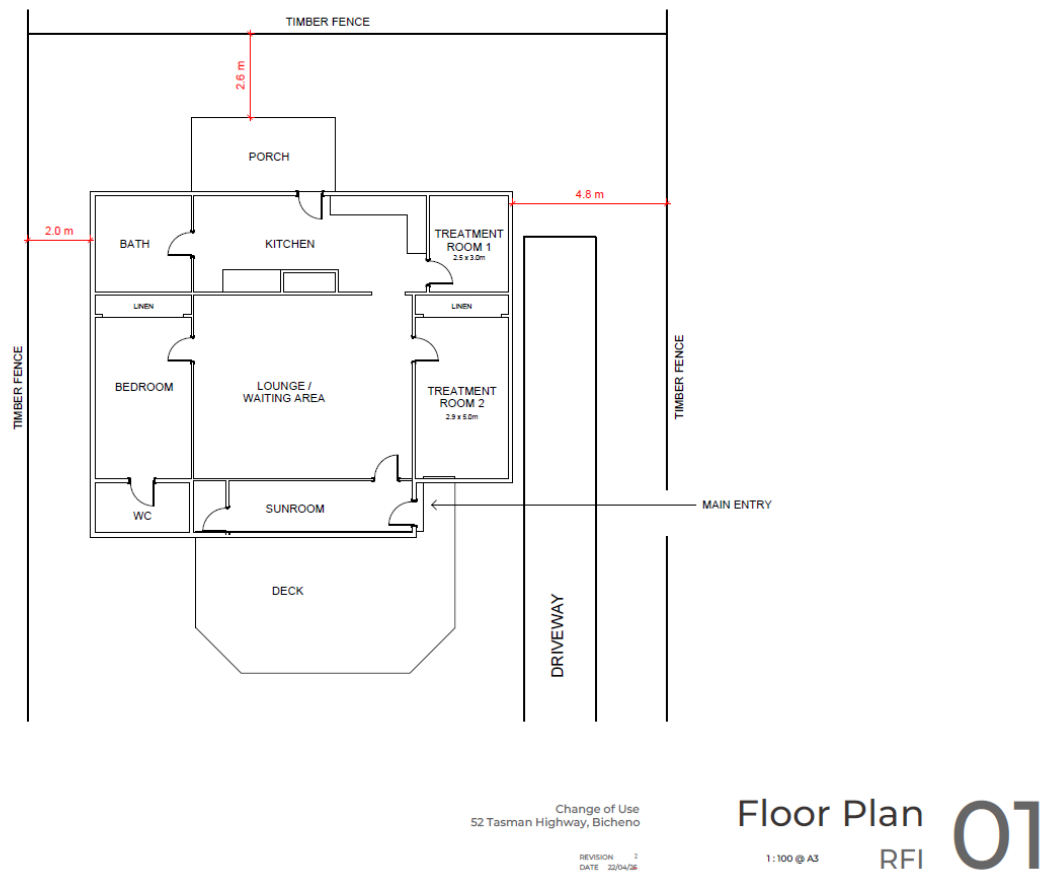
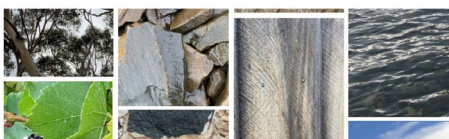


Figure 1. Extract of site plan showing the proposed arrangement of the home-based business (prepared by J.Hosking –annotated).



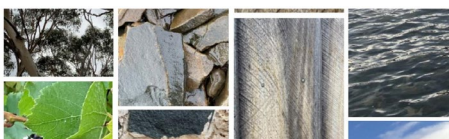
## SITE AND LOCALITY

The subject site is located at the south of the Tasman Highway at the northern side of Bicheno. The lot is a corner lot with frontage to Nailer Avenue as well as the Tasman Highway. There are two dwellings on the lot, though these are entirely independent of each other. The land is subject to a subdivision permit (SA2020/20) for which works are complete and in accordance with Council requirements. Titles are yet to issued.

The locality is residential, with connectivity to the local pedestrian, cycling and road network within the Tasman Highway. The scale and arrangement of residential development is typically single story dwellings with modest outbuildings, and garden settings.



Figure 2. Site (blue) with respect to (LISTmap).



## ZONE PURPOSE STATEMENTS

The proposal is for a Residential use, which is Permitted under the Use Table of the General Residential Zone. As a Permitted use the proposal is considered to inherently fulfill the purpose of the General Residential Zone.

## APPLICABLE STANDARDS

Specifically, the proposal demonstrates compliance as follows:

### General Residential Zone

#### Use Table

The proposal is for a home-based business, which is a Residential use. A home-based business is a defined term, and in practice this definition is relied on as a test to ensure non-residential use may still be categorised within the Residential use class, not otherwise more appropriately categorised as a separate non-residential use. It is therefore relevant to set out the definition here with responses relevant for the proposal:

*home-based business: means use of part of a dwelling by a resident for non-residential purposes if:*

*(a) the person conducting the business normally uses the dwelling as their principal place of residence;*

The proposal is for the resident of 52 Tasman Highway, Bicheno to undertake a non-residential use on site, being a remedial massage studio.

*(b) it does not involve employment of more than 2 workers on-site who do not reside at the dwelling;*

In undertaking this business there may be up to, but not exceeding two non resident workers.

*(c) any load on a utility is no more than for a domestic use;*

No utility demand will exceed a typical domestic load.

*(d) there is no activity that causes electrical interference to use on other land;*

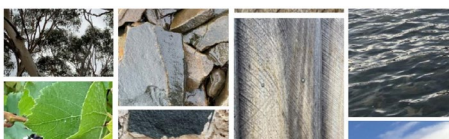
The use has no potential to cause an electrical interference.

*(e) there is no storage of hazardous material on site;*

Materials stored for the use are not of a type to warrant specific storage requirements as hazardous uses otherwise may.

*(f) the display of goods for sale are not visible from any road or public open space adjoining the site;*

There is no display external to the site.





(g) *there is, on the site, no advertising of the business other than 1 sign (non-illuminated) not exceeding 0.2m<sup>2</sup> in area;*

The only signage is not for the purpose of advertising, but directional signage which is not intended to be seen from outside of the premises. These signs are exempt under clause C1.4.2. Though there had formerly been wall signs at the frontage, these have been removed and are not being applied for.

(h) *there is, on the site, no refuelling, servicing, detailing or repair of vehicles not owned by a resident;*

There is no vehicle servicing or the like as part of the use.

(i) *no more than 2 commercial vehicles are on the site at any one time and no commercial vehicle on the site exceeds 2 tonnes; and*

The use will not require any commercial vehicles.

(j) *all vehicles used by the business are parked on the site.*

There are no business vehicles.

As provided above, the proposed non-residential use of a remedial massage studio accords to the definition of a home-based business, and so may be categorised as a Residential use under the Use Table for the General Residential Zone.

## Use Standards

There are no Use Standards for a Residential use within the General Residential Zone.

## Development Standards

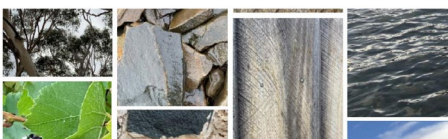
In facilitating the home-based business, development has been undertaken. This development is proposed for approval *retrospectively* as part of this application. This development is namely change-rooms, a sauna, internal fencing and low decking linking these components amongst a landscaped setting. The development is more fully described in Appendix B.

The Development Standards of the General Residential Zone are therefore applicable as follows:

### 8.4 Development Standards for Dwellings

#### 8.4.1 Residential density for multiple dwellings

The proposal does not affect or relate to the dwelling density, therefore clause 8.4.1 is not an applicable standard.



### 8.4.2 Setbacks and building envelope for all dwellings (A1/P1)

The development is principally related to the dwelling, which a home-based business is proposed to operate from. Of the development, only the sauna and a part of the proposed deck are within 4.5m of the primary frontage. The change rooms as shown otherwise exceed 4.5m from the primary frontage, and 3m from the other frontage (see Figure 3).

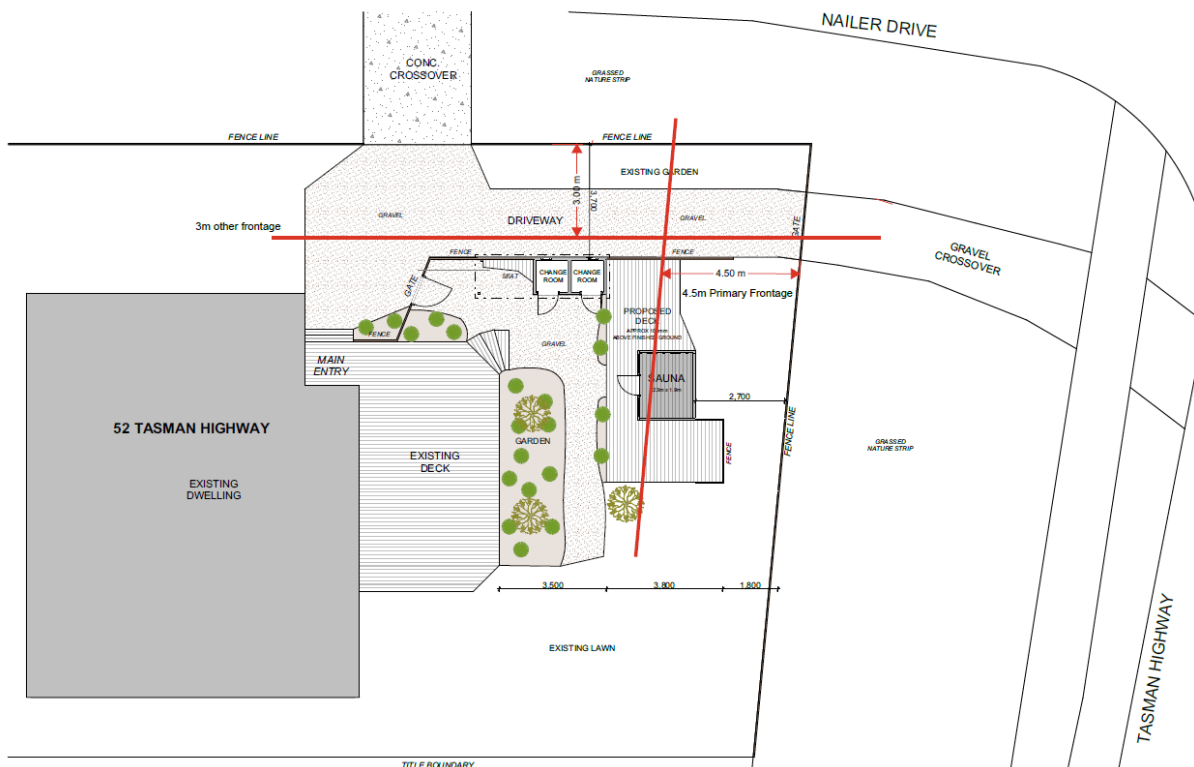


Figure 3. Site Plan with setbacks defined by clause 8.4.2 shown in red (J.Hosking – annotated)

By reason of the sauna and low decking setback, the proposal cannot meet the Acceptable Solution and so the proposal is reliant on the Performance Criteria which require:

*A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.*

The development is largely imperceptible from the Tasman Highway by reason of existing fencing, vegetation and the modest scale of the development (see Figure 4). Where the changeroom is visible from Nailer Avenue for reason of the driveway access, it is important to note that the changeroom would ordinarily comply with the Acceptable Solution. The sauna is imperceptible at this elevation (see Figures 5 and 6).

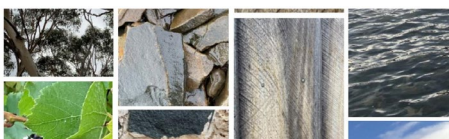






Figure 4. view of site from Tasman Highway, note the sauna is imperceptible at this elevation



Figure 5. oblique view of site from Nailor Avenue





Figure 6. plane view of site from Nailer Avenue

In considering the streetscape (being relative to both Nailer Avenue and the Tasman Highway) it is important to note that as a corner lot, the ability to site outbuildings and appurtenances of a dwelling out of view is limited. This limitation is evident for 54 Tasman Highway as well as the subject site (See Figure 7).

Principally 54 Tasman Highway and the subject site demonstrate that modest outbuildings on corner lots can be sited within a frontage setback without unreasonably impacting the streetscape, and even though visible, do not necessarily tend to being incompatible.

The proposed sauna and decking, despite a 2m setback from the primary frontage is entirely compatible with the streetscape for reason of its modest size having no noticeable impact. The development is considered to comply with the Performance Criteria.

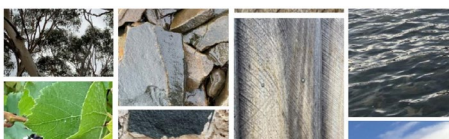






Figure 7. 54 Tasman Highway, inclusive of modest outbuildings within the frontage setback (Google).

#### **8.4.2 Setbacks and building envelope for all dwellings (A2/P2)**

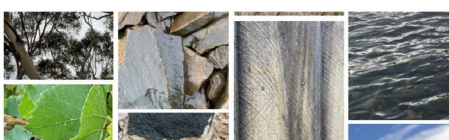
A2/P2 relates to a garage or carport, neither of which are proposed.

#### **8.4.2 Setbacks and building envelope for all dwellings (A3/P3)**

The building envelope is defined by the frontage setback(s). For the same reason as A1/P1, where the sauna and low deck are within 4.5m of the frontage, these components of development cannot comply A1(a)(i), and so the proposal is reliant on the Performance Criteria which require:

*The siting and scale of a dwelling must:*

- (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:
 
  - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;*
  - (ii) overshadowing the private open space of a dwelling on an adjoining property;*
  - (iii) overshadowing of an adjoining vacant property; and*
  - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;**
- (b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and*



- (c) *not cause an unreasonable reduction in sunlight to an existing solar energy installation on:*
- (i) *an adjoining property; or*
  - (ii) *another dwelling on the same site.*

With regard for amenity, it is important to note that the development which protrudes from the building envelope is sited adjoining the Tasman Highway. Though this road provides for a scenic transport route, and some degree of amenity is drawn from its width and landscaping; a road offers less in the way of amenity as contemplated by the use of the term within the Performance Criteria, than an adjoining residence. Nevertheless, some consideration of the impact to the amenity drawn from users of the highway should be made as well as noting the negligible impact to 48-500 Tasman Highway.

For (a)(i), (ii), and (iii), the development by reason of distance and modest size is incapable of causing an unreasonable impact of overshadowing to an adjoining property.

For (a)(iv), the visual impact is low by reason of the existing fencing acting as screening, and modest height. The development is largely imperceptible from adjoining residences and the Tasman Highway. Where it is visible (from Nailer Avenue), this relates largely to components which would otherwise comply with the Acceptable Solution.

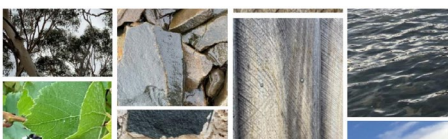
For (b) the development to the fore of the site remains in excess of 20m from the nearest dwelling, and this is consistent with separation distances prior to the development having occurred.

For (c) the development is by reason of modest height and siting incapable of overshadowing a nearby solar installation.

Having regard for the above, the modest size of the proposal and it generally being imperceptible from adjoining properties, the proposal is considered to comply

#### **8.4.3 Site coverage and private open space for all dwellings**

The site coverage is not being increase beyond 50%, nor does the development preclude access to a complaint area of private open space.



#### **8.4.4 Sunlight to private open space of multiple dwellings**

Though the subject dwelling is to the north of the private open space of Unit 2, the development proposed is not between the dwellings. The proposal remains compliant with the Acceptable Solution.

#### **8.4.5 Width of openings for garages and carports for all dwellings**

The proposal does not include a garage or carport, therefore this is not an applicable standard.

#### **8.4.6 Privacy for all dwellings**

No balcony exceeds 1m above natural ground level (A1), nor is any window to a room with a finished floor level above 1m within the prescribed distances of the Acceptable Solution (A2). There is also no shared driveway as relevant for A3/P3. Clause 8.4.6 Privacy for all dwellings is not an applicable standard.

#### **8.4.7 Frontage fences for all dwellings**

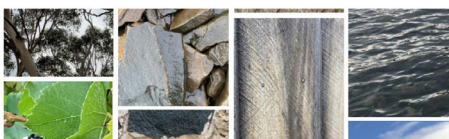
Though the boundary fencing is existing, internally there is additional fencing, and this is within 4.5m of the frontage. Such fencing though not demarcating the property boundary is arguably 'frontage fencing,' and it does not by reason of its height (approx. 1.8m) conform to the relevant exemption. This clause is therefore applicable, and in the absence of an Acceptable Solution, internal fencing is reliant on the Performance Criteria which require:

*A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:*

- (a) provide for security and privacy while allowing for passive surveillance of the road; and*
- (b) be compatible with the height and transparency of fences in the street, having regard to:*
  - (i) the topography of the site; and*
  - (ii) traffic volumes on the adjoining road.*

The internal fencing demarcates the wellness garden, which is a secluded portion of the site. This fencing is not readily seen from public spaces (see images 4, 5 and 6).

For (a), though interrupting passive surveillance toward the highway, on balance of the nature of the road (being a state highway) and the ability for surveillance between the dwelling and Nailer Avenue, it is



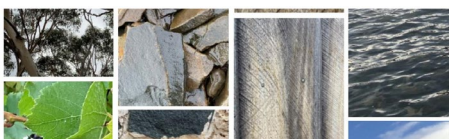
considered that the principal part of the dwelling still has an ability to survey the entrance to the property all the while providing this private garden.

With respect to (b), the fencing is not visible external to the site, and does not affect the movement of vehicles for reason that it is separate to the parking and driveway area approved as part of the subdivision.

Noting the internal fencing is not on the boundary, though arguably is still 'frontage fencing,' the design and siting is such that it does not unreasonably prevent the dwelling from having surveillance toward the road at the vehicle entrance, nor does it hinder vehicle movements. The proposal is considered to comply.

#### **8.4.8 Waste Storage for multiple dwellings**

The proposal does not affect the location of waste storage. Clause 8.4.8 is not an applicable standard.



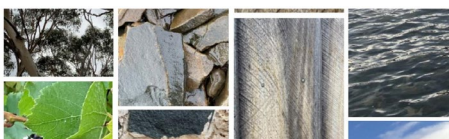
# Codes

## C1.0 Signage

There is on site directional signage which is not intended to be seen from outside of the premises. This signage is exempt under clause C1.4.2. signage which had been installed visible external to the site is to be removed.



Figure 8. Example of internal directional signage exempt under C.1.4.2





## C2.0 Parking and Sustainable Transport Code

### C2.5 Use Standards

#### C2.5.1 Car parking numbers

The proposal is for a home-based business in addition to the existing use of the land as a dwelling. Though a home-based business allows for a non-residential component, it is ultimately still a Residential use. The parking requirement for a home-based business under the Table C2.1 Parking Space Requirements is as an *other Residential use in the General Residential Zone*. As the non residential component is for rooms which will not function as bedrooms, there no additional parking requirement for this use. The parking which serves the dwelling may continue to be relied upon without change, and so this complies with the Acceptable Solution.

#### C2.5.2 Bicycle parking numbers

Under the Table C2.1 Parking Space Requirements, the requirement for bicycle parking for an *other Residential use in the General Residential Zone* is calculated from the number of bedrooms of that use. For the home-based business, there are no additional bedrooms, therefore no bicycle parking is required. C2.5.2 is not an applicable standard.

#### C2.5.3 Motorcycle parking numbers

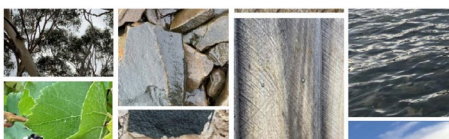
Under clause C2.2.2, clause C2.5.3 Motorcycle parking numbers only applies to a residential use if for a communal residence, multiple dwellings or hostel use. This standard therefore is not an applicable standard.

#### C2.5.4 Loading Bays

Under clause C2.2.3, clause C2.5.4 Loading Bays does not apply to a use and development in a Residential Use Class. This standard therefore is not an applicable standard.

#### C2.5.5 Number of car parking spaces within the General Residential Zone.

Under clause C2.2.4, clause C.2.5.5 Number of car parking spaces within the General Residential Zone does not apply to use and development in a Residential Use Class. This standard therefore is not an applicable standard.





## **C2.6 Development Standards for buildings and works.**

The proposal does not include any alterations or development of existing parking and access ways. There are therefore no applicable development standards.

## **C3.0 Road and Railway Assets Code**

The C3.0 Road and Railway Assets Code is an applicable code owed to the increase in vehicle movements to the site.

### **C3.5 Use Standards**

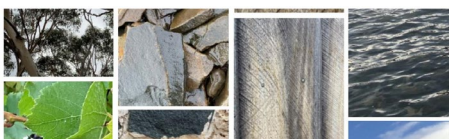
#### **C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction**

The proposal would at a maximum generate approximately 32 vehicle movements per day. This maximum would be reached if two staff were attending to 8 clients in a day and each client parked on site. This is a maximum and would only be infrequently arrived at. Still, this is less than the 40 permissible movement increase under the Table C3.1 Acceptable increase in annual average daily traffic to and from the site (total of ingress and egress).

The proposal therefore complies with the Acceptable Solution at A1.4.

### **C3.6 Development Standards**

There are no applicable development standards for the C3.0 Road and Railway Assets Code.



## CONCLUSION

The proposal for an additional Residential use of home-based business, which is a Permitted use. The proposal complies with the Acceptable Solution of all applicable standards, except where reliant on the Performance Criteria for clause 8.4.2 Setbacks and building envelope for all dwellings (P1) and (P3), and 8.4.7 Frontage fences for all dwellings (P1). The proposal is considered to comply with the Performance Criteria for reasons outlined in the body of this report.

The proposal also complies with the C1.0 Signs Code (as exempt), C2.0 Parking and Sustainable Transport Code and the C3.0 Road and Railway Assets Code.

As the proposal demonstrates it complies with each applicable standard, it is expected a conditional permit may be granted.

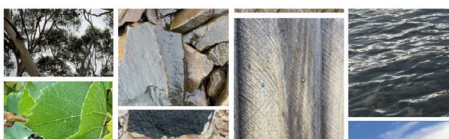
If you have any questions, please contact me.

Yours faithfully,



Peter Coney

Director, Land Use Planning and Development Tasmania Pty Ltd

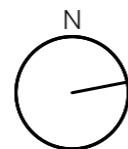


# APPENDIX 2

Site Plan and Elevations



TITLE BOUNDARY



DRAWING TITLE:  
LAND DEVELOPMENT PLAN

DATE: 3/11/2025

CLIENT:

PROJECT ADDRESS:  
52 TASMAN HIGHWAY, BICHENO

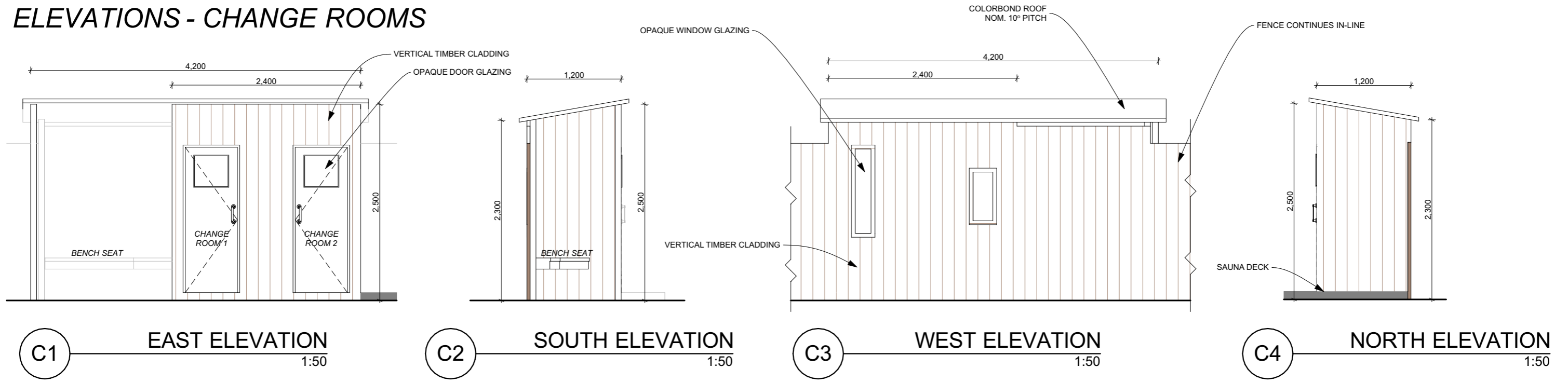
SCALE  
1:100

STATUS  
TOWN PLANNING

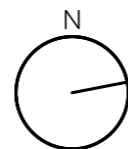
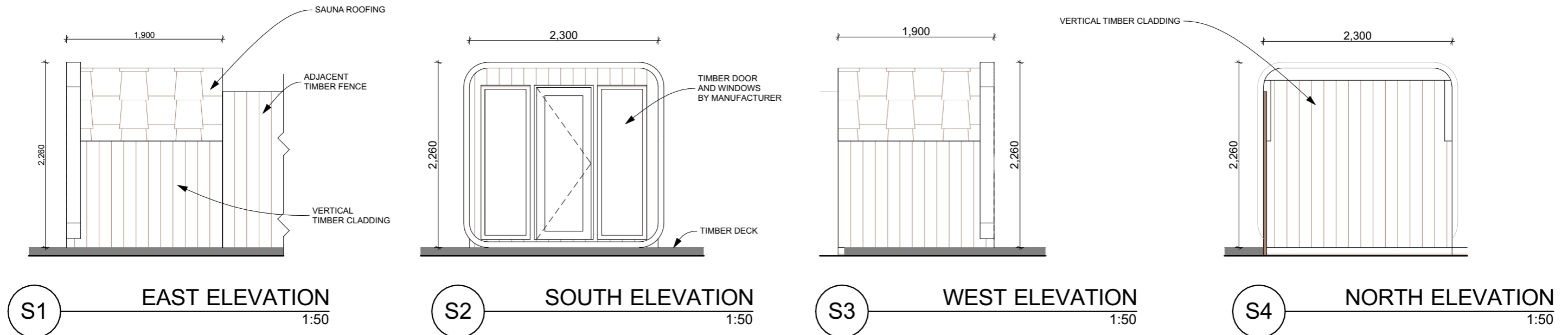
DRAWING No.

1

# ELEVATIONS - CHANGE ROOMS



# ELEVATIONS - SAUNA



DRAWING TITLE:  
PROPOSED ELEVATIONS

DATE: 3/11/2025

CLIENT:

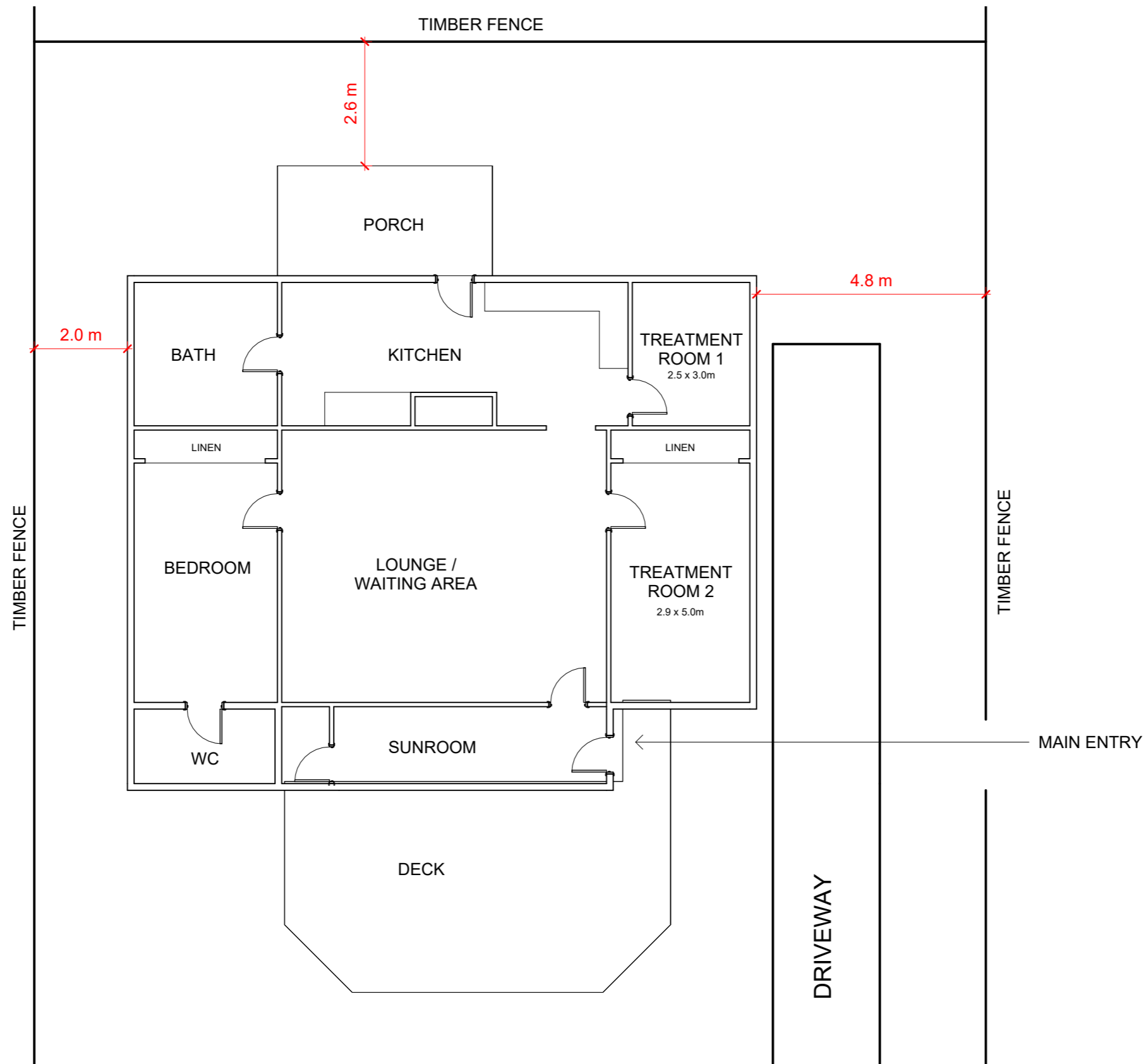
PROJECT ADDRESS:  
52 TASMAN HIGHWAY, BICHENO

SCALE  
1:50

STATUS  
TOWN PLANNING

DRAWING No.

2



Change of Use  
52 Tasman Highway, Bicheno

REVISION 2  
DATE 22/04/25

# Floor Plan 01

RFI

1:100 @ A3