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MINUTES OF MEETING

Committee: Glamorgan Spring Bay Council Audit Panel
Chairperson: Heather Salisbury
Executive Officer: Peter Porch (Acting GM)
Meeting Date: Tue 3rd June 2025 09.45am
Location: Council Office Triabunna and online via Microsoft Teams
Invitees:

Heather Salisbury	Independent Panel member (Chair)	Present
Ric de Santi	Independent Panel member	Present
Clr Rob Churchill	GSBC Councilor Panel member	Present
DepMyr Clr Mike Symons	GSBC Councilor Panel member	Apology
Peter Porch	GSBC General Manager (Acting)	Present
Danielle Tuck	GSBC Director Corporate & Communication (Acting)	Online Via Teams
Mary Oyeyiola	GSBC Accountant (Minutes)	Present
Jasmine Kerr	GSBC Executive Assistant	Present

1. Preliminaries

- Apologies – Deputy Mayor Symons
- Conflict of interest declaration – Ric is no longer the Acting Chair of Port Arthur Committee continuing as director.
- Confirmation of previous minutes 25th March 2025. - Minutes confirmed.

2. Actions arising from previous Minutes

- All transferred to this agenda.

Meeting	Item	Action Item	Who	Status
Feb 24	5	LTFMP workshop following Strategic Plan review	Marissa	Underway
Jun 24	7	Audit findings register	Ric	Underway
Jun 24	8	Risk and Opportunity review	Peter	Underway
Dec 24	6a	Survey monkey for external audit evaluation questionnaire	Mary	New

3. Financial Reports 30 April 2025

- Line out in the statement of financial position report – Mary to amend.
- The permanent variances largely relate to -revenue.
- Payment to Telstra from private work.
- Capital report – expenditure. A few projects overspent but overall, the unspent expenditure is more of a concern
- More renewal projects are to be taken into consideration for the next budget as well as reduction in long-term carried forward grant funded projects.
- Expected a greater percentage of capital works will be delivered within a single year for 24/25 financial year

4. Next year Budget 2025/2026

- Peter Porch advised progress on track and there will be a workshop on 10th June to further discuss budget and rate modelling.
- Proposing a similar service level to last year
- EA agreement – GSB proposed super capped, and a flat rate pay increase but not accepted by staff in the vote.



- Aiming to breakeven on the budget outcome – sustainable budget is key, and the goal is not to end up in deficit.
- Update on objections to 2024 rate revaluations provided by Danni. Has impacted on rate revenue. Supplementary rate growth also lowers this year.
- Backlog on infrastructure – renewal funding to 100% with grant projects addressing the backlog progressively.

5. Review of Long-Term Financial Management Plan / Strategy

- Financial modelling updates are ongoing.
- The update of the strategy includes a council review of ratios to be carried out after the new director commences.

6. External Audit

- **2024 Audit evaluation**
 - Evaluation of 2024 external audit did not occur as planned
 - Agreed to defer until after 2025 audit.
 - Aiming to have external auditor meet with the Audit panel to discuss audit findings and evaluation of audit performance.
- **2025 Audit Strategy**
 - TAO Audit Strategy to be sent to the panel when received.
 - Terms of audit engagement and service charges discussed.
 - Commencement of interim audit last week despite not having received the audit strategy document.
- **TAO Update for Local Government Sector April 2025 (attached)**
 - TAO changes to the reporting process outlined with reporting to Parliament in late July / early August
 - GMs will have 5 days to formally respond to TAO reports.

7. Audit Findings Register

- a) Audit recommendation register – to be attached to the meeting agenda going forward.

8. Risk and Opportunity Framework

- a) Well advanced with development of the framework with WLF.
- b) WLF - risk rating and the level of risk appetite workshopped with Council
- c) Reporting to Council on strategic risks and the council's new risk table applied to council reports.

9. General Manager's update – emerging risks

- a) Recruiting for the new GM/CEO via Local Government Services is underway.
- b) Recruitment for Dir P&D and Dir Corp and Comms is in progress.
- c) HR Business Partner (staff position) has been appointed.
- d) CoHealth. – Previous reports provided to council. Peter has asked CoHealth to provide an update on the report in accordance with the schedule of service level.
- e)

10. Items referred to Audit Panel (if any)

None.

**11. Other business and close of meeting**

- Cllr McQueeney is leaving Council at the end of the month.
- Governance measures to accommodate title change from GM to CEO underway.

Next meeting Dates

- Tue 23 Sept 2025 10.00am
- Tue 25 Nov 2025 10.00am
- Close 11.30am

Action Summary

Meeting	Item	Action Item	Who	Status
Feb 24	5	LTFMP workshop	Dani / Marissa	Underway
Jun 24	7	Audit findings register	Mary	Underway
Jun 24	8	Risk and Opportunity review	Peter	Underway
Jun 25	6	Survey monkey for 2025 external audit evaluation questionnaire	Mary	New
Jun 25	6	External Audit Strategy to be forwarded to Panel when received	Dani	New

Presented at the Council meeting dated:

Signed by Audit Panel Chairperson:

 Heather Salisbury

 Dated

Rep 1 –

Attention General Manager

I am writing because I would like to object to the DA advertised at 251 Harveys Farm Rd Bicheno.

My reasons for objecting are:

+The area of Harveys Farm Rd is zoned Rural Living. Therefore, it's aimed to be an area where residents can enjoy a quiet lifestyle and no commercial endeavours or businesses that would impact this quiet lifestyle. A hospitality business such as this would impact the current ambience, the seclusion of living in this area, and the current fairly low traffic

+Noise increase - whilst the DA outlines low noise from the music, traffic and cooking of food, I completely disagree. Even a small portable speaker can generate significant noise, depending on the wind level and direction. I have experienced this by living in this area and having neighbours or Airbnb properties playing music in properties in close proximity to ours, and it can be very loud. And then you have the other noise factor of people talking, and if alcohol is involved, then people naturally talk louder, meaning this will impact noise levels

+Impact on wildlife. With increased traffic, I am concerned about the impacts to local wildlife. Currently, many cars speed down Harveys Farm Rd and do not adhere to speed limits, and I have noticed more roadkill on the road, which is awful. With a business like this, I am sure there will be even more wildlife fatalities, which is unacceptable

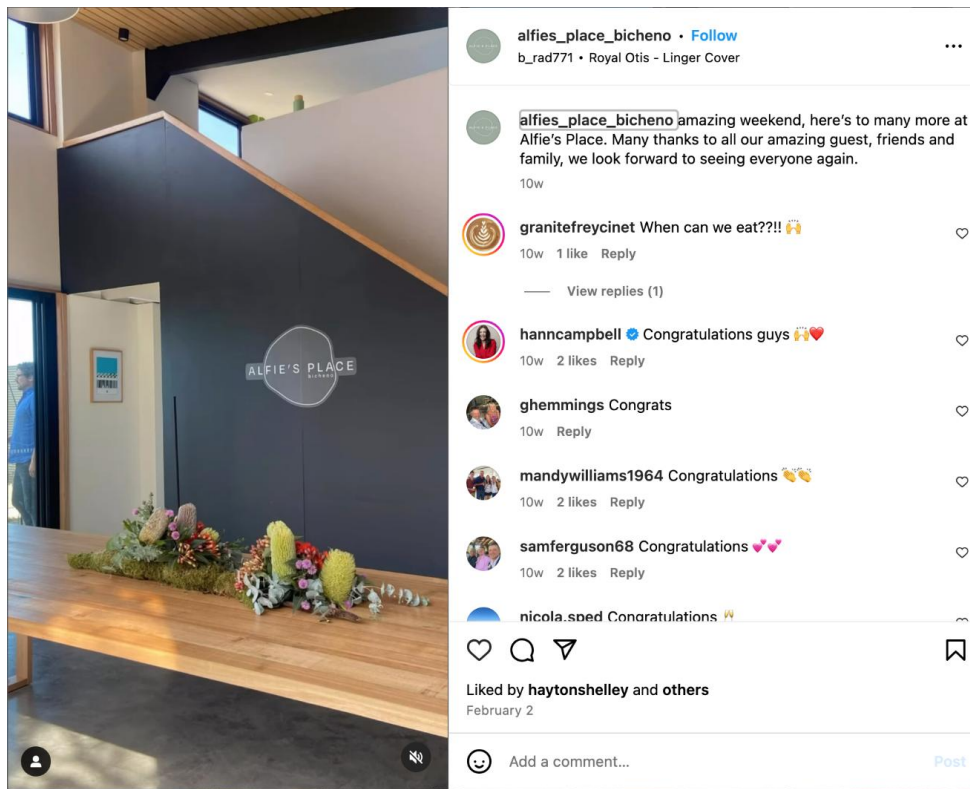
+Increased business operations - the DA states weekly lunches, no live music, etc, and they are putting the absolute minimum business operation hours on this DA. Should their business be successful, I am confident they will want to increase business operation hours, making serving of food and drink potential an all-day affair 7 days a week, and this will have a major impact on the current lifestyle we have living in this area.

+Impact to the road. Harveys Farm Rd is already a road that needs a full overhaul. It gets pot holes quickly, even after they are repaired and the road. Additional traffic will impact the road and I do not to have our rates go towards fixing the road due to this business attracting increased traffic.

When was the DA advertised for the original construction of this shed? I don't recall seeing it but I may have missed it. Does that mean you will be charging them for retrospective approval of this shed?

I can see they are already advertising this business to potential customer and they do not even have approval yet : https://www.instagram.com/alfies_place_bicheno/ - and they have already been interviewed by local press about opening this business (attached).

I can also see they have had at least one event and they are already operating as a business - are you giving them a fine for this? How are they already able to operate as a business? (images attached). Can you confirm they have a licence and if not, who do I contact to confirm that?





Rep 2 –

are responding
with our objection to the proposed Change of use at the above address.

Firstly, to be very clear I would like to strongly object to the proposal at the above address and here are some of the reasons why:

1. I am unsure how a restaurant, built in a shed fits into the Rural Living planning zone? 6 months ago, this was a storage shed. Suddenly this is being labelled as existing, (see pic 1) This has been advertised on social media for quite some time and has also had a full-page story written up in the Launceston Examiner, dated February 24th, 2025. (see Pic 2) as Bicheno's "newest" restaurant. This has been planned, calculated and surreptitiously executed under the nose of residents and council. I also question the ability and license of the occupants to do the work themselves. (See pics 3 & 4) I also took note of the pictures showing 'family' constructing and building the new development and extending the height of the existing shed to accommodate a mezzanine?
2. I see they also plan to open maybe 4 times a month, what guarantee do we have? If popular, this could end up a 7 day a week operation. How does the council plan to police and enforce this?
3. I also bring to your attention the new kitchen in the shed. This certainly does not comply with the regulations for the commercial preparation of food.
4. I'm also confused as to what is being applied for here? Is this a change of use from shed to kitchen or permission to build a toilet block? Also, seeing there was such a transformation from shed to kitchen since October 2024 I would have expected there to be a DA for that. I would have appreciated the opportunity to have a say then. Has the horse bolted or are they trying to deceive the council and residents of Harvey's farm road? I have also been told that when a resident (that was on talking terms with them) asked them directly it was denied by them. So, it appears they have been deceiving everyone from the beginning.

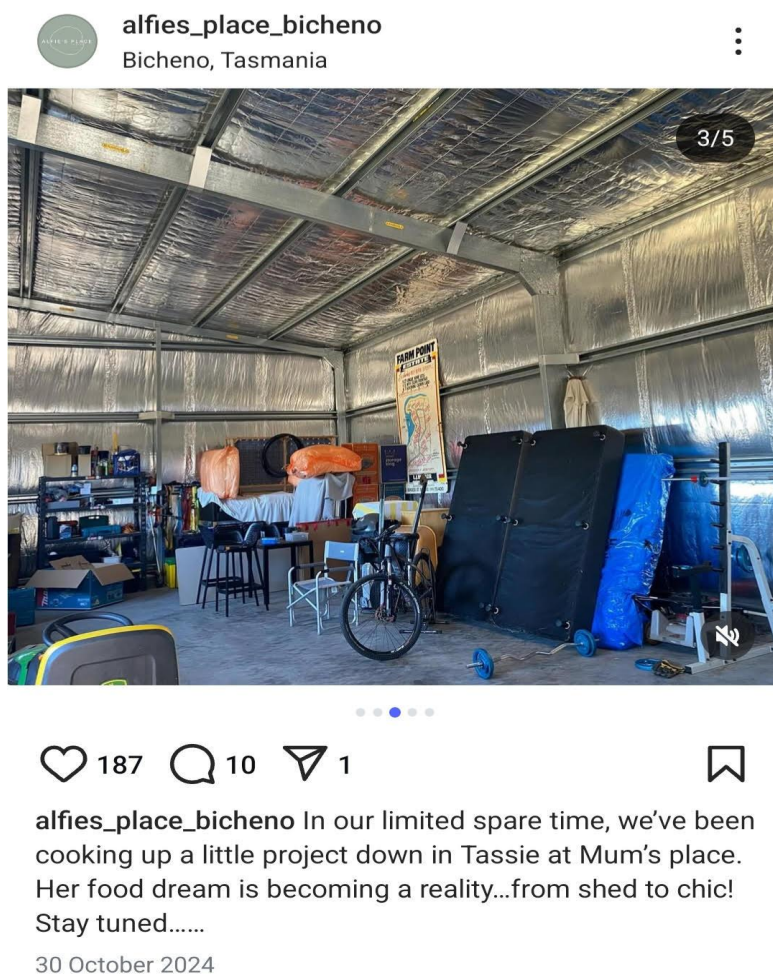
I am also unhappy how this property thought it was ok to just go ahead with their plans without going through the process off DA applications, inspections etc and the council fees to develop this shed? Should the council approve this, I for one, would like to talk about getting all my fees returned for doing the right thing and going through the processes correctly. The only reason Council was aware of this restaurant is because some of the residents bought it to your attention when they advertised the grand opening back in January of this year. I would also like to bring to your attention the newest video on their Instagram "Alfies Place Bicheno", requesting the followers to write letters of support. This is available publicly and I am confused as to how some chef in Queensland can support something that doesn't affect them. They are even offering templates if you can't be bothered to write something.

To allow such a development goes against the core values and principals of Rural Living and the lifestyle. We strongly encourage the council to reject this application as such a development is completely inappropriate in this beautiful rural area and would set a precedent for further similarly inappropriate “restaurants”, “cafes” and “long lunch venues” in Rural Living Zones.

I also trust the Council/Councillors keep this objection in the strictest confidence.

Many thanks,

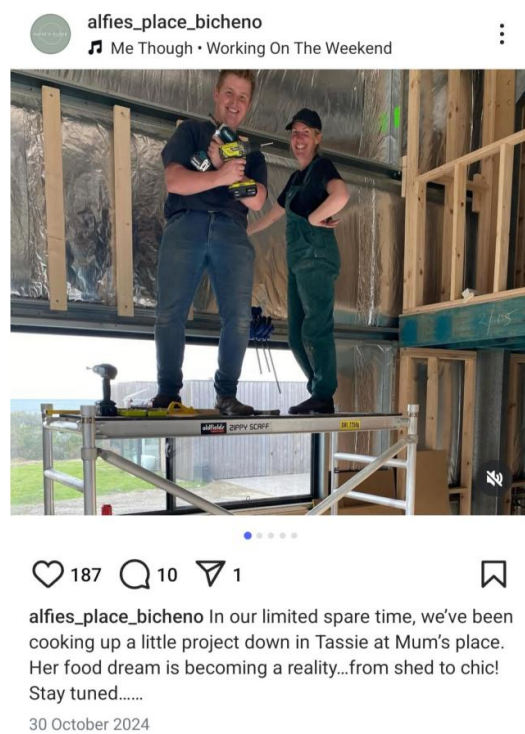
Pic 1.... As you can see in October 2024 this was a typical storage shed.



The Examiner seems to think its opening?



Unlicensed builders?



Rep 3 –

I am writing to make a representation **strongly opposing** a change of use at the above address CT 136499/25 for DA 2025/043.

I implore the Council to listen to local residents concerns and reject this proposed development and protect the tranquil rural living area we love.

The reasons for my opposition are detailed below.

1. Rural Living Zone

The Harveys Farm Rd area is zoned Rural Living. This proposal is for a commercial restaurant business which will bring traffic and noise to an otherwise extremely peaceful area. It is clearly inappropriate for the zoning. Residents choose to live in the area for the remote rural-bush feel, a development such as this will impact greatly on the current amenity of Harveys Farm Road.

The Tasmanian Planning Scheme – State Planning Provisions highlight that the purpose of the 11.0 Rural Living Zone is to provide for other use or development that does not cause unreasonable loss of amenity, through noise, scale, intensity, traffic generation and movement, or other off-site impacts. This proposal clearly doesn't meet the requirements outlined in the Tasmanian Planning Scheme. As outlined below, this proposal will have an enormous impact on residents and the natural values of this area.

2. Traffic impact

Harveys Farm Road is a quiet dead-end street, with very little traffic. The proposed development could mean hundreds of additional car movements a month.

There are currently no footpaths, line markings or lighting to guide cars on Harveys Farm Road. This potential additional tourist traffic would create an inherently unsafe environment for local families, kids and residents walking, riding or driving on the road.

With increased traffic, there will be more wear and tear on the road such as potholes, requiring more maintenance from the Council.

The proposal states 4.6.1 A1.4 that there will be only 4 lunch events per month, however the proposal also states in section 4.7 that food services use will primarily operate on weekends, although some lunch event will occur on weekdays or public holidays. This is clearly trying to enable additional lunch events or indicating that more lunch events than 4 per month could occur. If the proposal is to be believed, then the stated 3.1 vehicle movements per day has been understated and is not accurate. They have stated in section 4.7.1 that in fact vehicle movements could be as high as 12 per day.

3. Impact on native fauna

With more car movements on the road, there will inevitably be more wildlife killed along Harveys Farm Road. Currently wallabies and pademelons graze on the verge on either side of the road, most locals know to slow down as there is a high density of them during any time of the day and night. People visiting the proposed restaurant will not be aware of this and would be more likely to hit and kill animals. This is not acceptable.

4. Noise pollution

The increased noise levels from the proposed restaurant, on what is currently a rural bush block will create nuisance noise and stress to the surrounding neighbours.

The average noise level generated in the natural environment from rustling leaves is 20 decibels, compared to an average household noise level of 40 decibels (*Source: <https://blog.echobarrier.com/blog/the-decibel-scale-explained>*). The proposed restaurant, hosting dozens of people, will likely exceed the 85 decibel level which is considered harmful. Additionally due to the topography of the area, any noise reverberates and impacts everyone due to the surrounding hills and ocean concentrating the sound.

Research around the world has shown the impact of noise on human mental health including activating the bodies stress response and having a detrimental effect on mental health. Some of the more common symptoms and effects from increased noise pollution are;

- poor sleep: including difficulty falling asleep and staying asleep.

Rep 4 -

I write to express my concerns regarding the development application at 251 Harvey's farm rd.

I don't believe this should be in this part of bicheno, plus the fact this is a shed, always was a shed, not a kitchen as said, pics on there Facebook show this as well.

Objections

1 first the road on Harvey's farm rd is in poor state, last time the road fell apart it took over a year too get fixed,

We get too much traffic now.

2 this shed was not an existing domestic kitchen, pics on their Facebook show this.

I put up with the noise from the building last year, over a 6 month time frame, again pics on Facebook show some of the work being done, also saying can't wait for the restaurant to be open.

3 they were on master chef where she told them she wanted to open a restaurant in bicheno, All of there internet show alfies place, bicheno is listed as a restaurant.

4 this is a bush fire prone area, so people drinking and smoking. Fire is only a matter of time

5 the fact that the story she tells changes, e.g. going to be open 4 days a week, then when council called in, it's only 1 day a month, then it's 4 days a month.

They told alcohol license board it was a 1 off thing,

I believe council told them not too open.

After I let the local police, know of this as she had on Facebook 100 plus people coming, master chef coming, she made it smaller.

The whole thing was not signed off by council.

6 the fact that bicheno has had 3 cooking business for sale.

7 when too the examiner paper but only told her side of the story, then last week put out on the internet, please write a letter too council saying yes too it, sorry but people in Sydney really.

8 being a builder for 45 years I help people get their restaurants past, too me this person is trying to get around all rules, in the way they done this, I hope council stops it now.

Rep 5 –

I am writing to voice my concern over the proposed restaurant at 251 Harveys Farm Road, Bicheno as the proposal is out of context with the existing development of the quiet rural road. Below are my concerns and reason for requesting the current proposal not to be approved.

- Food services may be a discretionary use within the Rural Living zone, but in this case, it is out of character with the existing development of Harveys Farm Road, which consists of predominately single residential dwellings. We would like this essence to be retained and believe a restaurant would be better suited within the business district of Bicheno, not along a quiet rural residential road.
- The hours of operation will cause an unreasonable loss of amenity to the community of Harveys Farm Road. The proposed hours are approximates and there are major concerns that these will not be adhered to. The applicant has stated only 20-52 services a year, but what is preventing this from increasing to 200? The operation on Saturdays after 12pm & Sundays and public holidays will have a negative impact on local residents with the additional traffic, noise and the applicants desire to run as many services as possible driven by bookings. Quiet weekends and public holidays will become busier and a precedent for more restaurants operating outside of the prescribed hours would be set.
- The existing shed converted to a restaurant is not suitably constructed for food preparation and service. No permits were obtained for the construction of the shed and toilet building and are being treated as existing in this application. The construction does not meet bushfire & environmental health codes in many aspects of the design. This may not be a planning matter, but it should be taken into consideration when approving a discretionary use and the need for a restaurant on a quiet rural road.

Application refusal is requested based on the above issues the proposed use and service will create to the community along Harveys Farm Road. There are many more suitable locations for this business to be established, allowing it to flourish and not upset local residents.

11.0 Rural Living Zone

11.1 Zone Purpose

The purpose of the Rural Living Zone is:

11.1.1 To provide for residential use or development in a rural setting where:

- (a) services are limited; or
- (b) existing natural and landscape values are to be retained.

11.1.2 To provide for compatible agricultural use and development that does not adversely impact on residential amenity.

11.1.3 To provide for other use or development that does not cause an unreasonable loss of amenity, through noise, scale, intensity, traffic generation and movement, or other off site impacts.

11.1.4 To provide for Visitor Accommodation that is compatible with residential character.

11.2 Use Table

Discretionary

Food Services- If for a gross floor area of not more than 200m².

Definition

Food Services

use of land for selling food or drink, which may be prepared on the premises, for consumption on or off the premises. Examples include a cafe, restaurant and take away food premises.

11.3 Use Standards

11.3.1 Discretionary uses

Acceptable Solutions A1

Hours of operation for a use listed as Discretionary excluding Emergency Services or Resource

Development, must be within the hours of:

(a) 8.00am to 6.00pm Monday to Friday;

(b) 9.00am to 12.00 noon Saturday; and

(c) nil on Sunday and public holidays.

Rep 6 -

General Manager
Glamorgan Spring Bay Council

01/05/2025

**PROPOSAL – Change of use to Food Services
251 Harveys Farm Road, Bicheno, TAS, 7215 - CT 136499/25**

Dear Sir,

This letter is to strongly oppose the proposed change of use to Food Services located at 251 Harveys Farm Road, Bicheno (CT 136499/25).

As residents close to the proposed change, we appeal the Council to consider the concerns of current local residents and reject the proposal on the grounds of preserving the existing amenity of the rural living area that was the appeal in bringing us to live in the area.

The concerns we have regarding this proposed development include:

Our reasons for objecting are:

- **The area of Harveys Farm Rd is zoned Rural Living:**
Therefore, it's aimed to be an area where residents can enjoy a quiet lifestyle and no commercial endeavours or businesses that would impact this quiet lifestyle. A hospitality business such as this would impact the current ambience, the seclusion of living in this area, and the current fairly low traffic
- **Noise increase:**
Whilst the DA outlines low noise from the music, traffic and cooking of food, I completely disagree. Even a small portable speaker can generate significant noise, depending on the wind level and direction. Already the applicant has played loud music which can be heard quite clearly inside our residence. Clearly as stated in section 2 part 6 "No live music will occur during lunch events" they have no intention of observing this rule. Other noise factor of people talking, and if alcohol is involved, then people naturally talk louder, meaning this will impact noise levels. So for every weekend, some weekdays and public holidays we will be inundated by noise from this restaurant. I didn't invest to retire in a quiet shoreline property to have quiet weekends drowned out by a restaurant nearby.
- **Impact on wildlife**
With increased traffic, I am concerned about the impacts to local wildlife. Currently, many cars speed down Harveys Farm Rd and do not adhere to speed limits, and I have noticed more roadkill on the road, which is awful. With a business like this, I am sure there will be even more wildlife fatalities, which is unacceptable

- **Increased business operations:**

The DA states weekly lunches, “no live” music, etc, and they are putting the absolute minimum business operation hours on this DA. Should their business be successful, I am confident they will want to increase business operation hours, making serving of food and drink potential an all-day affair 7 days a week, and this will have a major impact on the current lifestyle we have living in this area.

Traffic:

- **Road Condition:**

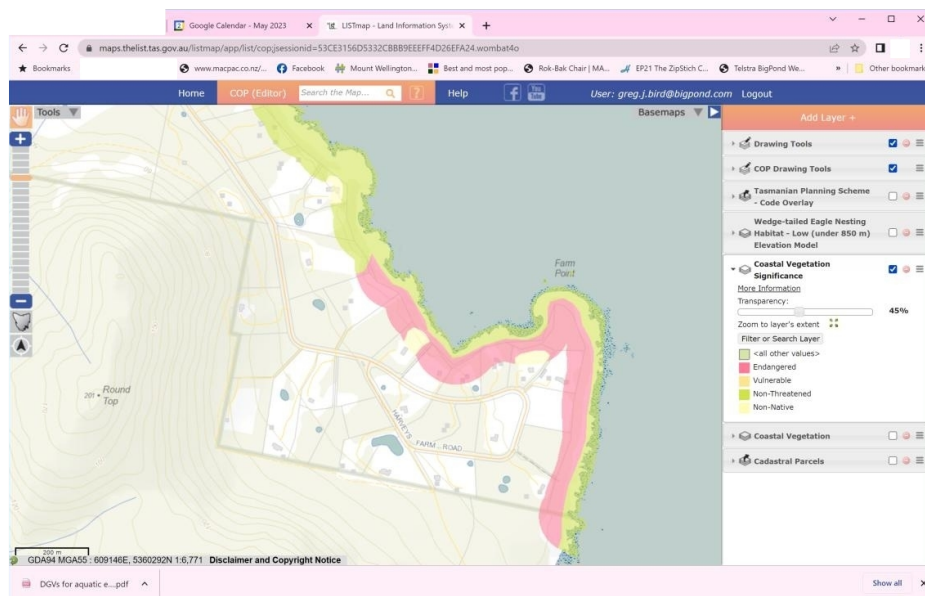
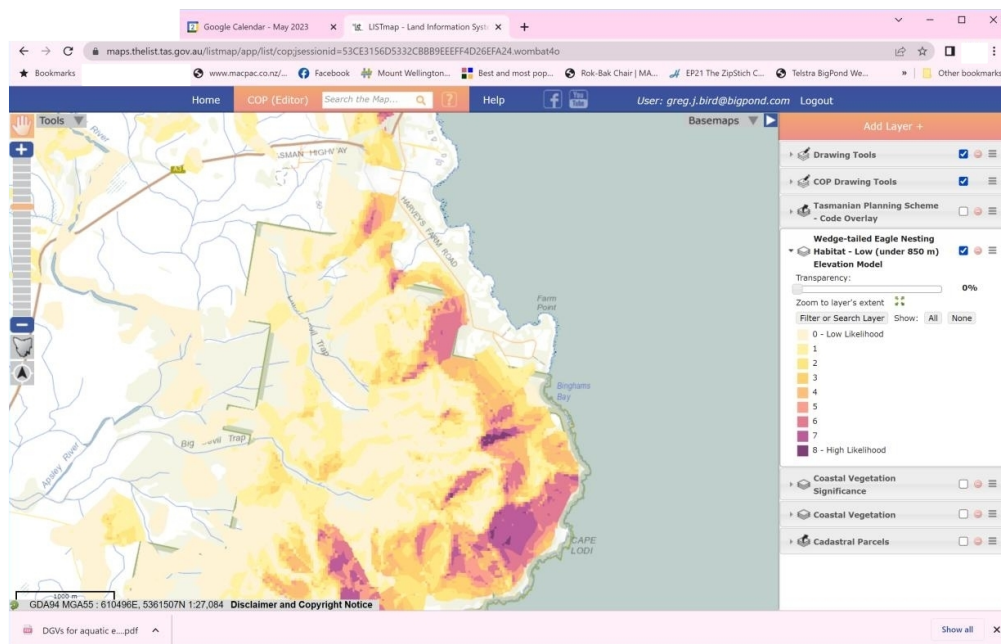
The road is in too poor state to accommodate an increase that will necessarily accompany this development. Harveys Farm Rd is already a road that needs a full overhaul. It gets pot holes quickly, even after they are repaired and the road. Additional traffic will impact the road and I do not want to have our rates go towards fixing the road due to this business attracting increased traffic.

- **Safety:**

Harveys Farm Road is a no-through road with minimal traffic that allows walkers, cyclists and children a safe place. There is also a high-density population of wildlife frequenting this end of the road, not only in the evenings but throughout the day. An increase in noise will likely force more animals onto the roadway. Such a scenario could also pose a threat to humans who may have to take evasive action while driving to avoid hitting animals on the road. In addition the proposal will bring car traffic specifically on weekends when children and locals will be walking or cycling on Harveys Farm Road.

Impact on native fauna

The Harveys Farm Road strip has high flora and fauna significance, not just emotionally but factually researched according to the State Government. See below Wedge Tail Eagle Nesting habitat and Coastal Vegetation Significance.

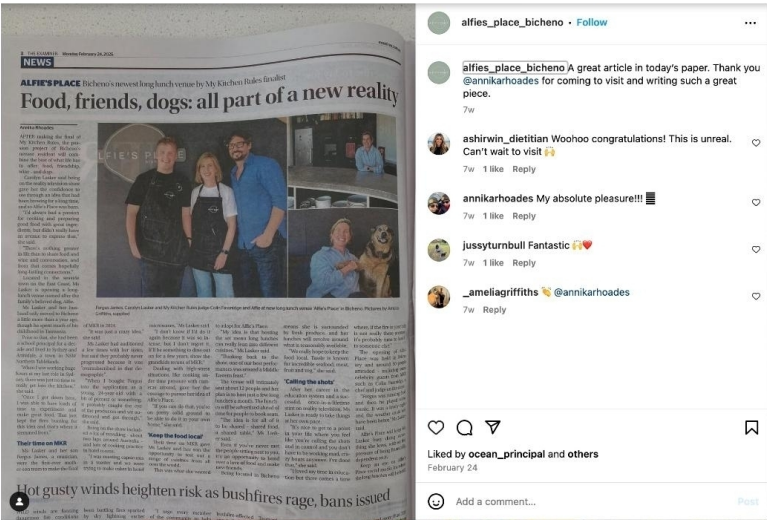


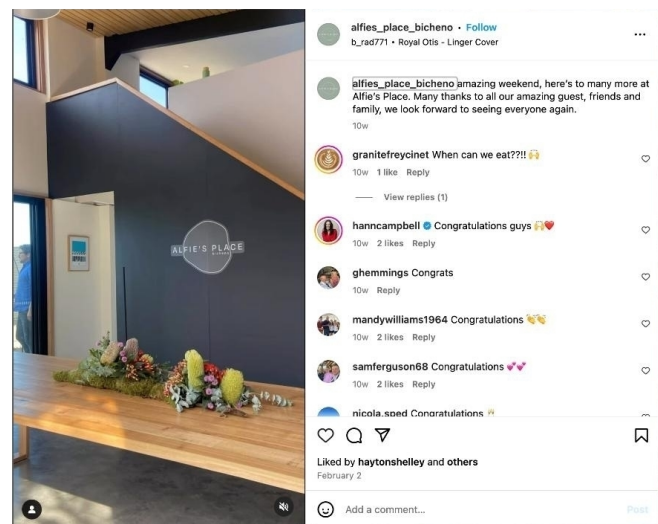
One of the primary dangers that native wildlife faces is the impact on their natural habitats due to human activity, such as restaurant developments like the one proposed here. Preserving the native bush corridors is crucial to enabling animals to inhabit and travel between their feeding zones. However, every weekend there will noise for 200m that will disrupt the local corridors and potentially compel animals to migrate onto the road, rather than through the bush. As previously stated (see 'safety' above) this could pose a threat to humans who may have to take evasive action while driving to avoid hitting animals on the road.

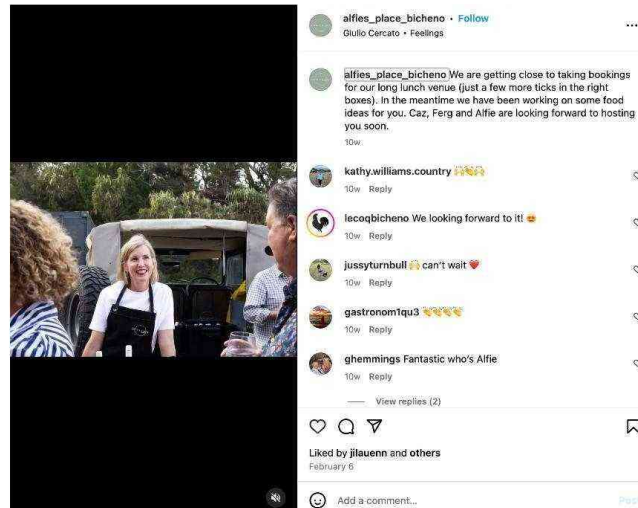
Privacy

This proposal has the potential to bring more than 20 people on-site at any given time, which will result in a significant increase in noise pollution. The development is incongruous with the area's quiet rural residential character, as there are no other comparable developments in the vicinity. The road itself is an isolated and secluded location, and this proposed development represents a significant deviation from the area's existing character thereby failing to maintain the area's primary function.

Already we have been impacted by loud music and restaurant noise. We moved to the area to retire with quiet solitude living.







In conclusion, this development is a commercial proposal appropriately suited for the more densely populated area within the Bicheno township, rather than the rural residential area of Harveys Farm Road. The developers responsible for the proposal have no concern for the community or residents of Harveys Farm Road.

Harveys Farm Road properties are adjacent to the world-famous Freycinet National Park. National parks are designated to protect and maintain the state's natural and cultural heritage, including diverse landscapes, habitats, and species. Why would we as a community develop land to interfere with the habitat so close to a National Park?

David Attenborough quoted *"It's surely our responsibility to do everything within our power to create a planet that provides a home not just for us, but for all life on Earth."*

We implore you to reject this application as it will have a huge impact on the people, environment, animals, amenity and safety of the area, not just now but into the future.

Rep 7 -

8 May 2025

Planning Department

Glamorgan Spring Bay Council

Via Email: planning@freycinet.tas.gov.au

Dear Sir/Madam,

Re: Objection – Development Application for Change of Use to Food Services

DA 2025/043 – 251 Harvey Farm Road, Bicheno (Property File 2-1700.207)

I write in response to your correspondence dated 15 April 2025 concerning the proposed change of use to "Food Services" at 251 Harvey Farm Road, Bicheno.

I wish to formally
object to this development application for the following reasons:

1. Zoning and Character of the Area

The area is zoned Rural Living. Harvey Farm Road is a quiet, timbered, rural locality not intended for commercial development. The proposed food services operation—which may include catering, events, takeaway, or a café—represents a fundamental change to the nature and character of the area. The words "food services" covers a great deal of ground and scope and opens a wide door.

2. Lack of Clarity and Inconsistencies

The application uses conflicting terms such as "change of use to Food Services" and "partial change of use," creating ambiguity about the scope of the development. The business, known as "Alfie's Place," has already advertised operations through social media and newspapers in 2024, suggesting premature commercial activity without council approval.

3. Trading Hours and Amenity Impact

The proposed trading hours do not comply with the Acceptable Solutions under Clause 11.3.1 of the Tasmanian Planning Scheme, which prohibit food services operation after 12 noon on Saturdays and entirely on Sundays and public holidays.

We strongly object to any approval that permits operation on Sundays, public holidays, or after 12 noon on Saturdays. These hours are inconsistent with the intent of the Rural Living Zone and would significantly disrupt the amenity and peaceful enjoyment of the surrounding rural residential area.

Weekend and public holiday trading introduces unacceptable impacts including:

- Increased vehicle traffic on a narrow, rural road with limited visibility and no pedestrian infrastructure.
- Elevated noise and disruption during periods traditionally set aside for quiet enjoyment.

Furthermore, we do not agree to the notion that the noise emissions will be at times when there is heightened activity. The days of proposed operation are those which are generally reserved for quiet enjoyment of properties and the surrounds.

- The intended use conflicts with the expected peaceful amenity of rural properties and the quiet enjoyment expected in this location.
- A dangerous precedent for further commercial intrusion into this rural zoned area.

The proposed days of operation on the application are very fluid and casual with nothing defined in detail.

We respectfully request that if any approval is granted, it is subject to a condition explicitly prohibiting operations on public holidays, Sundays, and after 12 noon on Saturdays as per the intent of the planning scheme.

4. Health and Building Compliance

There is insufficient detail regarding:

- Compliance with essential fire safety and the Building Code of Australia.
- Provision for emergency exits and safe egress for patrons—especially critical in a bushfire-prone area. It is unclear whether a single entry/exit is adequate in such conditions.

- Cost estimates for new works (e.g., toilets and parking) are not supplied, despite visible on-site changes that suggest construction may have already begun without approval.

5. Fire Safety Compliance

The property is in a bushfire-prone zone. Yet the application does not include a Bushfire Hazard Management Plan or demonstrate compliance with fire protection standards and access for emergency services.

6. Emergency Access and Egress

No safe emergency exit strategy is documented. Given the site's use for public-facing food service, this is a critical omission.

7. On-Site Services Capacity

The proposal intends to use existing residential water and wastewater systems, which are not designed for commercial operations. This raises concerns regarding public health and environmental compliance.

8. Traffic and Precedent Concerns

The increase in traffic on this narrow rural road has already been raised at the Ordinary Council Meeting on 28 May 2024. Approval could create a precedent for similar commercial ventures in this non-commercial zone.

Contrary to what is stated in application, any change of business within this area would naturally increase/cause additional traffic on Harvey Farm Road no matter whether it is during the week or weekends.

9. Food Safety Registration

It is unclear whether the business is registered in accordance with Tasmanian food safety legislation, particularly for handling potentially hazardous foods.

The kitchen would need to comply with all health safety regulations governing the preparation of food for public consumption.

10. Alcohol-Related Risks and Water Hazards

The premises are not licensed, and staff are not legally required to hold RSA qualifications, raising concerns about intoxicated patrons. Additionally, the property backs onto the ocean, presenting a potential drowning hazard. No mitigation measures or safety protocols have been addressed for these significant risks. There is also concern regarding patrons potentially driving over the legal alcohol limit upon leaving the site.

11. Pest Control

There is no mention of pest management—an essential requirements for any food business, especially in rural areas where risks are higher.

12. Waste Management

The application does not outline how food waste, packaging, and trade waste will be managed. A detailed waste management plan is necessary, particularly in a rural area with limited infrastructure.

In conclusion, we strongly object to the proposed change of use at 251 Harvey Farm Road. The proposal is incompatible with the area's zoning and rural nature, lacks critical compliance details, and presents safety and precedent risks if approved.

Thank you for considering our submission.

Letter of Support 1 –

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 2 –

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my support for the planning application submitted for Alfie's Place, a proposed long table lunch venue in Bicheno.

Whilst I may not live in Tasmania, I am regularly traveller to places far and wide to experience their culture, environments and the unique people behind these ventures.

Why you should support Alfie's.

Alfie's has been set up to host intimate long table lunches for up to 12 guests approximately 20 times per year. It's a series of opportunities to connect with people and enjoy good hospitality. Especially relevant when the cost of living crises is leading to more and more places to be shut down. Just today, on the ABC website, they report that inflationary pressures are '[causing hospitality businesses to close at a record rate](#)— 9.3 per cent, or one in 11 businesses shut up shop last year — according to a recent CreditorWatch report.'

Inspiration in a time of downturn

So, the question is what happens if more and more restaurants or pubs shut? Where we will people gather, share stories and break bread? What sort of a fragmented, dis-included society will this lead to? Bicheno has precious few meeting places as it is, for what is supposed to a tourism beacon, denying one more would certainly dim that light and lay waste to a precious opportunity.

Showcasing Bicheno

It would also deny visitors and locals alike that all the economic, social and human benefits, such a site would bring:

- Showcasing Local Producers Serving locally-sourced Tasmanian food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- Boosting the Local Economy Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation. This will greatly benefit a small community that does depend on tourism.
- Cultural and Community Enrichment As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- Promotion of Regional Tasmania Destinations like Alfie's elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Doing the right thing

It's important that a council is seen to fairly support community initiatives. The small scale of this this venture strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

It would be devastating if the Glamorgan Spring Bay Council didn't recognise the social, cultural, and economic value of this proposal and throw its full weight of support Alfie's Place in its efforts to bring something truly special to Bicheno.

It would certainly appear to be an icon worth travelling to.

Letter of Support 3 –

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for Alfie's Place, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group

events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 4 -

22 April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

We are writing to express our enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Whilst we are not residents of the immediate neighbourhood, we are strong supporters of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality.

The concept behind **Alfie's Place**—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors, like ourselves, to areas such as Bicheno.

Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at **Alfie's Place** are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.

- **Cultural and Community Enrichment:** As well as attracting visitors, **Alfie's Place** offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

We are, in fact, currently planning a group tour in the middle of the year to support **Alfie's Place**, Bicheno, and Tasmania generally, so this letter is a key part of that initiative. We propose to do so on an annual basis in future if the opportunity is available, with each tour expected to inject revenue from tourism into the State.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

Indeed, the local community of Bicheno is fortunate to have initiatives such as **Alfie's Place** being proposed. It stands to benefit greatly in the form of enhanced levels of local commercial and tourist activity.

We sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support **Alfie's Place** in its efforts to bring something truly special to Bicheno and its surrounds.

We look forward to visiting this and other unique offer

Letter of Support 5 -

Re: Letter of Support for Planning Application – DA2025-043

Dear General Manager,

As local residents and members of the Bicheno community, we are writing to express our strong support for the planning application submitted for **Alfie's Place** – a proposed long table lunch venue that seeks to operate in Bicheno.

This small-scale venue, which will host a maximum of 12 guests approximately 20 times per year, presents a valuable opportunity to enhance our town's reputation for quality food experiences, while contributing meaningfully to the local economy and cultural fabric.

We believe Alfie's Place will offer the following benefits to our community:

- **Support for Local Producers and Suppliers:** By showcasing Tasmanian produce and beverages, Alfie's Place will provide an important avenue for local growers, winemakers, and artisans to reach new audiences.
- **Economic Stimulation:** Although limited in scale, the venue will attract visitors who are likely to spend more time and money in Bicheno, benefitting other small businesses such as accommodation providers, galleries, shops, and cafes.
- **Employment and Skills Development:** Even with its modest operations, the venue has potential to support local employment and training opportunities in hospitality and tourism.
- **Promotion of Bicheno as a Destination:** Alfie's Place aligns with Bicheno's growing identity as a food and nature tourism destination, helping to diversify the visitor offering and encourage sustainable tourism growth.

Importantly, the venue's proposed scale and frequency of operation are sensitive to the surrounding environment and residential setting. Hosting approximately 20 events annually, with strict guest limits and appropriate planning controls, we believe the venue will integrate harmoniously into the community.

We trust that the Council will consider the broader community benefit of this proposal and support the application for Alfie's Place to proceed. We are confident it will become a unique and enriching part of Bicheno's future.

Thank you for the opportunity to provide input on this matter.

Letter of Support 6 -

24 April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Dear Sir or Madam,

Support for Planning Application DA2025-043

We write in enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although we are not residents of the neighbourhood, we are strong supporter of regional food tourism and regularly travel to Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. We have several good friends who live in regional Tasmania, near Launceston, Hobart and Bicheno respectively.

The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like us and our friends to areas such as Bicheno.

On our understanding, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.

- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

We sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. We look forward to visiting and experiencing it for ourselves.

Letter of Support 7 -

25 April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind **Alfie's Place**—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno. In my experience travelling around Tasmania, there should be more options like this for visitors to enjoy this style of dining experience and benefit the local community at the same time.

I am confident that **Alfie's Place** will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at **Alfie's Place** are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.

- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 8 -

26 April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
TRIABUNNA TAS 7190

Letter of Support for Planning Application - DA2025-043

Dear Madam/Sir

I write as a local resident, and member of the Bicheno Community, in support of the planning application recently submitted by Alfie's Place, Harvey's Farm Road.

The plans put forward by Carolyn and Jon will add a unique and valuable experience and opportunity to our town – both for local residents, and visitors alike. With the increase in the number of permanent residents and visitors to our town, dining options are always at a premium.

I believe that what Carolyn is proposing is a casual dining experience, using local and seasonal produce, and showcasing local wines. This fits well with our local way of life and would add greatly to the town.

I hope that the application is successful.

Letter of Support 9 -

To whom it may concern

I am concerned at any criticism put forward about granting permission for this wonderful project to proceed.

Many friends from both Launceston and Hobart have messaged me to tell them when the lunch events are scheduled so they can arrange accommodation and attend.

How this is a detriment to Bicheno's standing in the tourism sector is beyond belief.

I actually live reasonably close to the intended site of the venue and have no problem with parking (all on site) noise (it is a lunch venue for the enjoyment of gourmet food preparation) and will promote local produce thus promoting the local community and businesses.

It is apparent that the influx of visitors over the past period shows the apparent need for this type of business as there are very few dining establishments in Bicheno.

It is encouraging that someone with national recognition for their gourmet cooking wish to share their knowledge and skill for us all to enjoy.

This project Alfie's Place in Harveys Farm Road has my full support and I sincerely hope yours as well.

In anticipation of a favourable response.

Letter of Support 10 -

07/04/2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

RE: Letter of Support for Planning Application DA2025/043

Dear General Manager,

I am writing to formally express my strong support for the planning application submitted for Alfie's Place, a proposed long table lunch venue in Bicheno.

Although I do not reside in the immediate neighbourhood, I am a strong advocate for regional food tourism throughout Tasmania. The concept behind Alfie's Place, which involves hosting intimate long table lunches for up to 12 guests approximately 20 times per year, exemplifies an authentic, seasonal, and locally grounded experience that attracts visitors to regions like Bicheno. This style of dining is progressively aligning with the type of experience associated with holiday retreats.

Alfie's Place will have various impacts on the region, such as:

- **Showcasing Local Producers**

The venue will feature Tasmanian-grown food and wine, giving small producers the opportunity to connect with directly with their audiences and potentially increased exposure.

- **Boosting the Local Economy**

Visitors attending events at Alfie's Place would likely extend their stay, contributing to the local economy by patronizing nearby shops, cafes, galleries, and accommodation providers. This influx of visitors benefits a wide range of small businesses in and around Bicheno.

A celebratory weekend away is being planned for a group of 10 in late 2025. Bicheno was chosen as the location for the celebration lunch due to the potential for a long table event at Alfie's Place. However, the uncertainty regarding the approval of the Planning Application for Alfie's Place has necessitated the investigation of alternative locations in Tasmania.

- **Cultural and Community Enrichment**

In addition to attracting guests, Alfie's Place provides an excellent venue for local community groups and clubs to convene and celebrate their shared values through dining and dialogue.

As the convener of team meetings for leadership groups, Alfie's Place provides an ideal venue for intimate discussions and fostering strong relationships while enjoying local cuisine and wine. The privacy afforded by a small venue like Alfie's Place is an advantage that cannot be matched by hotels, restaurants, or convention centres.

- **Promotion of Regional Tasmania**

Initiatives such as Alfie's Place can enhance Tasmania's status as a top food destination, promoting sustainable tourism and stronger community connections.

The proposed venue, limited to occasional small group events, aims to balance economic opportunity with community harmony. Its infrequent use and intimate nature are intended to complement rather than disrupt the surrounding environment.

This proposal seeks to emphasize the social, cultural, and economic advantages that Alfie's Place will bring to Bicheno. It is hoped that the Glamorgan Spring Bay Council will consider and support this initiative.

I look forward to experiencing this special venue in the not-so-distant future.

Letter of Support 11 -

28th April, 2026

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025/043

Dear General Manager,

I am writing to express my absolute support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

doing the amazing Overland Track in Tasmania. On completion of the track, we stayed a few extra days at the Pumphouse on Lake St Claire, and enjoyed the wonderful produce of Tasmania. Food and gourmet experiences are a major drawcard when planning our travels, whether it be domestic or international travel.

I like to keep up with new ventures and concepts in the food and travel industry. Alfie's place has certainly piqued my interest and it is on my bucket list. I love the concept of a lunch with a small amount of like-minded people or even a private group, if I can organise it. To have fresh, seasonal Tasmanian produce showcased in such a thoughtful and intimate way is unique and should be encouraged.

I also like to think that my travels can support local producers and economies. Alfie's is a unique project that is based on being local. It is a small scale project dreamt up to be thoughtful, community based, giving and more a labour of love than anything.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 12 -

29/4/25

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application – DA2025-043

Dear General Manager,

As local residents and members of the Glamorgan Spring Bay community, we are writing to express our strong support for the planning application submitted for **Alfie's Place** – a proposed long table lunch venue that seeks to operate in Bicheno.

This small-scale venue, which will host a maximum of 12 guests approximately 20 times per year, presents a valuable opportunity to enhance our town's reputation for quality food experiences, while contributing meaningfully to the local economy and cultural fabric.

We believe Alfie's Place will offer the following benefits to our community:

- **Support for Local Producers and Suppliers:** By showcasing Tasmanian produce and beverages, Alfie's Place will provide an important avenue for local growers, winemakers, and artisans to reach new audiences.
- **Economic Stimulation:** Although limited in scale, the venue will attract visitors who are likely to spend more time and money in Bicheno and the surrounding areas, benefitting other small businesses such as accommodation providers, galleries, shops, and cafes.
- **Employment and Skills Development:** Even with its modest operations, the venue has potential to support local employment and training opportunities in hospitality and tourism.
- **Promotion of Bicheno and the East Coast as a Destination:** Alfie's Place aligns with Bicheno's growing identity as a food and nature tourism destination, helping to diversify the visitor offering and encourage sustainable tourism growth.

Importantly, the venue's proposed scale and frequency of operation are sensitive to the surrounding environment and residential setting. Hosting approximately 20 events annually, with strict guest limits and appropriate planning controls, we believe the venue will integrate harmoniously into the community.

We trust that the Council will consider the broader community benefit of this proposal and support the application for Alfie's Place to proceed. We are confident it will become a unique and enriching part of the East Coasts.

Thank you for the opportunity to provide input on this matter.

Letter of Support 13 -

30th April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025/043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the neighbourhood, I am a strong supporter of regional food tourism, have visited Bicheno several times and will be doing so again in October with a group of friends, all of whom would like to attend Alfie's Place.

The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like me to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups

and clubs to come together and celebrate shared values through food and conversation.

- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for Ourselves.

Letter of Support 14 -

01/05/2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno. For this beautiful addition to Bicheno to not go ahead would be truly saddening and shameful.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.

- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 15 -

Re: Letter of Support for Planning Application – DA2025-043

Dear General Manager,

As local residents and members of the Bicheno community, we are writing to express our strong support for the planning application submitted for Alfie's Place – a proposed long table lunch venue that seeks to operate in Bicheno.

This small-scale venue, which will host a maximum of 12 guests approximately 20 times per year, presents a valuable opportunity to enhance our town's reputation for quality food experiences, while contributing meaningfully to the local economy and cultural fabric.

We believe Alfie's Place will offer the following benefits to our community:

- **Support for Local Producers and Suppliers:** By showcasing Tasmanian produce and beverages, Alfie's Place will provide an important avenue for local growers, winemakers, and artisans to reach new audiences.
- **Economic Stimulation:** Although limited in scale, the venue will attract visitors who are likely to spend more time and money in Bicheno, benefitting other small businesses such as accommodation providers, galleries, shops, and cafes.
- **Employment and Skills Development:** Even with its modest operations, the venue has potential to support local employment and training opportunities in hospitality and tourism.
- **Promotion of Bicheno as a Destination:** Alfie's Place aligns with Bicheno's growing identity as a food and nature tourism destination, helping to diversify the visitor offering and encourage sustainable tourism growth.

Importantly, the venue's proposed scale and frequency of operation are sensitive to the surrounding environment and residential setting. Hosting approximately 20 events annually, with strict guest limits and appropriate planning controls, we believe the venue will integrate harmoniously into the community.

We understand that there has been some concern about the extra traffic that will be using Harveys Farm Rd. As residents of Harveys Farm Rd we see this as minimal and seeing that the cars will park on their property there will be no impact on nearby residents. Bicheno has been growing and evolving and we as a vibrant community need to embrace that so 'our town' can continue to flourish and offer new opportunities to residents and visitors.

Over the past few years much smaller sub divisions have been approved on this road and the extra traffic has not been detrimental to the residents.

We trust that the Council will consider the broader community benefit of this proposal and support the application for Alfie's Place to proceed. We are confident it will become a unique and enriching part of Bicheno's future.

Letter of Support 16 -

5th May 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support – Planning Application DA2025-043 (Alfie's Place)

Dear General Manager,

As local residents and proud members of the Bicheno community, we are writing to express our strong support for the planning application **DA2025-043**, submitted for **Alfie's Place** - a proposed long table lunch venue in Bicheno.

This small-scale operation, which intends to host up to 12 guests approximately 20 times per year, represents an exciting opportunity to further enhance Bicheno's reputation for offering quality food and wine experiences. It also promises to contribute positively to the local economy and enrich the cultural life of our town.

We believe Alfie's Place will be a welcome and fitting addition to our regional tourism offering. From what we understand, the proponents are committed to delivering high-quality service and operating with strong business ethics and community awareness.

As local operators, we cannot think of a more deserving proposal - one that combines innovation, sustainability, and hospitality to benefit the East Coast. We **strongly support** their application and encourage Council to consider the broader value this initiative will bring to our community.

Thank you for the opportunity to comment on this matter.

Letter of Support 17 -

5th May 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application – DA2025-043

Dear General Manager,

On behalf of Bicheno Beams volunteer committee members.

As local residents and members of the Bicheno community, we are writing to express our strong support for the planning application submitted for **Alfie's Place** – a proposed long table lunch venue that seeks to operate in Bicheno.

This small-scale venue, which will host a maximum of 12 guests approximately 20 times per year, presents a valuable opportunity to enhance our town's reputation for quality food experiences, while contributing meaningfully to the local economy and cultural fabric.

We believe Alfie's Place will offer the following benefits to our community:

- **Support for Local Producers and Suppliers:** By showcasing Tasmanian produce and beverages, Alfie's Place will provide an important avenue for local growers, winemakers, and artisans to reach new audiences.
- **Economic Stimulation:** Although limited in scale, the venue will attract visitors who are likely to spend more time and money in Bicheno, benefitting other small businesses such as accommodation providers, galleries, shops, and cafes.
- **Employment and Skills Development:** Even with its modest operations, the venue has potential to support local employment and training opportunities in hospitality and tourism.

- **Promotion of Bicheno as a Destination:** Alfie's Place aligns with Bicheno's growing identity as a food and nature tourism destination, helping to diversify the visitor offering and encourage sustainable tourism growth.

Importantly, the venue's proposed scale and frequency of operation are sensitive to the surrounding environment and residential setting. Hosting approximately 20 events annually, with strict guest limits and appropriate planning controls, we believe the venue will integrate harmoniously into the community.

We trust that the Council will consider the broader community benefit of this proposal and support the application for Alfie's Place to proceed. We are confident it will become a unique and enriching part of Bicheno's future.

Thank you for the opportunity to provide input on this matter.

Yours sincerely,

Letter of Support 18 -

Dear General Manager,

As a fellow small business owner and café operator, I'm writing to express my full support for the planning application for *Alfie's Place* in Bicheno (DA2025-043).

Running a small business in hospitality is increasingly challenging—between rising costs, staffing pressures, and the need to constantly adapt, it takes real passion and resilience to keep going. That's why ventures like *Alfie's Place* matter. They showcase the best of what Tasmania has to offer while helping to strengthen local economies and foster real community connections.

Although I'm not based on the East Coast of Tassie myself, I believe *Alfie's Place* will be a valuable and positive addition to Bicheno and furthermore the Freycinet region. Its focus on small, seasonal long table lunches—limited in number and size—demonstrates a thoughtful approach that balances economic benefit with respect for the local environment and community.

From my perspective, it will:

- Celebrate and support local growers, producers, and makers;
- Encourage tourism and increased spending at nearby cafés, shops, and accommodation providers;
- Create meaningful food experiences that bring people together and deepen community ties.

Food has a unique ability to connect people, and this project has the potential to do just that—while also contributing to the vibrancy and sustainability of Bicheno's economy.

I hope the Council sees the value in this proposal and offers its full support. I look forward to visiting *Alfie's Place* in the future and seeing its positive impact firsthand.



BY:

Letter of Support 19 -

Tuesday, 22 April 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors to areas such as Bicheno.

My wife and I recently travelled to Bicheno and were spell bound by its natural beauty. Unfortunately the venues available to dine are very limited and we believe the area could benefit from the facility proposed by Alfies. Having inspected its proposed location which is off the beaten track we have formed the view that there would be little, if any, negative impact on the community with the proposed approval of Alfies.

We believe Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups

and clubs to come together and celebrate shared values through food and conversation.

- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. We encourage the Council to look favourably on Alfies' Planning Application as we believe the proponents of the concept would honour any trust vested in them. It has out enthusiastic support as we believe such a avenue is desperately need in Bicheno

Letter of Support 20 -

6th May 2025

Attn; The General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Planning Application DA2025-043 – Letter of Support - *Alfie's Place*

Dear General Manager,

In order to ideally promote and see a successful Consent for DA2025-043, we are submitting this letter to express our definitive support for this application, being a venue for a long table lunch facility in Bicheno.... *Alfie's Place*

We are not residents of the immediate neighbourhood, however are supporters of the various forms of regional food tourism and what Tasmania has to offer. My wife & I travel throughout Tasmania to visit both the region itself and long term friends who have moved to Tasmania from Sydney over the years.

Our opinion of Tassie is one of geographical beauty with a wide range of food and produce offerings that we encounter. We have found it well worth while and repeat our visits for these reasons. Knowing some people and encountering community hospitality along the way is an added bonus.

With regards *Alfie's Place*, its idea of hosting long table lunches is a great concept which allows a personal experience of those aspects we have mentioned above. To offer something like this in Bicheno on an intermittent basis will give us the opportunity to have such an experience, likely when our timetable permits, and will show an authentic and locally grounded experience. This we would enjoy whether it be Bicheno or another similar area that we may visit. We think the idea of a limited small number of guests (12 as we understand) to a dedicated function space is ideal and offers a personal touch to hospitality.

Our understanding of *Alfie's Place* and what it can offer to the area would be as follows :

- **Bicheno as a regional area in Tasmania:** We have over the last 30years visited Tassie and enjoyed its offerings. A new business such as this only enhances what Bicheno (and Tassie on a broader scale) offers and promotes same, in the

eyes of international tourism and Tasmania as a food destination on the grander scale

- **Local Food Supply:** Being a small hospitality offering of limited numbers for sittings, *Alfie's Place* will help small suppliers & food producers connect directly with each other and support their businesses.
- **Local Economy Support:** As would-be patrons to *Alfie's Place*, we would be staying in available accommodation for a short period that effectively supports the local area by way of shops, cafés, boating and galleries. We have spent time and money in previous times and would obviously be a benefit to the local economy upon *Alfie's Place* opening as an ongoing business.

In terms of impact on the local area *Alfie's Place* is intended to be limited in terms of visitation and by default its economic influence, but at the same time memorable for the future. It would incorporate into a unique local community offering and harmony thereof. We see this as complimentary to the local community.

I sincerely hope the **Glamorgan Spring Bay Council** will recognise *Alfie's Place* as a potential asset to the area in terms of business fortitude, community cohesiveness and direct tourism benefits that it will offer.

We trust Council will consent to the application such that *Alfie's Place* may bring all the above benefits as we see it to Bicheno. *Alfie's Place* would bring a special and secluded offering to Bicheno. We will anticipate the opportunity for another visit to Bicheno on the news of *Alfie's Place* being opened for business.

Regards

Letter of Support 21 -

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

**Letter of Support for Planning Application DA2025-043:
Alfie's Place, Bicheno**

Dear General Manager,

I am writing to let you know of my support for the planning application submitted for Alfie's Place, a proposed long table lunch venue in Bicheno.

I am not a resident of the immediate neighbourhood, being a resident of Sydney. However, I am a strong supporter of regional food tourism and have travelled throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality.

The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- Alfie's Place will highlight Tasmanian-grown food and wine, particularly produce from local growers and makers
- Ventures such as Alfie's Place assist in elevating Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.
- The venue will help small producers and makers connect directly with appreciative audiences
- Alfie's Place will encourage visitors to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers. This will benefit a broad range of small businesses in and around Bicheno

- As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno, and approve this planning application.

I look forward to visiting and experiencing the venue for myself on my next visit to Bicheno

Letter of Support 22 -

Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I support regional food tourism and regularly travel throughout Tasmania, and other States to experience outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic and local experience that attracts visitors like myself to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers connect directly with interested groups.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to stay longer, spending time and money in local shops, cafes, galleries, and accommodation providers—being of benefit to a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place will offer potential as a meeting place for local community groups and clubs to come together and enjoy shared interests through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this will help promote Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and visitor engagement with local communities.

Importantly, the proposed size of the venue—limited to occasional, small-group events—is an appropriate balance between economic opportunity and community involvement. Its infrequent use and intimate nature will ensure it will not disrupt the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something special to Bicheno. I look forward to visiting and experiencing it for myself.

Letter of Support 23 -

Dear General Manager,

Re: Letter of Support for Planning Application DA2025-043

I am writing to express my enthusiastic support for the planning application submitted for Alfie's Place, a proposed long table lunch venue in Bicheno.

I am a proud Tasmanian and spent much of my childhood in Coles Bay, just a short drive from Bicheno. I have found memories of long family lunches on a Sunday and day trips along the coast to experience the incredible food and scenery on offer in so many local communities.

For me, the small scale concept behind Alfie's Place represents the kind of community focused and locally grounded experience that I valued growing up in Tasmania. Alfie's Place to me is authentically Tasmanian, with its focus on local produce, small gatherings and delicious food.

My family owned a small farm near Huonville during the 1990s, and each year we hosted a midwinter feast in the shed, followed by a bonfire. The memory of those times, so unique and treasured by our friends and family, is the same atmosphere that Alfie's Place will showcase in Bicheno. Alfie's Place offers such potential as a special gathering place for the local community to come together and celebrate shared values through food and conversation.

One of the most important aspects of Alfie's Place is their showcasing of local produce. At a time when so many small businesses are doing it tough, I think it is fantastic that the team at Alfie's are committed to helping small producers and the consequent positive impact this will have on the local economy.

We all know that Tasmania has world-class food and prides itself on sustainable tourism. Alfie's Place would only serve to further promote Tasmania the way we want to be promoted - ethically and sustainably while showcasing our amazing cuisine and natural beauty.

The team at Alfie's Place have really shown an awareness of all things that are important to Tasmanians through their small-scale, limited numbers and focus on community engagement.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. Alfie's Place represents everything that is important to Tasmanians and I am excited by the prospect of a unique and sustainable addition to our community.

RECEIVED
12 MAY 2025

SCANNED

BY:

Letter of Support 24 -

7th May 2025

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025/043

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like me to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance in our community

We need Alfie's Place.

Letter of Support 25 -

5th May 2024

General Manager
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Re: Letter of Support for Planning Application DA2025-043

Dear General Manager,

I am writing to express my enthusiastic support for the planning application submitted for **Alfie's Place**, a proposed long table lunch venue in Bicheno.

Although I am not a resident of the immediate neighbourhood, I am a strong supporter of regional food tourism and regularly travel throughout Tasmania to experience its outstanding produce, natural beauty, and community-led hospitality. The concept behind Alfie's Place—hosting intimate long table lunches for up to 12 guests approximately 20 times per year—represents the kind of authentic, seasonal, and locally grounded experience that draws visitors like myself to areas such as Bicheno.

From what I understand, Alfie's Place will bring a range of positive outcomes to the region, including:

- **Showcasing Local Producers:** By highlighting Tasmanian-grown food and wine, the venue will help small producers and makers connect directly with appreciative audiences.
- **Boosting the Local Economy:** Visitors who attend events at Alfie's Place are likely to extend their stay, spending time and money in local shops, cafes, galleries, and accommodation providers—benefitting a broad range of small businesses in and around Bicheno.
- **Cultural and Community Enrichment:** As well as attracting visitors, Alfie's Place offers potential as a special gathering place for local community groups and clubs to come together and celebrate shared values through food and conversation.
- **Promotion of Regional Tasmania:** Ventures like this elevate Tasmania's reputation as a world-class food destination, encouraging sustainable tourism and deeper visitor engagement with local communities.

Importantly, the proposed scale of the venue—limited to occasional, small-group events—strikes an appropriate balance between economic opportunity and community harmony. Its infrequent use and intimate nature will ensure it complements rather than disrupts the surrounding environment.

I sincerely hope the Glamorgan Spring Bay Council will recognise the social, cultural, and economic value of this proposal and support Alfie's Place in its efforts to bring something truly special to Bicheno. We have visited Bicheno and surrounding areas on many occasions and have enjoyed many of the great showcases of Tasmanian food, wine and cultural offerings. We have recommended this area to friends and family and believe that Alfie's Place offers an exceptional addition to the rich and diverse offerings already in existence.



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **251 Harveys Farm Road, Bicheno**
CT 136499/25

PROPOSAL: **Change of use to Food Services**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager. Representations must be received before midnight on Thursday 08 May 2025.

APPLICANT: **6ty Pty Ltd**
DATE: **04/03/2025**
APPLICATION NO: **DA 2025 / 043**



9 Melbourne Street (PO Box 6)
Triabunna TAS 7190

☎ 03 6256 4777

☎ 03 6256 4774

✉ admin@freycinet.tas.gov.au

🌐 www.gsbc.tas.gov.au

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	6ty° Pty Ltd		
Contact person: (if different from applicant)	George Walker		
Address:	PO Box 63		
Suburb:	Riverside	Post Code:	7250
Email:	gwalker@6ty.com.au	Phone: / Mobile:	0417 921 661
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	251 Harveys Farm Road		
Suburb:	Bicheno	Post Code:	7215
Size of site: (m ² or Ha)	1.74ha		
Certificate of Title(s):	136499/25		
Current use of site:	Residential - single dwelling.		



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🌐 www.gsbc.tas.gov.au

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	Use of part of existing single dwelling for home-based business (catering).
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No <input checked="" type="checkbox"/>
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.



9 Melbourne Street (PO Box 6)
Triabunna TAS 7190

☎ 03 6256 4777

☎ 03 6256 4774

✉ admin@freycinet.tas.gov.au

🌐 www.gsbc.tas.gov.au

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

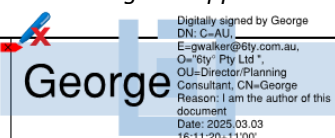
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	 <p>Digitally signed by George DN: C=AU, E=gwalker@6ty.com.au, O="6ty" Pty Ltd *, OU=Director/Planning Consultant, CN=George Reason: I am the author of this document Date: 2025.03.03 16:11:20+1100'</p>	Date:	3 March 2025
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
---	--	-------	--

If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.



9 Melbourne Street (PO Box 6)
Triabunna TAS 7190

☎ 03 6256 4777

☎ 03 6256 4774

✉ admin@freycinet.tas.gov.au

🌐 www.gsbc.tas.gov.au

Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 136499	FOLIO 25
EDITION 7	DATE OF ISSUE 05-Jul-2023

SEARCH DATE : 03-Mar-2025

SEARCH TIME : 04.11 PM

DESCRIPTION OF LAND

Parish of ST ALBANS Land District of CUMBERLAND
 Lot 25 on Sealed Plan 136499
 Derivation : Part of Lot 3419 49 Acres Gtd. to W.Wilkins,
 Prior CT 101885/2

SCHEDULE 1

D45882 TRANSFER to JONATHAN PAUL BARNES Registered
 12-Jun-2012 at 12.01 PM

SCHEDULE 2

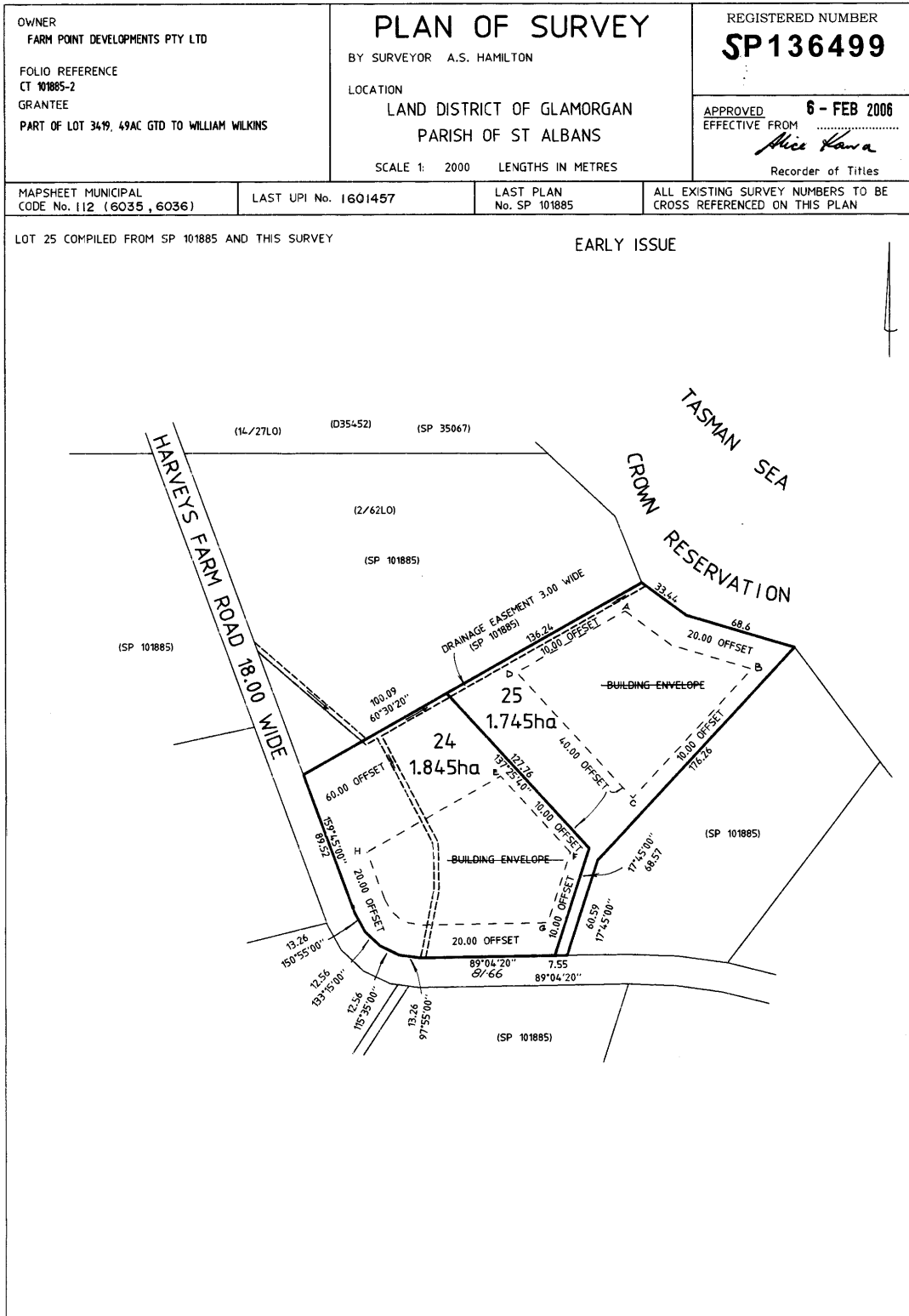
Reservations and conditions in the Crown Grant if any
 SP 101885 FENCING COVENANT in Schedule of Easements
 SP136499 EASEMENTS in Schedule of Easements
 SP136499 COVENANTS in Schedule of Easements
 SP136499 WATER SUPPLY RESTRICTION
 SP136499 SEWERAGE AND/OR DRAINAGE RESTRICTION

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN
RECORDER OF TITLES
Issued Pursuant to the Land Titles Act 1980



CLIENT:
JON BARNES

PROJECT:
SPECIAL PLUMBING PERMIT

ADDRESS:
251, HARVEYS FARM ROAD, BICHENO.

PROJECT No:
251039

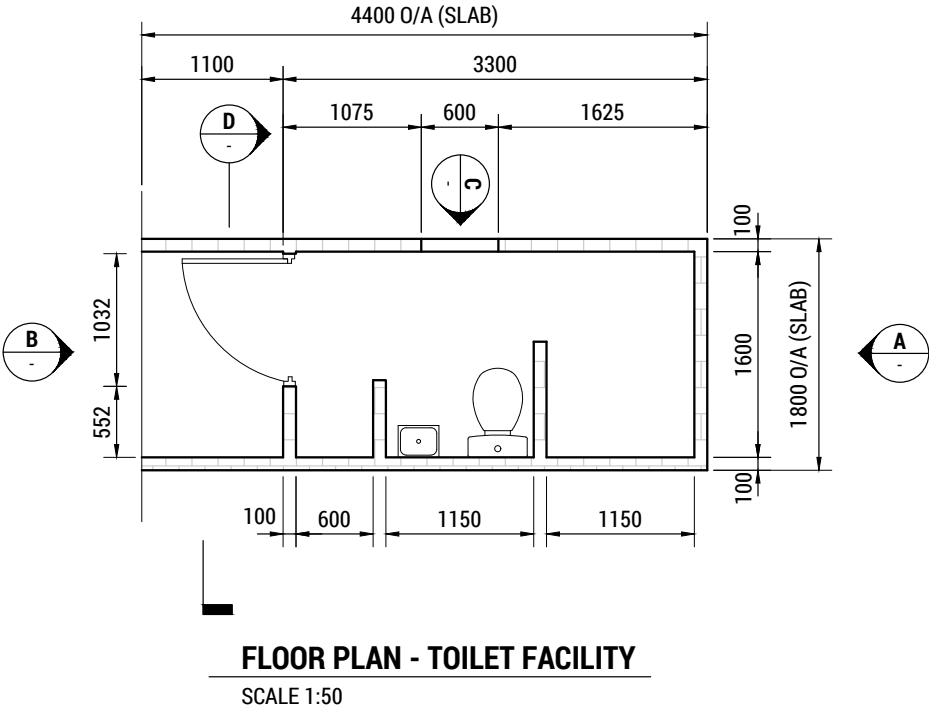
STATUS:
CONTROLLED DOCUMENT

ISSUED FOR / DESCRIPTION:
PLUMBING APPROVAL

DRAWINGS:

- COV - COVER SHEET
- S100 - FLOOR PLAN - TOILET FACILITY
- H001 - HYDRAULIC NOTES
- H100 - SITE PLAN - DRAINAGE
- H101 - DRAINAGE PLAN
- H102 - HYDRAULIC TYPICAL DETAILS

				STATUS: CONTROLLED DOCUMENT		DESIGN BY: RJ	 <small>22-24 Paterson Street Launceston TAS 7250</small> 	CLIENT: JON BARNES PROJECT: SPECIAL PLUMBING PERMIT ADDRESS: 251 HARVEYS FARM ROAD, BICHENO.	TITLE: COVER SHEET	
						DESIGN CHK: -				
						DRAWN BY: MS				
						DRAFT CHK: RJ				
0	ISSUED FOR PLUMBING APPROVAL	MS	03-04-25	DO NOT SCALE - IF IN DOUBT, ASK <small>THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS PREPARED. © RARE INNOVATION PTY LTD. ABN 51 619 598 257</small>		APPROVED: R.JESSON	ACRED. No: CCS8481			SCALE: - SHEET SIZE: A3 DWGs IN SET: -
REV:	ISSUED FOR / DESCRIPTION:	BY:	DATE:	APPROVED: R.JESSON	ACRED. No: CCS8481	DATE: 03-04-2025				PROJECT No: 251039 DWG No: COV REV: 0



				STATUS: CONTROLLED DOCUMENT		DESIGN BY: RJ	 22-24 Paterson Street Launceston TAS 7250 rarein.com.au P. 03 6388 9200	CLIENT: JON BARNES PROJECT: SPECIAL PLUMBING PERMIT ADDRESS: 251 HARVEYS FARM ROAD, BICHENO.	TITLE: FLOOR PLAN - TOILET FACILITY	
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REV:	ISSUED FOR / DESCRIPTION:		BY:	DATE:						

GENERAL

1. INFORMATION

- (A) ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE COUNCIL, DIER & IPWEA'S STANDARD DRAWINGS & SPECIFICATIONS WHICH THE CONTRACTOR SHALL HAVE A COMMON KNOWLEDGE OF. ANY VARIATION FROM THESE DRAWINGS OR THE RELEVANT STANDARDS & SPECIFICATIONS WILL REQUIRE THE PRIOR APPROVAL OF THE SUPERVISING ENGINEER AND COUNCIL'S REPRESENTATIVE.
- (B) OBTAIN APPROVALS, PERMITS AND FINAL CERTIFICATES FROM THE CONTROLLING AUTHORITIES.
- (C) APPLY AND PAY ALL APPLICABLE FEES AND CHARGES IN ACCORDANCE WITH THE RELEVANT AUTHORITIES CURRENT FEES AD CHARGES SCHEDULE.
- (D) THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE BASE BUILDING SPECIFICATION, ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS, SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTION AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- (E) IF ANY DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL DURING THE TENDERING PERIOD ASSUME THE LARGER/GREATER EXTENT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- (F) BEFORE COMMENCING OBTAIN, BY SITE MEASUREMENT THE INVERT LEVELS OF ALL DRAWINGS TO WHICH CONNECTIONS IS TO BE MADE. IF LEVELS AFFECT THE MANNER OF INSTALLATION ADVISE THE SUPERINTENDENT AND OR ENGINEER BEFORE COMMENCING.
- (G) ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CURRENT SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- (H) THE SCOPE OF WORK OF THE HYDRAULIC SERVICES CONTRACTOR INCLUDES: CO-ORDINATION, FABRICATION, DELIVERY, SUPPLY, INSTALLATION, SET OUTS, AS BUILT DOCUMENTATION, MAINTENANCE OF THE SYSTEMS, CERTIFICATE OF COMPLIANCE INCLUSIVE OF ITEMS OUTLINED WITHIN THESE DOCUMENT AND ANY INCIDENTAL WORKS REQUIRING TO COMPLETE THE PROJECT SHALL BE DEEMED TO HAVE BEEN INCLUDED IN THE TENDER.
- (I) LAYOUT ON THE DRAWING ARE DIAGRAMMATIC, BEFORE COMMENCING ANY WORK, INSPECT THE SITE, OBTAIN EXACT MEASUREMENTS AND OTHER NECESSARY INFORMATION. CONFIRM PROPOSED AND EXISTING SYSTEM LOCATIONS, REDUCE LEVELS, INVERT LEVELS, CEILING/HEAD HEIGHT CLEARANCES AND ETC TO ANY WORKS.
- (J) ALL DIMENSION SHOWN SHALL BE VERIFIED ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED. PRIOR TO ANY INSTALLATION ALL INVERT LEVELS NOTED MUST BE VERIFIED AGAINST REDUCED LEVELS TO PROPOSED FINAL SURFACES FINISHES.
- (K) SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER. REQUIRED TECHNICAL INFORMATION MUST BE PROVIDED TO THE ENGINEERS AT LEAST 48 HOURS PRIOR TO ANY INSTALLATION WORKS.
- (L) SUPPLY AND INSTALL THE COMPLETE WORKS AS SHOWN AND OR SPECIFIED. PROVIDE A MINIMUM 12 MONTH WARRANTY ON ALL NEW WORKS, FITTINGS, FIXTURES AND APPLIANCES INSTALLED AS PART OF THE WORKS. COMMISSION THE WORKS ON COMPLETION. MAINTAIN THE WORKS FOR 12 MONTHS FOLLOWING THE COMPLETION.
- (M) PRIOR TO ANY WORKS, ALL PENETRATIONS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
- (N) PROVISION AND SEALING OF PENETRATIONS SHALL BE BY THE BUILDER.
- (O) SANITARY FIXTURES AND TAPWARE AS SPECIFIED ARE TO BE APPROVES AND INSTALLED. REFER TO ARCHITECTURAL DOCUMENTS FOR FIXTURE AND TAPWARE SCHEDULES.
- (P) ANY EXISTING SERVICES AND CONDITIONS DAMAGED DURING CONSTRUCTION OF SITE WORKS SHALL BE MADE GOOD. THE SITE ON COMPLETION IS TO BE LEFT IN A NEAT AND TIDY CONDITION.
- (Q) VARIATION DRAWINGS: IF IT IS PROPOSED TO CHANGE THE INSTALLATION FROM THAT SHOWN ON THE DRAWINGS, OR IF A CHANGE IS REQUIRED BY A REGULATORY AUTHORITY, PREPARE AND SUBMIT A VARIATION DRAWING SHOWING PROPOSED CHANGE AND OBTAIN PRIOR APPROVAL.
- (R) ALL PIPES, VALVES AND FITTINGS SHALL CONFORM TO THE RELEVANT AUTHORITY APPROVED PRODUCT TYPES BEARING AUSTRALIAN STANDARDS MARKINGS.
- (S) MATERIALS OF MIXED MANUFACTURING PRODUCT WILL NOT BE ACCEPTABLE.
- (T) DURING CONSTRUCTION EXTRA CARE MUST BE TAKEN IN OCCUPIED AREAS.
- (U) CONTRACTOR SHOULD INCLUDE IN THE TENDER FOR ADDITIONAL COST TO WORK OUTSIDE NORMAL BUSINESS HOURS.

2. NOTIFICATION

THE CONTRACTOR SHALL NOTIFY ALL STATUTORY AUTHORITIES AND THE SUPERINTENDENT PRIOR TO COMMENCING ANY WORK NEAR EXISTING SERVICES. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.

3. RULES AND REGULATIONS

ALL WORKS UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL MANDATORY AND RELEVANT BODIES INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

- i) BUILDING CODE OF AUSTRALIA (BCA)
- ii) AUSTRALIAN STANDARDS:
- AS/NZ 3500 PLUMBING AND DRAINAGE
 - AS1432 COPPER TUBING FOR PLUMBING AND DRAINAGE, GAS FITTING AND DRAINAGE APPLICATION.
 - AS 3000 ELECTRICAL WIRING RULES
- iii) RELEVANT BUILDING SURVEYOR
- iv) RELEVANT WATER SUPPLY AND SEWER UTILITY
- v) MANUFACTURERS GUIDELINES
- vi) WORKSAFE
- vii) OTHER STANDARDS AND CODES AS LISTED IN RELEVANT SECTIONS OF THIS CONTRACT

4. LINE TYPE LEGEND

	AG	DN100 AGG PIPE OR MEGAFLOW DRAIN AS NOTED @ 1:100 FALL TO STORM WATER SYSTEM
	SW	EXISTING STORM WATER PIPE
	eSW	NEW STORM WATER PIPE
	eS	EXISTING SEWER PIPE
	S	NEW SEWER PIPE
	eW	EXISTING COLD WATER SUPPLY LINE
	W	COLD WATER SUPPLY LINE
	eFM	EXISTING FIRE MAIN
	FM	FIRE MAIN
	eFHR	EXISTING FIRE HOSE REEL MAIN
	FHR	FIRE HOSE REEL MAIN
	eHW	EXISTING HOT WATER SUPPLY LINE
	HW	HOT WATER SUPPLY LINE
		HOT WATER RETURN LINE
	eTW	EXISTING TEMPERED WATER SUPPLY LINE
	TW	TEMPERED WATER SUPPLY LINE
	eGAS	EXISTING GAS SUPPLY LINE
	GAS	GAS SUPPLY LINE
		EXISTING SERVICES LINE TO BE DEMOLISHED

5. ABBREVIATIONS

AS	AUSTRALIAN STANDARD	o KOS	INSPECTION OPENING TO SURFACE
AFFL	ABOVE FINISHED FLOOR LEVEL	☒	FLOOR WASTE BUCKET/SILT TRAP
AAV	AIR ADMITTANCE VALVE	■	GRATED PIT
B	BASIN	⬮ TD	TUNDISH
BFP	BACK FLOW PREVENTION	o FWG	FLOOR WASTE GULLY
BPS	BED PAN STERILIZER	o RWO	RAINWATER OUTLET
Bth	BATH	o ORG	OVERFLOW RELIEF GULLY
BBth	BABY BATH	👁	CONNECTION POINT
BWU	BOILING WATER UNIT	🌈	THERMOSTATIC MIXING VALVE
BCWU	BOILING & CHILLED WATER UNIT	JU	JUMP UP
BTM	BOTTOM	MA	MACERATOR
CWU	CHILLED WATER UNIT	MAX	MAXIMUM
CS	CLEANERS SINK	MIN	MINIMUM
C/S	CEILING SPACE	NG	NATURAL GAS
CW	COLD WATER	No.	NUMBER
DF	DRINKING FOUNTAIN	NP	NON-POTABLE
DG	DISCONNECTOR GULLY	NTS	NOT TO SCALE
DIA. OR Ø	DIAMETER	O/A	OVERALL
DN	NOMINAL DIAMETER	OD	OUTSIDE DIAMETER
DP	DOWN PIPE	OF	OVER FLOW
DWG	DRAWING	RL	REDUCED LEVEL
DWM	DISH WASHING MACHINE	RM	RISING MAIN
ED	ELEVATED DRAIN	RPZ	REDUCED PRESSURE ZONE
EJ	EXPANSION JOINT	RV	RELIEF VENT
e	EXISTING	RWO	RAIN WATER OUTLET
EXTG	EXISTING	S	SEWER
FA	FROM ABOVE	SH	SLOP HOPPER
FB	FROM BELOW	Sh	SHOWER
FH	FIRE HYDRANT	Sk	SINK
FHR	FIRE HOSE REEL	Sk(Db)	DOUBLE BOWL SINK
FFL	FINISHED FLOOR LEVEL	SL	SURFACE LEVEL
HOZ	HORIZONTAL	STD	STANDARD
HV	HEADER VENT	STV	STEAM VENT
HW	HOT WATER	SV	STACK VENT
HWF	HOT WATER FLOW	SW	STORMWATER
HWR	HOT WATER RETURN	TA	TO ABOVE
HWU	HOT WATER UNIT	TB	TO BELOW
IC	INSPECTION CHAMBER	TMV	THERMOSTATIC MIXING VALVE
ID	INTERNAL DIAMETER	TW	TRADE WASTE
IO	INSPECTION OPENING	TWV	TRADE WASTE VENT
IL	INVERT LEVEL	Tr	TROUGH
IM	ICE MACHINE	TYP	TYPICAL

6. HYDRAULIC SYMBOLS LEGEND

	PUMP	UG	UNDER GROUND
	DN100 METER	U.N.O.	UNLESS NOTED OTHERWISE
	METER	U/S	UNDER SIDE
	CHECK METER	Ur	URINAL
	ISOLATION VALVE	VB	VACUUM BREAKER
	CHECK VALVE	V	VENT
	STRAINER	VERT	VERTICAL
	MONITORED VALVE	W	WASTE
	BALANCE VALVE	WC	WATER CLOSET
	STOP VALVE	WMC	WASHING MACHINE
	DN100 LOCKABLE STOP VALVE		
	DN100 REFLUX VALVE		
	BACK FLOW PREVENTION DEVICE		
	PRESSURE REDUCING VALVE		
	CONTROL PANEL		
	HOSE BIB COCK		
	FIRE HYDRANT		
	FIRE HOSE REEL		
	INSPECTION OPENING		

7. ASSOCIATED WORKS

- (A) BUILDERS WORKS
- i) CONSTRUCTION OF PENETRATION, SERVICES DUCTS AND ACCESS PANELS
 - ii) CONSTRUCTION OF ADEQUATE PLINTHS / SUPPORTS TO ALL EQUIPMENT.
 - ii) SCAFFOLDING.
 - iv) TEMPORARY POWER AND LIGHTING.
- (B) MECHANICAL CONTRACTORS WORKS:
- i) EXTENSION OF ALL MECHANICAL EQUIPMENT CONDENSATE DRAINS TO ALL TUNDISHES. CONDENSATE DRAINS SHALL TERMINATE WITH ADEQUATE AIR GAP OVER TUNDISHES IN ACCORDANCE WITH AS 3500.2.2 NATIONAL PLUMBING AND DRAINAGE.
 - ii) EXTENSION WATER SUPPLY FROM PROVIDED VALUED CONNECTION POINT TO ALL MECHANICAL EQUIPMENT. BACKFLOW PREVENTION DEVICE TO BE SUPPLIED AND INSTALLED BY HYDRAULIC CONTRACTOR.

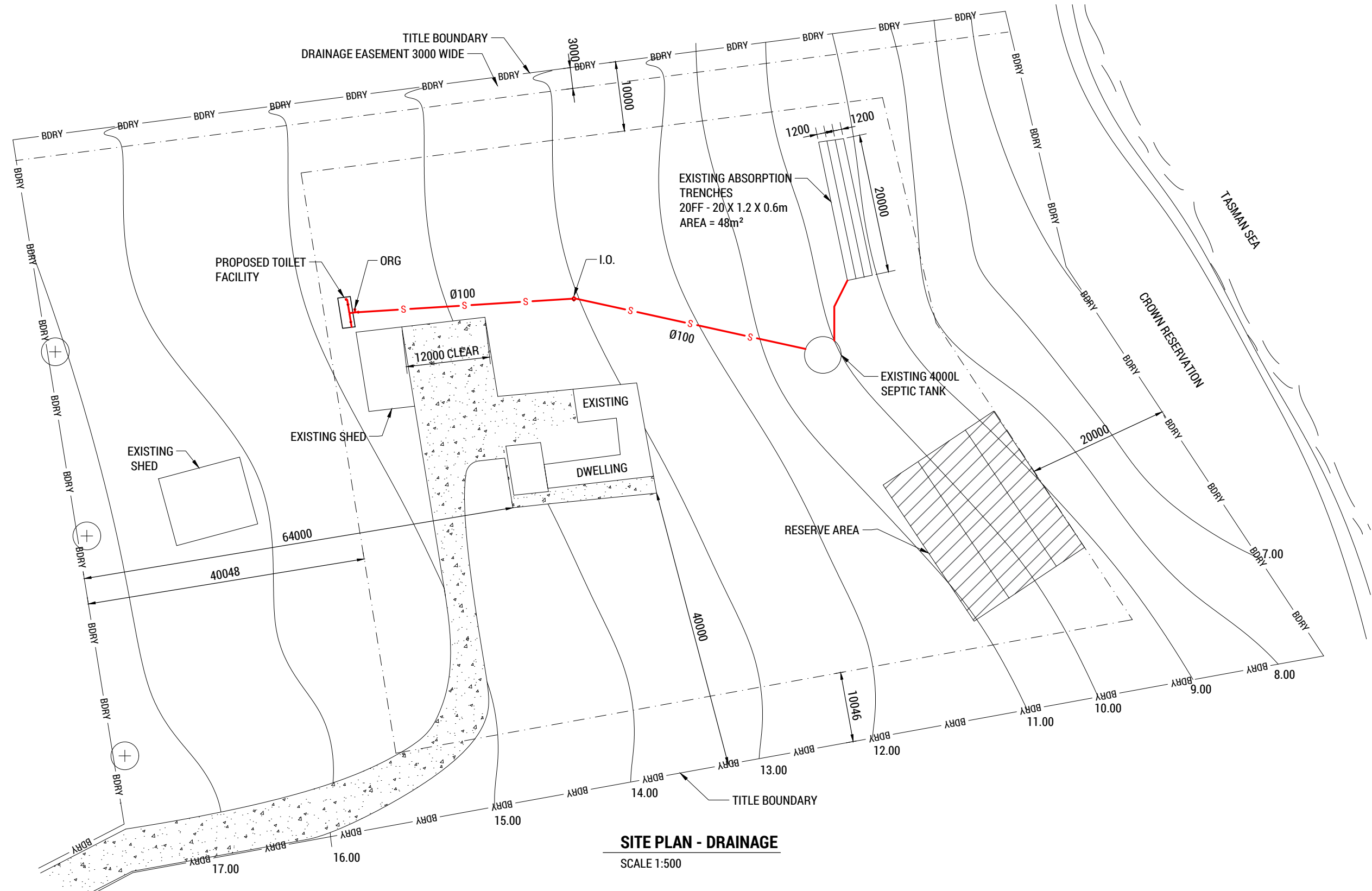
- (C) ELECTRICAL CONTRACTORS WORKS:
- PROVIDE ELECTRICAL POWER SUPPLY TO THE FOLLOWING EQUIPMENT:
- i) BOILING / CHILLED WATER UNITS.
 - ii) DISHWASHING MACHINES.
 - iii) HOT WATER UNITS.

8. SEALING PENETRATIONS

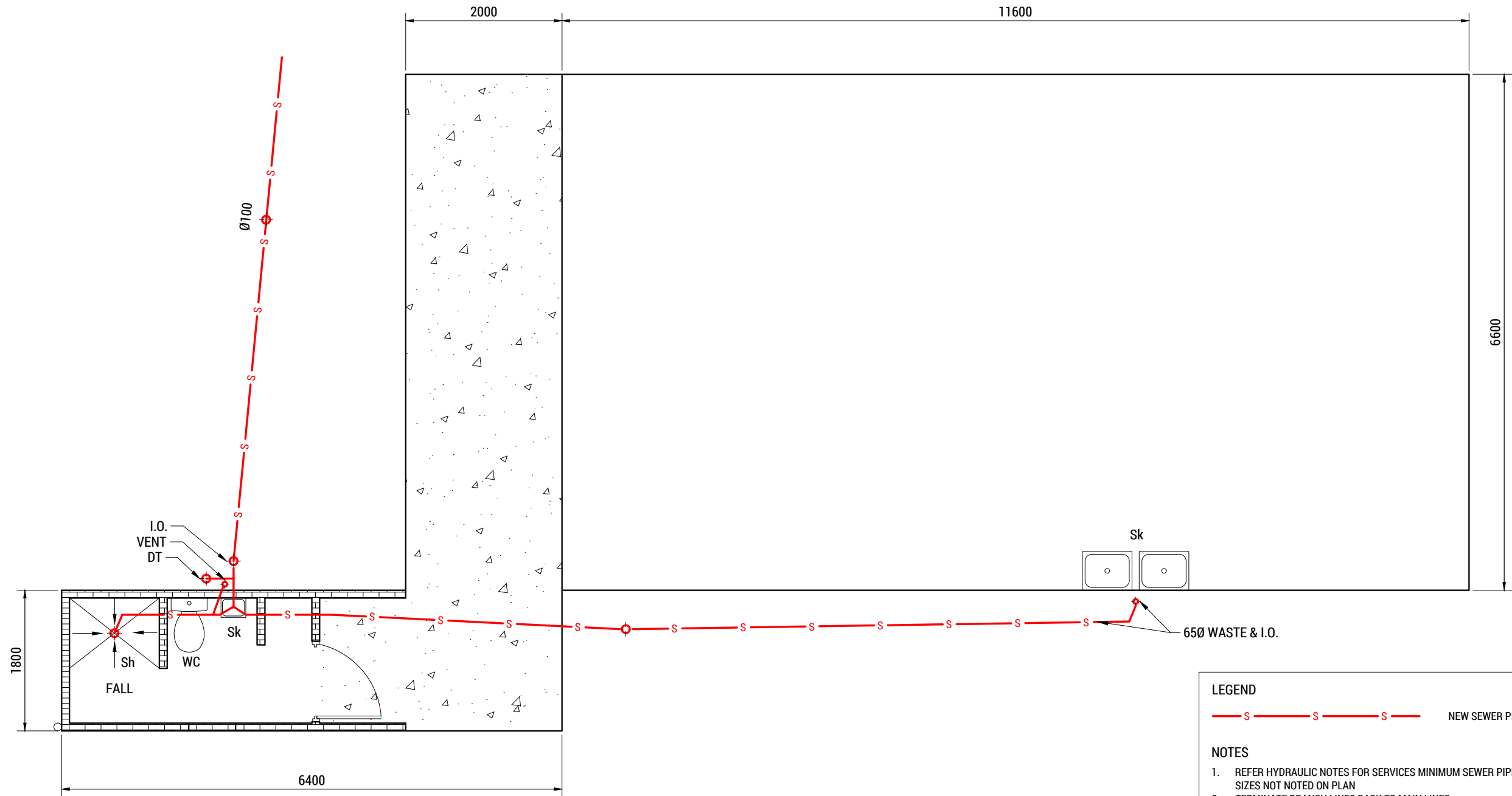
SEAL ALL PENETRATIONS TO FIRE RATED WALLS, FLOORS, CEILINGS, etc. WITH PRODUCT TO ACHIEVE FIRE RATING OF BUILDING FABRIC ITEM BEING PENETRATED. THE FOLLOWING PRODUCTS ARE APPROVED FOR USE, ANY ALTERNATIVES MUST BE SUBMITTED FOR APPROVAL PRIOR TO USE:

<u>HILTI</u>	- FIRE STOP COLLAR CP680
<u>RAMSET</u>	- FYREFLEX FLEXIBLE GAS SEALANT, INTERIOR USE ONLY
<u>WORMALD BUILDING PRODUCTS PASSIVE FIRE PROTECTIONS SYSTEMS</u>	
- FYREPLUG PILLOWS	
- FYRECAULK FOAMING SEALANT	
- FYRESEAL FIRE RESISTING PUTTY	
- FYREFLEX FLEXIBLE GAP SEALANT	
- FYRESET MORTAR	
- FYREWALL BULKHEAD	
- FYRECHOKO COLLARS	
- FYREFLES GAP SEALANT	
<u>PROMAT</u>	
- FIRE COLLARS FOR PLASTIC PENETRATIONS: FCC & FCCHB PROMASEAL	

				STATUS:		DESIGN BY:	RJ	<div></div> <div>22-24 Paterson Street Launceston TAS 7250</div> <div>rarein.com.au P. 03 6388 9200</div>	CLIENT:	JON BARNES	TITLE:	HYDRAULIC NOTES
				CONTROLLED DOCUMENT		DESIGN CHK:	-		PROJECT:	SPECIAL PLUMBING PERMIT		
				DO NOT SCALE - IF IN DOUBT, ASK THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS PREPARED. © RARE INNOVATION PTY LTD. ABN 51 619 598 257		DRAWN BY:	MS				SCALE:	- SHEET SIZE: A3 DWGs IN SET: -
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DRAINAGE PLAN
SCALE 1:50

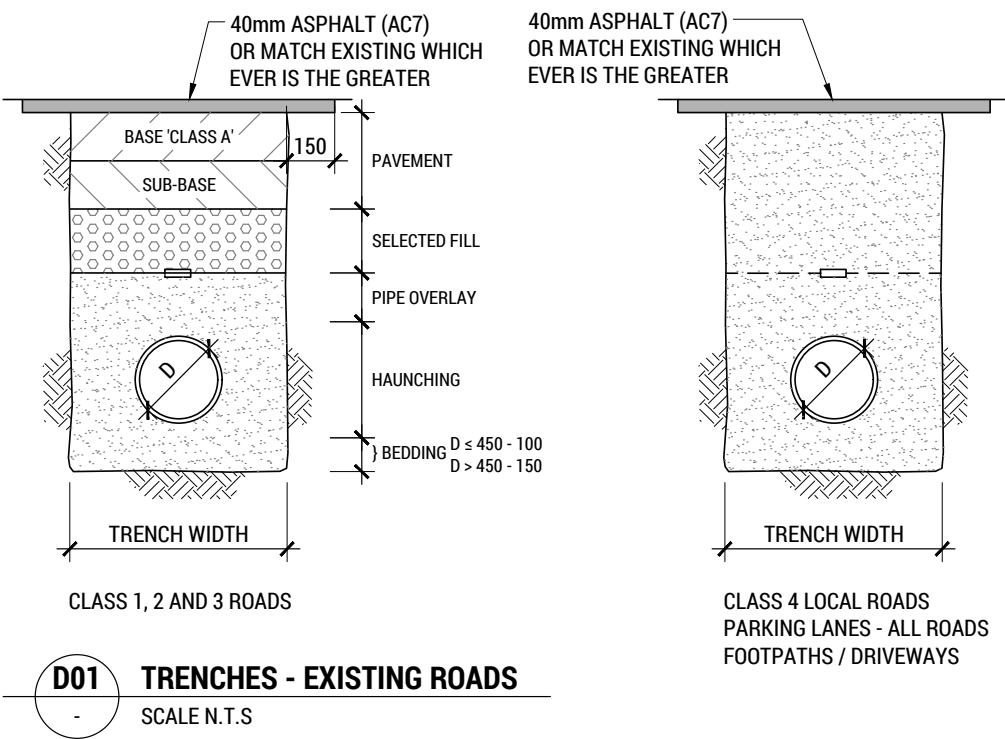
LEGEND

— S — S — S — NEW SEWER PIPE

NOTES

1. REFER HYDRAULIC NOTES FOR SERVICES MINIMUM SEWER PIPE SIZES NOT NOTED ON PLAN
2. TERMINATE BRANCH LINES BACK TO MAIN LINES
3. MAKE GOOD EXISTING DEFECTIVE CONNECTIONS WITH NEW CONNECTIONS IN ACCORDANCE WITH AS3500.
4. GROUT FILL ALL PIPE WORK TERMINATED BUT NOT DEMOLISHED.
5. CAP & TERMINATE REDUNDANT SERVICES BEHIND FINISHED SURFACES U.N.O.
6. MAKE GOOD EXISTING SURFACES, REFER DETAILS FOR SLAB REPAIR DETAILS
7. ALL AAV'S TO HAVE MIN. 2.4L/s CAPACITY
8. RELIEF VENTS TO BE RE-CONNECTED INTO STACK WITH A 45° RETURN ABOVE HIGHEST L3 FIXTURE AND BELOW THE LOWEST L1 FIXTURE. REFER AS3500.2 FIG. 8.5.3.1

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Planning Report

*Partial Change of Use
(catering)*

251 Harveys Farm Road
Bicheno



Document Control Record

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Harveys Farm Road Food Services Business
April 2025

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1. Introduction

6ty° Pty Ltd has been engaged by **Jon Barnes** to prepare an application¹ for a part time food services business at 251 Harveys Farm Road, Bicheno (**'the Site'**).

The purpose of this planning report is to provide a description and details of the proposed part time food services business and an assessment of the proposed use and development against the applicable standards of the *Tasmanian Planning Scheme* incorporating the Glamorgan Spring Bay *Local Provisions Schedule* (**'the Scheme'**).

1.1 Planning Overview

The Site comprises a single internal lot² (refer to Figure 1). Specific planning details associated with this lot are set out in Table 2 below.

Table 1 - Site specific planning details.

Address:	251 Harveys Farm Road, Bicheno	
Property Identification Number:	2674973	
Certificate of Title:	Volume	Folio
	136499	25
Owner:	Jonathan Barnes	
Area:	1.744ha	
Planning Instrument:	<i>Tasmanian Planning Scheme</i> - Glamorgan Spring Bay	
Applicable Zone:	Rural Living	
Applicable Overlay(s):	Bushfire-Prone Areas	
	Priority Vegetation	
Applicable Code(s):	Parking and Sustainable Transport	
	Road and Railway	
Applicable General Overlay(s):	Nil	
Special Provisions:	Nil	
Proposed Use:	Food Services	
Proposed Development:	Construction of extension to existing gravel driveway and installation of four (4) car parking spaces.	
Application Status:	Discretionary	

1.2 Site and Surrounding Area

1.2.1 Site Characteristics

The Site is illustrated in Figure 1.

¹ means an application for a permit made under this planning scheme. Table 3.1, Scheme.

² means a lot:

(a) lying predominately behind another lot; and

(b) having access to a road by an access strip, private road or right of way. Table 3.1, Scheme.

Figure 1 - aerial image illustrating the location and spatial extent of each lot that together form the site.



Source: image and base data retrieved from the LIST (<https://maps.thelist.tas.gov.au/listmap/app/list/map>).

The Site is an internal lot that contains an existing single dwelling and associated outbuildings. The single dwelling is located within a central position within the main body of the lot. Land to the east of the dwelling comprises a mixture of introduced and native grass species which is maintained at a low height. Land to the west of the dwelling comprises a mixture of domestic landscaping and remnant native vegetation.

1.2.2 Surrounding Area

The Site is located at the southern end of Harveys Farm Road, approximately 2.5km from the junction with Tasman Highway (refer to Figure 2). All lots that adjoin Harveys Farm Road are assigned to the Rural Living Zone and predominately contain single dwellings.

The Site adjoins a single lot to the north, south and west. The lot to the north contains a dwelling and the lots to the south and west are currently vacant. Adjoining land to the east is public reserve land which forms part of the Tasman Sea coastline.

Figure 2 - aerial image illustrating the location of the Site within the context of Harveys Farm Road and Tasman Highway.



Source: image and base data retrieved from the LIST (<https://maps.thelist.tas.gov.au/listmap/app/list/map>).

2. Proposed Use and Development

The application involves the use of an existing building on the Site for a part time catering business. The existing buildings and features that will be used for the part time catering business are illustrated in Figures 3 and 4.

The proposed part time catering business will comprise the following components:

1. Use of the main building illustrated in Figure 4 as a kitchen and dining area with the smaller building to be used as a toilet facility.
2. The catering business will involve the preparation and serving of set menu lunches for a maximum of 12 persons seated.
3. Parties will be required to book in advance where there will be a maximum of 4 lunch events per month.
4. Lunch events will operate primarily on weekends although some lunch events may occur on weekdays or public holidays. Each event will operate between approximately 12:00pm and 3:30pm on the day the event is held.
5. Bring your own (BYO) provisions for alcohol will be provided. A licence to serve alcohol may be applied for in the future depending on need.
6. No live music or other performances will occur during lunch events.
7. Construction of an extension to the existing gravel driveway including the installation of four(4) new car parking spaces located on the southern side of the existing outbuilding.
8. The operators of the proposed catering business use the existing single dwelling as their permanent residence.
9. The proposed catering business will utilise an existing domestic kitchen (refer to Image 1). Installation of the kitchen does not require planning approval on the basis that it does not constitute development within the context of the Scheme. Moreover, internal building and works are exempt from requiring a planning permit pursuant to clause 4.3.2 of the Scheme.
10. The existing domestic kitchen and a general dining and living area, is currently used as a breakout space as part of the existing dwelling which is used by visitors of the property owners or for dining and entertainment during large family gatherings (such as Christmas and Easter celebrations).
11. The kitchen facility is appropriate for the proposed part time catering business. The existing kitchen is installed with regular domestic items including a fridge, oven, convection cook top and other 'bench-top' appliances. The kitchen is not required to be upgraded to a commercial scale or style kitchen to facilitate the proposed part time catering business.
12. The proposed part time catering use will utilise the existing on-site waste water management system which is shown within the accompanying drainage plan and On-site Wastewater Management Report.

The floor plan and elevations of the existing buildings are shown in Figures 5 and 6 below.

Image 1 - photograph of the existing kitchen located within the outbuilding.



Figure 3 - Location and Site Plan

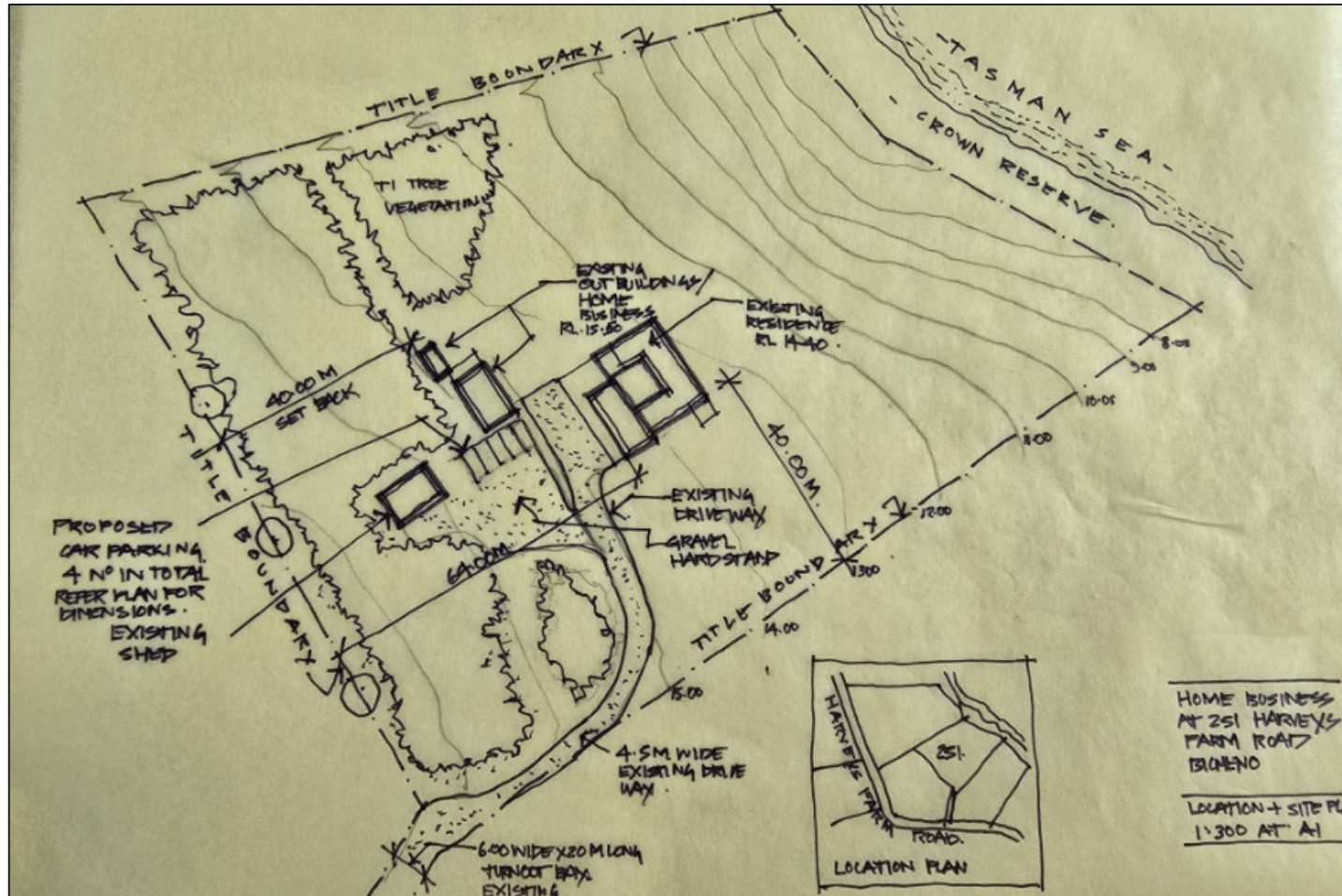


Figure 4 - Existing Shed and Outbuilding

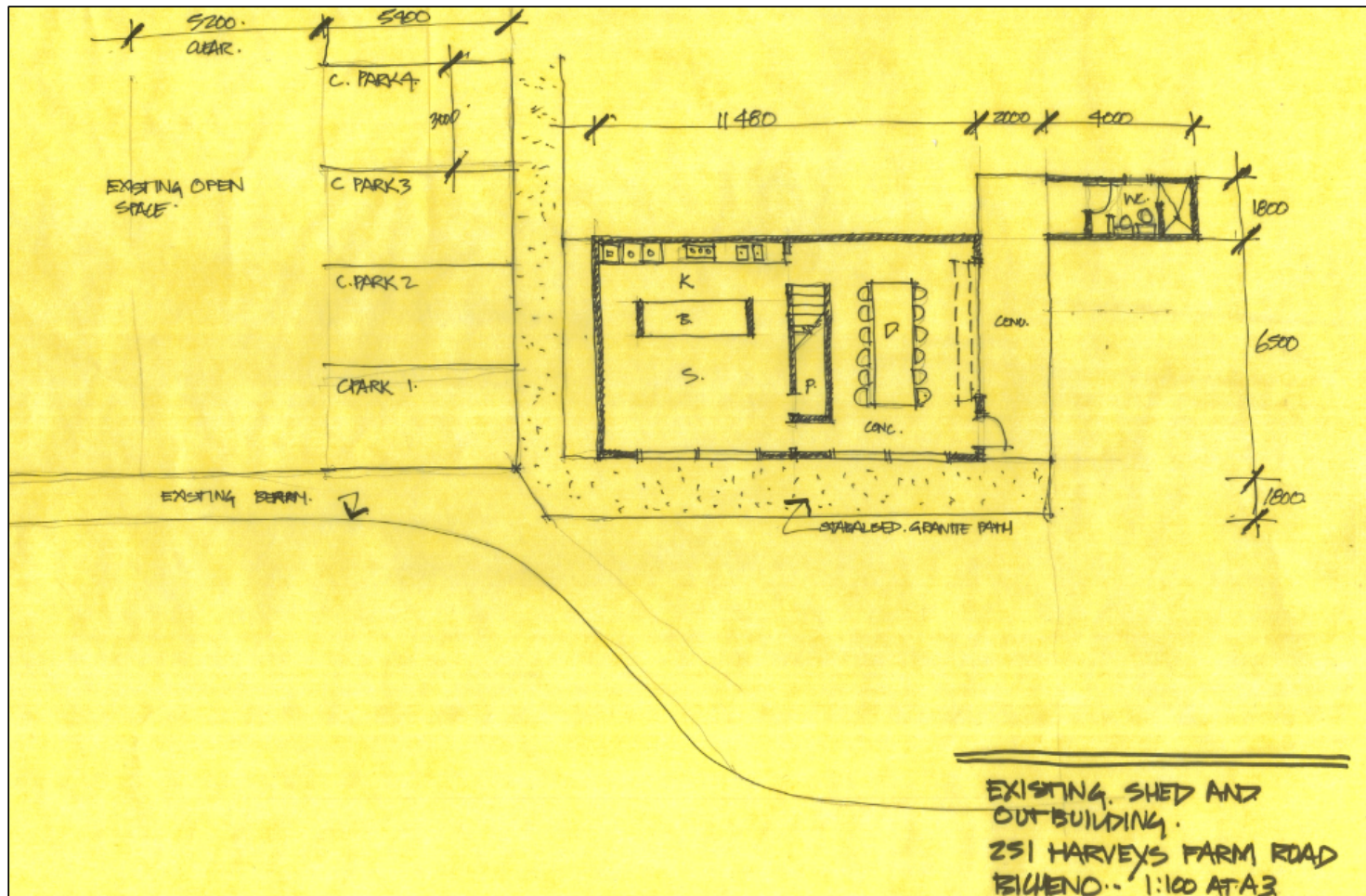


Figure 5 - Existing Shed Plan

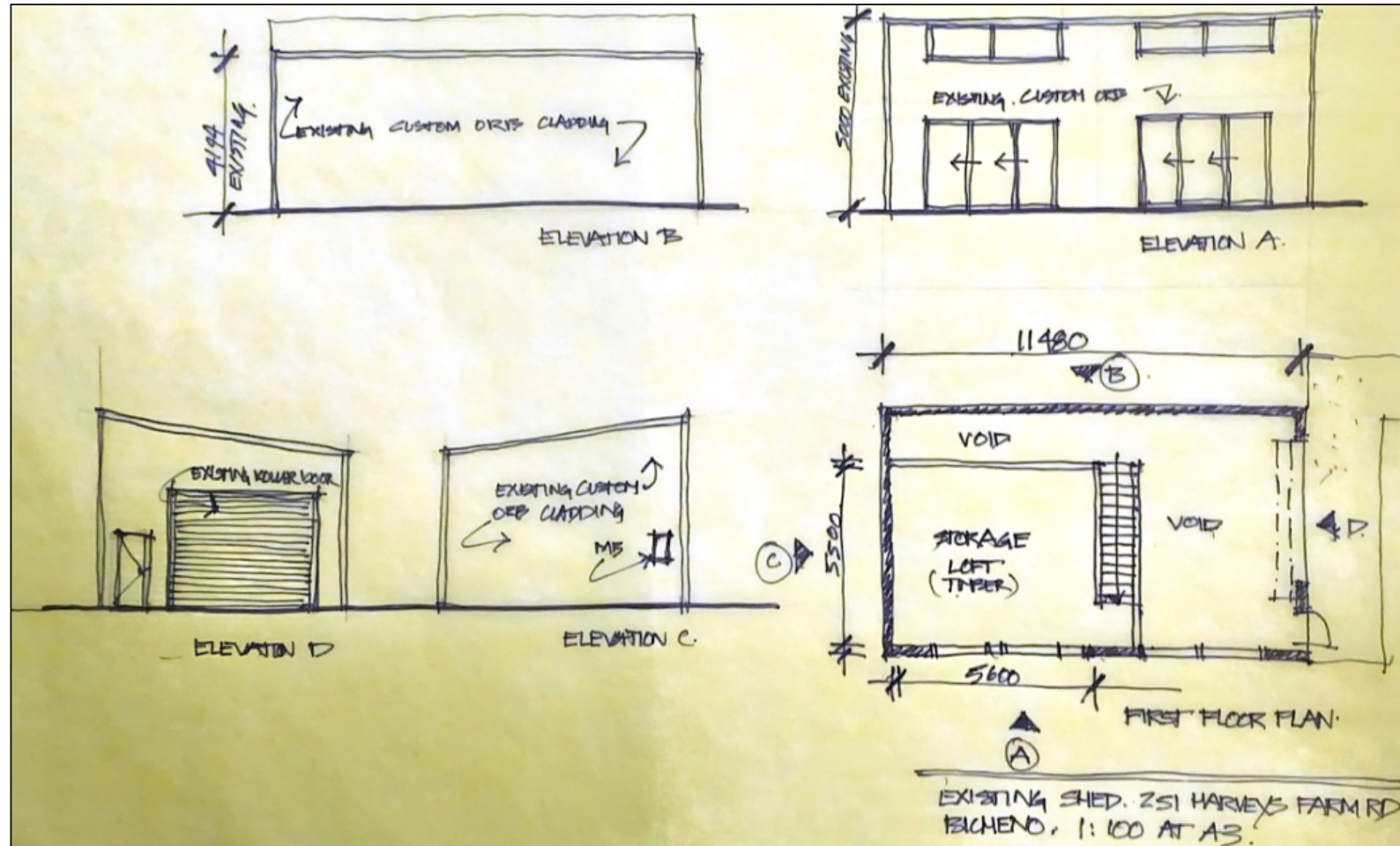
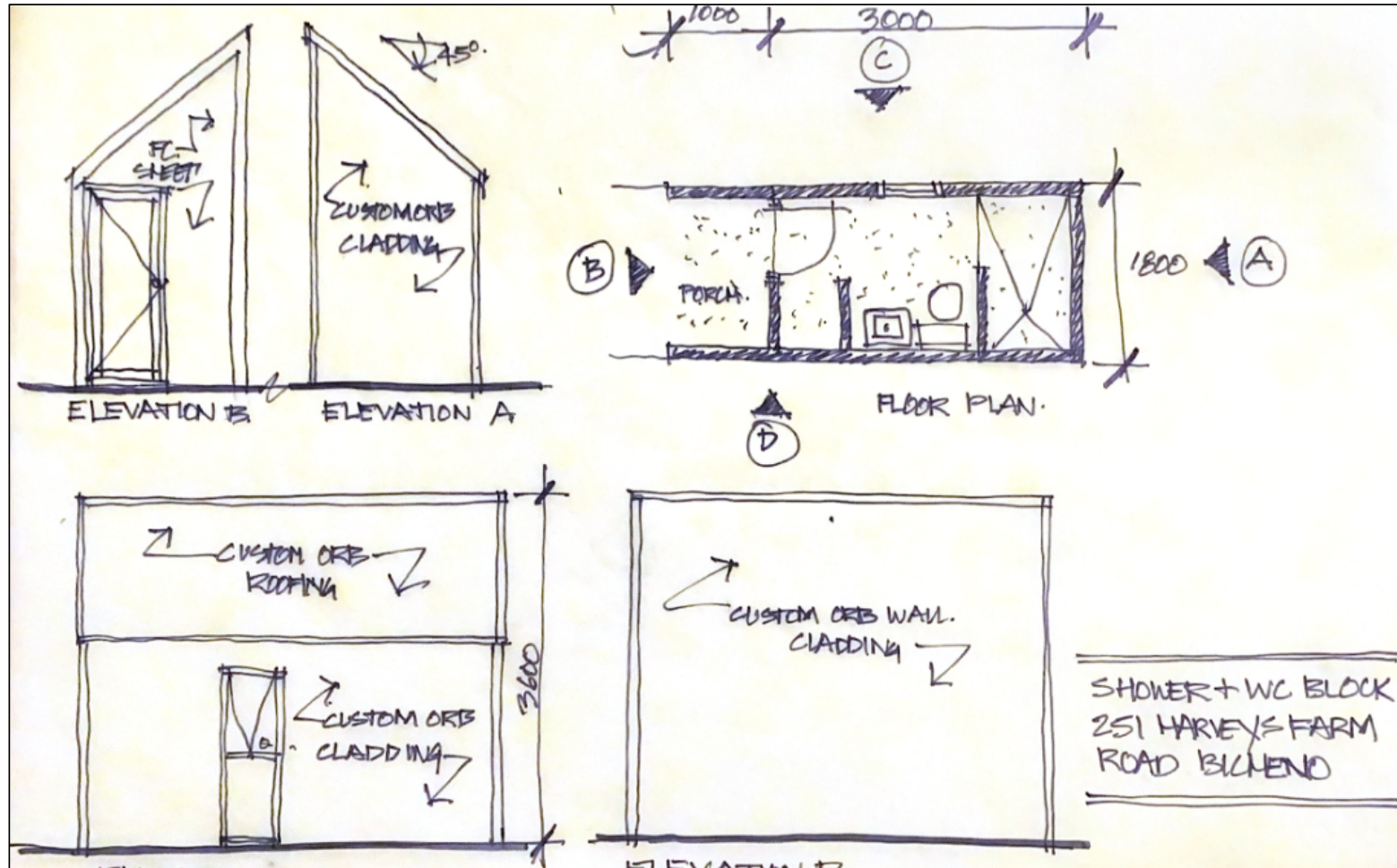


Figure 6 - Existing Outbuilding

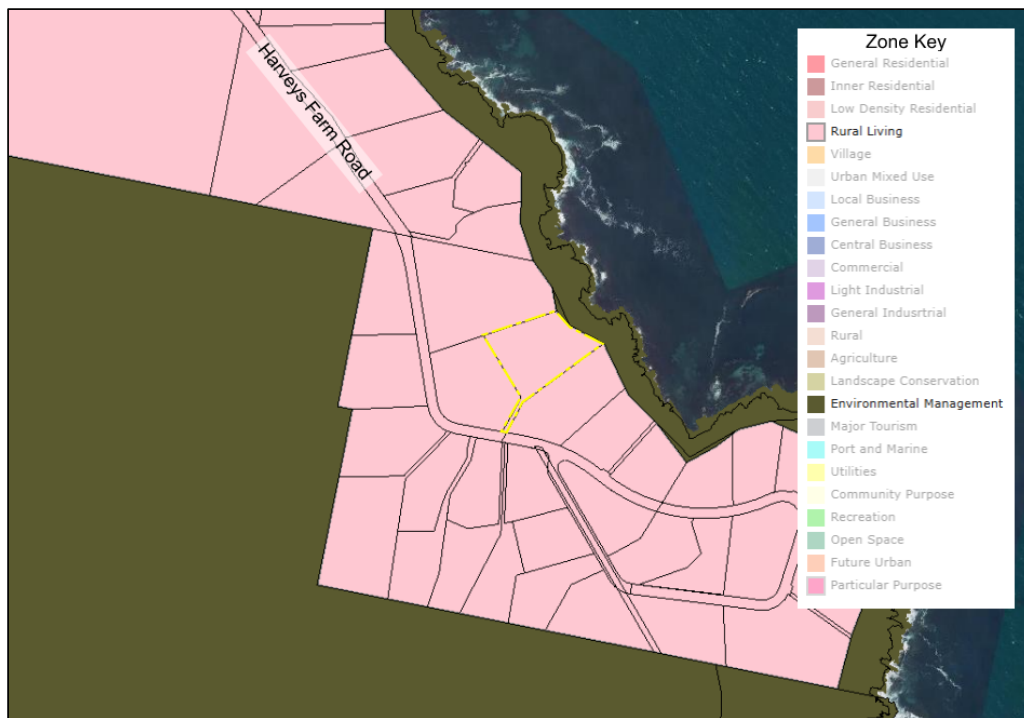


3. Scheme Controls

3.1 Zone

The zoning of the Site and surrounding land is illustrated in Figure 5.

Figure 7 - zone map illustrating the land zone of the site and surrounding area.



Source: image and base data retrieved from the LIST (<https://maps.thelist.tas.gov.au/listmap/app/list/map>).

3.2 Scheme Overlays

The extent to which the Scheme overlay maps apply to the Site is illustrated in the figures under respective overlay headings.

3.2.1 Bushfire-prone Area



3.2.2 Priority Vegetation Area



4. Food Services Use Class

4.1 Categorisation of Use

For the purposes of clause 6.2.6, the proposed use and development is categorised into the Food Services Use Class which Table 6.2 of the Scheme defines as:

Food Services

use of land for selling food or drink, which may be prepared on the premises, for consumption on or off the premises. Examples include a cafe, restaurant and take away food premises.

Specifically, the proposed use and development is better described as a pop-up part time restaurant.

4.2 General Provisions

There are no General Provisions that are applicable to the application.

4.3 Rural Living Zone

4.3.1 Table 11.2

Use of land for Food Services is listed as a **Discretionary** use within Table 11.2 of the Scheme.

4.3.2 Use Provisions

11.3 Use Standards			
Standard		Assessment	Compliance
11.3.1 Discretionary use			
A1	Hours of operation for a use listed as Discretionary, excluding Emergency Services or Resource Development, must be within the hours of: (a) 8.00am to 6.00pm Monday to Friday; (b) 9.00am to 12.00 noon Saturday; and (c) nil on Sunday and public holidays.	The Food Services use class is a use listed as Discretionary within Table 11.2 of the Scheme. The proposed Food Services use will operate between the hours of 8:00am to 6:00pm where luncheon events are held Monday to Friday. The proposed Food Services use will operate beyond 12:00pm where luncheon events are held on Saturday. The proposed Food Services use will operate on Sunday and public holidays where luncheon events are held on such days.	Complies with Acceptable Solution Relies on Performance Criteria Relies on Performance Criteria
A2	External lighting for a use listed as Discretionary:	The Food Services use class is a use listed as Discretionary within Table 11.2 of the Scheme. The proposed Food Services use will	

11.3 Use Standards			
Standard		Assessment	Compliance
	(a) must not operate within the hours of 7.00pm to 7.00am, excluding any security lighting; and	operate during day time hours and will not involve external lighting.	Not Applicable
	(b) security lighting must be baffled so that direct light does not extend into the adjoining property.		Not Applicable
A3	Commercial vehicle movements and the unloading and loading of commercial vehicles for a use listed as Discretionary, excluding Emergency Services, must be within the hours of:	The Food Services use class is a use listed as Discretionary within Table 11.2 of the Scheme. The proposed Food Services use will not entail delivery vehicles or other commercial vehicles.	
	(a) 7.00am to 5.00pm Monday to Friday;		Not Applicable
	(b) 9.00am to 12 noon Saturday; and		Not Applicable
	(c) nil on Sunday and public holidays.		Not Applicable
11.3.2 Visitor Accommodation			
A1	Visitor Accommodation must:	The application does not involve Visitor Accommodation Use.	
	(a) accommodate guests in existing habitable buildings; and		Not Applicable
	(b) have a gross floor area of not more than 200m ² per lot.		Not Applicable
A2	Visitor Accommodation is not for a strata lot that is part of a strata scheme where another strata lot within that strata scheme is used for a residential use.	The application does not involve Visitor Accommodation Use.	Not Applicable

4.3.3 Development Provisions for Buildings

11.4 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
11.4.1 Site coverage			
A1	The site coverage must be not more than 400m ² .	The application does not involve the development of any roofed buildings.	Not Applicable

11.4 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
11.4.2 Building height, setback and siting			
A1	Building height must be not more than 8.5m.	The application does not involve the development of any buildings.	Not Applicable
A2	Buildings must have a setback from a frontage of not less than 20m.	The application does not involve the development of any buildings.	Not Applicable
A3	Buildings must have a setback from side and rear boundaries of not less than 10m.	The application does not involve the development of any buildings.	Not Applicable
A4	Buildings for a sensitive use must be separated from an Agricultural Zone or Rural Zone a distance of: (a) not less than 200m; or (b) if an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.	The application does not involve the development of any buildings.	Not Applicable Not Applicable

4.3.4 Development Provisions for Subdivision

11.5 Development Standards Subdivision			
Standard		Assessment	Compliance
11.5.1 Lot design			
A1	Each lot, or a lot proposed in a plan of subdivision must: (a) have an area not less than specified in Table 11.1 and: (i) be able to contain a minimum area of 15m x 20m clear of: a. all setbacks required by clause 11.4.2 A2 and A3; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 11.4.2 A2 and A3;	The application does not involve the subdivision of land.	Not Applicable Not Applicable Not Applicable

11.5 Development Standards Subdivision			
Standard		Assessment	Compliance
	(b) be required for public use by the Crown, a council or a State authority;	The application does not involve the subdivision of land.	Not Applicable
	(c) be required for the provision of Utilities; or	The application does not involve the subdivision of land.	Not Applicable
	(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.	The application does not involve the subdivision of land.	Not Applicable
A2	Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 40m.	The application does not involve the subdivision of land.	Not Applicable
A3	Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.	The application does not involve the subdivision of land.	Not Applicable
11.5.2 Roads			
A1	The subdivision includes no new roads.	The application does not involve the subdivision of land.	Not Applicable
11.5.3 Services			
A1	Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must: (a) be connected to a full water supply service if the frontage of the lot is within 30m of a full water supply service; or (b) be connected to a limited water supply service if the frontage of the lot is within 30m of a limited water supply service, unless a regulated entity advises that the lot is unable to be connected to the relevant water supply service.	The application does not involve the subdivision of land.	Not Applicable Not Applicable Complies with Acceptable Solution
A2	Each lot, or a lot proposed in a plan of subdivision, excluding within Rural Living Zone C or Rural Living Zone D or for public open space, a riparian or littoral reserve or Utilities, must:	The application does not involve the subdivision of land.	Not Applicable

11.5 Development Standards Subdivision			
Standard		Assessment	Compliance
	(a) be connected to a reticulated sewerage system; or (b) be connected to a reticulated sewerage system if the frontage of each lot is within 30m of a reticulated sewerage system and can be connected by gravity feed.		

4.4 Code Applicability Overview

An overview as to the applicability of Scheme codes is provided below.

Scheme Code Applicability Overview			
Clause	Code Application	Assessment	Applicability
C1.0 Signs Code			
C1.2.1	Unless otherwise stated in a particular purpose zone, this code applies to all development for signs, unless the following clauses apply: (a) C1.4.2; or (b) C1.4.3.	The application does not involve signage.	Not Applicable
C2.0 Parking and Sustainable Transport Code			
C2.2.1	Unless stated otherwise in a particular purpose zone, or sub-clause C2.2.2, C2.2.3 or C2.2.4, this code applies to all use and development.	The application involves the establishment of new Food Services use, gravel hardstand area for vehicle access and parking, including the provision of four new car parking spaces.	Applicable
C3.0 Road and Railway Assets Code			
C3.2.1	This code applies to a use or development that: (a) will increase the amount of vehicular traffic or the number of movements of vehicles longer than 5.5m using an existing vehicle crossing or private level crossing; (b) will require a new vehicle crossing, junction or level crossing; or (c) involves a subdivision or habitable building within a	The proposed Food Services use will increase the amount of vehicular traffic using the existing vehicle crossing at Harveys Farm Road. The application does not involve a new vehicle crossing, junction or level crossing. The application does not involve the subdivision of land or a habitable	Applicable Not Applicable Not Applicable

Scheme Code Applicability Overview			
Clause	Code Application	Assessment	Applicability
	road or railway attenuation area if for a sensitive use.	building within a road or railway attenuation area.	
C4.0 Electricity Transmission Infrastructure Protection Code			
C4.2.1	<p>This code applies to use or development of land within the following areas:</p> <p>(b) electricity transmission corridor, and if for:</p> <p>(i) buildings or works;</p> <p>(ii) a sensitive use contained within a building;</p> <p>(iii) use listed in Table 4.1; or</p> <p>(iv) subdivision; and</p> <p>(c) communications station buffer area, and if for:</p> <p>(i) buildings or works; or</p> <p>(ii) subdivision; and</p> <p>(d) substation facility buffer area, and if for:</p> <p>(i) a sensitive use contained within a building;</p> <p>(ii) a use listed in Table C4.1;</p> <p>(iii) buildings or works within 5m of a substation facility; or</p> <p>(iv) subdivision.</p>	<p>The Site is not subject to an electricity transmission corridor.</p> <p>The Site is not subject to a communications station buffer.</p> <p>The Site is not subject to a substation facility buffer area.</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
C5.0 Telecommunications Code			
C5.2.1	Unless otherwise stated in a particular purpose zone, this code applies to all development for telecommunication facilities.	The application does not involve a telecommunications facility.	Not Applicable
C6.0 Local Historic Heritage Code			
C6.2.1	This code applies to:		

Scheme Code Applicability Overview			
Clause	Code Application	Assessment	Applicability
	<p>(a) development on land within any of the following, as defined in this code:</p> <p>(i) a local heritage place;</p> <p>(ii) a local heritage precinct;</p> <p>(iii) a local historic landscape precinct;</p> <p>(iv) for excavation only, a place or precinct of archaeological potential; and</p> <p>(b) the lopping, pruning, removal or destruction of a significant tree as defined in this code.</p>	<p>The Site is not listed as a local heritage place within the LPS.</p> <p>The Site is not listed as a local heritage precinct within the LPS.</p> <p>The Site is not listed as a local historic landscape precinct within the LPS.</p> <p>The Site is not listed as a place or precinct of archaeological potential.</p> <p>The application does not involve the lopping, pruning, removal or destruction of a significant tree as defined in the code.</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
C6.2.3	This code does not apply to a registered place entered on the Tasmanian Heritage Register, unless for the lopping, pruning, removal or destruction of a significant tree as defined in this code.	The Site is not a registered place entered on the Tasmanian Heritage Register.	Not Applicable
C7.0 Natural Assets Code			
C7.2.1	<p>This code applies to development on land within the following areas:</p> <p>(a) a waterway and coastal protection area;</p> <p>(b) a future coastal refugia area; and</p> <p>(c) a priority vegetation area if within the Rural Living Zone.</p>	<p>The Site is not subject to a waterway and coastal protection area.</p> <p>The Site is not subject to a future coastal refugia area.</p> <p>The application does not involve removal of native vegetation within the area of the Site that is subject to the priority vegetation area. In any event, removal of vegetation in proximity to vehicle access areas and buildings is exempt from requiring a planning permit pursuant to exemption clause 4.4.2 of the Scheme on the basis that it constitutes landscaping and vegetation management within a private garden³ and the vegetation</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>

³ means land adjacent to a dwelling that has been modified with landscaping or vegetation, including ornamental or edible plants, or the like. Table 3.1, Scheme.

Scheme Code Applicability Overview			
Clause	Code Application	Assessment	Applicability
		is not protected by a permit condition or an agreement made under section 71 of the <i>Land Use Planning and Approvals Act 1993</i> and the Site is not a registered place entered on the Tasmanian Heritage Register.	
C8.0 Scenic Protection Code			
C8.2.1	This code applies to development on land within a scenic protection area or scenic road corridor and if within the Rural Living Zone.	The Site is not located within a scenic road corridor and it is not subject to a scenic protection area.	Not Applicable
C9.0 Attenuation Code			
C9.2.1	This code applies to: <ul style="list-style-type: none"> (a) activities listed in Tables C9.1 and C9.2; (b) sensitive uses; and (c) subdivision if it creates a new lot where a sensitive use could be established, within an attenuation area. 	<p>The application does not involve an activity listed in Tables C9.1 or C9.2.</p> <p>The proposed part time catering business is a sensitive use however the Site is not located within a known attenuation area.</p> <p>The application does not involve subdivision of land within a known attenuation area.</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
C10.0 Coastal Erosion Hazard Code			
C10.2.1	This code applies to: <ul style="list-style-type: none"> (a) use and development of land within a coastal erosion hazard area. 	The Site is not located within a coastal erosion hazard area.	Not Applicable
C11.0 Coastal Inundation Hazard Code			
C11.2.1	This code applies to use and development of land within a coastal inundation hazard area.	The Site is not located within a coastal inundation hazard area.	Not Applicable
C12.0 Flood-Prone Areas Hazard Code			
C12.2.1	This code applies to development of land within a flood-prone hazard area.	The Site is not located within a flood-prone hazard area.	Not Applicable
C13.0 Bushfire-Prone Areas Code			
C13.2.1	This code applies to: <ul style="list-style-type: none"> (a) subdivision of land that is located within, or partially within, a bushfire-prone area; and (b) a use, on land that is located within, or partially within, a 	<p>The application does not involve subdivision of land.</p> <p>The application does not involve a hazardous use or a vulnerable use.</p>	<p>Not Applicable</p> <p>Not Applicable</p>

Scheme Code Applicability Overview			
Clause	Code Application	Assessment	Applicability
	bushfire-prone area, that is a vulnerable use or hazardous use.		
C14.0 Potentially Contaminated Land Code			
C14.2.1	<p>This code applies to a sensitive use, a use listed in a Use Class in Table C14.1 as one of the specified uses, or development, on land that:</p> <p>(a) is shown on an overlay map in the relevant Local Provisions Schedule as within an area of potentially contaminated land;</p>	The Site is not known to be potentially contaminated land.	Not Applicable
C15.0 Landslip Hazard Code			
C15.2.1	<p>This code applies to:</p> <p>(a) use or development of land within a landslip hazard area; or</p>	The Site is not located within a landslip hazard area.	Not Applicable
C16.0 Safeguarding of Airports Code			
C16.2.1	<p>This code applies to:</p> <p>(a) a sensitive use within an airport noise exposure area; and</p> <p>(b) development within an airport obstacle limitation area.</p>	<p>The Site is not located within an airport noise exposure area.</p> <p>The Site is not located within an airport obstacle limitation area.</p>	<p>Not Applicable</p> <p>Not Applicable</p>

4.5 Parking and Sustainable Transport Code

4.5.1 Use Provisions

C2.5 Use Standards			
Standard	Assessment	Compliance	
C2.5.1 Car parking numbers			
A1	<p>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</p>	<p>Table C2.1 requires 1 space per 15m² of floor area (including any outdoor dining areas) for a restaurant. In this instance, the outbuilding that will contain the proposed Food Services use has a gross floor area of 80m² (including the gross floor area of the outbuilding and toilet) and accordingly 5 car parking spaces are required to be provided. In this instance, four (4) new car parking spaces will be provided</p>	Complies with Acceptable Solution

C2.5 Use Standards			
Standard		Assessment	Compliance
		adjacent to the southern side of the outbuilding and a fifth car parking space will be provided in the car parking area of the driveway of the existing dwelling.	
C2.5.2 Bicycle parking numbers			
A1	<p>Bicycle parking spaces must:</p> <p>(a) be provided on the site or within 50m of the site; and</p> <p>(b) be no less than the number specified in Table C2.1.</p>	<p>In this instance, a single bicycle parking spaces is capable of being provided within or adjacent to the building that will contain the proposed Food Services use.</p> <p>Table C2.1 requires 1 bicycle parking space to be provided per 75m² of floor area. In this instance, the existing outbuilding that will facilitate the proposed Food Services use has a floor area of 74.6m² and a single bicycle parking space is required to be provided. In this instance, a single bicycle parking spaces is capable of being provided within or adjacent to the building that will contain the proposed Food Services use.</p>	<p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p>
C2.5.3 Motorcycle parking numbers			
A1	<p>The number of on-site motorcycle parking spaces for all uses must:</p> <p>(a) be no less than the number specified in Table C2.4; and</p> <p>(b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle numbers is maintained.</p>	<p>Clause C2.5.3 does not apply to the single dwellings pursuant to clause C2.2.2 of the Scheme.</p>	<p>Not Applicable</p> <p>Not Applicable</p>
C2.5.4 Loading bays			
A1	A loading bay must be provided for uses with a floor area of more than 1,000m ² in a single occupancy.	Clause C2.5.4 does not apply to single dwellings pursuant to clause C2.2.3 of the Scheme.	Not Applicable
C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone			

C2.5 Use Standards		
Standard	Assessment	Compliance
<p>A1 Within existing non-residential buildings in the General Residential Zone and Inner Residential Zone, on-site car parking is not required for:</p> <p>(a) Food Services uses up to 100m² floor area or 30 seats, whichever is the greater; and</p> <p>(b) General Retail and Hire uses up to 100m² floor area,</p> <p>provided the use complies with the hours of operation specified in the relevant Acceptable Solution for the relevant zone.</p>	<p>Clause C2.5.5 is not applicable to the Residential Class pursuant to clause C2.2.4 of the Scheme.</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>

4.5.2 Development Provisions

C2.6 Development Standards for Buildings and Works		
Standard	Assessment	Compliance
C2.6.1 Construction of parking areas		
<p>A1 All parking, access ways, manoeuvring and circulation spaces must:</p> <p>(a) be constructed with a durable all weather pavement;</p> <p>(b) be drained to the public stormwater system, or contain stormwater on the site; and</p> <p>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</p>	<p>The proposed driveway extension and parking area will be constructed of a compacted gravel surface which is a durable all weather pavement.</p> <p>The proposed driveway extension and car parking area will be graded to connect into the established drainage system associated with the existing gravel driveway which discharges to an onsite system.</p> <p>The proposed driveway extension and car parking area will be constructed with a compacted gravel surface which is not a surface of spray seal, asphalt, concrete, pavers or equivalent material.</p>	<p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p> <p>Relies on Performance Criteria</p>
C2.6.2 Design and layout of parking areas		

C2.6 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
A1	<p>Parking, access ways, manoeuvring and circulation spaces must either:</p> <p>(a) comply with the following:</p> <p>(i) have a gradient in accordance with <i>Australian Standard AS 2890 – Parking facilities, Parts 1-6</i>.</p> <p>(ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;</p> <p>(iii) have an access with no less than the requirements in Table C2.2;</p> <p>(iv) have car parking space dimensions which satisfy the requirements in Table C2.3;</p> <p>(v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;</p> <p>(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and</p> <p>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</p> <p>(b) comply with <i>Australian Standard AS 2890 Parking facilities, Parts 1-6</i>.</p>	<p>The proposed driveway extension and car parking area will be prostrate to the existing surface of the land which has a gradient of approximately 5% which satisfies the requirements of AS2890 of 20%.</p> <p>The configuration of the existing driveway and proposed driveway extension will enable vehicles to enter and exit the site in a forward direction.</p> <p>The site will provide for up to 7 vehicles and the existing driveway has a uniform width of 4.5m which satisfies Table C2.2 for 6 to 20 car parking spaces served.</p> <p>The proposed new car parking spaces will have a width of 3m and length of 5.4m, satisfying the requirements of Table C2.3.</p> <p>The combined access and manoeuvring width adjacent to the proposed car parking spaces will have a length greater than 6m, satisfying the requirements of Table C2.3.</p> <p>The proposed car parking spaces will not be impeded vertically.</p> <p>The proposed car parking spaces will be delineated by wheel stops.</p> <p>The application satisfies subclause A1(a).</p>	<p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p> <p>Complies with Acceptable Solution</p> <p>Not Applicable</p> <p>Complies with Acceptable Solution</p> <p>Not Applicable</p>
A1.2	Parking spaces provided for use by persons with a disability must satisfy the following:	The proposed use is not required to provide accessible parking spaces under Table D3.5 of the National Construction Code.	

C2.6 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
	(a) be located as close as practicable to the main entry point to the building;		Not Applicable
	(b) be incorporated into the overall car park design; and		Not Applicable
	(c) be designed and constructed in accordance with <i>Australian/New Zealand Standard AS/NZS 2890.6: 2009 Parking facilities, Off-street parking for people with disabilities.</i> ⁴		Not Applicable
C2.6.3 Number of accesses for vehicles			
A1	The number of accesses provided for each frontage must: (a) be no more than 1; or (b) no more than the existing number of accesses, whichever is the greater.	The site will retain an existing single vehicle crossing. The site will retain an existing single vehicle crossing.	Not Applicable Not Applicable
A2	Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.	The site is not assigned to the Central Business zone.	Not Applicable
C2.6.4 Number of accesses for vehicles			
A1	In car parks within the General Business Zone and Central Business Zone, parking and vehicle circulation roads and pedestrian paths serving 5 or more car parking spaces, which are used outside daylight hours, must be provided with lighting in accordance with Clause 3.1 "Basis of Design" and Clause 3.6 "Car Parks" in <i>Australian Standard/New Zealand Standard AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting – Performance and design requirements.</i>	The site is not assigned to the General Business or Central Business zones.	Not Applicable
C2.6.5 Pedestrian access			
A1	Uses that require 10 or more car parking spaces must:	The proposed use business requires less than 10 car parking	

⁴ Requirements for the number of accessible car parking spaces are specified in part D3 of the *National Construction Code 2016*.

C2.6 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
	<p>(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:</p> <p>(i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or</p> <p>(ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and</p> <p>(b) be signed and line marked at points where pedestrians cross access ways or parking aisles.</p>	spaces pursuant to Table C2.1 of the Scheme.	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
A1.2	In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.	The proposed use is not required to provide accessible parking spaces under Table D3.5 of the National Construction Code.	Not Applicable
C2.6.6 Loading bays			
A1	The area and dimensions of loading bays and access way areas must be designed in accordance with Australian Standard AS 2890.2–2002, <i>Parking facilities, Part 2: Off-street commercial vehicle facilities, for the type of vehicles likely to use the site.</i>	The proposed use business is not required to provide loading bays.	Not Applicable
A2	The type of commercial vehicles likely to use the site must be able to enter, park and exit the site in a forward direction in accordance with Australian Standard AS 2890.2 – 2002, <i>Parking Facilities, Part 2: Parking facilities - Off-street commercial vehicle facilities.</i>	The proposed use business is not required to provide loading bays.	Not Applicable
C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone			

C2.6 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
A1	<p>Bicycle parking for uses that require 5 or more bicycle spaces in Table C2.1 must:</p> <ul style="list-style-type: none"> (a) be accessible from a road, cycle path, bicycle lane, shared path or access way; (b) be located within 50m of an entrance; (c) be visible from the main entrance or otherwise signed; (d) be available and adequately lit during the times they will be used, in accordance with Table 2.3 of Australian/New Zealand Standard AS/NZS 1158.3.1: 2005 <i>Lighting for roads and public spaces – Pedestrian area (Category P lighting – Performance and design requirements)</i>. 	The site is not assigned to the General Business Zone or Ventral Business Zone.	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
A2	<p>Bicycle parking spaces must:</p> <ul style="list-style-type: none"> (a) have dimensions not less than: <ul style="list-style-type: none"> (i) 1.7m in length; (ii) 1.2m in height; (iii) 0.7m in width at the handlebars; (b) have unobstructed access with a width of not less than 2m and a gradient not steeper than 5% from a road, cycle path, bicycle lane, shared path or access way; and (c) include a rail or hoop to lock a bicycle that satisfies Australian Standard AS 2890.3-2015 Parking facilities – Part 3: Bicycle parking. 	The site is not assigned to the General Business Zone or Ventral Business Zone.	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
C2.6.8 Siting of parking and turning areas			
A1	Within an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone or General Business Zone, parking	The site is not assigned to the Inner Residential Zone, Village Zone, Urban Mixed Use Zone,	Not Applicable

C2.6 Development Standards for Buildings and Works			
Standard		Assessment	Compliance
	spaces and vehicle turning areas, including garages or covered parking areas must be located behind the building line of buildings, excluding if a parking area is already provided in front of the building line.	Local Business Zone or General Business Zone.	
A2	<p>Within the Central Business Zone, on-site parking at ground level adjacent to a frontage must:</p> <p>(a) have no new vehicle accesses, unless an existing access is removed;</p> <p>(b) retain an active street frontage; and</p> <p>(c) not result in parked cars being visible from public places in the adjacent roads.</p>	The site is not assigned to the Central Business Zone.	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>

4.6 Road and Railway Code

An assessment of the applicable standards of the Road and Railway Code is provided below.

4.6.1 Use Provisions

C3.5 Use Standards			
Standard		Assessment	Compliance
C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction			
A1.1	<p>For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:</p> <p>(a) a new junction;</p> <p>(b) a new vehicle crossing; or</p> <p>(c) a new level crossing.</p>	<p>Harveys Farm Road is not a category 1 road or a limited access road.</p> <p>The application does not involve a new junction.</p> <p>The application does not involve a new vehicle crossing.</p> <p>The application does not involve a new level crossing.</p>	<p>Not Applicable</p> <p>Not Applicable</p> <p>Not Applicable</p>
A1.2	For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.	The application does not involve a new junction, vehicle crossing or level crossing.	Not Applicable
A1.3	For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.	The application does not involve a new private level crossing.	Not Applicable

C3.5 Use Standards		
Standard	Assessment	Compliance
<p>A1.4 Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:</p> <p>(a) the amounts in Table C3.1; or</p>	<p>The proposed Food Services use will increase the number of vehicles up to 5.5m long using the existing vehicle crossing on Harveys Farm Road.</p> <p>Table C3.1 allows a maximum increase of 20% (above existing vehicle ingress and egress levels) or 40 vehicle movements per day, whichever is the greater.</p> <p>Vehicle ingress and egress movements are measured as annual average daily vehicle traffic to and from the site which clause C3.3.1 of the Scheme defines as <i>the number of vehicles per day averaged over all days in a calendar year</i>.</p> <p>The most conservative estimate of trip generation associated with the proposed part time catering business would be 4 lunch events per month over the course of a calendar year with all events accommodating 12 people with each person travelling by a separate vehicle.</p> <p>This would result in a total of 576 ingress and 576 egress vehicle movements per year, or 1,152 combined vehicle movements per year. This equates to a maximum annual average daily traffic (AADT) vehicle movements of 3.1 per day which is below the 40 vehicle movements per day allowed by Table C3.1.</p> <p>It is noted that the proposed Food Services use is highly likely to generate significantly less AADT vehicle movements on the basis that people attending luncheon events are likely to travel in shared vehicle arrangements.</p>	<p>Complies with Acceptable Solution</p>
<p>(b) allowed by a license issued under Part IVA of the <i>Roads</i></p>	<p>Harveys Farm Road is not a limited access road.</p>	<p>Not Applicable</p>

C3.5 Use Standards			
Standard		Assessment	Compliance
	and Jetties Act 1935 in respect to a limited access road.		
A1.5	Vehicular traffic must be able to enter and leave a major road in a forward direction.	Harveys Farm Road is not a major road ⁵ .	Not Applicable

4.7 Performance Criteria Assessment

4.7.1 Clause 11.3.1 - Discretionary Uses P1

C2.6.1 Construction of parking areas	
Objective	
That Discretionary uses do not cause an unreasonable loss of amenity to adjacent sensitive uses.	
Performance Criteria P1	Assessment
Hours of operation for a use listed as Discretionary, excluding Emergency Services or Resource Development, must not cause an unreasonable loss of amenity to adjacent sensitive uses, having regard to:	<p>Lunch events associated with the proposed Food Services use will operate primarily on weekends although some lunch events may occur on weekdays or public holidays. Each event will operate between approximately 12:00pm and 3:30pm on the day the event is held.</p> <p>Adjacent sensitive uses include 211 Harveys Farm Road which adjoins the site to the north, 232, 238 and 252 Harveys Farm Road which are located on the south-western side of Harveys Farm Road opposite the site and 269 and 276 Harveys Farm Road which are to the south-east of the site.</p> <p>The operation of the proposed Food Services uses outside the Acceptable Solution operating hours will not cause an exorbitant or immoderate impact upon the amenity of the adjacent sensitive uses having regard to the following.</p> <p>(a) the timing, duration or extent of vehicle movements; and</p> <p>Vehicle movements will be limited to an absolute maximum of 12 vehicle movements, although more likely to be 3-5 vehicle movements on average, 1 day per week. The timing of vehicle movements will be limited to (generally) one ingress movement at around 12:00pm and one egress movement at around 3:30pm on the day the luncheons are held. The timing, duration and extent of vehicle movements will be low and infrequent and will therefore not have a perceptible impact upon the amenity of adjacent sensitive uses within the context of the broader use of Harveys Farm Road.</p>

⁵ means a category 1, 2 or 3 road as defined in the State Road Hierarchy, and any other road described in another major roads list in the relevant Local Provisions Schedule. Clause C3.3.1, Scheme.

(b) noise, lighting or other emissions.	Noise associated with the proposed Food Services will be limited to vehicle noise and light conversation which will only be perceptible when people are outdoors. Cooking associated with the proposed Food Services use will occur inside the building along with main dining functions. Accordingly, minimal, if any noise will be received by adjacent sensitive uses as a result of the proposed Food Service use. The proposed use will not involve any live music with only low amplified music being played from a portable speaker inside the building. Furthermore, any perceptible noise emissions will only be generated 1 time per week for an approximate 3.5 hour period during day time hours where there will already be heightened activity contributing to the ambient noise level of the surrounding area. Noise associated with the proposed Food Services use will not cause an exorbitant or immoderate loss of amenity to adjacent sensitive uses in this regard.
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4.7.2 Clause C2.6.1 - Construction of Parking Areas P1

C2.6.1 Construction of parking areas	
Objective	
That parking areas are constructed to an appropriate standard.	
Performance Criteria P1	Assessment
All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:	The proposed driveway extension and new car parking spaces will be readily identifiable and constructed with a compacted gravel surface so that they are usable in all weather conditions and to an appropriate standard having regard to the following.
(a) the nature of the use;	The nature of the use is a proposed part time catering use which will involve a maximum of 1 luncheon event per week for a period of up to 3.5 hours.
(b) the topography of the land;	The topography of the land within the area of the driveway extension and new car parking spaces is approximately 5% with the direction of the gradient downhill to the east.
(c) the drainage system available;	The proposed driveway extension and new car parking spaces will be connected into the drainage system associated with the existing gravel driveway. Stormwater runoff in this regard is managed on-site.
(d) the likelihood of transporting sediment or debris from the site onto a road or public place;	The likelihood of transporting sediment or debris from the proposed driveway extension and new parking spaces is low to none at all on the basis that the existing driveway between the dwelling and Harveys Farm Road is currently gravel and there is a distance of 130m between the driveway extension and Harveys Farm Road along the existing driveway which would collect gravel and

<p>(e) the likelihood of generating dust; and</p> <p>(f) the nature of the proposed surfacing.</p>	<p>debris from the proposed driveway extension before it reaches Harveys Farm Road.</p> <p>The likelihood of any significant dust from being generated from the use of the driveway extension and new car parking spaces is low given the extremely low vehicle speed associated with this environment.</p> <p>The proposed surfacing of the driveway extension and new parking spaces will be compacted gravel to match the surface of the existing driveway.</p>
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5. Conclusion

The application involves the use of part of an existing dwelling located at 251 Harveys Farm Road, Bicheno for the purposes of a part time catering business.

The preceding assessment has determined that the proposed (Food Services) use satisfies all applicable use and development standards of the Rural Living Zone and relevant codes including the following Performance Criteria:

1. **Clause 11.3.1 Discretionary Uses - Performance Criteria P1**
2. **Clause C2.6.1 Construction of Parking Areas - Performance Criteria P1**

It is therefore contended that a Discretionary permit is able to be issued pursuant to clause 6.8.1 of the Scheme.



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **34 Fraser Street, Bicheno**
CT 104189/2

PROPOSAL: **2 - Story Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager.

Representations must be received before midnight on 08/05/2025.

APPLICANT: **Adams Building Design**
DATE: **26/03/2025**
APPLICATION NO: **DA 2025 / 059**



9 Melbourne Street (PO Box 6)
Triabunna TAS 7190

☎ 03 6256 4777

☎ 03 6256 4774

✉ admin@freycinet.tas.gov.au

🌐 www.pshc.tas.gov.au

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Leigh Adams - Adams Building Design		
Contact person: (if different from applicant)	Leigh Adams		
Address:	170 Abbott Street		
Suburb:	Newstead	Post Code:	7250
Email:	leigh@abd.com.co	Phone: / Mobile:	0411 294 351

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(note: if your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	34 Fraser Street		
Suburb:	Bicheno	Post Code:	7215
Size of site: (m ² or Ha)	673.31 m2		
Certificate of Title(s):	104189 / 02		
Current use of site:	Vacant Lot		



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General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	Proposed new 2-storey dwelling
Estimated value of works: (design & construction)	\$
Is the property on the State Heritage Register? (Tick one)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.



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Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	25/03/2025
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.



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Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

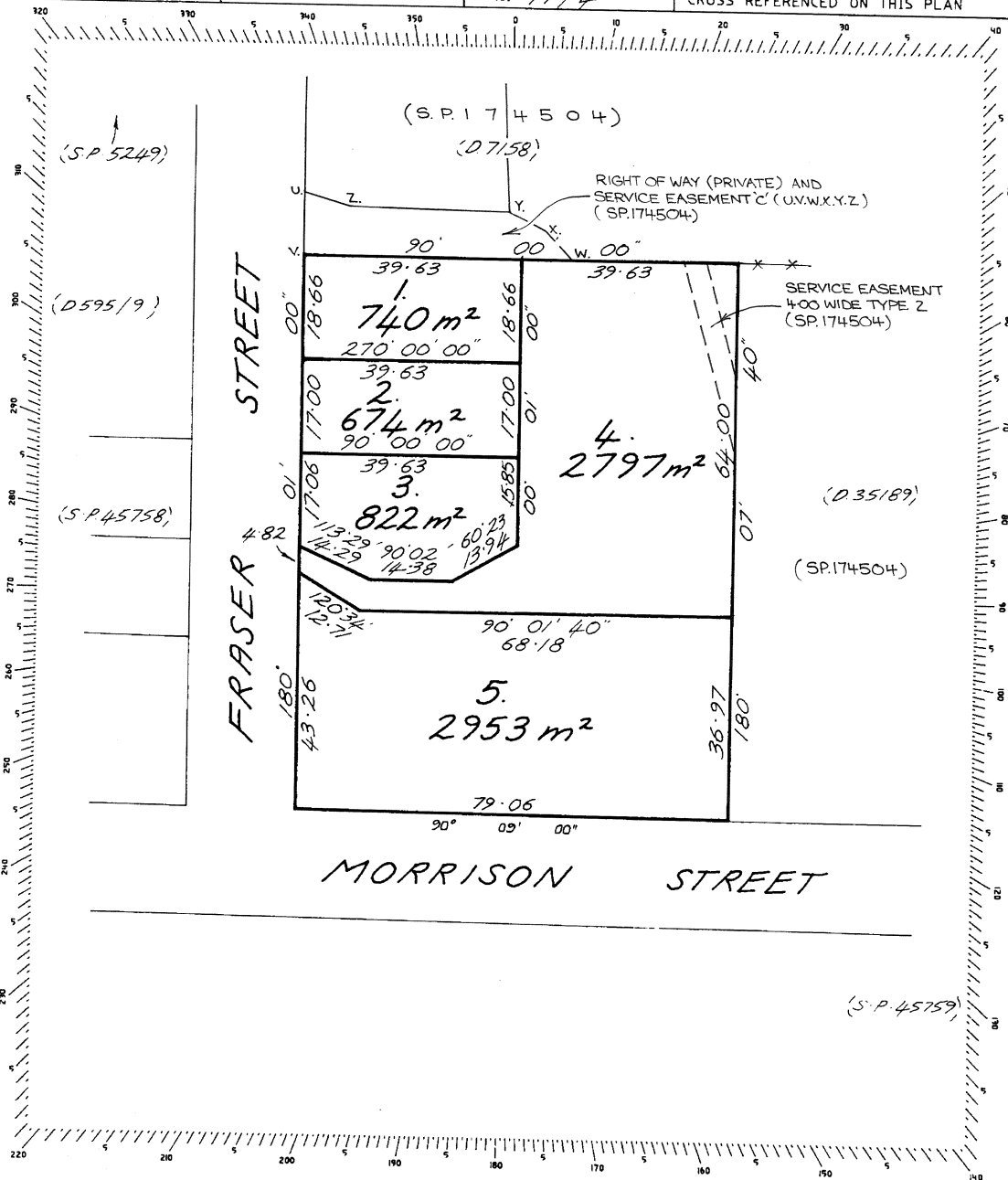
- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

OWNER <i>ROGER BRIAN WINSPEAR & SHIRLEY JEFFERSON WINSPEAR</i>		PLAN OF SURVEY		REGISTERED NUMBER
FOLIO REFERENCE <i>C.T. 2471-32</i>		BY SURVEYOR <i>A.S. HAMILTON OF BICHENO</i>		SP 104189
GRANTEE <i>WHOLE OF LOT 6 SERV. E ROY SCOTT MCARTHUR PUR.</i>		LOCATION TOWN OF BICHENO		
STATE MUNICIPAL CODE No. <i>16</i>		LAST UPI No.		APPROVED EFFECTIVE FROM <i>5</i> - AUG 1994
LAST SURVEY PLAN No. <i>P1/4</i>		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		<i>11.22.2</i> Recorder of Titles





RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



SEARCH OF TORRENS TITLE

VOLUME 104189	FOLIO 2
EDITION 6	DATE OF ISSUE 04-Apr-2023

SEARCH DATE : 24-Mar-2025

SEARCH TIME : 05.59 PM

DESCRIPTION OF LAND

Town of BICHENO

Lot 2 on Sealed Plan 104189

Derivation : Part of Lot 6(Sec.E) Gtd. to R.S.McArthur

Prior CT 2471/32

SCHEDULE 1

N121210 TRANSFER to CRAIG PETER WILL Registered 04-Apr-2023
at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP104189 COVENANTS in Schedule of Easements

SP104189 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

REGISTERED NUMBER

SP104189



SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

EASEMENTS:

No Easements or profits à prendre are created to benefit or burden the Lots shown on the Plan.

COVENANTS:

The Owner of Lot 2 shown on the Plan covenants with the Vendor (Roger Brian Winspear and Shirley Jefferson Winspear) that the Vendor shall not be required to fence.

The Owner of each Lot shown on the Plan covenants with the Vendor and the Owners for the time being of every other Lot shown on the Plan to the intend that the burden of these covenants may run with and bind the Covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part thereof and not at any time to erect or cause to be restricted any building within twelve metres of the Fraser Street boundary of Lot 2.



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



The Vendor and his personal representatives for the time being will have power in his or their absolute discretion from time to time by any Deed or Deeds or by writing under his or their hand or hands to waive or vary or release any of the said covenant.

SIGNED by the said)
ROGER BRIAN WINSPEAR and SHIRLEY)
JEFFERSON WINSPEAR)
the Owners of the lands contained)
Certificate of Title Volume 2471)
Folio 32)
in the presence of:-)



SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



This is the schedule of easements attached to the plan of Roger Brian Winspear
(Insert Subdivider's Full Name)

..... affecting land in

..... C.T. 2471-32
(Insert Title Reference)

Sealed by the Glamorgan/Spring Bay Council on 18th March 1994

Solicitor's Reference 
Council Clerk/Town Clerk

OS 4 3124



Planning Compliance Report

Wednesday, 9 April 2025

Addressing Tasmanian Planning Provisions

[Glamorgan Spring Bay Council](#)

Proposed

[Residence at 34 Fraser Street, Bicheno, TAS. 7215](#)

Client

[Craig & Monica Will](#)

Zone: [8.0 General Residential](#)

Planning Overlay: [Bushfire Prone Areas Code](#)

A: 170 Abbott Street, Newstead, Launceston, TAS. 7250 M: 0411 294 351 E: leigh@adamsbuildingdesign.com.au

W : www.adamsbuildingdesign.com.au

Introduction

This report aims to demonstrate compliance with relevant planning standards for Proposed [Residence at 34 Fraser Street, Bicheno, TAS. 7215](#)

The report aims to take into consideration the intent, values and objectives of the Tasmanian Planning Scheme Provisions, with amendments, and address all scheme standards applicable to this development. This report is based on proposed development works to be carried out, completed and maintained by the applicant & owner. The proposed development relies on Performance Criteria to satisfy relevant planning standards and is to be read in conjunction with drawings submitted for the development.

Development Details

This proposal comprises the construction of a [Residence at 34 Fraser Street, Bicheno, TAS. 7215](#)

Building Areas		
Name	Area	Building Squares
Lower Living	83.10 m ²	8.94
Upper Deck	33.07 m ²	3.56
Upper Living	137.64 m ²	14.80
	253.81 m ²	27.29

Site areas	
Name	Area
Site	673.71 m ²

Proposed Use Class: [Residential](#)

Applicable Planning Standards & Codes

The following zone standards and codes of the Tasmanian Planning Scheme are applicable to the proposed development:

[8.4.6 Privacy for all dwellings](#)

All Zone standards & codes that are not applicable (N/A) or are compliant with the acceptable solutions have not been listed.

Tasmanian Planning Scheme Considerations

ZONES

8.0 General Residential

8.4 Development Standards for Dwellings

8.4.6 Privacy for all dwellings

<p>Objective:</p> <p>To provide a reasonable opportunity for privacy for dwellings.</p>	
Acceptable Solutions	Performance Criteria
<p>A2</p> <p>A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>(a) the window or glazed door:</p> <ul style="list-style-type: none"> (i) is to have a setback of not less than 3m from a side boundary; (ii) is to have a setback of not less than 4m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and (iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site. <p>(b) the window or glazed door:</p> <ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25% 	<p>P2</p> <p>A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <ul style="list-style-type: none"> (a) a window or glazed door, to a habitable room of another dwelling; and (b) the private open space of another dwelling.

P2 Response:

The kitchen window is setback 2400 from the southern boundary & the kitchen has a floor level more than 1m above the existing ground level. However, there will be 3 screening plants such as Lilly Pilly or non-Invasive Bamboo positioned along the boundary to minimise direct views to a window, glazed door to a habitable room or the private open space at

Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Client :

Craig & Monica Will

D:\Revit 2024\Will Craig\Will Craig Monica gable.rvt

Attachment 4.2.1 Exhibited Documents - DA2025/059 - 34 Fraser St, Bicheno

Building Areas

Name	Area	Building Squares
Lower Living	83.10 m²	8.94
Upper Deck	33.07 m²	3.56
Upper Living	137.64 m²	14.80
	253.81 m²	27.29








Drawing List

Sheet #	Sheet Name
1	Cover Page
2	Govt Infrastructure Details
3	Site Plan
4	Site Drainage Plan
5	Vegetation Plan
6	Lower Floor Plan
7	Upper Floor Plan
8	Elevations (sheet 1)
9	Elevations (sheet 2)
10	3D Views

Site areas

Name	Area
Site	673.71 m²

Project Details

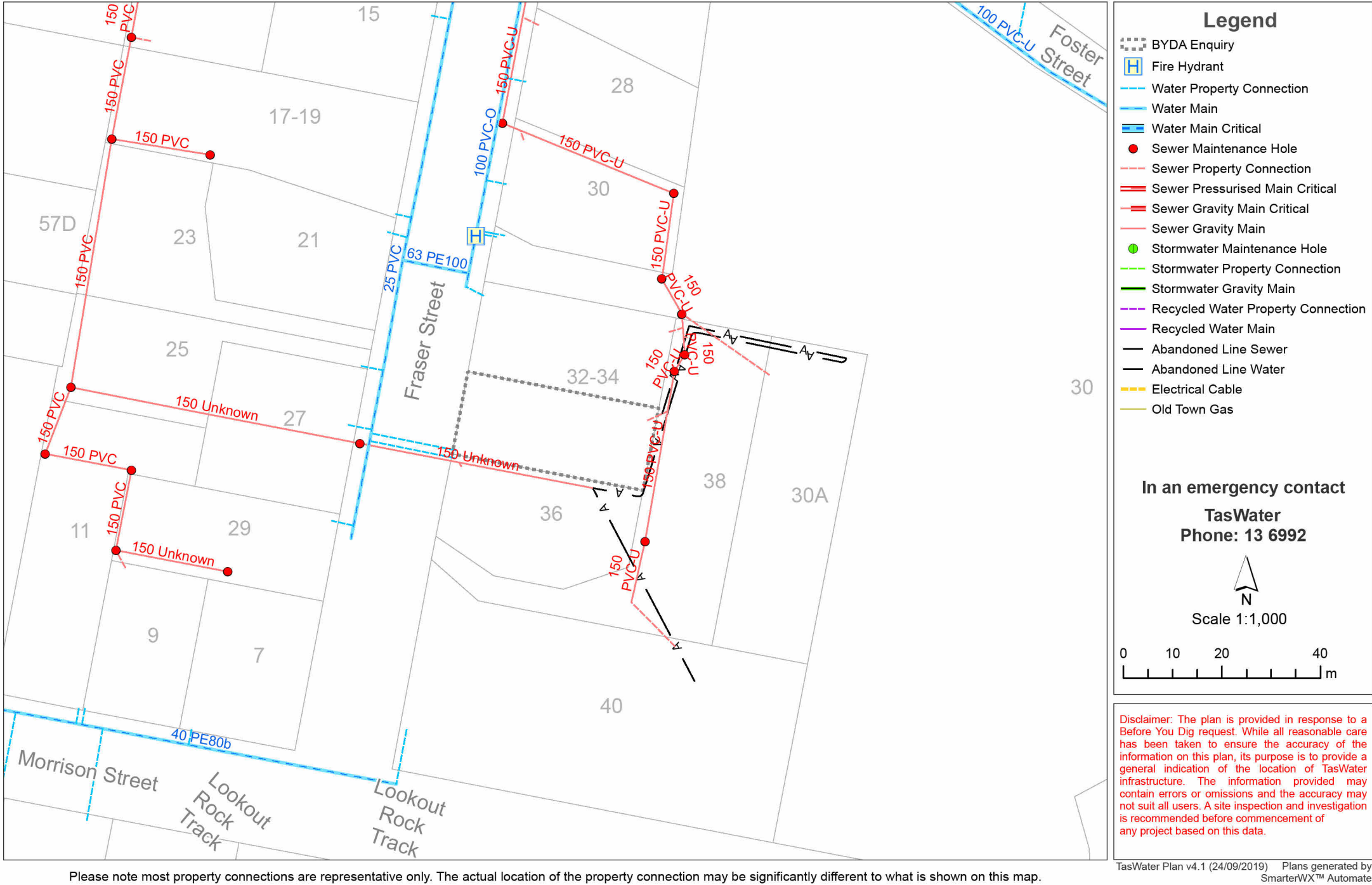
Council	 Glamorgan Spring Bay Council
Zone	8.0 General Residential
Planning Overlay	Bushfire Prone Areas Code
PID	9172611
Title Folio	02
Title Volume	104189
Climate Zone	 7
WIND SPEED	 TBC
SOIL CLASS	 TBC
STAR RATING	 TBC
BAL Rating	 TBC
Corrosive Environment	 For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to BCA Part 7.2.2 & BCA Table 7.2.2b,c,d,e. Cladding and fixings to manufacturer's recommendations

Planning Approval

Project No.	Drawing No.
041124	1 /10



Job # 38464723 Seq # 249889197
Provided by: TasWater
Date Generated: 21/01/25 (valid for 30 days)



Please note most property connections are representative only. The actual location of the property connection may be significantly different to what is shown on this map.

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170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@pabd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

3	21.01.25	Planning Approval
2	05.12.24	concept # 2 & 3
1	26.11.24	Concept # 1

No.	Date	Description
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Project :
Proposed Residence at 34 Fraser Street, Bicheno, TAS. 7215

Client :
Craig & Monica Will

Drawing Title :
Govt Infrastructure Details

Scale :
Starting Date : 01.12.23

Plot Date : 9/04/2025 3:18:17 PM

Project No.	Drawing No.
041124	2 /10

SITEWORKS

1. Site to be prepared in accordance with engineers or surveyors report if applicable.
2. Site to be excavated or filled to indicated levels.
3. Excavation and filling of the site to be in accordance with NCC Vol 2, H1D3 & Part 3.2 and AS2870.
4. Drainage works to be in accordance with NCC Vol 2, H2D2, Part 3.3 and AS3500.3.2
5. Surface drainage—finished ground to fall away from building for a minimum distance of 1000 at 1:20 minimum and to a point where ponding will not occur.
6. Downpipes to be connected into Council stormwater as soon as the roof is installed.
7. Install AG drain prior to footing excavation. See Drainage Plan for location.
8. Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.
9. Construction vehicles to be parked on the street only, to prevent transferring debris onto the Street.
10. Finished slab level to be:
 - 150mm above finished ground level.
 - 50mm above paved surfaces.
 - prevent ponding of water under suspended floors.

SITE SERVICES

Electricity, Gas, Telephone, Water, Stormwater & Sewer Services locations are to be determined on site & connected as per local authority requirements.

EXTERIOR LIGHTING

Exterior lighting to illuminate pathways & carparking areas must be controlled by a sensor & shielded to prevent direct light being emitted outside the site.

CONTOURS

Contours are indicative only for the site. Refer Elevations for accurate representation of existing ground levels. The contours on this plan are to be used for the sole purpose of approvals & construction of this proposal & are to be used for no other future purpose.

BUILDING FOR BUSHFIRE

Construction work, where applicable is to comply with the requirements for BAL-12.5 refer to Part H7D4 Bushfire Areas of the National Construction Code of Australia Volume 2 and Australian Standard AS 3959-2018 Construction of buildings in bushfire-prone areas. The requirements for a bushfire hazard management area and firefighting water supply are to comply with the Bushfire report and Bushfire Hazard Management Plan Prior to the issuing of the Occupancy Permit.

BOUNDARIES

BUILDING WORK UP TO OR NEAR BOUNDARY LINES - No part of the building work, excavation and or structure including eave fascia, gutters, downpipes, retaining wall(including drainage cells), pipes and the like are to encroach into or over the boundary line. Where the building work is to be located on or near the boundary line and the boundary can not be accurately identified, a registered Land Surveyor is to undertake a re-establishment survey and clearly identify the boundary lines in relation to the set out of the construction work.

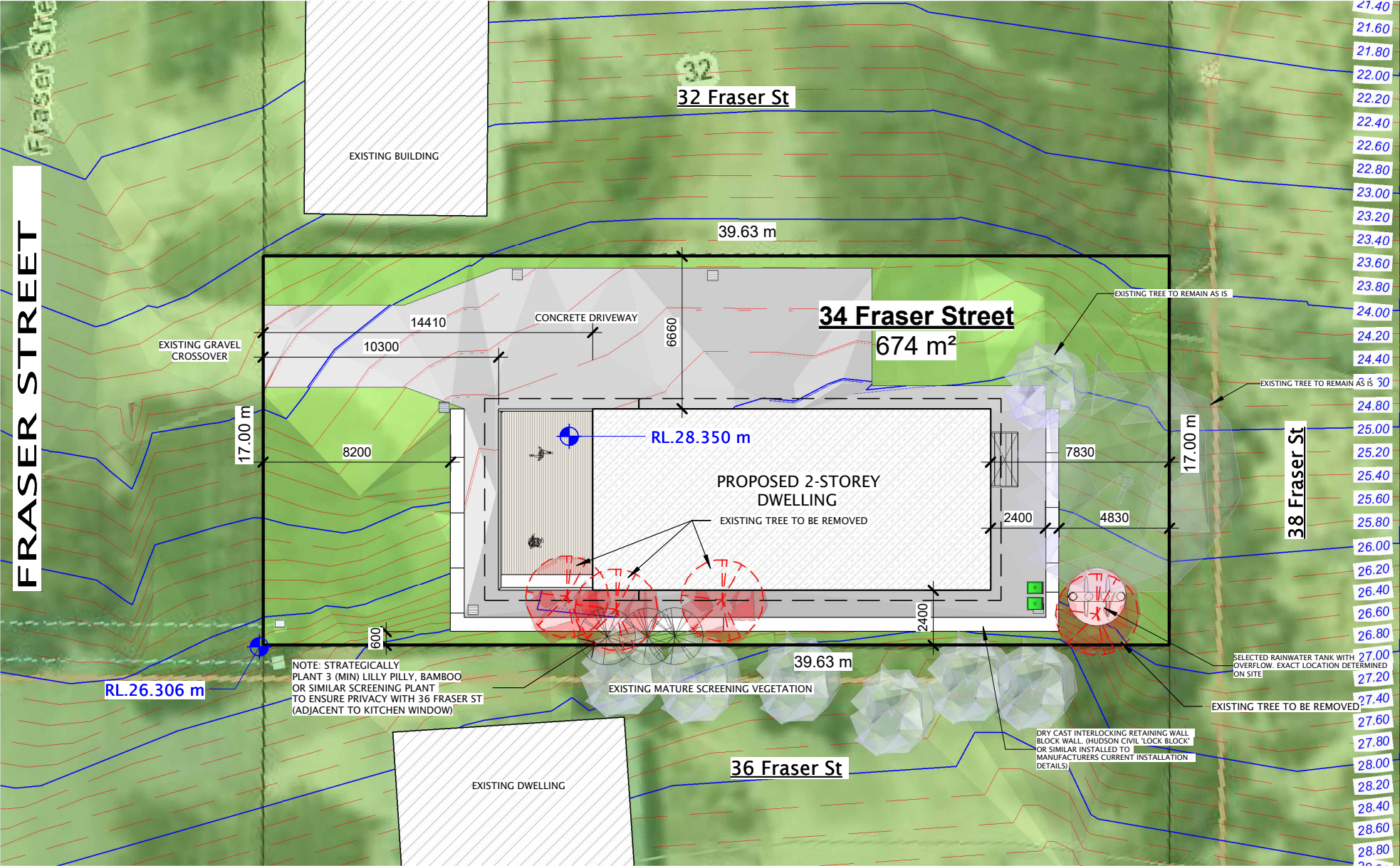


Table 3.2.1 Un-retained embankment slope ratios

Soil class (see 4.2.2 for material description)	Site cut (excavation) (maximum embankment slope ratio, angle of site cut H:L ^{Note 1)}	Compacted fill (maximum embankment slope ratio, angle of batter H:L ^{Note 1)}
Stable rock (Class A)	8:1	3:3
Sand (Class A)	1:2	1:2
Firm clay (Class M-E)	1:1	1:2
Soft clay (Class M-E)	2:3	Not suitable

Site Plan

1 : 200



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3 21.01.25
2 05.12.24
1 26.11.24

Planning Approval
concept # 2 & 3
Concept # 1

No. Date Description

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Project :
Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Drawing Title :
Site Plan

Client :
Craig & Monica Will

Scale : 1 : 200

Starting Date : 01.12.23

Plot Date : 9/04/2025
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Project No.

041124

Drawing No.

3 /10

PLUMBING NOTES

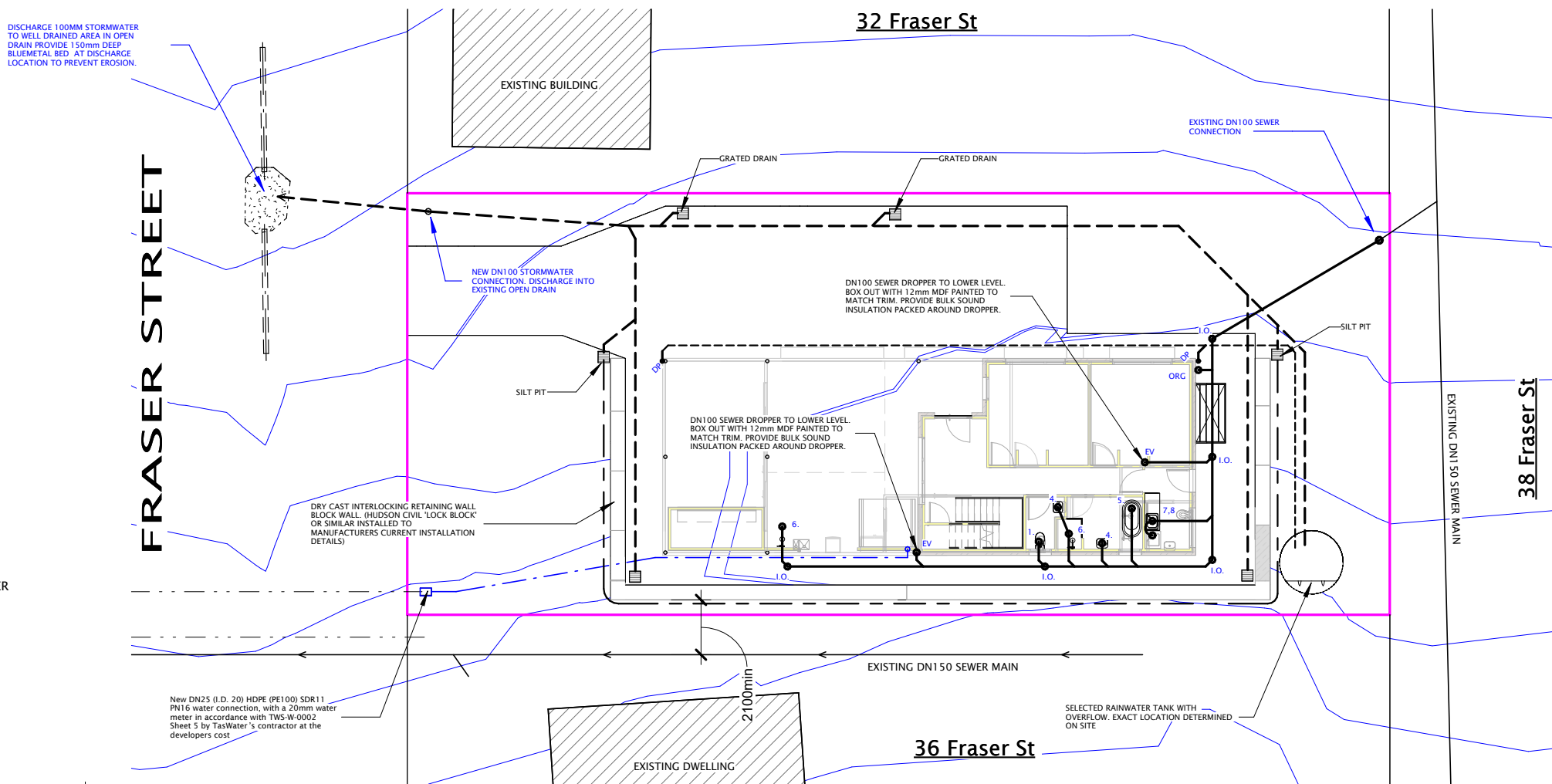
1. All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
2. Hot water from the HWK is to be tempered to 50°C.
3. Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
4. Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
5. The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
6. Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
7. New Sewer = DN100 pvc @ 1:60 falls min.
8. New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
9. Grated drains to be installed via a gas sealed pit.
10. STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
12. WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES
13. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C
14. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.

PLUMBING LEGEND

1. WC
 2. URINAL
 3. KITCHEN SINK
 4. BASIN / VANITY
 5. BATH
 6. SHOWER
 7. WASH TROUGH
 8. WASHING MACHINE
 9. DISHWASHER
- I.O. - INSPECTION OUTLET
ORG - OVERFLOW RELEIF GULLY
DP - DOWNPIPE
EV - DN50 VENT TO AIR
M - WATER METER

PLUMBING LEGEND

- - - - - EXISTING STORMWATER
 ————— EXISTING SEWER
 - . - . - EXISTING WATER
 - - - - - NEW STORMWATER
 - - - - - NEW DOWNPIPE S/W
 ————— NEW SEWER
 ————— NEW WATER
 ————— NEW AG DRAIN



TASWATER NOTES:



All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1
Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies
Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002
Version 2.3 MRWA Edition 1.0 and
TasWater's supplements to these codes

PLUMBING NOTES

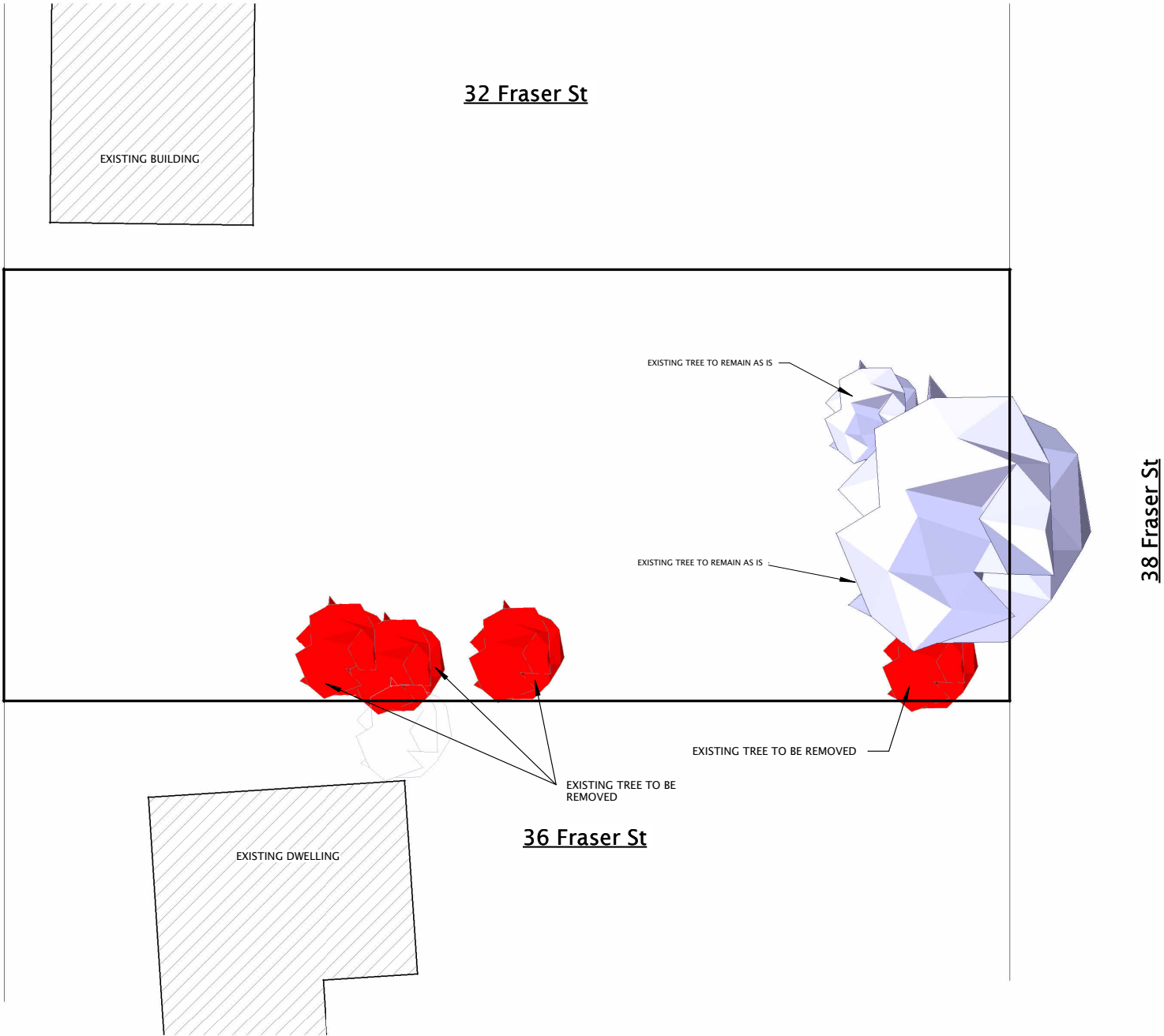
REACTIVE SITES where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870-1996 Section 5.5. Additional requirements for class H & E sites.

Site/ Drainage Plan

1 : 200

 adams buildingdesign	170 Abbott Street Launceston, Newstead, TAS 7250. M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au ABN 71 048 418 121 acc. # CC886J	<table><tr><td>3</td><td>21.01.25</td><td>Planning Approval</td></tr><tr><td>2</td><td>05.12.24</td><td>concept # 2 & 3</td></tr><tr><td>1</td><td>26.11.24</td><td>Concept # 1</td></tr></table> <table><tr><th>No.</th><th>Date</th><th>Description</th></tr></table>	3	21.01.25	Planning Approval	2	05.12.24	concept # 2 & 3	1	26.11.24	Concept # 1	No.	Date	Description	<h3>Planning Approval A3</h3> <div><p>© 2023 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.</p></div>	<p>Project :</p> <p>Proposed Residence at 34 Fraser Street, Bicheno, TAS. 7215</p>	<p>Drawing Title :</p> <p>Site Drainage Plan</p> <p>Client :</p> <p>Craig & Monica Will</p>	<p>Scale : 1 : 200</p> <p>Starting Date : 01.12.23</p> <p>Plot Date : 9/04/2025 3:18:18 PM</p> <table><tr><td>Project No.</td><td>Drawing No.</td></tr><tr><td>041124</td><td>4 /10</td></tr></table>	Project No.	Drawing No.	041124	4 /10
	3	21.01.25	Planning Approval																			
	2	05.12.24	concept # 2 & 3																			
1	26.11.24	Concept # 1																				
No.	Date	Description																				
Project No.	Drawing No.																					
041124	4 /10																					

FRASER STREET



Vegetation Plan
1 : 200

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Project :

Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Client :

Craig & Monica Will

Drawing Title :

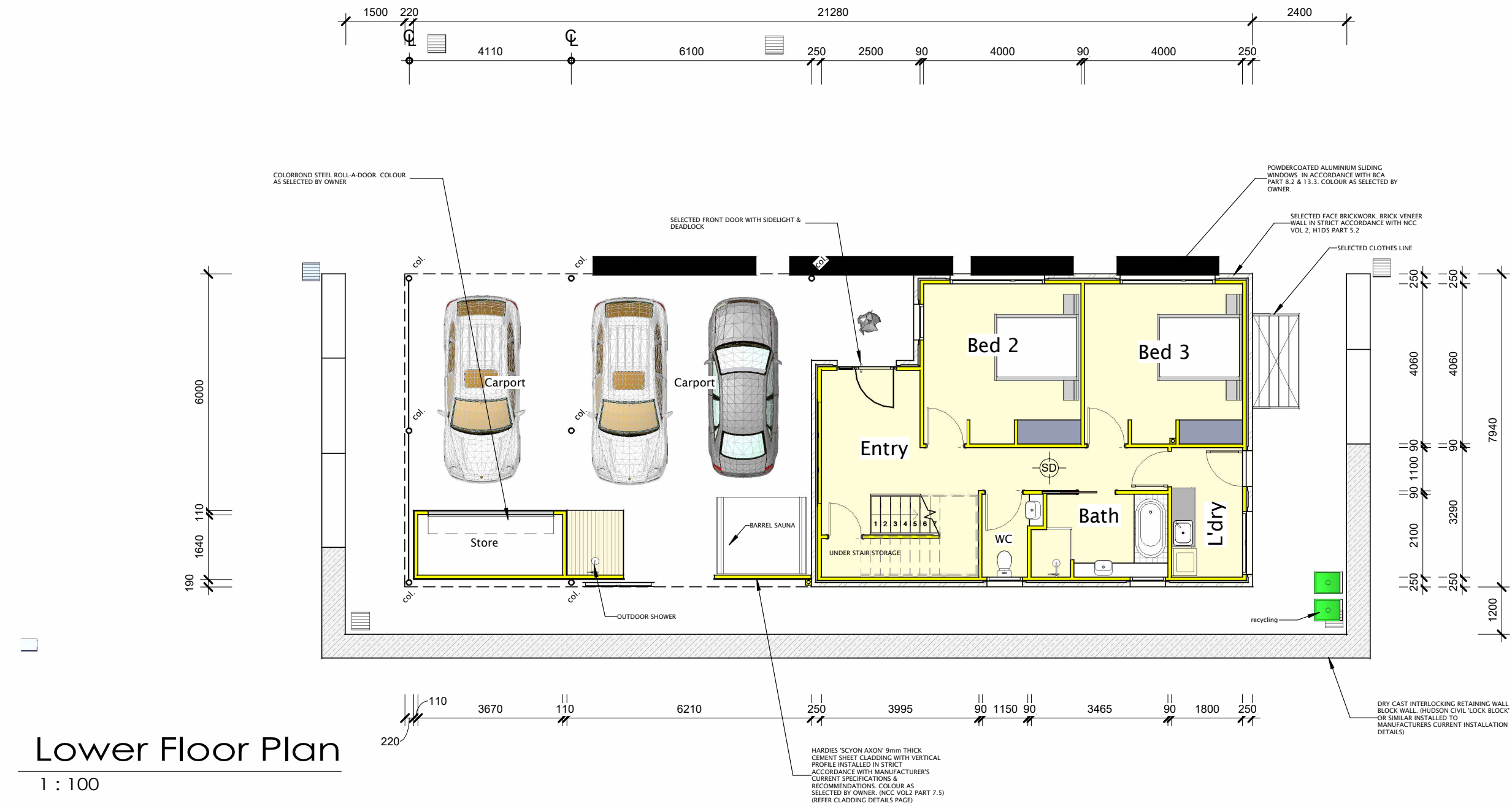
Vegetation Plan

Scale : 1 : 200

Starting Date : 01.12.23

Plot Date : 9/04/2025
3:18:19 PM

Project No.	Drawing No.
041124	5 /10



Building Areas.		
Name	Area	
Lower Living	83.10 m ²	
Upper Deck	33.07 m ²	
Upper Living	137.64 m ²	
	253.81 m ²	

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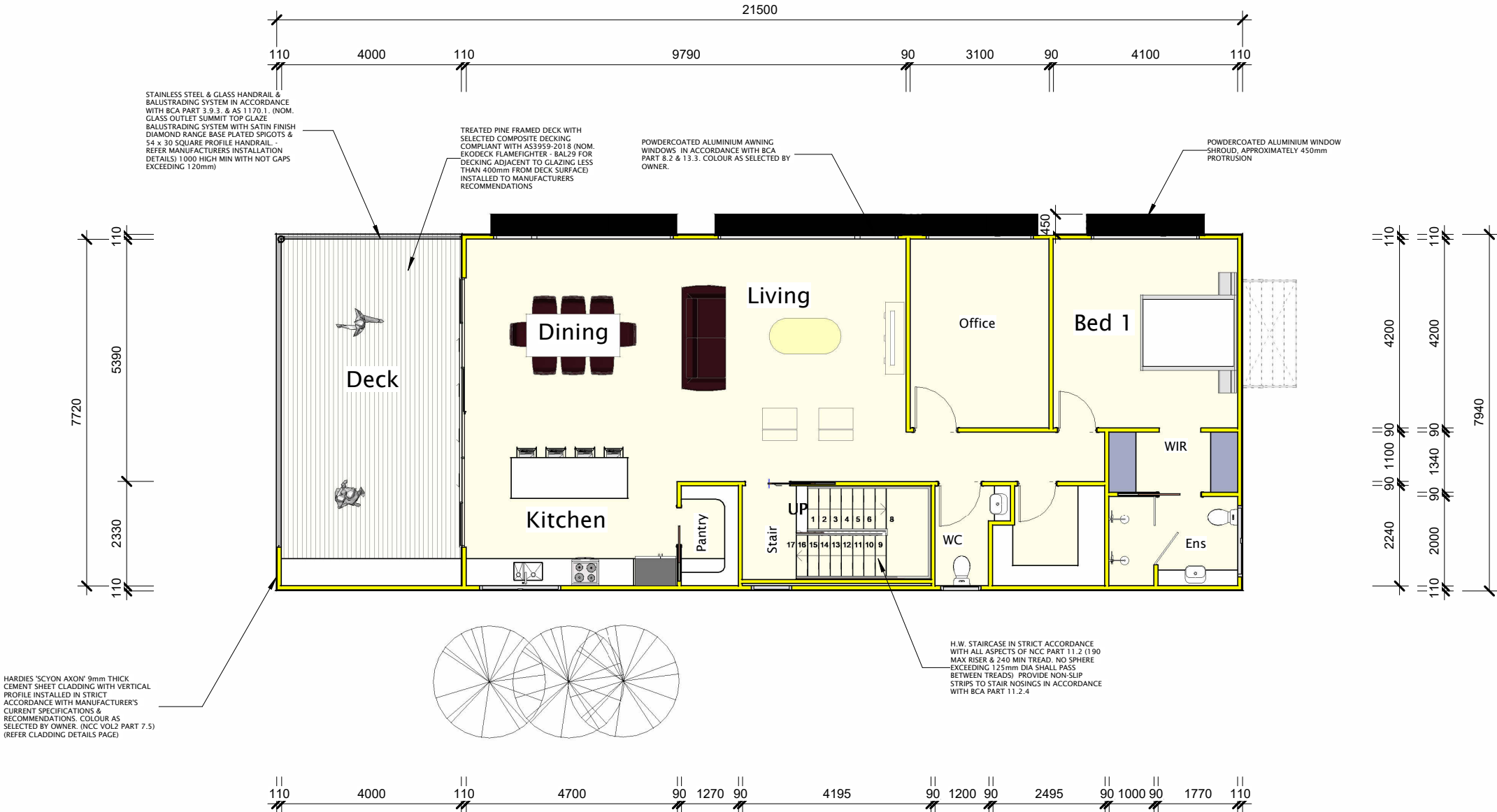
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Project :	Proposed Residence at 34 Fraser Street, Bicheno, TAS. 7215
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Drawing Title :	Lower Floor Plan
Client :	Craig & Monica Will

Scale :	1 : 100
Starting Date :	01.12.23
Plot Date :	9/04/2025 3:18:20 PM
Project No.	Drawing No.
041124	6 /10



Upper Floor Plan

1 : 100

SD - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2. Part 9.5 & AS 3786. (LINKED)



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Building Areas.	
Name	Area
Lower Living	83.10 m ²
Upper Deck	33.07 m ²
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2	05.12.24	
1	26.11.24	

No.	Date	Description
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Planning Approval A3



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Project :
Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Drawing Title :
Upper Floor Plan

Client :
Craig & Monica Will

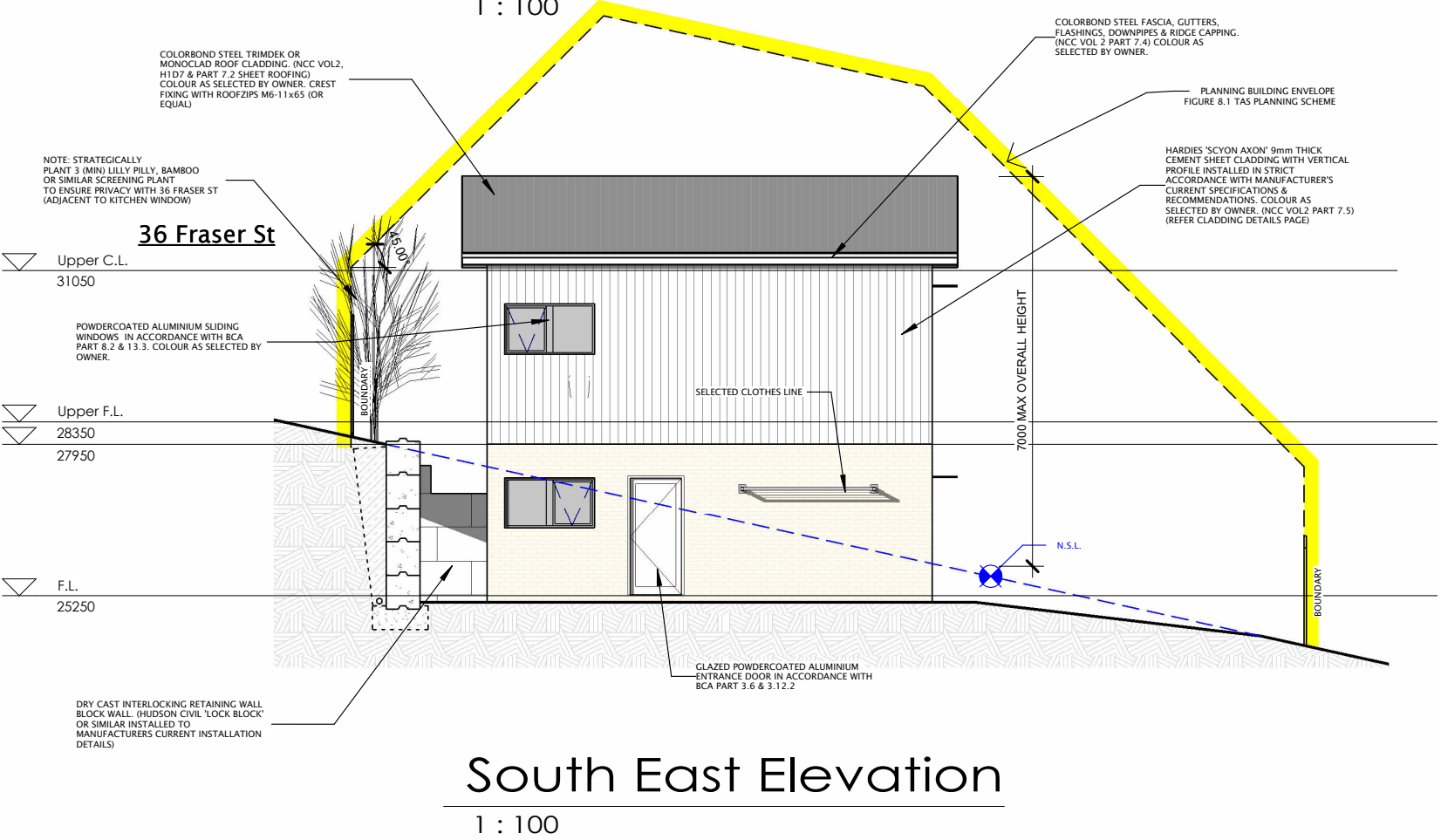
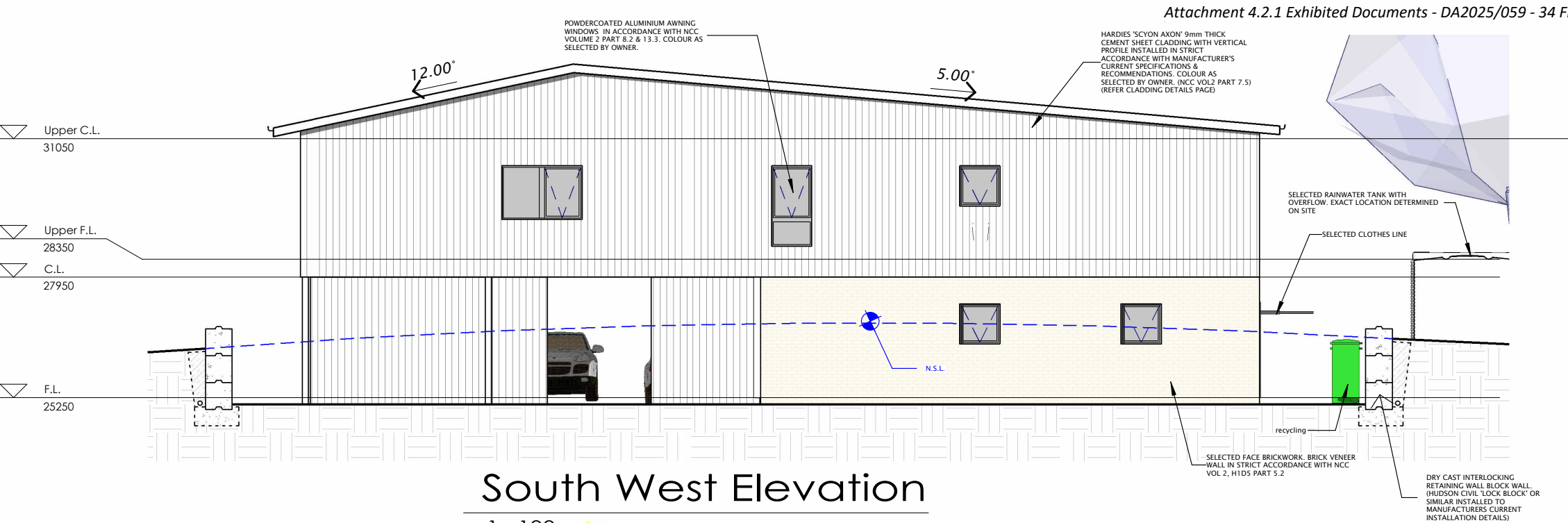
Scale : 1 : 100

Starting Date : 01.12.23

Plot Date : 9/04/2025
3:18:21 PM

Project No. 041124
Drawing No. 7 /10

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



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3	21.01.25	Planning Approval
2	05.12.24	concept # 2 & 3
1	26.11.24	Concept # 1

No.	Date	Description
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Project :
Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Client :
Craig & Monica Will

Drawing Title :
Elevations (sheet 1)

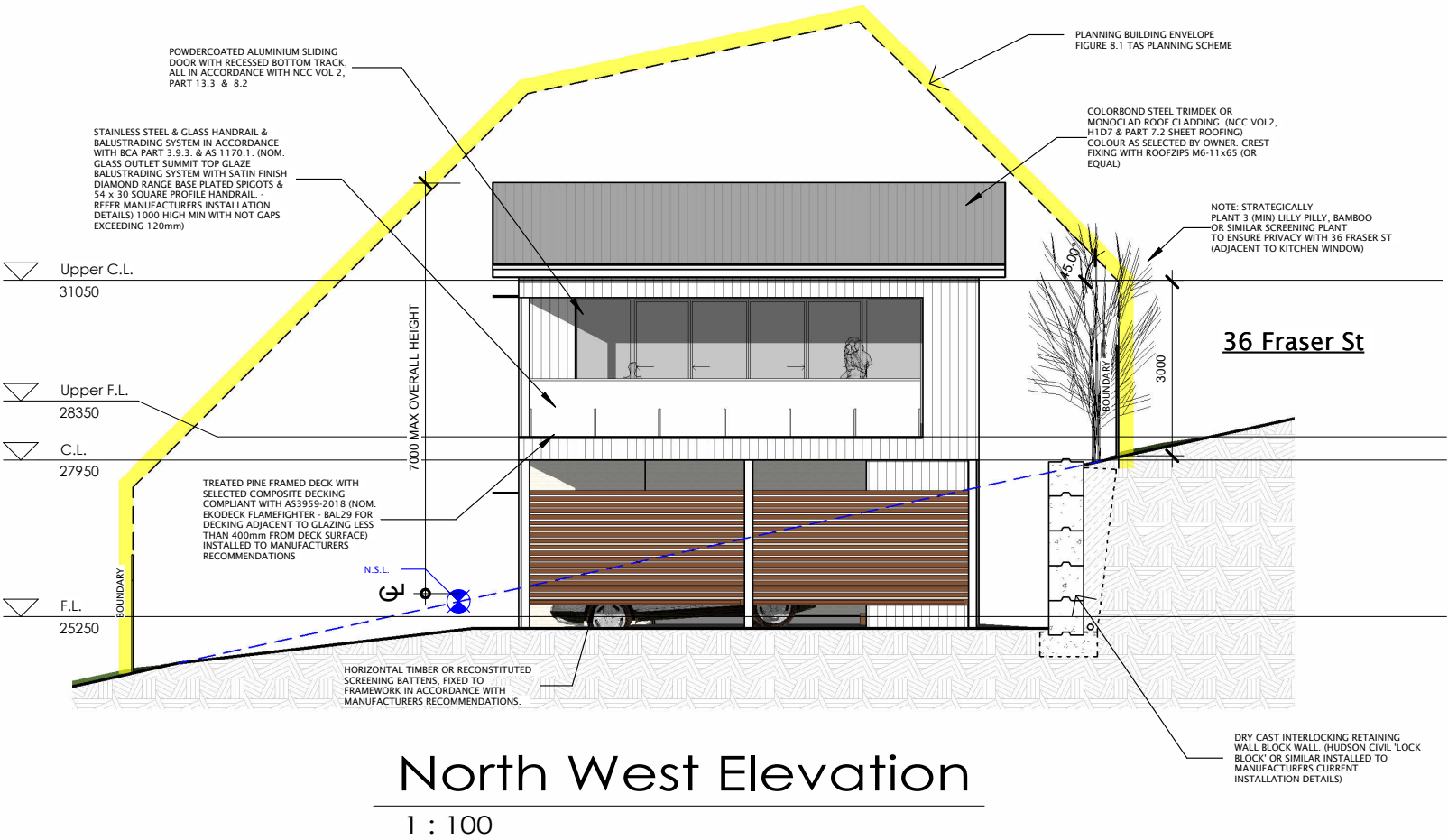
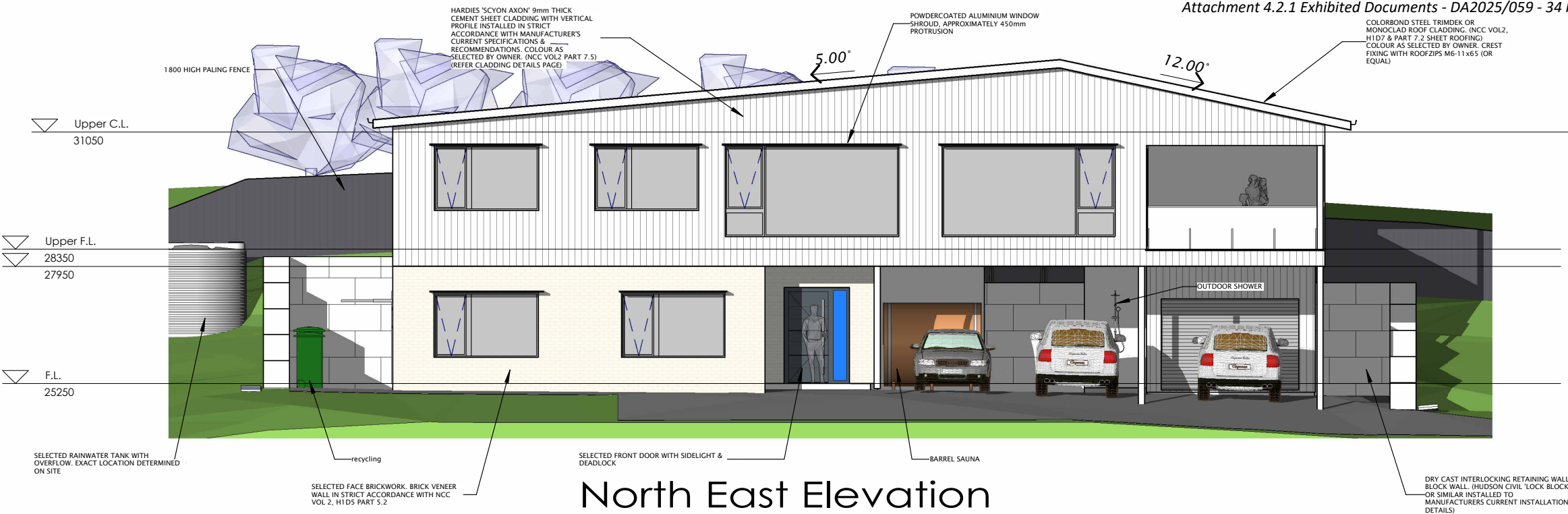
Scale : 1 : 100

Starting Date : 01.12.23

Plot Date : 9/04/2025
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Project No. Drawing No.
041124 8 /10

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



D:\Revit 2024\Will Craig\Will Craig Monica gable.rvt

3	21.01.25	Planning Approval
2	05.12.24	concept # 2 & 3
1	26.11.24	Concept # 1

No.	Date	Description
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Project :
Proposed Residence at
34 Fraser Street,
Bicheno, TAS. 7215

Client :
Craig & Monica Will

Drawing Title :
Elevations (sheet 2)

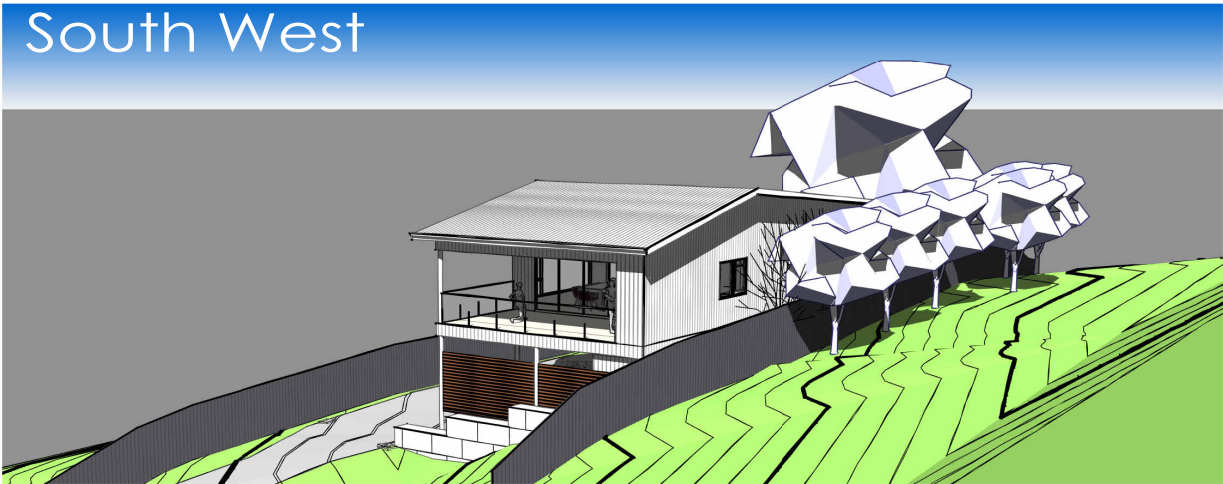
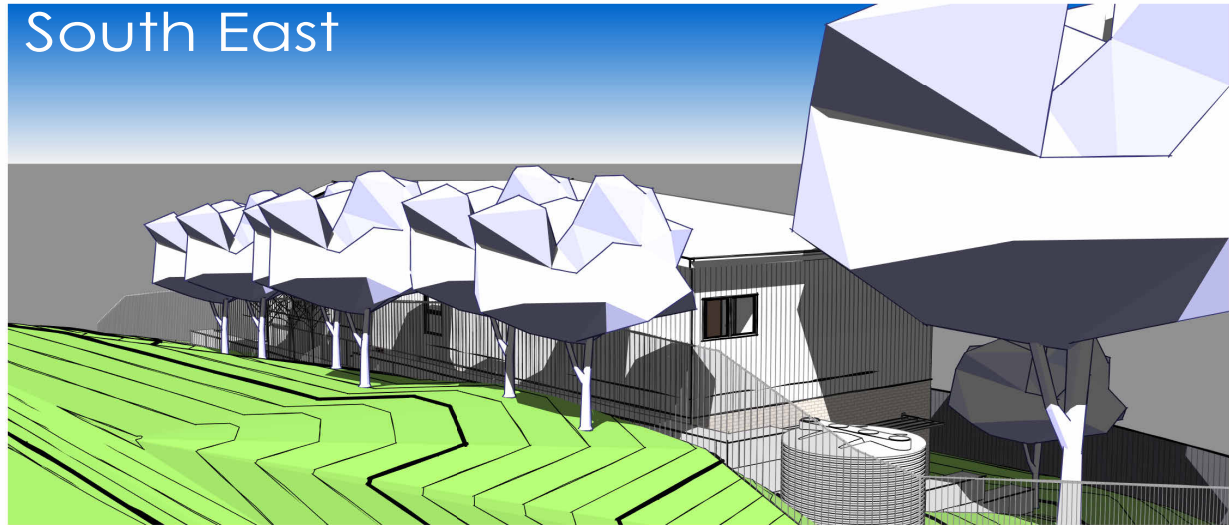
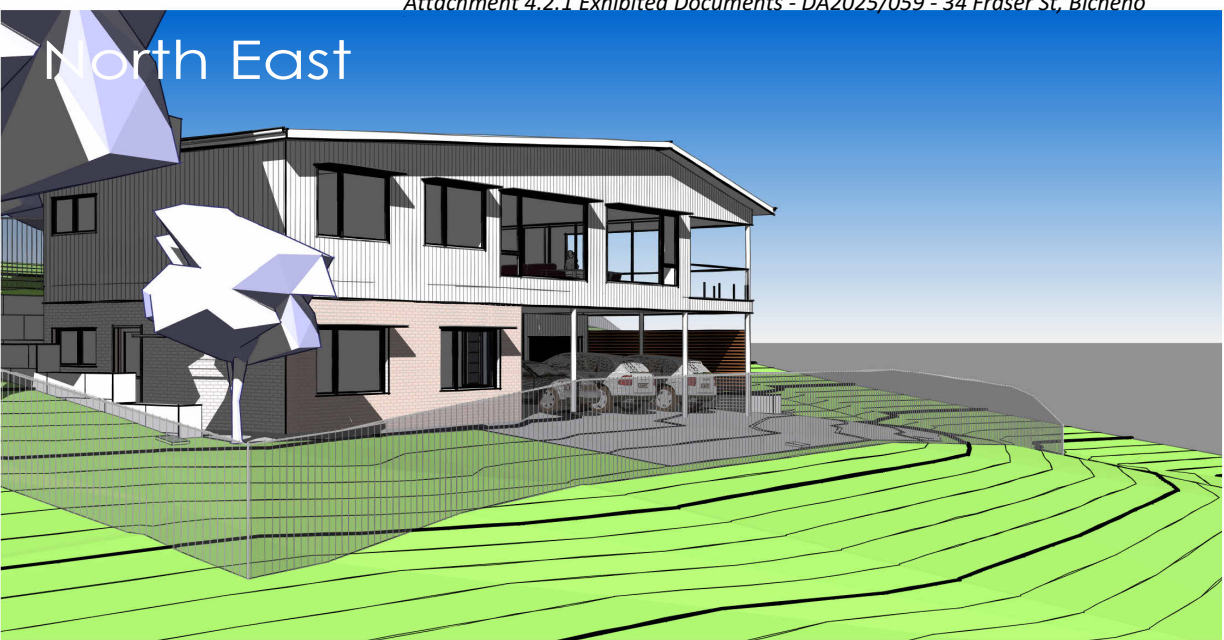
Scale : 1 : 100

Starting Date : 01.12.23



Plot Date : 9/04/2025
3:18:24 PM

Project No.
041124

Drawing No.
9 /10



NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES
ARE INDICATIVE ONLY & SHOULD NOT
BE RELIED UPON FOR CONSTRUCTION
PURPOSES. REFER SITE, CONTOUR PLAN
& ELEVATIONS FOR TRUE GROUND LEVELS.

	170 Abbott Street Launceston, Newstead, TAS 7250.						Planning Approval A3		 <div>© 2023 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.</div>	Project : Proposed Residence at 34 Fraser Street, Bicheno, TAS. 7215		Drawing Title : 3D Views		Scale : Starting Date : 01.12.23	
	M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au									Plot Date : 9/04/2025 3:18:28 PM		Project No.		Drawing No.	
	ABN 71 048 418 121 acc. # CC886J											041124		10 /10	
						No. Date Description					Client : Craig & Monica Will				
						3 21.01.25 Planning Approval									
						2 05.12.24 concept # 2 & 3									
						1 26.11.24 Concept # 1									

Rep 1 –

Dear Sir

Representation: DA 2025-059, proposed residential dwelling 34 Fraser Street, Bicheno.

I make my submission objecting to the above application after viewing the Exhibited Documents of DA 2025-059 provided on the Glamorgan Spring Bay Council website:

1. The title particulars of CT104189/2 show that any building on this land is required to be 12m from the Fraser St boundary. The proposed building is not 12m from the Fraser St boundary. Clearly, the plans must be withdrawn, amended and re-submitted to Council, before Council can give consideration to them.
2. The proposal shows that in order to fit the 2 story building on this long narrow block, the designer's plans propose an excavation on the southern boundary. The proposed height of the cut in what is I understand, 'a land-slip zone', could possibly threaten the home on the adjacent block.
3. 34 Fraser St is the third block down Fraser St with considerable water flow from Lookout Rock above. In such a case, I think Council needs to require a Civil Engineer to sign off on the stability of the proposed wall and issues of drainage.
4. The DA recognizes that the design and positioning of the home on the land do not satisfy the Acceptable Solutions of the Tasmanian Planning Scheme 8.4.6 and propose a planting of 3 plants to minimize the impact of the design and position. However, the home is 2.4m from the southern boundary, a dark cold position which will make it very difficult for plants to thrive. Together with challenges of planting adjacent to the base of the proposed wall, the planting of any plants is most unlikely to have the screening effect envisaged.

This last issue of the proposal echoes what has happened many times over the 35 years I have been interested in planning in Bicheno; that is the inadequate protection given to adjacent landowners' amenity.

Thankyou for this opportunity of making a representation.

Rep 2 -

03/04/2025

General Manager
Glamorgan Spring Bay Council

By email: planning@freycinet.tas.gov.au

Dear Sir,

**Re: Development Application for 34 Fraser Street Bicheno CT104189/2
Planning reference DA 2025 / 059**

I refer to the above application and wish to make a representation opposing the grant of the permit to Leigh Adams Building Design. There are several issues listed below, that I am concerned about.

ISSUE 1 - Covenant on the title of the property in question

This proposed building does not take into account the covenant on the title of 34 Fraser Street, Bicheno, CT 104189/2 'Lot 2' on the Schedule of Easements on the Council Sealed Plan 104189. This states clearly that no building is to be erected within 12 metres of the Fraser Street boundary.

we felt assured that our views from our home could not be built out because of this covenant on Lot 2 CT 104198.

The proposed building in it's present position will have significant effect on the value of my property.

Should council approve this development I would reluctantly take my objection to the next stage with an Appeal to RMPAT for the protection of my interests.

ISSUE 2 - Proposed retaining wall in a land slip area

As per The List map a large part of the block in question is deemed to be in a land slip area and this needs be taken into account in the design of the retaining wall and the proposed two story building.

The proposed retaining wall which runs along the boundary at 36 Fraser Street is of such a significant size that it will no doubt require extensive excavation and substantial footings and taking into account that it is also in a deemed landslip area then it should surely require Certified Engineer's Report.

ISSUE 3 – Kitchen window

The proposed screening being provided by Lilly Pilly and Bamboo plants as stated on the plan are unlikely to thrive in what soil is left after the excavations for the retaining wall and instead a fixed screen would be more suitable solution to meet P2 of the Planning Scheme

Thank you for considering my representation. Please confirm that you have received it

Rep 3 -

Dear Sir,

Representation re: DA 2025-059; Proposed Two Story Dwelling; 34 Fraser Street, Bicheno TAS 7215

In response to your advertised notification in this matter I write to you to object against the granting of the planning approval sought on the following grounds:

A. The Property referred to as [34 Fraser Street, Bicheno](#), CT 104189/2 is LOT 2 on Council's Sealed Plan 104189 and the schedule of easements registered on that title clearly prohibits the erection of any building within twelve (12) meters of the Fraser Street front boundary.

The restriction of this burdening covenant on the Title has either not been noted by the applicant or has simply been ignored when these plans were drawn up.

The proposed dwelling cannot be erected legally on CT 104189/2.

The Planning Department in accepting this Application may also have failed to take into account the existence of said covenant. A now well-informed and hopefully compassionate Council should not consider handing the Applicant the monstrous weapon (Planning Approval) which the applicant is seeking and (having regards to costs incurred to date) undoubtedly plans to use.

This would then force the owner of 36 Fraser Street, the beneficiary of the covenant, to seek an injunction to stop work and start expensive legal action to force compliance with the conditions in the covenant.

Council Approval of DA 2025-059 (providing the license for such cruel weapon) would in first instance of necessity dictate an Appeal to RMPAT to seek early disarmament.

B. The major excavations needed for the massive Southern boundary retaining wall and its footings are clearly planned to occur in an identified Landslide Area (see LIST Map below). An Independent Expert Assessment Report with advice on the suitability of this area for this type and size of excavations should have been part of the documentation in line with relevant current Government recommendations:

"Hazard Planning Maps produced by the Department of Premier and Cabinet (this map being such a map) are produced and released for the purpose of informing actions taken and decisions made by local or state government under relevant provisions of the Land Use Planning and Approvals Act 1993 and building Act 2000" and:

"Independent expert advice should be sought if action is to be taken that may be impacted by the existence or otherwise of hazards in the mapped area"

C. The planned Southern boundary retaining wall should require a Certified Engineers' Report. Design and steel reinforcement of footings and wall cannot be as unspecific for this location as noted in the plans and certainly not "or similar" .

D. As the planned kitchen window fails to meet the acceptable solution, the screening proposed to meet the performance criteria (a few plants) cannot be a practical solution. Plans submitted show that the excavations for the Southern retaining wall will extend to the very boundary with 36 Fraser Street and will need to be backfilled after the wall is constructed. Presumably with gravel contained in geofabric in order to facilitate the stormwater drainage needed.

A fixed privacy screen should be specified in order to meet P2 as the plants suggested are unlikely to do well in such challenging conditions.

The drainage system required behind this wall will need to be very substantial so as to be able to adequately receive and acceptably dispose of the copious sheeting

overland stormwater from the steep granite hill behind even during short periods of rainfall.

Please acknowledge receipt of this representation.

Rep 4 –

Dear General Manager,

I am writing to lodge a formal objection to the planning permit application for the proposed two-storey dwelling at 34 Fraser Street, Bicheno (CT 104189/2), currently under assessment by Glamorgan Spring Bay Council.

A core principle of the Tasmanian Planning Scheme is to protect and enhance the living environment of residential areas. I am deeply concerned that this proposal breaches those principles in a significant way.

The current design includes a kitchen window that directly overlooks the habitable rooms of the neighbouring home, resulting in a serious and ongoing loss of privacy. It is well understood that people naturally stand at kitchen windows while cooking, washing, or looking outside—making this a continual intrusion into the private spaces of the neighbouring residents.

The applicant's proposed solution—planting three trees—is wholly inadequate. Vegetation:

Is not a permanent or guaranteed screen; Can take years to grow, may die, be removed, or fail to block views effectively; Is not an acceptable substitute for fixed, built-in privacy screening, as required under the Planning Scheme.

It is disappointing that a professional design company has allowed a proposal to progress that so clearly fails to meet key planning requirements. Even more concerning is the absence of 3D perspective drawings, which would have clearly demonstrated how intrusive the overlooking is from the proposed structure into adjacent living areas.

There are several simple and practical solutions the applicant could have incorporated to avoid this issue, such as:

Eliminating or repositioning the kitchen window; Replacing it with high-level or clerestory windows, or incorporating fixed screening; Using obscure or opaque glazing for other intrusive windows (e.g., in the bathroom and stairwell); Reconfiguring the layout to reduce or eliminate overlooking impacts altogether.

Council has a vital role in protecting the amenity of existing homes and ensuring that new development upholds the standards and intent of the Tasmania Planning Scheme. Approving a design that so clearly disregards these provisions would not only negatively impact this neighbour but may also set a troubling precedent for future developments in the area.

I respectfully request that Council refuse the planning permit in its current form, and instead require the applicant to redesign the proposal to comply with planning provisions and protect the privacy of neighbouring residents.

Thank you for considering this representation. Please don't hesitate to contact me if further clarification is needed.

Profit and Loss

Glamorgan Spring Bay Council
For the 11 months ended 31 May 2025

Account	YTD Actual	YTD Budget	Budget Var	Var %	2024/25 Budget	Notes
Trading Income						
Rate Revenue	13,874,052	13,871,977	2,075	0%	13,871,977	
Statutory Charges	620,289	616,913	3,376	1%	691,962	
User Charges	838,289	974,803	(136,514)	-14%	1,026,149	1
Grants	840,937	279,352	561,585	201%	1,467,660	2
Interest & Investment Revenue	807,083	510,737	296,346	58%	632,404	3
Other Revenue	593,635	406,273	187,362	46%	646,335	4
Total Trading Income	17,574,286	16,660,055	914,231	5%	18,336,487	
Gross Profit	17,574,286	16,660,055	914,231	5%	18,336,487	
Capital Grants						
Grants Commonwealth Capital - Other	1,301,381	2,662,443	(1,361,062)	-51%	2,662,443	5
Grants Commonwealth Capital - Roads to Recover	0	497,000	(497,000)	-100%	497,000	6
Grants State Capital - Other	2,364,806	2,177,500	187,306	9%	2,626,623	7
Total Capital Grants	3,666,187	5,336,943	(1,670,756)	-31%	5,786,066	
Other Income						
Net Gain (Loss) on Disposal of Assets	78,281	158,800	(80,519)	-51%	201,200	8
Contributions	441,837	302,500	139,337	46%	330,000	9
Total Other Income	520,118	461,300	58,818	13%	531,200	
Operating Expenses						
Employee Costs	4,950,784	5,054,643	(103,859)	-2%	5,496,864	
Materials & Services	7,806,259	7,118,588	687,671	10%	8,263,316	10
Depreciation	3,534,587	3,404,397	130,190	4%	3,712,957	
Interest	141,125	170,757	(29,632)	-17%	170,757	11
Other Expenses	211,039	221,705	(10,666)	-5%	237,860	
Total Operating Expenses	16,643,794	15,970,090	673,704	4%	17,881,754	
Net Profit	930,492	689,965	240,527	35%	454,733	
Total Comprehensive Result (incl Capital Incomm)	5,116,797	6,488,208	(1,371,411)	-21%	6,771,999	

NOTES OF BUDGET VARIANCES > \$50k and >10%.

1. **TIMING:** User Charges: Marina quarterly invoicing timing.
2. **TIMING:** Grant Revenue: Black summer bushfire grant funds for telstra works rolled over from prior year (Spent March 2025).
3. **PERMANENT:** Higher than expected interest on investments.
4. **PERMANENT:** Insurance reimbursement in Sept 2024 and Sand River Road contribution from the Department of defence received Nov 2024.
5. **TIMING:** Revenue Commonwealth Capital: Black summer bushfire grant funds for helipad received and rolled over from prior year works not yet started \$101k. Community Development Grant Bicheno Triangle \$300k budgeted for Sept expected to claim Dec 2024. LCR14 Rehab Dolphin Sands Rd - Rheban Rd budgeted Sept, expected to claim Dec 2024. \$300k budgeted in Jan -CDG 1131 Triangle claim not yet received. LRC1 3 Saltworks toilet/carpark \$100k not yet received and 200k budgeted in March for CDG 1129 Coles Bay Foreshore claim 2 is not yet received.
6. **TIMING:** Estimated based on last year budget.
7. **TIMING:** Revenue State Capital. Saltworks jetty \$49k received and rolled over from prior year. Triabunna Tomorrow Streetscape \$211k received and rolled over from prior year. Emergency Management Fund for 2022 Storm Damage \$187k budgeted for Aug, expected in December 2024. Received \$150k in Oct 2024 of \$250k from Tasmanian Community Fund for Coles Bay Hall Annex expected in Dec. Received \$20k out of \$40k for State vulnerable road users grant, expected Apr 25. Yet to claim 125k outsourced from Dolphin Sands community.
8. **TIMING:** Sale of Land in Bicheno & Triabunna budgeted in May but not yet sold.
9. **PERMANENT:** Contribution for public open space up \$87k, stormwater down \$27k and subdivisions up \$80k.
10. **TIMING:** 563k Black summer bushfire grant funds for telstra works paid to Telstra in Jan and March.
11. **TIMING:** End of year apportionment of loan repayments.

Statement of Financial PositionGlamorgan Spring Bay Council
As at 31 May 2025

Account	31 May 2025	30 June 2024
Assets		
Current Assets		
Cash & Cash Equivalents	10,530,633	8,036,845
Trade & Other Receivables	2,741,516	2,515,905
Other Assets	(36,561)	0
Total Current Assets	13,235,588	10,552,751
Non-current Assets		
Investment in Water Corporation	33,872,244	33,872,244
Property, Infrastructure, Plant & Equipment	209,591,171	213,133,910
Total Non-current Assets	243,463,416	247,006,154
Total Assets	256,699,003	257,558,905
Liabilities		
Current Liabilities		
Trade & Other Payables	580,715	908,886
Trust Funds & Deposits	392,225	394,402
Provisions	721,295	721,295
Contract Liabilities	0	929,735
Interest bearing Loans & Borrowings	114,207	384,912
Trust Funds & Deposits - Retention Monied He	19,074	30,517
Total Current Liabilities	1,827,516	3,368,747
Non-current Liabilities		
Provisions	51,738	51,738
Interest Bearing Loans & Borrowings	5,434,693	5,434,693
Total Non-current Liabilities	5,486,431	5,486,431
Total Liabilities	7,313,947	8,855,178
Net Assets	249,385,057	248,703,727
Equity		
Current Year Earnings	683,568	4,941,530
Retained Earnings	99,834,435	94,892,905
Equity - Asset Revaluation Reserve	147,401,327	147,403,564
Equity - Restricted Reserves	1,465,727	1,465,727
Total Equity	249,385,057	248,703,727

Statement of Cash Flows

Glamorgan Spring Bay Council
For the 11 months ended 31 May 2025

Account	YTD Actual	2024
Operating Activities		
Receipts from Customers	17,103,566	17,574,209
Operating Grants	843,237	1,437,377
Payment to employees and Suppliers	(12,519,029)	(12,068,606)
Other Payments	(200,611)	(204,060)
Finance Costs Paid	(180,907)	(207,722)
Net Cash Flows from Operating Activities	5,046,265	6,531,198
Investing Activities		
Proceeds from sale of property, plant and equipment	92,615	140,351
Payment for property, plant and equipment	(4,694,210)	(5,607,733)
Receipts from capital grants	2,533,453	1,343,076
Net Cash Flows from Investing Activities	(2,268,142)	(4,124,306)
Financing Activities		
Trust funds & deposits	(13,620)	18,852
Proceeds from/ repayment of long term loans	(270,705)	(1,767,274)
Net Cash Flows from Financing Activities	(284,326)	(1,748,421)
Net Cash Flows	2,493,787	658,471
Cash and Cash Equivalents		
Cash and cash equivalents at beginning of period	7,943,937	7,285,466
Cash and cash equivalents at end of period	10,437,725	7,943,937
Net change in cash for period	2,493,787	658,471

Capital Works Detail

Glamorgan Spring Bay Council
Budget 2024-25

Dept	Capital Item	Cost YTD	% Cost Spent	Status	Carry Fwd Funds @ 30.6.24	Updated Carry Fwd Funds @ 30.6.24	Renewal Works	New Works	Budget 2024/25	Revised Budget 2024/25	Council Funded	External Funded	External Funding Source
Roads, Footpaths, Kerbs													
	Road accessibility (Black Summer)	4,067	14%	complete									
					30,000	30,000			30,000	30,000		30,000	Black summer bushfire recovery
	Storm Damage Projects 2022	-	0%	complete									Emergency management fund
					160,051				160,051				
	Footpath and disability compliance renewal 2024-25	-							-	-			
	Kerb & Channel Renewal 2024-25	90,567	96%	in progress		20,559	74000			94,559	70,559	24,000	
	Resheet Program	104,844	105%	complete			100,000		100,000	100,000	100,000	-	
	Pavement Renewal Program	463,697	116%	complete			400,000		400,000	400,000	400,000		
	Reseal Program	569,738	95%	complete			576,000		600,000	576,000	79,000	497,000	Roads to recovery
	Triabunna Tomorrow Streetscapes	72,724	13%	in progress			350,000	455,500	575,000	805,500	-	805,500	State Government MOU
	Bicheno Urban Design Streetscape	-	0%					100,000	100,000	100,000	-	100,000	State Government MOU
	Swanwick Footpath 130m kerb and road repair stage 2	1,090	2%	complete				60,000	60,000	60,000	20,000	40,000	State Vulnerable road user
	Kerb & Channel Bluff Crt	50,550	101%	complete				50,000	50,000	50,000	50,000		
	Design allocation	28,150	38%	in progress				80,000	75,000	80,000	80,000		
	Contingency	24,338	61%	designated					40,000				
		-											
	Total Roads, Footpaths, Kerbs	1,409,764	64%		190,051	50,559	1,500,000	745,500	2,190,051	2,296,059	799,559	1,496,500	
Bridges, Culverts													
	Bridge - 17 Acre Creek Bridge Wielangta Rd	-	0%				465,440		400,000	465,440	80,000	385,440	Subject to Federal grant
	Bridge - 24 Ferndale Rd	278,226	101%	complete			275,000		150,000	275,000	275,000		
	Unemployed Gully / Brockley Rd Bridge	96,890	138%	complete			70,000		70,000	70,000	70,000		
	Total Bridges, Culverts	375,116	61%		-		810,440	-	620,000	810,440	425,000	385,440	
Parks, Reserves, Walking Tracks, Cemeteries													
	Bicheno Triangle	106,884	22%	In progress	492,300	492,300		181,000	492,300	673,300	181,000	492,300	Community Development
	Bicheno Gulch	368,675	53%	complete	698,390	698,390			698,390	698,390	-	698,390	Community Development
	Coles Bay Foreshore	331,397		complete	49,008	49,008		147,000	49,008	196,008	147,000	49,008	Community Development
	Walking/Cycling strategy	19,970	100%	in progress	20,000	20,000			20,000	20,000		20,000	Department of Health State
	Playground Renewals	88,564	89%	in progress			20,000	80,000	100,000	100,000	100,000		
	Playground Bicheno Lions Park	-	0%	seeking quotes			100,000		100,000	100,000	100,000		
	Orford Foreshore Masterplan	-	0%				100,000	118,400	218,400	218,400	218,400		Contribution POS
	Orford Transfer Station Fencing	6,699	67%	complete			10,000		10,000	10,000	10,000		
	Our Park Precinct Plan	-	0%					10,000	10,000	10,000	10,000		
	Bicheno Skate Park Carpark	33,969	38%	in progress				90,000	90,000	90,000	90,000		
	Total Parks, Reserves, Walking Tracks, Cemeteries	956,159	53%		1,259,698	1,259,698	230,000	626,400	1,788,098	2,116,098	856,400	1,259,698	
Stormwater & Drainage													
	49 Rheban Rd design to West Shelley Bch Nautilus Detention Basin	-	0%	In progress	35,000	35,000		165,000	200,000	200,000	200,000		
	Holkham Court	2,640	6%	In progress	11,558	11,558		35,000	46,558	46,558	46,558		Contribution Stormwater
	Pit and Pipe Renewal Program	53,204	44%	In progress	20,559	-	100,000		120,559	100,000	100,000		
	System Upgrade	-	0%	in progress			20,000	20,237	40,237	40,237	40,237		
	Taswater infiltration Program	17,949	36%	complete				50,000	50,000	50,000	50,000		
	SQID program	-	0%	design				30,000	30,000	30,000	30,000		Contribution Stormwater
		-											
	Total Stormwater & Drainage	73,793	15%		67,117	46,558	120,000	300,237	487,354	466,795	466,795	-	
Building													

Capital Works Detail

Glamorgan Spring Bay Council
Budget 2024-25

Dept	Capital Item	Cost YTD	% Cost Spent	Status	Carry Fwd Funds @ 30.6.24	Updated Carry Fwd Funds @ 30.6.24	Renewal Works	New Works	Budget 2024/25	Revised Budget 2024/25	Council Funded	External Funded	External Funding Source
	Heli-pad Swansea Emergency Services	-		withdrawn	103,245				103,245			-	Black summer bushfire recovery
	Coles Bay Hall Annexe	593,074	100%	complete	593,132	593,132			593,132	593,132	163,132	430,000	Community Infrastructure
	Public Amenities	-			100,000				450,000	-	-		State Government MOU
	Public Amenities - Harold Street Waste Water Facilities	43,674		complete		40,000	3,674			43,674	43,674		State Government MOU
	Public Amenities - Loo with a View	11,307		in progress		60,000			-	60,000	60,000	-	
	Bicheno Skate Park Toilet	18,952	18%	in progress				106,000	106,000	106,000	26,000	80,000	State Government MOU
	Toilet Raspins Beach OFMP	1,675	0%						415,000	-	-		Contribution POS
	Bicheno Surf Club and Toilet upgrade	-	0%				150,000	100,000	250,000	250,000	100,000	150,000	State community Grant
	Triabunna Rec Ground	30,169		in progress				100,000	100,000	100,000	100,000	-	
	Black water Bicheno relocation	-	0%				10,000		10,000	10,000	10,000		
	Triabunna Tomorrow New Amenities	-						50,000		50,000		50,000	State Government Grant
	Total Building	698,851	34%		796,377	693,132	163,674	356,000	2,027,377	1,212,806	502,806	710,000	
Marine Infrastructure													
	Saltworks Toilet	-	0	design	100,000	100,000			100,000	100,000	-	100,000	Community Infrastructure
	Saltworks Boat Ramp Upgrade	-	0	design	99,123	99,123			99,123	99,123	-	99,123	State Grant MAST
	Total Marine Infrastructure	-	0		199,123	199,123	-	-	199,123	199,123	-	199,123	
Sewerage													
	Swanwick Waste System Pump Upgrade	-	0	Not started			15,000	-	15,000	15,000	15,000		
	Total Sewerage	-	0%		-	-	15,000	-	15,000	15,000	15,000	-	
Plant Equipment & Other													
	IT Computer equipment	17,920	60%	In progress			30,000		30,000	30,000	30,000		
	CRM Software implementation costs	121	1%	complete			-	13,000	13,000	13,000	13,000		
	Office Equipment	-	0%				10,000		10,000	10,000	10,000		
	Waste Chipper	-	0%	quotes				250,000	250,000	250,000	125,000	125,000	Emergency Management State
	Waste Bulk Skip Bins	96,309	96%	complete				100,000	100,000	100,000	100,000		
	Emulsion Trailer	-	0%					43,000	43,000	43,000	43,000		
	Grader (low hrs)	427,630	102%	complete			420,000		420,000	420,000	420,000	-	
	Mower replace 2017 Mower JDeere Coles Bay	27,727	92%	complete			30,000		30,000	30000	30000		
	Small plant & Equipment	18,034	120%	complete			15,000		15,000	15,000	15,000		
	Truck 16t tipper replace 2008 Hino16t A85NU Swansea	-	0%	In progress			190,000		190,000	190,000	190,000		
	Truck 7.5t tipper w crane replace 2010 Hino 7t B79TI Bicheno	118,553	113%	complete			105,000		105,000	105,000	105,000		
	Ute Dual Cab 4wd replace Ute BT50 H92ME	90,174	180%	complete			50,000		50,000	50,000	50,000		
	Ute extra Cab 2wd replace Ute Dmax H40SF	-	0%				45,000		45,000	45,000	45,000		
	Wagon replace MUX I42CX Works	42,083	94%	complete			45,000		45,000	45,000	45,000		
	Wagon replace MUX I62BW Plumbing	39,796	88%	complete			45,000		45,000	45,000	45,000		
	Wagon replace Ute Dmax J30LP P&D	41,198	92%	complete			45,000		45,000	45,000	45,000		
	-	-											
	Total Plant Equipment & Other	919,547	64%		-	-	1,030,000	406,000	1,436,000	1,436,000	1,311,000	125,000	
Total Capital Works		4,433,230	51%		2,512,366	2,249,070	3,869,114	2,434,137	8,763,003	8,552,321	4,376,560	4,175,761	

Statement Account

633000 / 150657351

\$14,056.67

Available balance

\$14,056.67

Current balance

Activity

		Debit	Credit	Running balance
May 19, 2025	Rooke Productions Lt ROOKE hire fee		\$100.00	
May 16, 2025	TRIABUNNA TIVOLI THE Hall hire 31st May		\$25.00	
May 14, 2025	Direct Credit Aec 0407891306 / 008988		\$200.00	
May 12, 2025	Almighty Clean Servi Almighty Clean Inv C1612	\$147.00		
May 1, 2025	Triabunna Tivoli Th 0209663029 Triabunna Hall		\$25.00	
April 24, 2025	Rooke Productions Lt Venue Hire CAT 1 Nimble		\$100.00	
	EAST COAST REGIONAL East Coast Tourism venue hire>		\$30.00	
April 18, 2025	Greg Crump and Kerry Reimbursement KC Hall supplies	\$45.12		
	P Kirk and S Cockman Reimbursement expenses paid b>	\$1,031.07		
April 7, 2025	Almighty Clean Servi INV C 1606	\$147.00		
April 1, 2025	Triabunna Tivoli Th 0209663029 Triabunna Hall		\$25.00	
March 20, 2025	MISS DANIELLE CRACK Danielle Huppatz T1 dance hal>		\$700.00	
February 21, 2025	DAMIEN ALMOND ProMED INV-019		\$90.00	
January 20, 2025	S NETTLEFOLD Spring Bay Yoga 25 weeks hall>		\$250.00	
October 1, 2024	Interest		\$0.00	
August 6, 2024	Direct Credit Telstra Limited 0334231555 / Telh2000959814 N		\$90.00	
August 4, 2024	DAMIEN ALMOND INV-018 ProMED		\$90.00	
July 14, 2024	S NETTLEFOLD Hall Hire		\$250.00	

No more activity

Triabunna Community Hall - ABN
3 Vicary Street, Triabunna, Tasmania, 7190
E: admin@crpgroup.com.au M: 0428 875 665

Financials @ 1st July 2024 to 27th May 2025

CASH BASIS RECONCILIATION
BSB - 633-000
ACCT 150657351
TRIABUNNA COMMUNITY HALL

		Credit	Debit	Cash Float	Cash Balance
1st July	Balance carried Forward	13,451.86			
14th July	EFT Deposit S Nettlefold - Yoga Hall Hire 10 weeks	250.00			
4th Aug	EFT Deposit Damien Almond - ProMED - Hall Hire Inv 018	90.00			
6th Aug	EFT Deposit Telstra - Hall Hire	90.00			
1st Sept					
1st Oct					
1st Nov					
1st Dec					
20th Jan	EFT Deposit S Nettlefold - Yoga Hall Hire 10 weeks	250.00			
21st Feb	EFT Deposit Damien Almond - Hall Hire Inv 019	90.00			
20th March	EFT Deposit D Crack - Hall Hire 10 weeks	700.00			
1st April	EFT Deposit Triabunna Tivoli - ongoing	25.00			
7th April	Almighty Clean Service Inv C 1606		147.00		
18th April	G Crump & K Chaproniere Reimbursement		45.12		
18th April	P Kirk & S Cockman Reimbursement Gavan Barber		1,031.07		
24th April	East Coast Regional Hall Hire 30th April	30.00			
24th April	Rooke Productions Hall Hire 17th April	100.00			
1st May	Eft Deposit Triabunna Tivoli - Ongoing	25.00			
12th May	Almighty Clean Service Inv C 1612		147.00		
14th May	AEC Hall Hire 3rd May	200.00			
16th May	Triabunna Tivoli Hall Hire 31st May	25.00			
19th May	Rooke Productions Hall Hire 17th April DOUBLE PAYMENT	100.00			
		15,426.86	1,370.19	0.00	14,056.67 Running Bank Balance as at 27th May 2025

	Reimbursements/Expenses to pay	Debit	Balance	Notes
27th May	Double Payment ROOKE Productions	100.00		
		100.00	100.00	
	Income to Receive	Credit	Balance	Notes
		0.00	0.00	
			13,956.67	Accrued Balance

Profit and Loss

Glamorgan Spring Bay Council
Budget 2025-2026

Account	Budget 2025	Forecast 2025	Budget 2026
Trading Income			
Rate Revenue	13,871,977	13,852,217	14,543,079
Statutory Charges	691,962	683,854	703,968
User Charges	1,026,149	952,288	922,391
Grants	1,467,660	2,231,069	1,661,586
Interest & Investment Revenue	632,404	1,013,173	828,282
Contributions	330,000	424,433	270,000
Other Revenue	534,442	709,298	712,735
Total Trading Income	18,554,594	19,866,332	19,642,040
Gross Profit	18,554,594	19,866,332	19,642,040
Capital Grants			
Grants Commonwealth Capital - Other	2,662,443	1,001,381	1,169,426
Grants Commonwealth Capital - Roads to Recovery	497,000	521,415	641,741
Grants State Capital - Other	2,626,623	796,440	1,975,574
Total Capital Grants	5,786,066	2,319,236	3,786,741
Other Income			
Net Gain (Loss) on Disposal of Assets	201,200	78,281	50,000
PPRWS Reimbursement of Principal Loan	111,893	111,895	115,175
Total Other Income	313,093	190,176	165,175
Operating Expenses			
Employee Costs	5,496,864	5,736,490	5,949,486
Materials & Services	8,263,316	8,487,907	8,518,028
Depreciation	3,712,957	3,851,121	4,068,291
Interest	170,757	182,875	167,803
Other Expenses	237,860	238,148	299,913
Total Operating Expenses	17,881,754	18,496,540	19,003,520
Net Profit	672,840	1,369,792	638,520
Total Comprehensive Result (incl Capital Income)	6,771,999	3,879,204	4,590,436

Statement of Financial Position

Glamorgan Spring Bay Council

Budget 2025-2026

Account	30 June 2024	Forecast 2025	Budget 2026
Assets			
Current Assets			
Cash & Cash Equivalents	8,036,845	8,506,158	8,263,005
Trade & Other Receivables	2,871,261	2,871,261	2,871,261
Total Current Assets	10,908,106	11,377,418	11,134,266
Non-current Assets			
Investment in Water Corporation	33,872,244	33,872,244	33,872,244
Property, Infrastructure, Plant & Equipment	213,133,910	216,087,398	219,358,405
Total Non-current Assets	247,006,154	249,959,642	253,230,649
Total Assets	257,914,261	261,337,061	264,364,915
Liabilities			
Current Liabilities			
Trade & Other Payables	1,264,242	800,000	800,000
Trust Funds & Deposits	424,919	424,919	424,919
Provisions	721,295	750,868	781,654
Contract Liabilities	928,735	1,368,366	0
Interest bearing Loans & Borrowings	384,912	277,209	281,798
Total Current Liabilities	3,724,103	3,621,362	2,288,371
Non-current Liabilities			
Provisions	51,738	53,859	56,067
Interest Bearing Loans & Borrowings	5,434,693	5,157,483	4,875,685
Total Non-current Liabilities	5,486,431	5,211,342	4,931,752
Total Liabilities	9,210,534	8,832,704	7,220,123
Net Assets	248,703,727	252,504,356	257,144,792
Equity			
Current Year Earnings	4,941,530	3,879,204	4,590,436
Retained Earnings	94,892,905	95,493,182	95,100,638
Equity - Asset Revaluation Reserve	147,403,564	151,666,243	155,987,990
Equity - Restricted Reserves	1,465,727	1,465,727	1,465,727
Total Equity	248,703,727	252,504,356	257,144,792

Statement of Cash Flows

Glamorgan Spring Bay Council

Budget 2025-2026

Account	Actual 2024	Forecast 2025	Budget 2026
Operating Activities			
Rates	12,811,720	13,852,217	14,543,079
Statutory fees and fines	676,271	683,854	703,968
User Charges	856,891	952,288	922,391
Operating Grants	1,437,377	1,664,082	1,661,586
Contributions	802,747	424,433	270,000
Interest Received	432,637	516,373	414,282
Investment Revenue from Water Corporation	496,800	496,800	414,000
Other receipts	1,497,143	821,193	827,910
Payments to Employees	(4,944,661)	(5,704,795)	(5,916,492)
Payments to Suppliers	(7,123,945)	(8,952,149)	(8,518,028)
Other Payments	(204,060)	(238,148)	(299,913)
Finance Costs Paid	(207,722)	(182,875)	(167,803)
Net Cash Flows from Operating Activities	6,531,198	4,333,273	4,854,980
Investing Activities			
Proceeds from sale of property, plant and equipment	140,351	92,615	100,000
Payment for property, plant and equipment	(5,607,733)	(6,804,608)	(7,339,298)
Receipts from capital grants	1,343,076	3,325,855	2,418,375
Net Cash Flows from Investing Activities	(4,124,306)	(3,386,139)	(4,820,923)
Financing Activities			
Trust funds & deposits	18,852	0	0
Proceeds from/ repayment of long term loans	(1,767,274)	(384,914)	(277,209)
Net Cash Flows from Financing Activities	(1,748,421)	(384,914)	(277,209)
Net Cash Flows	658,471	562,220	(243,152)
Cash and Cash Equivalents			
Cash and cash equivalents at beginning of period	7,285,466	7,943,937	8,506,158
Cash and cash equivalents at end of period	7,943,937	8,506,158	8,263,005
Net change in cash for period	658,471	562,220	(243,152)

Capital Works Program
Glamorgan Spring Bay Council
Budget 2025-2026

Infrastructure	Details	Budget 2026	Carry Forward Amount	New Budget	Council funded	Grant Funded	New Asset	Renewal
Roads footpaths and kerbs								
Resheet Program	Unsealed roads	200,000		200,000	200,000			200,000
Pavement renewal Program		500,000		500,000	350,000	150,000		500,000
Reseal Program		700,000		700,000	200,000	500,000		700,000
Swansea	St Margarets Crt seal and kerb	30,000		30,000	30,000		30,000	
Fisheries Coles Bay	Concrete road corner	40,000		40,000	40,000		35,000	5,000
Triabunna Tomorrow Streetscapes year 2	Charles St to Esplanade Over 2 years	445,000	100,000	345,000		345,000	45,000	300,000
Footpath seal to bark mill	182 x 2.5	30,000		30,000	30,000		20,000	10,000
Footpath & disability compliance renewal Program		150,000		150,000	150,000			150,000
Gulch car park pavement rehabilitation		25,000		25,000	25,000			25,000
Morrison St Bicheno - cul de sac head		50,000		50,000	50,000		45,000	5,000
Cross St to Walpole install kerb	ahead of reseal program	40,000		40,000	40,000		40,000	
West Shelly cul-de-sac K&C	ahead of reseal program	65,000		65,000	65,000		65,000	
Kerb & Channel Renewal Program		100,000		100,000	100,000			100,000
Nailer Avenue top to Gamble Crescent	stage 1 of 4	60,000		60,000	60,000		55,000	5,000
design allocation	Ryans Road	100,000		100,000	100,000		50,000	50,000
contingency		40,000		40,000	40,000			40,000
		2,575,000	100,000	2,475,000	1,480,000	995,000	385,000	2,090,000
Bridges								
Wielangta pipe bridge	Bridge 53	100,000		100,000	100,000			100,000
Wielangta sandspit bridge overflow	Bridge 55	100,000		100,000	100,000			100,000
Redecking timber bridges		100,000		100,000	100,000			100,000
Duck Park Bridge		100,000		100,000	100,000			100,000
		400,000	-	400,000	400,000	-	-	400,000
Buildings								
Cranbrook Hall	Renew Roof (urgent)	15,500		15,500	15,500			15,500
Harold Street Reserve	Renew BBQ area in Harold Street	35,000		35,000	35,000			35,000
Muir's Beach Toilets	Feasibility study for failing toilet outflows	8,000		8,000	8,000			8,000
Toilet strategy works		320,000		320,000	320,000		20,000	300,000
Bicheno Hall	New Stage lighting	27,500		27,500	27,500		15,500	12,000
Bicheno Surf Club and Toilet Upgrade	Carry forward	250,000	250,000	-				
Triabunna Rec Ground	Carry forward - no matching grant funds as yet	70,000	70,000	-				
Triabunna Tomorrow New Amenities	Carry forward	50,000	50,000	-				
Swansea Football clubrooms	Needs a section of the roof to be re done (urgent)	57,500		57,500	57,500			57,500
Swansea Hall	floor re varnishing, in the main hall	8,000		8,000	8,000			8,000
Public Amenities	Marina Toilets and shower	300,000		300,000		300,000		300,000
Bicheno Lunch room facility	WHS compliance	35,000		35,000	35,000		35,000	
Triabunna Office carpet replacement		55,000		55,000	55,000			55,000
Buckland Blackwater upgrade		65,000		65,000	65,000		35,000	30,000
		1,296,500	370,000	926,500	626,500	300,000	105,500	821,000

Capital Works Program
Glamorgan Spring Bay Council
Budget 2025-2026

Infrastructure	Details	Budget 2026	Carry Forward Amount	New Budget	Council funded	Grant Funded	New Asset	Renewal
Storm water								
Pit and Pipe Renewal Program		200,000		200,000	200,000			200,000
Gordon St Bicheno stormwater	215 metres	80,000		80,000	80,000		40,000	40,000
Morrison St stormwater replacement	30m across road	30,000		30,000	30,000			30,000
49 Reheban Rd to West Shelley Beach Nautilus Detention Basin	carry forward all funds. Additional funds budgetted to pay for 50% of project - developer fundiung the rest, design and DA progressing.	200,000	200,000	-				
Nautilus Drive - increased funding	Council developer match funding	50,000		50,000	50,000		50,000	
SQID program	TBC	25,000	25,000	-				
		585,000	225,000	360,000	360,000	-	90,000	270,000
Parks & Reserves (public open space)								
Playground renewal & upgrade		200,000		200,000	200,000			200,000
Playground Bicheno Lions Park		90,000	90,000	-				
Orford Foreshore Masterplan		218,400	218,400	-				
Our Precinct Plan		10,000	10,000	-				
FAI Coles Bay History Plaques	10 plaques	12,000		12,000	12,000		12,000	
Coles Bay Dump Point	co-locate	65,000		65,000		65,000	65,000	
Deck/Boardwalk renewal outside loo with a view	deck needs renewing	85,000		85,000	85,000			85,000
NRM - Saltwater creek clearing (Operational?)		-		-				
Bicheno Triangle		620,190	620,190	-				
Barbecue replacement program	spring beach plus others	75,000		75,000	75,000			75,000
Bicheno Skate Park	BBQ shelter	45,000		45,000	45,000			45,000
		1,420,590	938,590	482,000	417,000	65,000	77,000	405,000
Sewer								
Swanwick Waste System Pump Upgrade	Carry forward	15,000	15,000	-				
		15,000	15,000	-	-	-	-	-
Marine Infrastructure								
Lighting Bicheno Boat Ramp	2 light poles S/E side of ramp	23,085		23,085		23,085	23,085	
Marina	Renew 6 Piles	54,000		54,000	54,000			54,000
Saltworks Boat Ramp Upgrade	Carry forward	99,123	99,123	-				
		176,208	99,123	77,085	54,000	23,085	23,085	54,000

Capital Works Program
Glamorgan Spring Bay Council
Budget 2025-2026

Infrastructure	Details	Budget 2026	Carry Forward Amount	New Budget	Council funded	Grant Funded	New Asset	Renewal
Plant & Equipment								
		30,000		30,000	30,000			30,000
		37,000		37,000	37,000		37,000	
		10,000		10,000	10,000			10,000
		40,000		40,000	40,000			40,000
		60,000		60,000	60,000			60,000
	5 x 40m3 bins	100,000		100,000	100,000		100,000	-
		48,000		48,000	48,000			48,000
		50,000		50,000	50,000			50,000
		20,000		20,000	20,000			20,000
	save on rental of secure shed	9,000		9,000	9,000		9,000	-
		48,000		48,000	48,000			48,000
		200,000		200,000	200,000			200,000
		37,000		37,000	37,000			37,000
		32,000		32,000	32,000			32,000
		130,000		130,000	130,000			130,000
		20,000		20,000	20,000			20,000
		871,000	-	871,000	871,000	-	146,000	725,000
Grand Totals		7,339,298	1,747,713	5,591,585	4,208,500	1,383,085	826,585	4,765,000



RATES RESOLUTION 2025-2026

1 GENERAL RATE

1.1 GENERAL RATE

Pursuant to Section 90 and 91 of the *Local Government Act* 1993 (here referred to as the “**Act**”), Council makes the following general rate for **all rateable land** (excluding land which is exempt pursuant to the provisions of Section 87) within the municipal area of Glamorgan Spring Bay for the period commencing 1 July 2025 and ending 30 June 2026; which consists of:

- (a) a General Rate of 4.978896 cents in the dollar of the assessed annual value (here referred to as “**AAV**”); and
- (b) a fixed charge of \$436

1.2 Pursuant to Section 107(1)(a) and (b) of the Act, by reason of use or predominant use of the land or non use of the land, namely:

- (a) For land within the municipality which is used or predominantly **used for residential purposes.**
- (b) For land within the municipality which is used or predominantly **used for sport and recreation purposes.**

Council declares by absolute majority that component (a) of the general rate in clause 1.1 is varied by decreasing it by 0.829816 cents in the dollar to 4.149080 cents in the dollar of the AAV of the land.

1.3 Pursuant to Section 107(1)(a) and (b) of the Act, by reason of use or predominant use of the land or non use of the land, namely:

- (a) For land within the municipality which is used or predominantly **used for commercial purposes.**
- (b) For land within the municipality which is used or predominantly **used for industrial purposes.**
- (c) For land within the municipality which is used or predominantly **used for public purposes.**
- (d) For land within the municipality which is **zoned for commercial purposes** but which is not used for commercial purposes (i.e. vacant commercial).

Council declares by absolute majority that component (a) of the general rate in clause 1.1 is varied by increasing it by 4.058704 cents in the dollar to 9.03760 cents in the dollar of the AAV of the land.

2 SERVICE RATES AND CHARGES

2.1 WASTE MANAGEMENT SERVICE CHARGE

Pursuant to Section 94 of the Act, the Council makes the following service charges for waste management for rateable land within the municipal area of Glamorgan Spring Bay for the period commencing 1 July 2025 and ending 30 June 2026, namely:

- (a) A general waste management charge of \$182.00 for all rateable land; and
- (b) A charge of \$190.00 for all land that receives a residential waste collection service provided by Council; and
- (c) A charge of \$424.00 for all land that receives a commercial waste collection service provided by Council.



2.2 STATE FIRE COMMISSION RATE

(a) Pursuant to sections 93 and Section 93A of the Act, Council makes the following fire protection service rates in respect of the fire service contributions it must collect under the Fire Service Act 1979 for the period commencing 1 July 2025 and ending on 30 June 2026, as follows:

Rural Rate	0.2320080 cents in the dollar of AAV
Urban Rate	0.2466500 cents in the dollar of AAV

(b) Pursuant to Section 93(3) of the Act, Council sets a minimum fire service contribution payable in respect of this service rate of \$50.00.

2.3 SWANWICK WASTEWATER SYSTEM CHARGE

Pursuant to Section 100 of the Local Government Act 1993, by absolute majority, makes the following charge for the Swanwick Wastewater System for properties with a connection point to the system in Swanwick for the period commencing 1st July 2025 and ending 30th June 2026, namely:

(a) A charge of \$584.60 for all properties with a connection point to the Swanwick wastewater treatment system managed by Council.

3 SEPARATE LAND

For the purposes of these resolutions the rates and charges shall apply to each parcel of land, including land referred to as Tenancies, which is shown as being separately valued in the valuation list prepared under the Valuation of Land Act 2001.

4 ADJUSTED VALUES

For the purposes of each of these resolutions any reference to assessed annual value or AAV includes a reference to that value as adjusted pursuant to Section 89 and 89A of the Act.

5 PAYMENT OF RATES AND CHARGES

Pursuant to Section 124 of the Act, for the period commencing 1 July 2025 and ending 30 June 2026, Council:

- (a) Decides that all rates and charges payable to Council shall be payable by four (4) instalments which must be of approximately equal amounts.
- (b) Determines that the dates by which instalments are to be paid shall be as follows:
 - (i) The first instalment must be made on or before the 31st of August 2025;
 - (ii) The second instalment must be made on or before the 30th of November 2025;
 - (iii) The third instalment must be made on or before the 28th of February 2026; and
 - (iv) The fourth instalment must be made on or before the 30th of April 2026.
- (c) If a ratepayer fails to pay any instalment within 21 days from the date on which it is due, the ratepayer must pay the full amount owing.

6 PENALTY AND INTEREST

Pursuant to Section 128 of the Act, if any rate or instalment is not paid on or before the date it falls due, there is payable a daily interest charge of 0.028227% (10.303% per annum) in respect of the unpaid rate or instalment for the period during which it is unpaid.

7 WORDS AND EXPRESSIONS

Words and expression used in this resolution and in the Local Government Act 1993 or the Fire Services Act 1979 have in these resolutions the same respective meanings as they have in those Acts.

(a) "the act" means the Local Government Act 1993 (TAS).



- (b) "land" means land as defined in Section 86 of the Act.
- (c) "rateable land" is the land referred to in Section 87(1) of the Act.
- (d) "Tenancies" means any land in relation to which the Valuer-General has separately determined assessed annual values having regard to occupation or construction of the land or improvement or structural alterations made in it.





FEES AND CHARGES REGISTER

2025/2026

Adopted: 27 May 2025
Minute No. 103/25

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ADMINISTRATIVE FEES

Type	Unit	2025-2026
Photocopying - Black and White A4	per page	\$0.16
Photocopying - Black and White A3	per page	\$0.42
Photocopying – Colour A4	per page	\$0.63
Photocopying – Colour A3	per page	\$1.43
Search and copy of permit and plans	per application	-\$140 \$61
Road Closure Fee	Fee + cost of advertisement	\$61 \$140 + cost of advertisement

MARINE INFRASTRUCTURE FEES

Type	Unit	2025-2026
Marina Berth - Private use Fixed Jetty	per year	\$4,714
Marina Berth- Private use Floating Pontoon	per year	\$5,908
Marina Berth - Commercial Tour Floating Pontoon (Single phase)	per year	\$5,908
Marina Berth - Commercial Fishing Floating Pontoon (Three phase)	per year	\$6,222
Marina Berth – Eco Berth	per year	\$1,446
Marina Berth floating or fixed – Casual Rate (Daily)	per day	\$52
	per week	\$190
	per month	\$604
Marina Berth - Eco - Casual Hire	per day	\$28
	per week	\$73
	per month	\$218
Fisherman's Wharf Fee < 18m length	Annual	\$1,735
Fisherman's Wharf Fee boats >18m length	Annual	\$2,602
Fisherman's Wharf – Casual Rate	per day	\$52
	per week	\$190
	per month	\$629
Fisherman's Wharf – Unloading Fee	each	\$76
Fisherman's Wharf – Cleaning Fee (When required)	each	\$101
Use of Single phase power at wharf - Per connection	up to 24 hours	\$21
Use of Three Phase Power - Per connection	up to 24 hours	\$39
Maintenance work on vessels at wharf	per day	\$101
	per week	\$629

WASTE MANAGEMENT TRANSFER STATION FEES

Type	Unit	2025-2026
General waste (min \$5)	per cubic meter	\$31
Compactor Vehicle	per cubic meter	\$45
Recyclable materials	-	no charge
Metals / Oils / Batteries	-	no charge

Mattresses	Per unit	\$27
Greenwaste:		
Car boot load	each load	\$8
Utility tub tray / flat tray	each load	\$13
Trailer single axle (no cage)	each load	\$13
Trailer single axle (with cage)	each load	\$19
Trailer double axle (no cage)	each load	\$19
Trailer double axle (with cage)	each load	\$29
Loads larger than above	per cubic meter	\$11
Tyre disposal:		
Car	per tyre	\$19
Small truck/4WD	per tyre	\$22
Large truck	per tyre	\$29

CEMETERY FEES

Type		Unit	2025-2026
Plot Reservation Certificates – Right of Burial for 25 years		each	\$350
Niche Wall Allocation		each	\$275
Niche Wall Plaque installation		each	\$175
Old / Lawn Section burials	(Contractor service)	each	POA
Children – max coffin size 1350mm x 450mm	(Contractor service)	each	POA
Re-open Fee (Old / Lawn section)	(Contractor service)	each	POA
Burials outside working hours (additional charge)	(Contractor service)	each	POA

PRIVATE WORKS FEES

Type		Unit	2025-2026
Labour	subject to availability and competitive options	hr	\$102.00
Grader Hire	subject to availability and competitive options	hr	\$125.00
Project scope	Price on application	scope	POA

PLANNING AND DEVELOPMENT FEES

Type	Unit	2025-2026
Basic Fee	Each	\$159
Base Application Fee (Required for to all applications) Value of Works	\$0 - \$100,000	\$170
	\$100,001 - \$749,999	\$847
	\$750,000 - \$1,499,999	\$1,582
	\$1,500,000+	\$1,900

Scaled Assessment Fee (Applicable to All Applications)		
For every \$1,000 value of work where value of work is	>\$25,000	\$2.00
Discretionary Assessment Fee		
For all discretionary applications	each	\$207
Subdivision Assessment Fee		
Minor boundary adjustment	each	\$184
Base fee	each	\$892
New lot assessment fee (per lot)	each	\$75
Sealing of Final Plan		
Base fee	each	\$526
Lot assessment fee	each	\$70
Public Notification Fee		
For all discretionary applications	each	\$509
For planning scheme amendment & level 2 activities	each	\$1,329
Minor Amendment Fee		
Permitted Application	each	\$159
Discretionary Application	each	\$317
Planning Scheme Amendment (Note: Application assessment fees & TPC fee also payable in addition)		
Assessment Fee	each	\$16,283
Extensions of time		
Extension of 2-year substantial commencement	each	\$157
Developer Contribution Fee		
Cash in lieu of car parking	each	Per Policy = (cost of land + construction cost) x 0.5
Part 5 Agreements		
Execution of Part 5 Agreement	each	\$545
Or if required by Planning Permit	each	\$364
Region Land Use Strategy		
Request to amend Regional Land Use Strategy	each	\$3,318
Specialist Assessment of DA Required		
EIA or specialist study to be assessed by suitably qualified person not contained within Council (e.g. archaeologist). Actual amount charged shall be paid by applicant in addition to applicable fee.	each	Cost of the peer review study + 15% administration fee
Development Engineering		
Plan assessment & inspection	each	1% of certified value of work, minimum \$500
Re-inspection fee		\$218

Review of updated drawings fee	per set	\$284
Permit fee - conduct an activity or any work within a council road/street	each (Domestic)	\$143
	each (Commercial)	\$199
Stormwater connection and inspection fee	each (Kerb or pit connection)	\$1,243
	each (Drain)	\$284
Infrastructure protection bond (Protection of existing footpaths, kerbs etc)	each	POA
Contribution fee for WSUD (per lot)	each	\$2,033
Strata Title Act 1998		
Strata title and Strata scheme assessment	per lot	\$526 plus \$70 per lot
All other Strata Title Act 1998 applications		\$364
Petitions to Amend Sealed Plan		
With written support of all interested parties	each	\$389
Without written support of all interested parties	each	\$751
Hearing fee	each	\$630 plus Council's legal costs at cost
Miscellaneous Fee for LUPAA or LGBMP applications		
Miscellaneous		\$526
For Retrospective Approval		
For all retrospective applications	each	Plus 100% of the applicable fee

BUILDING FEES

Type	Additional Information	Unit	2025-2026
Building Works under \$19,999 - Class 1, 10, 1 & 10	Application for a Building Permit, Demolition Permit, Permit of Substantial Compliance and Certificate of Completion for all classes.	per application	\$339
Building Works \$20,000 and over for Class 1, 10, 1 & 10	Application, assessment and completion certificate for a Building Permit, Demolition Permit and Permit of Substantial Compliance for the following classes:		
	• Class 1 / Classes (1 and 10)	per application	\$521
	• Class 10	per application	\$330
	• Multi-Unit Development (2 or more separate units)	per application	\$521
Building Permit (Class 2-9)	Application for a Building Permit, Demolition Permit, Permit of Substantial Compliance and Certificate of Completion.	per application	\$640
Staged Building Permit	Stage 1	Each stage	\$265

	Stage 2		
	Stage 3		
	Stage 4		
Notifiable Building Works	Lodgement, assessment, associated correspondence and record keeping.	per application	\$339
Amended CLC/ drawings		each drawing	\$199
Extension to building permit / Notifiable approval		per application	\$134
Building Certificate		per application	\$593
Temporary Occupancy Permit Admin Fee		each permit	\$79
Minor works notification form		per application	\$78
For all retrospective applications		each	Plus 100% of the applicable fee

PLUMBING FEES

Type	Additional Information	Unit	
Plumbing - Building Works under \$19,999 - All classes	Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments	per application	\$390
Plumbing - Building Works \$20,000 and over (Classes 1, 10 and multi-unit development)	Class 10 - Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments.	per application	\$547
	Class 1 or Classes 1 and 10 - Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments	per application	\$995
	Class 1 or Classes 1 and 10 with an Onsite Wastewater Management System - Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments	per application	\$1,417

	Multi-unit development	2 Units	\$1,417
		Additional unit	\$1,130
Plumbing - Building Works \$20,000 and over (Classes 2 -9)	Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments	per application	\$1,130
	With an Onsite Wastewater Management System - Application for Certificate of Likely Compliance - Notice of Work, Application for Permit - Plumbing Work, assessment, and Certificate of Completion for all classes. Also includes additions, alterations, and amendments	per application	\$1,694
Permit Authority Completion Certificates	<ul style="list-style-type: none"> Building & Demolition Plumbing 	each application	\$134
Site inspection		per 0.5 hour	\$134
Amended drawings		each drawing	\$199
Temporary Occupancy Permit Admin Fee		Each permit	\$75
Extension to plumbing permit		per application	\$134
Permit of Substantial Compliance		each	\$561
For all retrospective applications		each	Plus 100% of the applicable fee

ENVIRONMENTAL HEALTH

Type	Unit	2025-2026
Food Business Registration Fees		
Temporary Food Registration	per event	\$36
Temporary Food Registration local community (non profit organisation)	per event	FREE
Classification Priority 1	per license	\$322
Classification Priority 2	per license	\$243
Classification Priority 3	per license	\$165
Classification Priority 3 (notify only)	one off fee	\$36
Classification Priority 4 (notify only)	one off fee	\$36
Not for profit (Sporting & Community Groups, Charities etc)	per license	Free
Assessment of Plans for Commercial Kitchen (Form 49)	per assessment	\$268
Inspection and Occupancy Report for commercial kitchen (Form 50)	per report	\$268

Miscellaneous Health Fees		
Place of Assembly License – specific event	each license	\$97
Place of Assembly License – specific event (local community non-for-profit organisation)		FREE
Swimming pools/spas samples (request /non investigative)		Cost of analysis + \$167/hr or part there-of
Commercial Water Carriers Permit	for one year	\$97
Regulated system registration-new	each	\$122
Public Health Risk Activities (tattooists, skin penetration)– Business application and renewal	each	\$97
Public Health Risk Activities (tattooists, skin penetration)– Operator application and renewal	each	\$58
Private Water Supplier Permit	each	\$97
Caravan License	each	\$281
Permit for burial of human remains on private land	each	\$207

DOG MANAGEMENT FEES

Type	Unit	2025-2026
Non-Desexed Dog	per animal	\$70
Desexed dog	per animal	\$35
Working dogs (which is kept for the purpose of working stock)	per animal	\$35
Dog owned by a pensioner (one desexed dog only)	per animal	\$13
Declared dangerous dog & Restricted Breeds	per animal	\$544
Registered guide dog/assistance dog	per animal	FREE
Replacement tag	per tag	\$10
Release of dog from pound 1 st offence	per release	\$50
Release of dog from pound 2 nd and subsequent offences	per release	\$184
Daily maintenance charge whilst impounded	per day	\$50
Dog Nuisance Complaint Fee (refundable upon confirmation)	per complaint	\$145 \$54
Kennel Licence – New	per licence	\$54 \$145
Kennel Licence – Renewal	per licence	\$45



DELEGATIONS REGISTER

Adopted: 29 April 2025

Minute No. 92/25

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DELEGATION

A Council, in writing, may delegate with or without conditions to the General Manager, any of its functions or powers under any Act.

S.22 Local Government Act 1993 (subject to restrictions).

The General Manager, in writing, may delegate to an employee of the Council

- (a) any functions or powers under any Act, other than this power of delegation; and*
 - (b) any functions or powers delegated by the Council which the Council authorised the General Manager to delegate.*
-

S.64 Local Government Act 1993.

If an Act confers a power on a person to delegate a function or power, the person may, in accordance with the Act, delegate the function or power to

- (a) a person by name; or*
 - (b) the holder of a particular office or position by reference to the title of the office or position concerned, whether or not the office or position is vacant at the time of the delegation.*
-

S.23AA(1) of the Acts Interpretation Act 1931.

If a function or power is delegated to a particular officer or the holder of a particular office or position

- (a) the delegation does not cease to have effect merely because the person who was the particular officer or the holder of the particular office or position when the function or power was delegated ceases to be that officer or the holder of that office or position; and*
 - (b) the function or power may be performed or exercised by the person for the time being occupying or acting in the office or position concerned.*
-

S.23AA(5) of the Acts Interpretation Act 1931.

A function or power that has been delegated may, notwithstanding the delegation, be exercised by the delegator.

S.23AA(6) of the Acts Interpretation Act 1931.

Pursuant to the powers of the *Local Government Act 1993* the Council hereby delegates the exercise and performance of the following functions and powers to the General Manager and/or an Officer/employee of Council on the following conditions:

- I Each delegation is subject to the conditions or restrictions (if any) referred to in the table to this delegation.
 - II Each delegation is subject to such policies, policy guidelines and directions as the Council may from time to time approve.
 - III Each delegation is subject to Council's By-laws or the provision of any Act.
 - IV Each delegation includes any person acting in the delegated positions.
-

For and on behalf of the Glamorgan Spring Bay Council

The Glamorgan Spring Bay Council pursuant to a resolution of Council Number 92/25 dated 29 April 2025 hereby approved these delegations.

Signed on the 29 April 2025

Clr Cheryl Arnol
MAYOR

Peter Porch
ACTING GENERAL MANAGER

1. ARCHIVES ACT 1983

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.10(1)	Preservation of State Records Council is to keep proper records of the business of the local authority for which that relevant authority is responsible.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
2	S.11	Transfer of State records to Archives Office Council is to transfer state records to archives office.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
3	S.15(3)	Conditions may be imposed on the making of State archives available for public inspection.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council

2. BIOSECURITY ACT 2019

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.31(1)(b)	Appointment of authorised officer	The Secretary of the Department may appoint an employee of a council to be an authorised officer for the purpose of the Biosecurity Act.	<ul style="list-style-type: none"> To authorised Officer 	The Secretary of the Department

3. BIOSECURITY REGULATIONS 2022

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	R.25	Payments to Council of Public Account (1) Any payments made in respect of an infringement notice – (a) are payable to a council, if the notice was served by an authorised officer who is an employee of the council; ... (2) A council may charge a person a fee for – (a) the provision by the council to the person of any information requested by the person from the council under the Act; or (b) the carrying out of any inspection, analysis or other function under the Act in respect of the person by an authorised officer who is an employee of the council.	Reg. 25(3) A fee charged under subregulation (2) is – (a) to be no more than is necessary to cover the reasonable costs and expenses incurred in connection with the provision of information, or the inspection, analysis or other function that was carried out by the authorised officer under the Act in respect of the person; and (b) recoverable in a court of competent jurisdiction as a debt due and owing to the council.	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Authorised Officer 	<ul style="list-style-type: none"> • Council

4. BUILDING ACT 2016

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.27(3) & (4)	Records of Permit Authority Make information retained pursuant to S.27(2) available to the persons specified in S.27(3), and to provide a copy of that information upon payment of a fee	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer • Compliance Coordinator • Compliance Officer • Plumbing Surveyor 	<ul style="list-style-type: none"> • Council
2	Part 6	Protection Work Take all steps required to be taken in relation to protection work and insurance cover in circumstances where the Council is either the owner of the premises where building work, plumbing work or demolition work will be carried out, or the responsible person for that work.	Excludes the ability to pay or agree to pay compensation pursuant to s.89	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Senior Environmental Health Officer • Plumbing Surveyor 	<ul style="list-style-type: none"> • General Manager

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
3	Part 6	Notice of proposed Protection Work Take all steps required to be taken in relation to protection work and insurance cover in circumstances where the Council is the owner of an adjoining premises to a premises where building work, plumbing work or demolition work will be carried out.	Excludes the ability to pay or agree to pay compensation pursuant to S.89.	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Senior Environmental Health Officer • Plumbing Surveyor 	<ul style="list-style-type: none"> • General Manager
4	S.244	Revocation of notices A person who issued a notice under this Division may revoke the notice if satisfied that it is appropriate to do so after.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager
5	S.265(3) & (4)	Failure to comply with emergency, building or plumbing order Perform works where there has been failure to comply with an emergency, building or plumbing order, including the power to: a) Enter on the land where the work is to be done with the appropriate equipment; and b) Exclude other persons from the place where the work is being done; and c) If anything is to be altered, determine the form of the alteration so far as it was not previously specified; and d) If anything is to be taken down, demolished or removed, determine in what condition the remainder is to be left; and e) Carry away to some convenient place any materials removed; and f) Sell any materials so carried away and deduct the proceeds from the cost of the work.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Senior Environmental Health Officer • Plumbing Surveyor 	<ul style="list-style-type: none"> • Council
6	S.266	Possession of building Take proceedings to obtain possession of a building or temporary structure if any occupier fails to allow any person to do work pursuant to S.265.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council
7	S.269	Recovery of performance costs If a person fails to perform the work required by any order under this Part within a specified time, the council may enter land or a building and perform the required work and may recover its expenses as a charge on the land and recoverable as if it were rates or charges under the <u>Local Government Act 1993</u>	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Director of Corporate & Communication • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
8	S.271(1)	Purchasing buildings and materials Councils may sell a building for removal or after demolishing a building, sell the materials on the premises for removal.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
9	S.271(2)	Purchasing buildings and materials Grant the purchaser of a building sold pursuant to S271(1) all of the powers Council has under S.265.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Council
10	S.271(6)	Purchasing buildings and materials Authority to pay, on behalf of the Council, the owner of the building or materials sold under subsection (1) the balance of any proceeds of the sale after deducting any reasonable expenses incurred by it.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
11	S.310	Prosecution of offences Proceedings for an offence against this Act or the regulations are to be commenced by an authorised person within the period of 2 years from the date on which evidence of the alleged offence first came to the attention of any authorised person.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Compliance Coordinator Compliance Officer Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager

5. BUILDING REGULATIONS 2016

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	R.43(1)	Plumbing work involving network utility operator's stormwater drainage systems A person must not perform plumbing work unless written consent to do so has been obtained from the relevant network utility operator.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Director of Works & Infrastructure Development Engineer Works Manager Plumbing Surveyor 	<ul style="list-style-type: none"> Council
2	R.43(3)	Plumbing work involving network utility operator's stormwater drainage systems If not satisfied that a stormwater drainage system is sealed in accordance with the Act, enter the premises and perform any work necessary.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Director of Works & Infrastructure Works Manager Senior Environmental Health Officer Plumbing Surveyor 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
3	R.43(5)(a)	Plumbing work involving network utility operator's stormwater drainage systems Recover costs as a charge under the <i>Local Government Act 1993</i> .	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Works Manager Senior Environmental Health Officer Plumbing Surveyor 	<ul style="list-style-type: none"> Council
4	R.53	Riverine inundation Assessment of land as having a reasonable probability of flooding.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Development Engineer 	<ul style="list-style-type: none"> Council
5	R.78(3)	Permit authorities may perform maintenance work Recover costs as a charge under the <i>Local Government Act 1993</i> .	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development 	<ul style="list-style-type: none"> Council

6. BURIAL AND CREMATION ACT 2019

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
CEMETERIES					
1		COUNCIL AS CEMETERY MANAGER The Council delegates the following functions and powers of the Council in its capacity as cemetery manager pursuant to the <i>Burial and Cremation Act 2019</i> (except the setting of fees), to the General Manager and authorises the General Manager to delegate those functions and powers.	The ultimate responsibility for the cemetery will remain with the Council, as cemetery manager.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council
2	S.29(1)(c)	Interment otherwise than in cemetery The General Manager's written permission (and the landholder's and Director of Public Health) is required to inter human remains otherwise than in a cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager
3	S.29(4)	Interment otherwise than in cemetery The General Manager must ensure Council keep a record of the proposed interment and ensure it is included on any S.337 LGA certificate issued by Council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager
4	S.29(5)	Interment otherwise than in cemetery Permission given by the General Manager under S.29(1)(c) may be subject to any conditions necessary to ensure that the proposed interment will not be prejudicial to public health or public safety.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager
5	S.32 (1)	Approval of persons as cemetery manager A person must not manage a cemetery unless – (a) the person has been approved under this section to be the cemetery	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		manager for the cemetery; or (b) the person is deemed under this Act to be the cemetery manager for the cemetery.			
6	S.34(1)	Duties and powers of cemetery managers Keep a cemetery in accordance with the Act so as not to be prejudicial to public health or public safety.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • General Manager
7	S.34(2)	Duties and powers of cemetery managers Ensure that as far as reasonably practicable the cemetery is maintained to prevent it from falling into disrepair, or from being defaced or damaged. Rectify and disrepair or defacement as soon as possible.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
8	S.34(4)	Duties and powers of cemetery managers Keep all prescribed records (as per 2002 Act – see Schedule 1 Part 2).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager • Records Officer 	<ul style="list-style-type: none"> • General Manager
9	S.34(5)	Duties and powers of cemetery managers Permit any person access free of charge at any reasonable time.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
10	S.34(7)	Duties and powers of cemetery managers A cemetery manager may a) Improve, embellish and enlarge a cemetery under the management of that manager; and b) Restrict interments in any portion of the cemetery, except as may be required by an exclusive right of burial; and c) Take any other action as may be required for the reasonable management and maintenance of the cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
11	S.36 (1)	Cemetery managers to ensure application of revenue of cemeteries A cemetery manager must make adequate provision, out of any revenue received in respect of each cemetery for which he or she is the cemetery manager, for the purposes of – (a) defraying the cost of its establishment or acquisition, including interest and such amount as the manager thinks proper for administrative expenses; and (b) the maintenance, management and improvement of the cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Director of Corporate & Communication • Works Manager 	<ul style="list-style-type: none"> • General Manager
12	S.39(1)	Monuments, &c. The cemetery manager may permit any vault or grave to be made or dug, and any monument to be erected or placed, in any portion of the cemetery on payment of the fee which has been fixed for doing so.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Director of Corporate & Communication • Works Manager 	<ul style="list-style-type: none"> • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
13	S.39(2)	Monuments, &c. The cemetery manager may determine the position of any monument to be erected or placed according to its description, size and character and having regard to the general plan for ornamenting the cemetery in an appropriate manner.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
14	S.39(3)	Monuments, &c. The cemetery manager may enter into an agreement for the maintenance of a vault, grave or monument.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
15	S.40(1)	Requirement to remove monuments The cemetery manager may provide notice to require a person to take down or remove a monument or to render it safe, if a monument has been erected or placed contrary to the terms and conditions on which the permission to erect or place it was granted or, in the opinion of the cemetery manager, it is unsafe.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
16	S.40(3)(c)	Removal of certain monuments in cemeteries To make enquiries to find a person who erected or placed a monument.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
17	S.40(3)(d)	Removal of certain monuments in cemeteries Render the monument safe or take the monument down and remove.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
18	S.40(3)(e)	Removal of certain monuments in cemeteries Recover in a court the reasonable cost of rendering the monument safe or taking a monument down and removing it.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
19	S.40(6)	Removal of certain monuments in cemeteries Provide notice of the removal of a monument and arrange for it to be re-erected if there is an agreement pursuant to S.40(4) which meets the requirements of the Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
20	S.41(2)	Exclusive right of burial Grant an exclusive right of burial. Note: The cemetery manager must issue a certificate of exclusive right under the <i>Burial and Cremation Regulations 2015</i> R.37.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
21	S.42(2)	Notification of possible cemeteries The General Manager of a Council is to notify the regulator as soon as practicable after becoming aware land within municipal area is a cemetery or contains more than one monument and is not covered by an entry in the register (S.14).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
22	S.52(1)(a)	Sale of Cemetery – Notice Cemetery manager must publish notice of intention (in prescribed form see S.52(2)) to sell cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
22	S.52(1)(b)	Sale of Cemetery – Notice to Exclusive right holders Cemetery manager must notify in writing each person who holds exclusive right of burial or other exclusive write of intention to sell cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
24	S.52(1)(c)	Sale of Cemetery – Certificate of Compliance Cemetery manager must apply for certificate of compliance in respect of proposed sale.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
25	S.53	Sale of Cemetery – Audit Cemetery manager must ensure audit undertaken within 6 months of issue of notice of intention to sell.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
26	S.57	Notification of decision to not sell cemetery If cemetery manager, having given notice, decides not to sell cemetery they must notify regulator.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
27	S.58(1)	Cemetery disclosure document Cemetery manager must provide disclosure document to proposed purchaser.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
28	S.61	Notification to purchase cemetery If Council purchases a cemetery it must give notice to the regulator of the transfer within 30 days of it occurring.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
29	S.63	Closure of cemeteries for reasons of public health or public safety The general manager may give notice to cemetery manager that the whole or portion of cemetery is to be closed.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • General Manager
30	S.64	Intention to close (no interments for 50 years +) – notice/apply The cemetery manager must give notice of intention to close and apply to regulator for approval.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
31	S.65(1)(a)	Intention to close cemetery (no interments for 50 years +) If the regulator approves the closure the cemetery manager must notify the holder of exclusive rights.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager
32	S.65(1)(b)	Close cemetery (no interments for 50 years+) On receipt of notification from the regulator of approval to close the cemetery, the cemetery manager may close the cemetery.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
33	S.66	Effect of closure of cemetery Cemetery manager must forward all records to the State archivist and may take steps in relation to altering or moving tombstones in accordance with this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
34	S.67	Exclusive rights of burial in closed cemetery Cemetery manager must enter into an agreement with a person who holds an exclusive right of burial in a closed cemetery, and take action as agreed and prescribed in this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
35	S.68	Actions by cemetery manager in closed cemeteries The cemetery manager may apply to the regulator for approval to lay out a closed cemetery as a park or garden, and take related steps.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
36	S.70	Removal of grave etc or human remains in closed cemeteries A cemetery manager must not remove a grave etc or human remains from a closed cemetery without giving public notice and preparing a statement prescribed in this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
37	S.71	Application to reduce time to take action in closed cemetery A cemetery manager may apply to take action under S.66 or S.68 even though 100 years has not passed.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
38	S.72	When land ceases to be cemetery Council can sell land that has ceased to be a cemetery but must comply with this section in relation to persons who hold an exclusive right of burial	No authority for the General Manager to sub-delegate	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
39	S.72(6)	When land ceases to be cemetery A cemetery manager must notify regulator after dealing with land under this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
40	S.73	Declaration land is not a cemetery If Council intends to sell land subject to a declaration under this section it must notify the prospective purchaser of matters specified in this section.	No authority for the General Manager to sub-delegate	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
CREMATORIA					
41	S.82	Closure of crematorium – public health or public safety The general manager may give notice that a crematorium is to be closed on a particular date if prejudicial to public health or safety.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Senior Environmental Health Officer 	<ul style="list-style-type: none"> General Manager
42	S.84	Monuments containing cremated remains The person in charge of the monument must give notice of intention to remove and comply with other obligations under this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
43	S.85	Granting of exclusive rights in relation to monuments The person in charge of a monument may grant exclusive rights to place cremated remains in that monument in accordance with this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
44	S.86	Closure of monument The person in charge of a monument to be closed must grant a holder of exclusive rights in the monument exclusive rights in another monument.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager

7. BURIAL AND CREMATION REGULATIONS 2015

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
CEMETERIES					
1		COUNCIL AS CEMETERY MANAGER The Council delegates the following functions and powers of the Council in its capacity as cemetery manager pursuant to the <i>Burial and Cremation Act 2019</i> (except the setting of fees), to the General Manager and authorises the General Manager to delegate those functions and powers.	The ultimate responsibility for the cemetery will remain with the Council, as cemetery manager.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
2	R.27	Issue of certificate of exclusive right of burial The cemetery manager must issue a certificate of exclusive right of burial.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
3	R.28	Amendment of certificate of exclusive right of burial The cemetery manager may amend a certificate of exclusive right of burial.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
4	R.29	Cancellation or transfer of certificate of exclusive right of burial The cemetery manager may cancel or transfer a certificate of exclusive right of burial.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
5	R.30(3)	Permission to inter human remains A cemetery manager may grant or refuse permission to inter human remains in a cemetery. The permission may be subject to conditions. Notice of the grant or refusal of permission is to be given.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	<ul style="list-style-type: none"> General Manager
6	R.39	Plan of cemetery A cemetery manager must keep a plan of the cemetery showing the graves and plots set aside in respect of an exclusive right of burial.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure 	<ul style="list-style-type: none"> General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
7	R.40	Register of instruments A cemetery manager must keep a register of instruments as set out in this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager Records Officer 	General Manager
8	R.42	Driving in cemeteries A cemetery manager can give reasonable directions to a driver which it is an offence not to obey.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager
9	R.44	Power of cemetery manager in relation to graves and plots A cemetery manager may take certain action in cemeteries in relation to the appearance of the cemetery and public health and safety.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager
10	R.45	Power of cemetery manager to approve permanent items A cemetery manager may approve certain items or classes of items that may be permanently affixed to or next to a grave or plot.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager
11	R.46(1)	Power of cemetery manager to remove persons A cemetery manager may require a person to leave and not re-enter a cemetery as set out in this section.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager
12	R.46(3)	Power of cemetery manager to remove persons A cemetery manager may use reasonable force to remove from a cemetery or prevent the entry of a person into a cemetery in contravention of a requirement under S.46(1).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager
13	R.47	Duty of cemetery manager on removal of monument A cemetery manager must take photos as prescribed if removing a monument and provide the photos to the Heritage Council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	General Manager

8. CAT MANAGEMENT ACT 2009

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	8A	Collection and analysis of sample from a cat (2) The general manager may approve a person to collect a non-intimate sample from a cat, and a person to conduct the analysis of the sample collected. (4) If the general manager receives a request under sub-section (3), they may authorise an approved person to collect a non-intimate sample from the cat, or a veterinary surgeon to collect an intimate or non-intimate sample from the cat. (7) The general manager may authorise a qualified person to conduct analysis of a sample collected in accordance with section 8A(5)(b).		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
2	16B	Application to keep more than 4 cats (3) (b) If a general manager, to whom an application is made under subsection (1) so requires, an applicant must publish a notice, in a prescribed manner, (4) (b) In considering an application that is made under subsection (1) to a general manager, the general manager must consult with the Secretary.		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	General Manager
3	16C	Determination of application to keep more than 4 cats (1) A general manager may grant or refuse an application made under s.16B(1), subject to conditions. (2) If an application is approved, the general manager is to issue a permit in writing. (5) A general manager may vary permit conditions by notice to the permit holder. (6) Where an application is refused, the general manager must provide notice of the refusal with written reasons.	Permits may not be issued in contravention of a council by-law: s.16C(3)	<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	General Manager
4	16D	Cancellation of multiple cat permits (1) A general manager may cancel a multiple cat permit by notice in writing served on the permit holder if satisfied of the matters in subsection (2). (3) Before cancelling a multiple cat permit, the general manager must give the permit holder one month's notice to make written submissions and must consider those submissions (if any).		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	General Manager
5	19	Declaration of prohibited area A council may declare an area of land within the authority of the council to be an area where cats are prohibited.		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	Council
6	20	Declaration of cat management area (1) A council may declare an area of land within the municipal area of the council to be an area within which measures may be taken in respect of cats. (2) Without limiting the generality of subsection (1) , a measure in respect of a cat may include a cat management action as defined in section 18(1) .		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	Council
7	21	Proposal for council declaration (1) A council that proposes to make a declaration under section 19 or 20 in relation to an area of land is to publish a notice specifying – (a) the area of land; and (b) the proposed restrictions or activities relating to the use of the area of land; and (c) the reasons for the proposed declaration; and (d) that submissions as to the proposed declaration may be made to the council within 15 working days after the notice is published. (2) A notice under subsection (1) may be published in one or more of the following ways: (a) in a newspaper circulating generally in the municipal area of the council;		<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator 	Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		(b) in a document delivered to persons whom the council considers likely to be affected by the declaration if made; (c) on a website maintained by or on behalf of the council; (d) in a prescribed manner. (3) A person may, within 15 working days after a notice is published under subsection (1) , make a submission in writing to the council. (4) The council is to consider submissions made under subsection (3) , if any, before making a declaration under section 19 or 20 .			
8	21A	Council declaration (3) A council may propose to amend or revoke a declaration made under section 19 or 20 by notice published in accordance with subsection (1)(a) and (b) . (5) The council is to consider submissions made under subsection (3) , if any, before amending or revoking a declaration.		<ul style="list-style-type: none"> • Director Planning & Development • Compliance Coordinator 	Council
9	31	Permit to breed cats (3) A general manager may grant an application for a cat breeding permit, subject to conditions, or may refuse a permit. (5) If a general manager grants an application for a cat breeding permit, they are to issue a permit in writing to the applicant. (7) A general manager may vary a cat breeding permit, including the conditions of the permit, if satisfied there are reasonable grounds to do so. (8) If a general manager refuses an applicaiton, they are to provide the applicant with written notice of the refusal, with reasons.		<ul style="list-style-type: none"> • Director Planning & Development • Compliance Coordinator 	General Manager

9. CHILD AND YOUTH SAFE ORGANISATIONS ACT 2023

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.10(3)	Delegations A General Manager may delegate, to a worker of the entity, any of the functions or powers of the General Manager under this Act other than this power of delegation.	"Worker" is defined in section 8.		General Manager
2	Section 34	Head of relevant entity to notify Regulator of reportable allegation or reportable conviction (1) If a General Manager becomes aware of a reportable allegation or a reportable conviction against a worker of the relevant entity, the head must notify the Regulator, in writing, within 3 business days after becoming aware of the reportable allegation or reportable conviction in accordance with this section. – (2) The General Manager must not fail, without reasonable excuse, to comply with subsection (1) . Penalty: Fine not exceeding 120 penalty units.	"Reportable allegation" is defined in section 3. "Reportable conviction" is defined in section 7.		General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
3	Section 35	<p>Investigation by head of relevant entity</p> <p>(1) As soon as practicable after the General Manager becomes aware of a reportable allegation or reportable conviction against a worker, the General Manager:</p> <p>(a) must –</p> <p>(i) investigate the reportable allegation or reportable conviction; or</p> <p>(ii) engage an independent investigator to investigate the reportable allegation or reportable conviction on behalf of the head; and</p> <p>(b) must inform the Regulator of the identity of the body or person who will conduct the investigation.</p> <p>(2) If the General Manager is unable, or does not intend, to comply with subsection (1), the General Manager is to –</p> <p>(a) notify the Regulator as soon as practicable; and</p> <p>(b) provide reasons for the non-compliance.</p> <p>(3) An investigation conducted under this section must be completed despite the person who is the subject of the investigation ceasing to be a worker of the relevant entity during the period in which the investigation is being conducted.</p> <p>(4) As soon as practicable after an investigation has been completed, the General Manager must give to the Regulator –</p> <p>(a) a copy of the findings of the investigation and the reasons for those findings; and</p> <p>(b) details of any disciplinary or other action that the relevant entity has taken, or proposes to take, in relation to the worker, and the reasons for that action; and</p> <p>(c) if the relevant entity does not propose to take any disciplinary or other action in relation to the worker, the reasons why no action is to be taken.</p>			General Manager

10. DOG CONTROL ACT 2000

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.9(1)	Application for registration	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	<ul style="list-style-type: none"> • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
2	S.10(1)	Registration disc On the registration of a dog, the general manager is to – a) Allocate a registration number to the dog; and b) Issue to the owner a disc or tag clearly and durably marked with – i) The name of the Council; and ii) The registration number of the dog; and iii) The expiry date of registration.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
3	S.12(2)	Cancellation of registration	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
4	S.15(1)	Register A general manager is to keep a register in respect of registered dogs.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
5	S.15(4)	Register A general manager may amend or cancel any item in the register in order to maintain the register.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
6	S.15A(3)	Implanting of microchips	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
7	S.19AA(2)	Collection and analysis of a sample from a dog A general manager who receives a request under subsection 19(1) in relation to a dog may authorize – a) An approved person to collect a non-intimate sample from the dog; or b) A veterinary surgeon to collect an intimate or non-intimate sample from the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
8	S.19AA(5)	Collection and analysis of a sample from a dog A general manager may authorize a qualified person to conduct analysis of a sample that has been collected in accordance with subsection (2).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
9	S.19A(2)	Subsequent attack by dangerous dog The general manager may destroy a dog seized and detained under subsection (1).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
10	S.19A(3)	Subsequent attack by dangerous dog The general manager, by notice in writing served on the owner of the dog, is to notify the owner of the general manager's decision to destroy the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
11	S.19AC(3)	Collection and analysis of a sample from a dog A general manager who receives a request under subsection 19AC(2) in relation to a dog may authorize a veterinary surgeon to collect an intimate or non-intimate sample from the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
12	S.20	Exercise areas A Council may declare an area to be an area where dogs may be exercised subject to any conditions specified in the declaration.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
13	S.21	Training areas A Council may declare an area to be an area where dogs may be trained subject to any conditions specified in the declaration.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
14	S.22	Prohibited areas A Council may declare an area containing sensitive habitat for native wildlife to be an area where dogs are prohibited from entering.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
15	S.23	Restricted areas A Council may declare an area to be an area where dogs are restricted from entering a) During specified hours, days or seasons; or b) During specified hours, days or seasons unless they are on a lead; or c) At all times.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
16	S.24	Public notice of intention to declare areas	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
17	S.25	Date and period of declaration	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
18	S.26	Review of declaration	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	• Council
19	S.27	Signs A Council is to erect and maintain signs sufficient to identify any exercise area, training area, prohibited area or restricted area.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Works Manager • Compliance Officer • Compliance Coordinator 	• Council
20	S.29	Declaration of particular dangerous dog	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
21	S.30	Guard dogs The owner of a dog used to guard premises that are not residential must notify the general manager, by notice in writing, that the dog is a guard dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
22	S.30	Guard dogs On receipt of notification under S.30(1) the general manager is to declare the dog to be a dangerous dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
23	S.30	Guard dogs The general manager may revoke a dangerous dog declaration if a dog is no longer a guard dog and is not a dangerous dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
24	S.32A(3)	Dangerous dogs and restricted breed dogs to be de-sexed and microchipped.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
25	S.34	Dangerous dog or restricted breed dog missing, dying, &c. If a dangerous dog or a restricted breed dog goes missing, strays or dies, or is lost, sold or given away to another owner, the owner or a person on behalf of the owner of that dog must notify the general manager.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
26	S.34A	Application for approval to transfer ownership of dangerous dog or restricted breed dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
27	S.34B	Offence to transfer ownership of dangerous dog or restricted breed dog without approval.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
28	S.35(2)	Seizure and detention of dogs at large If a dog is seized and its owner is identifiable, the general manager is to notify in writing the owner of the dog that – a) The dog has been seized and detained; and b) The owner may reclaim the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
29	S.35(3)	Seizure and detention of dogs at large If, after 5 working days after the notice has been given to the owner, the owner does not reclaim the dog, the general manager may sell, destroy or otherwise dispose of the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
30	S.35(4)	Seizure and detention of dogs at large If a dog is seized and its owner is not identifiable, the general manager, not less than 3 working days after its seizure, may – a) Sell, destroy or otherwise dispose of the dog if it is not a dangerous dog or a restricted breed dog; or b) Destroy the dog if it is a dangerous dog or a restricted breed dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
31	S.35(5)	Seizure and detention of dogs at large The general manager is to take reasonable steps and make reasonable inquiries to identify the owner of a dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
32	S.35(6)	Seizure and detention of dogs at large The general manager may cause a dog that is seized under this section to be implanted in an approved manner with an approved microchip.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
33	S.39A(1)	Destruction of dangerous dog if enclosure not suitable The general manager is not to release a dangerous dog to its owner unless the general manager is of the opinion that the owner has a suitable enclosure or satisfactory alternative arrangements have been made.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
34	S.39A(2)	Destruction of dangerous dog if enclosure not suitable If the owner of a dangerous dog does not have an enclosure referred to in subsection (1), the general manager may, by notice in writing served on the owner, require the owner to build, or have built, such an enclosure within 28 days after service of the notice.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
35	S.39A(3)	Destruction of dangerous dog if enclosure not suitable The general manager may extend the 28 day period to build the enclosure if of the opinion that sufficient progress towards the completion of the enclosure has been made.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
36	S.39A(4)	Destruction of dangerous dog if enclosure not suitable If the owner does not build, or have built, a suitable enclosure within the period specified in the notice or such other period as the general manager allows or does not make satisfactory alternative arrangements for housing the dog, the general manager may destroy the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
37	S.39A(5)	Destruction of dangerous dog if enclosure not suitable Before destroying the dog under section 39A, the general manager must, by notice in writing served on the owner, notify the owner of the general manager's intention to destroy the dog.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
38	S.41(2)	Attacking dogs A person who restrains a dog under subsection (1) is to notify the general manager as soon as possible.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
39	S.42(3)	Destruction of dog If a dog destroyed under subsection 42(1) was wearing a registration disc or any other means of identification, the general manager is to notify the dog's owner in writing of – a) The destruction of the dog; and b) The reasons for the destruction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
40	S.47(1)	Complaints relating to nuisance	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
41	S.48(1)	Investigation of complaint On receipt of a complaint, the general manager is to investigate the subject matter of the complaint.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
42	S.48(2)(a)	Investigation of complaint If the general manager considers that the complaint has substance, the general manager may institute proceedings for an offence under section 46.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
43	S.48(2)(b)	Investigation of complaint If the general manager considers that the complaint has substance, the general manager is to refund the fee that accompanied the complaint to the complainant.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
44	S.49A	Abatement notices	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
45	S.51(1)	Application for licences A person can apply to the general manager for a licence to keep more than 2 dogs or more than 4 working dogs.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
46	S.51(3)	Application for licences The general manager can require a licence applicant to give public notice of application for licence to keep several dogs.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
47	S.52	Objections to licence.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
48	S.54	Refusing application.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
49	S.55(1)	Granting application The general manager may grant an application for a licence to keep several dogs in certain circumstances.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
50	S.55(2)	Granting application The general manager may issue a licence that has been granted specifying certain matters.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
51	S.57(2)	Renewal of licence	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
52	S.58(1)	Cancellation of licence The general manager may cancel a licence in certain circumstances.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
53	S.58(2)	Cancellation of licence The general manager must give notice and consider representations prior to cancelling a licence.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
54	S.73(6)	Entering land.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
55	S.75	Use of tranquiliser devices.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Officer • Compliance Coordinator 	• General Manager
56	S.80(2)(a)–(c)	Fees A general manager may a) Waive a fee; b) Refund part or all of a fee; or c) Discount a fee.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Director of Corporate & Communication • Compliance Officer • Compliance Coordinator 	• General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
57	S.81	Payment by instalments.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • Director of Planning & Development • Director of Corporate & Communication • Compliance Officer • Compliance Coordinator 	<ul style="list-style-type: none"> • General Manager

11. ENVIRONMENTAL MANAGEMENT AND POLLUTION CONTROL ACT 1994

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.17A(10)	Provide notice to the Director, EPA of an intention to prepare a draft emergency plan, and the approval of an emergency plan.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
2	S.20A	Duty of Council to prevent or control pollution.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Works Manager • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
3	S.20B	Council may ask Board to exercise powers.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
4	S.21	Council Officers A Council may appoint an employee of the Council to be a Council Officer.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
5	S.22(1A)	Registers of environmental management and enforcement instruments.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer • Records Officer 	<ul style="list-style-type: none"> • Council • General Manager
6	S.23(1)(2)	Trade secrets If it appears to the Board or a Council that – a) Any information that could be kept as a trade secret would be available to the public; and b) The release of that information would be likely to cause financial loss to any person – The Board or Council must consult with that person before including the information on any register kept under this Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
7	S.24(1)	Assessment of permissible level 1 activities Council must refer application to the Board if directed to do so.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
8	S.25(1)(b)	Assessment of permissible level 2 activities Planning Authority to refer the application to the Board as soon as practicable, but any case within 21 days, after the date of lodgement of the application.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
9	S.25A(1D)(a)	Assessment of applications for permits that are combined with applications for planning scheme amendments.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
10	S.27AC(5)	Directions in relation to permits in respect of EL activities Notify the Board of the grant of the permit and provide to the Board a copy of the permit.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
11	S.27AD	Minor variations of planning permit in relation to EL activities Application to the Board for approval to amend a planning permit.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
12	S.43	Power to require information Notify the Director, EPA of the issue of an emergency order and provide a copy of the order.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
13	S.44(4)	Environment protection notices Where an environment protection notice is issued by a council officer, the council must, as soon as practicable and in any event within 7 days, advise the Director in writing of that fact and of any amendment or revocation of the notice.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
14	S.46(4)	Registration of environment protection notices.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
15	S.47(3)(4)	Action on non-compliance with environment protection notice.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
16	S.48(1)	Civil enforcement proceedings Where – a) A person has engaged, is engaging or is proposing to engage in conduct in contravention of this Act; or	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
		b) A person has refused or failed, is refusing or failing or is proposing to refuse or fail to take any action required by this Act; or c) A person has caused environmental harm by contravention of this Act, any other Act or the repealed Act – The Director, a council or a person who has, in the opinion of the Tasmanian Civil and Administrative Tribunal, a proper interest in the subject matter may apply to the Tasmanian Civil and Administrative Tribunal for an order.			
17	S.74	Environmental Impact Assessment Principles An environmental impact assessment may be required when an environmentally relevant activity is proposed to be undertaken by the public or the private sector.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
18	S.94 (3)	Provisions relating to seizure Where a thing has been seized or made subject to a seizure order under this Division, the thing must, if it has been seized, be held pending proceedings for an offence against this Act related to the thing seized unless the Director, Commissioner or the council, as the case may require, on application, authorizes its release to the person from whom it was seized, or to any person who had legal title to it at the time of its seizure.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

12. FOOD ACT 2003

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.33	Making an order An order may be made by a relevant authority to prevent or reduce the possibility of a serious danger to public health or to mitigate the adverse consequences of a serious danger to public health.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
2	S.34(2)	Nature of order An order may be varied or revoked by the relevant authority who made the order.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
3	S.37	Power to make a determination in relation to an application for compensation where there were insufficient grounds for making an order	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
4	S.50(2)	Forfeiture of item Items forfeited under this section may be destroyed, sold or otherwise disposed of.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
5	S.52(1)	Return of forfeited item.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
6	S.53(4)(2)(3)	Compensation to be paid in certain circumstances The enforcement agency is to pay such compensation as is just and reasonable in relation to any item seized under this Part by an authorized officer appointed by it.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
7	S.55	Enforcement agency entitled to answer application The enforcement agency is entitled to appear as respondent at the hearing of an application made under Section 54.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
8	S.65	Power to make an order for an authorised office to inspect a vehicle or equipment.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
9	S.68(2)(3)	Compensation If there were no grounds for the issuing of an order, the enforcement agency that issued the order is to pay such compensation as is just and reasonable.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
10	S.83H	Priority classification system and frequency of auditing.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
11	S.87(1)(5)(6) (7)	Power to register food businesses.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
12	S.89(3)(5)	Power to grant or refuse applications for renewal of registration for food businesses.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
13	S.91	Power to vary the conditions of, or suspend or cancel the registration of a food business.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
14	S.94	Duty to prepare and maintain a register of food businesses.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
15	S.97	Functions of council A council is to – a) Take adequate measures to ensure that the provisions of this Act are complied with; and b) Carry out any other function the Minister or Director of Public Health determines.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
16	S.98(4)	Power of Director of Public Health to order council to perform functions A council may request the Director of Public Health to exercise any of its powers or perform any of its functions at the council's expense.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
17	S.100(1)(2)	Reports by councils The council is to report to the Director of Public Health on the performance of functions under this Act. In addition, the council is to forward to the Director of Public Health details of any proceedings for an offence under this Act taken by an officer, employee or agent of the council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
18	S.101	Power to appoint Authorised Officers under the Food Act	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
19	S.102	Power to provide an Authorised Officer with a Certificate of Authority	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
20	S.104(1)	Institution of proceedings Proceedings for an offence under this Act may only be instituted by the Minister, an authorized officer, council, or Director of Public Health. They may only be instituted within 3 years after the date on which the offence is alleged to have been committed or within 120 days after the date on which a sample is obtained.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
21	S.118(1)	Infringement notices An authorized officer or council may serve an infringement notice on a person, other than a person under the age of 16 years, if of the opinion that the person has committed a prescribed offence.	<p>An infringement notice is not to relate to 4 or more offences.</p> <p>An infringement notice is to be in accordance with Section 14 of the <i>Monetary Penalties Enforcement Act 2005</i></p>	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

13. HEAVY VEHICLE NATIONAL LAW (TASMANIA) ACT 2013

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.118(1)(b)	Granting consent for exemption on mass or dimension restriction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
2	S.124(1)(b)	Granting consent for exemption (permit) on mass or dimension restriction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
3	S.145(1)(b)	Granting consent for a class 2 heavy vehicle authorization.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
4	S.156(2)	Asking the Regulator for a longer period to decide whether to grant consent for a mass or dimension authority.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
6	S.156A	Decide whether to grant consent, after considering the specific matters in S.156A and provide written reasons to the Regulator for the decision in relation to consent.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
7	S.158	Deal with a request for consent and decide to give or not give consent for a mass or dimension authority.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
8	S.159(2)	Notifying the Regulator that route assessment is required by the road manager in deciding whether to give consent and the fee payable.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
9	S.160(1)	Specifying road condition(s) to which the granting of consent is subject.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
10	S.160(2)	Providing the Regulator with a written statement explaining the road manager's decision to grant consent subject to road conditions.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
11	S.161(1)	Specifying travel condition(s) to which the granting of consent is subject.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
12	S.161(2)	Providing the Regulator with a written statement explaining the road manager's decision to grant consent subject to road conditions.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
13	S.162(2)	Requesting specified vehicle condition(s) be imposed on the mass or dimension authority.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
14	S.167(2)(b)	Giving notice to the Regulator of objection to the application of this section [which provides for expedited process for renewal of mass or dimension authority].	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
15	S.169	Giving consent to the grant of a mass or dimension authority for a trial period or no more than 3 months.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
16	S.170	Provide the Regulator with a written objection to a renewal of a mass or dimension authority.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
17	S.174(2)	Asking the Regulator to amend or cancel the mass or dimension authority granted by Commonwealth Gazette notice due to adverse effect of heavy vehicles.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
18	S.176(4)(c)	Provide consent to an amendment of a permit for a mass or dimension authority.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
19	S.178(2)	Asking the Regulator amend or cancel the mass or dimension authority granted by Commonwealth Gazette notice due to adverse effect of heavy vehicles.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
20	S.645	Decide a review of a reviewable decision under the Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager

14. HISTORIC CULTURAL HERITAGE ACT 1995

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.36(2)	Permit application to be sent to and considered by Heritage Council The relevant planning authority must give a copy of the permit application to the heritage council as soon as practicable after the application day.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
2	S.37	Procedure if Heritage Council requires additional information to consider permit application Planning authority must as soon as practicable require the applicant for a permit application to provide additional information required by the Heritage Council and provide it to the Heritage Council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
3	S.38	Procedure if Heritage Council has no interest in permit application Planning authority determination of permits applications. Notifying the Heritage Council and applicants of determinations and representations.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
4	S.39	Procedure if the Heritage Council wishes to be involved in determining discretionary permit application Determining discretionary permit applications. Notifying the Heritage Council and Applicants of determinations and representations.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
5	S.39A	Procedure if Heritage Council wishes to be involved in determining combined permit application Determining combined permit applications. Notifying the Heritage Council and Applicants of determinations and representations.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
6	S.39B	Provision of further information to Heritage Council Provide any further information received from permit applicant to Heritage Council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
7	S.50	Notification of Recorder of Titles Planning authority must lodge for registration with the Recorder of Titles notice of heritage agreements that come into effect or the variation or termination of a heritage agreement.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
8	S.89	Assistance to Heritage Council A planning authority is to give all reasonable assistance to the Heritage Council to enable it to perform its functions and exercise its powers.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council

15. LAND USE PLANNING AND APPROVALS ACT 1993

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
	PART 2A	TASMANIAN PLANNING POLICIES			
1	S.12C	Consult with the Minister regarding a draft of the Tasmanian Planning Policies, on behalf of the Planning Authority.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
	PART 3	PLANNING SCHEMES			
2	Part 3 – Generally	<p>As a consequence of any decision by the Council to initiate preparation of a planning scheme or a planning scheme amendment or to provide its views and opinions on any representation received on a draft planning scheme or draft amendment:</p> <p>i) Authority to give such advice, consultation, referral or notification as required under this Part;</p> <p>ii) Authority to initiate public notification of a draft scheme or draft amendment;</p> <p>iii) Authority to submit a draft scheme or a draft amendment for approval if no representations are received during the exhibition period;</p> <p>iv) Authority to modify a draft planning scheme or draft amendment if only to correct any error, remove an anomaly, clarify or simplify a provision, remove any inconsistency with other regulation, make procedural changes or to bring the planning scheme into conformity with a mandatory planning instruction;</p> <p>v) Represent the Council and to give evidence and make submissions before any hearing conducted by the Tasmanian Planning Commission.</p>	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority General Manager
	PART 3A	LOCAL PROVISIONS SCHEDULE (LPS)			
3	Part 3A – Generally	<p>In accordance with a decision of the Planning Authority (or a requirement of the Minister) to –</p> <p>a) Prepare a draft LPS under S.35;</p> <p>b) Indicate its views and opinions in relation to each representation received on a draft LPS;</p> <p>c) Indicate its satisfaction that a draft LPS meets the criteria in S.34;</p> <p>d) Make recommendations in relation to how a draft LPS should be determined in accordance with S.35F; and</p> <p>e) Conduct and respond on a review of the LPS</p> <p>The following functions and powers of the Planning Authority are</p>	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority General Manager

		<p>delegated –</p> <p>a) Prepare the required documentation for a draft LPS;</p> <p>b) Submit the draft LPS to the Tasmanian Planning Commission (TPC) under S.35(1);</p> <p>c) Make any modifications to the draft LPS which may be instructed by the TPC under S.35(5)(b);</p> <p>d) Give notice under S.35C of the exhibition of a draft LPS, including for any instruction issued by the TPC under S.35B;</p> <p>e) Undertake exhibition of the draft LPS in accordance with S.35D;</p> <p>f) Provide a report to the TPC pursuant to S.35F;</p> <p>g) Prepare and submit any modifications required by the TPC to a draft LPS in accordance with S.35K;</p> <p>h) Give notice in accordance with S.35M(2) of the approval of the LPS;</p> <p>i) Provide a report to the TPC on the outcomes of a review of the LPS conducted by the Planning Authority in accordance with S.35O, including provide notice of the review and receive comments from the public pursuant to S.35P.</p>	Nil	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority • General Manager
	<u>DIVISION 7</u>	<u>SPECIAL LOCAL PROVISIONS SCHEDULES</u>			
	<u>PART 3B</u>	<u>AMENDMENT OF THE LPS</u>			
4	General	<p>In accordance with a decision of the Planning Authority in relation to –</p> <p>a) Preparation of a draft amendment to the LPS under S.38 or S.40D;</p> <p>b) Preparation of a draft amendment under S.38 and a draft permit under S.40Y; and</p> <p>c) Its views and opinions in relation to each representation received on a draft LPS and on any draft permit;</p> <p>d) Its satisfaction that the draft LPS meets the criteria in S.34; and</p> <p>e) Recommendations in relation to how the draft LPS should be determined in accordance with S.35F.</p>	Nil	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority • General Manager
		<p>The following functions and powers of the Planning Authority are delegated –</p> <p>a) Give notice in accordance with S.38(3) of a decision in relation to a request to initiate a draft amendment to the LPS;</p> <p>b) Give notice in accordance with S.40W of a decision under S.40Y in relation to a request to consider a permit in combination with</p>			

		<p>a request to initiate a draft amendment to the LPS;</p> <p>c) Request additional information under S.40 and S.40U;</p> <p>d) Provide any material requested by the TPC in accordance with S.40A, S.40B or S.40V;</p> <p>e) Prepare the draft LPS amendment documents;</p> <p>f) Certify a draft amendment to the LPS in accordance with S.40F;</p> <p>g) Give notice in accordance with S.40G of exhibition of a draft amendment to the LPS, and including any exhibition of a permit application under S.40Z;</p>			
	General <i>Continued</i>	<p>h) Undertake exhibition of the draft amendment to the LPS in accordance with S.40H, and including any permit application approved under S.40Y;</p> <p>i) Provide a report to the TPC in accordance with S.40K and S.42 if there are no representations making objection on the draft amendment to the LPS and to any permit application requested under S.40T;</p> <p>j) Provide a report to the TPC in accordance with S.40K and S.42 in relation to the Planning Authority's –</p> <ol style="list-style-type: none"> Views and opinions on each representation received during the exhibition period; Compliance to S.34; and Its recommendations on how the draft LPS or the permit application under S.40T should be determined <p>k) Make modifications to a draft LPS amendment if instructed by the TPC in accordance with S.40O or S.40P;</p> <p>l) Re-exhibit a modified draft amendment to the LPS under S.40G and S.40H if instructed by TPC in accordance with S.40P;</p> <p>m) Give notice of an approved amendment to the LPS in accordance with S.40S;</p> <p>n) Grant an extension of time under S.42C for a permit granted under S.42B;</p> <p>o) Correct a mistake under S.42D in a permit granted under S.42B; and</p> <p>p) Make minor amendments in accordance with S.43 to a permit granted under S.42B.</p>	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority General Manager
	PART 4	ENFORCEMENT OF PLANNING CONTROL			
5	Part 4 - Generally	Authority to require the making of a permit application and to undertake actions and proceedings in pursuance of the Council's	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority

		obligations as a planning authority to observe and enforce compliance of a planning scheme; including – i) To give such advice, consultation, referral or notification as required under this Part; ii) To represent the Council and to give evidence before the Tasmanian Civil and Administrative Tribunal in respect of any appeal against a decision on a planning permit; iii) To initiate legal proceedings for any use of land, development or act if:- - Contrary to a State Policy, planning scheme or special planning scheme; - An obstruction of a planning scheme or special planning scheme; or - A breach of a condition or restriction of a planning permit.		<ul style="list-style-type: none"> • Senior Planner 	
6	S.35C	Notice of exhibition of draft LPS.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
7	S.35F	Report by Planning Authority to Commission about exhibition.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
8	S.35G	Planning Authority may notify Minister as to whether amendment of SPPs is required.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
9	S.35I	Withdrawal of draft LPS.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
10	S.35M	Notice of approval of Local Provisions Schedules.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
11	S.35P	Conduct of Review (of an LPS or a part of an LPS).	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
12	S. 40T	Permit application that requires amendment to the LPS (6) An application for a permit under subsection (1) by a person to a planning authority to amend the zoning or use or development of one or more parcels of land specified in an LPS must, if the person is not the owner, or the sole owner, of the land and the relevant planning scheme does not provide otherwise –	(7) Subsection (6) does not apply to an application for a permit to carry out mining operations, within the meaning of the Mineral Resources Development Act 1995 , if a mining	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	Planning Authority

		(a) be signed by each owner of the land; or (b) be accompanied by the written permission of each owner of the land to the making of the request.	lease or a production licence which authorises those operations has been issued under that Act.		
13	S.40G	Notice of exhibition A planning authority, as soon as practicable after providing to the Commission under section 40F(4) a copy of a draft amendment of an LPS or receiving under section 35KB(4)(b)(i) a notice in relation to a draft amendment of an LPS, must ensure an exhibition notice in relation to the draft amendment of an LPS is published in accordance with this section, unless the planning authority receives a notice under section 40I(1) in relation to the draft amendment.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
14	S.40U	Additional Information A Planning Authority, within 28 days from the day on which it receives from a person an application for a permit, may, by notice in writing, require the person to provide to the Planning Authority additional information before it considers the application.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
15	S.40W	Determination of amendment where concurrent permit application sought.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
16	S.43(2)	Minor amendment of permit The Planning Authority may amend or refuse to amend the permit.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
17	S.43(6)	Minor amendment of permit If the Planning Authority amends a permit, it must, by notice in writing served on the following persons, notify them of the amendment: a) The applicant for the amendment; b) The owner of the land; c) Any person or body who or that made a representation; d) The owner or occupier of any property which adjoins the land to which the permit relates.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
18	S.43(7)	Minor amendment of permit If the Planning Authority amends a permit that contains a condition or restriction that the Board of the Environment Protection Authority has required under Section 25(5) of the Environmental Management and Pollution Control Act 1994, the Planning Authority must, by notice in writing served on the Board, notify it of the	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority

		amendment.			
19	S.43(9)	Minor amendment of permit If the Planning Authority amends a permit in respect of which the Commission has modified, deleted or added conditions or restrictions, the Planning Authority must, by notice in writing served on the Commission, notify it of the amendments made to the permit.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
20	S.43(10)	Minor amendment of permit If the Planning Authority amends a permit containing a condition or restriction which the Heritage Council has specified, the Planning Authority must, by notice in writing served on the Heritage Council, notify the Council of the amendment.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
21	S.48AA	Enforcement of major project permits A planning authority must, within the ambit of its power, enforce the observance of any condition or restriction to which a major project permit is subject.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
22	S.48A	Notice to remove signs.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner Compliance Officer Compliance Coordinator Works Officer 	<ul style="list-style-type: none"> Planning Authority
23	S.51	Permits A person must not commence any use or development which requires a permit unless the Planning Authority which administers the scheme, the Commission, or the Tribunal, has granted a permit in respect of that use or development and the permit is in effect or a major project permit has been granted in respect of that use or the development and the permit is in effect.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
24	s 51A	Fees payable for application ... (2) Despite section 86 , a planning authority is not entitled – (a) to refuse to take an action in relation to determining whether or not an application for a permit is valid; or (b) to refuse to accept a valid application for a permit – on the ground that a fee, under a relevant legislative instrument, for an application for a permit has not been paid, unless – (c) the planning authority has, before, or within 4 business days after, the day on which a person lodges, or attempts to lodge, with the planning authority, the application for the permit, demanded		<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority

		the payment of the fee; and (d) the fee has not been paid within the 21-day period after the day on which the demand is made. (3) If – (a) the planning authority has demanded payment of a fee, under a relevant legislative instrument, for an application for a permit before, or within 4 business days after, the day on which a person lodges, or attempts to lodge, with the planning authority, the application for the permit; and (b) the fee has been paid within the 21-day period after the day on which the demand is made – the application, if it is a valid application, is taken for the purposes of this Act to have been received on the day on which the fee is paid.			
25	S.52(1B)	What if applicant is not the owner? If land in respect of which an application for a permit is required is Crown land, is owned by a Council or is administered or owned by the Crown or a Council and a planning scheme does not provide otherwise, the application must – a) Be signed by the Minister of the Crown responsible for the administration of the land or by the General Manager of the Council; and b) Be accompanied by the written permission of that Minister of General Manager to the making of the application.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
26	S.53(5A), (5B), (5C) and (5D)	When does a permit take effect? The power to grant extensions of time where the permit has not been substantially commenced.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
27	S.54	Additional Information A Planning Authority that receives an application for a permit (other than a permit referred to in section 40T) may require the applicant to provide it with additional information before it considers the application.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
28	S.55	Correction of mistakes A Planning Authority may correct a permit granted by it if the permit contains – a) A clerical mistake or an error arising from any accidental slip or omission; or b) An evident material miscalculation of figures or an evident material mistake in the description of any person, thing or property referred to in the approval.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority

29	S.56	Minor amendments of permits issued by a Planning Authority – S.56(1A): Planning Authority that receives a request under subsection (1) for amendment to permits – a) Within 28 days after the request was received, amend, or refuse to amend the permit and; b) must within 7 days i. after amending the permit or ii. after refusing to amend the permit, give notice of the refusal to the person who made the request.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
30	S 56AA	Fees for amendment of permits under section 56 ... (2) Despite section 86 , a planning authority is not entitled – (a) to refuse to take an action in relation to determining whether or not an application under section 56 for an amendment of a permit is valid; or (b) to refuse to accept a valid application under section 56 for an amendment of the permit – on the ground that a fee, under a relevant legislative instrument, for an application for an amendment of a permit under section 56 has not been paid, unless – (c) the planning authority has, before, or within 4 business days after, the day on which a person lodges, or attempts to lodge, with the planning authority, the application for an amendment of the permit, demanded the payment of the fee; and (d) the fee has not been paid within the 21-day period after the day on which the demand is made.		<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
31	S.57(2)	Applications for discretionary permits The Planning Authority may, on receipt of an application for a permit to which this section applies, refuse to grant the permit.	<ol style="list-style-type: none"> No authority to sub-delegate in respect of the delegation If the proposed use or development is prohibited by the scheme 	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
32	S.57(3)	Applications for discretionary permits Unless the Planning Authority requires the applicant to give notice, the authority must give notice, as prescribed, of an application for a permit.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
33	S.57(5)	Applications for discretionary permits Any person may make representations relating to the application during the period of 14 days commencing on the date on which notice of the application is given or such further period not	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority

		exceeding 14 days as the Planning Authority may allow.			
34	S.57(6)	Applications for discretionary permits Grant a discretionary permit with or without conditions.	1. No authority to sub-delegate in respect of the delegation 2. Delegates are only to exercise this power where the decision is to: <ul style="list-style-type: none"> Grant the permit and does not have the power to refuse a permit 3. The power to grant the permit can only be exercised when either of the following applies: <ul style="list-style-type: none"> No more than two representations objecting to the use or development have been received in respect of the application. 4. The power to refuse the permit can only be exercised when the following applies: <ul style="list-style-type: none"> Where Council is not able to determine the application within the time period specified in Section 57(6)(b) of the <i>Land Use Planning & Approvals Act 1993</i>; and Where an applicant does not agree to an extension of time. 	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
35	S.57(6A)	Applications for discretionary permits A further period agreed to by a Planning Authority and an applicant may be extended or further extended by agreement, in writing, between the Planning Authority and applicant at any time before the expiration of the period to be extended and, when so extended, is taken to be the further period referred to in that subsection.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
36	S.57A	Mediation Power to enter into mediation on behalf of the Planning Authority	1. No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority

		regarding an application for a permit	2. Authority to undertake mediation on any appeal arising out of a decision on a planning permit and to bind Council to agreements within the mediation on any matter that the Council has a proper power relevant to the permit application under LUPAA	<ul style="list-style-type: none"> • Senior Planner 	
37	S.58	Application for other permits This section applies to an application for a permit in respect of a use or development for which, under the provisions of a planning scheme, a Planning Authority is bound to grant a permit either unconditionally or subject to conditions or restrictions.	1. No authority to sub-delegate in respect of the delegation 2. Grant of a permit if the use or development complies to all applicable regulatory requirements 3. The power to grant or refuse the permit can only be exercised when an applicant does not agree to an extension of time.	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
38	S.59(7)	Failure to determine an application for a permit Notwithstanding the provisions of this Division, a Planning Authority may make a decision on an application for a permit to which section 57 or 58 applies at any time before the lodging of an application.	1. No authority to sub-delegate in respect of the delegation 2. Subject to the same qualifications as applied to a S.57 decision	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
39	S.60	Council responding and issuing notices relating to compliance with certain permit conditions.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
40	S.60H(3)	Minister may request information from Council or relevant state entity.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
41	S.60I(3)	Council to give notice in relation to eligibility of major project proposals.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
42	S.60S(4)(b)	Refund of ordinary permit where declaration of major project is made.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Planning Authority
43	S. 60S(5)	Refund of ordinary permit where declaration of major project is amended under s. 60TG(2) so that the declaration also relates to	Nil	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Planning Authority

		an additional area of land the planning authority to which the application was made must, as soon as practicable, refund the applicant half of any fees that the applicant has paid in respect of the application.		<ul style="list-style-type: none"> Director of Planning & Development 	
44	S. 60SA(6)	Service of certificate of development completion If the Commission issues a certificate of development completion under s.60SA, the Commission must give a copy of the certificate of development completion, issued in relation to all, or part, of the area to which a major project permit relates to the planning authority in relation to the area of land.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority
45	S.60TD(1)	Notice of request under s.60TC(1) On receiving a request in relation to an additional area of land in relation to a major project under s.60TC(1), a relevant advice body must, within 7 days, give a notice in relation to the request to: ... (c) the council that is the relevant planning authority in relation to the major project; (d) each council that is not a relevant planning authority in relation to the major project but that is the council for a municipal area that is in the regional area, or regional areas, in which the project is to be situated.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority
46	S.60TH	Notice of amendment of declaration of a major project to be given Within 7 days after amending a declaration of a major project under s.60TG, the Minister is to notify, in writing: ... (d) the council that is a relevant planning authority in relation to the project; and (e) each council that is not a relevant planning authority in relation to the project but that is the council for a municipal area that is in the regional area, or regional areas in which the major project is, or is to be, situated.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority
47	S.60ZX(1)	Provision to Panel of further information A person to whom a request is made under section 60ZW(1) is to take all reasonable steps to provide to the Panel, as soon as practicable the information specified in the request.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
48	S 60ZZP(10)	Major project permit may be granted subject to conditions or restrictions Without limiting the conditions or restrictions that may be imposed under subsection (1), such a condition or restriction may specify	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority

		that: (a) plans, information, designs, or other documents, are required, under the condition or restriction, to be prepared and provided to the Panel or a planning authority ; and (b) particular actions or works are to be carried out to the satisfaction of the Panel or a planning authority.			
49	S.60ZZAA(5)	Determination as to whether, and the manner in which, proposed significant amendment may be assessed After making a determination under s.60ZZAA(2), the relevant decision-maker must, within 7 days after making that determination, give notice to the council that is a relevant planning authority in relation to the project to which the major project permit relates.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority
50	S.60ZZAB	Enforcement certificates (3) If the Commission issues an enforcement certificate in relation to all or part of the land to which a major project permit relates, the Commission must give a copy of the enforcement certificate to the planning authority in relation to the land to which the major project relates. (4) An enforcement certificate is to specify the planning authority's responsibility for the enforcement of the Act.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Planning Authority
51	S.61	Appeals against planning decisions.	<ol style="list-style-type: none"> No authority to sub-delegate in respect of the delegation Not if the decision of the Council is contrary to the written recommendation 	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
52	S.63	Obstruction of sealed schemes Initiate legal proceedings for obstruction of a planning scheme.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
53	S.63A	Enforcing compliance with planning schemes.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
54	S.63B(3)	Notice of suspected contravention, &c., may be given	<ol style="list-style-type: none"> No authority to sub-delegate in respect of the delegation Delegation/provision will commence when <i>Land Use Planning & Approvals Act 2013</i> is enacted 	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
55	S.64	Civil enforcement proceedings Where a person contravenes or fails or is likely to contravene or fail to comply with a provision of this Part, a person, other than the Commission or a Planning Authority, who has, in the opinion of the	<ol style="list-style-type: none"> No authority to sub-delegate in respect of the delegation The General Manager may only apply to the Tasmanian Civil and 	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority

		Tasmanian Civil and Administrative Tribunal, a proper interest in the subject matter may apply to the Tasmanian Civil and Administrative Tribunal for an order.	Administrative Tribunal for an order upon the advice from the Manager Development Services that the application is in compliance with the relevant legislation		
56	S.65B(5)	Notice of intention to issue enforcement notice The planning authority must notify in writing an owner of land, in relation to which a notice of intention to issue an enforcement notice is served under subsection (1) , if the person on whom the notice is served is not the owner of the land.	1. No authority to sub-delegate in respect of the delegation 2. The General Manager may only apply to the Tasmanian Civil and Administrative Tribunal for an order upon the advice from the Manager Development Services that the application is in compliance with the relevant legislation	•	• Planning Authority
57	S.65G	Cancellation of permits	1. No authority to sub-delegate in respect of the delegation 2. Delegation/provision will commence when <i>Land Use Planning & Approvals Act 2013</i> is enacted	• General Manager	• Planning Authority
58	S.65I(2)	Authorised officers A general manager of a council may authorise a person to be, for the purposes of this Act, an authorised officer in respect of the municipal area of the council.	Nil	• General Manager • Director of Planning & Development • Senior Planner •	• Planning Authority
59	Part 4 - Generally	Enforcement of planning control Authority to represent the planning authority or to appoint a person to represent the planning authority and to give evidence, on a planning appeal or other action, including any mediation, before the Resource Management and Planning Appeals Tribunal or any other body of competent jurisdiction.	1. No authority to sub-delegate in respect of the delegation. 2. Except where the Council makes such decision contrary to the written advice or recommendation of the Director Land and Environmental Services.	• General Manager • Director of Planning & Development • Senior Planner	• Planning Authority
	PART 5	AGREEMENTS			
60	S.71	Planning Authority may enter into agreements.	1. No authority to sub-delegate in respect of the delegation 2. The General Manager may only enter into an agreement upon	• General Manager	• Planning Authority

			the advice from the Director of Planning & Development or the Senior Planner that the application to which the agreement relates to is in compliance with the relevant legislation 3. Except where the Council makes such decision contrary to the written advice or recommendation of the Director Land and Environmental Services		
61	S.74(3)	Duration of Agreement An agreement may be ended by the Planning Authority with the approval of the Commission or by agreement between the authority and all persons who are bound by any covenant in the agreement.	1. No authority to sub-delegate in respect of the delegation 2. The General Manager may only end an agreement upon the advice from the Director of Planning & Development or the Senior Planner that the application to which the agreement relates to is in compliance with the relevant legislation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
62	S.75	Amendment of agreements.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
63	S.76	Agreement to be lodged with Commission.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
64	S.78	Registration of agreements, &c.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
65	S.80	Application to Tasmanian Civil and Administrative Tribunal An owner of land may apply to the Tasmanian Civil and Administrative Tribunal for an amendment to a proposed agreement if – a) Under a planning scheme, use or development for specified purposes is conditional upon an agreement being entered into;	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority

		and b) The owner objects to any provision of the agreement.			
66	S.84	Serve notices or other documents A notice or other document is effectively served under this Act if it is – i. Given to the person; or ii. Left at, or sent by post to, the person’s postal or residential address or place or address of business or employment last known to the server of the notice or other document; or iii. Sent by way of facsimile to the person’s facsimile number.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority
	<u>SCHEDULE 6</u>	<u>Savings and Transitional Provisions – Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme) Act 2015</u>	NOTE 1: The transitional provisions in Schedule 6 provide for the transition from the current process under LUPAA and the current schemes to the Tasmanian Planning Scheme and the processes in the <i>new</i> LUPAA. NOTE 2: Planning Schemes remain in operation until the Local Provision Schedules come into effect. NOTE 3: Where an application to amend a Scheme has been made prior the amended LUPAA coming into effect 17 December 2015 then the previous legislation continues to operate for the purposes of that legislation until the Local Provision Schedules come into effect. The provisions of the previous legislation are set after these notes and the Schedule 6 provisions and are shaded. NOTE 4: Where an application to amend a Scheme has been made prior the amended LUPAA coming into effect 17 December 2015 but has not been approved prior to the Local Provision Schedules come into effect the situation is different. In that case the provisions of the amended LUPAA apply. Council's have additional powers to alter a draft amendment in that situation as set out below under Sch 6(4) and (5).		
AMENDMENT OF SCHEMES AND INTERIM SCHEMES					
Provisions of the LUPAA (pre-Tasmanian Planning Scheme amendments) which apply under Schedule 6 of the amended LUPAA (see Note 3 above)					
67	34(1)	Initiate amendment of planning scheme.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority
68	34(3)	Withdrawal of amendment of planning scheme.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority
69	34(4)	Notice of Withdrawal of amendment of planning scheme.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority
70	38(1)	Public exhibition of draft amendment.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority
71	39(2)	Representations to be provided to Commission in respect of draft amendments.	No authority to sub-delegate in respect of the delegation	• General Manager	• Planning Authority

72	43J	Correction or mistake in permits referred to in S.43H.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
73	43K	Minor amendment of permits referred to in S.43H.	No authority to sub-delegate in respect of the delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority

16. LAND USE PLANNING AND APPROVALS REGULATIONS 2024

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	R.4	Notification of approval of Local Provisions Schedule.	No authority to sub-delegate in respect of delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
2	R.5	Advertisement of exhibition of draft amendment, &c (to a planning scheme).	No authority to sub-delegate in respect of delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
3	R.6	Notification of approval of draft amendment.	No authority to sub-delegate in respect of delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority
4	R.7	Notice of approval of Local Provisions Schedule.	No authority to sub-delegate in respect of delegation	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Planning Authority
5	R.8	Notice of application for permit.	No authority to sub-delegate in respect of delegation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Planning Authority

17. LITTER ACT 2007

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.8	Power of councils to appoint employees as authorized officers The general manager of a council may appoint an employee of the council to be an authorized officer for the purposes of this Act.	Nil	<ul style="list-style-type: none"> Senior Environmental Health Officer Director of Planning & Development Director of Works & Infrastructure Compliance Coordinator Compliance Officer 	<ul style="list-style-type: none"> General Manager
2	S.38	Recovery of costs arising from litter abatement notices.	Nil	<ul style="list-style-type: none"> Senior Environmental Health Officer Director of Planning & Development Director of Works & Infrastructure Director of Corporate & Communication Compliance Coordinator 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
				<ul style="list-style-type: none"> Compliance Officer 	

18. LOCAL GOVERNMENT ACT 1993

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.20A	In order that a Council may perform its functions or exercise its powers under this or any other Act, the General Manager authorises a person to enter land for a specific purpose or in general	1. The General Manager must give notice to the owner or occupier of the land before entry is made unless: <ul style="list-style-type: none"> An emergency exists; or The entry is in relation to an application by the owner or occupier for a licence, permit or other approval given by the Council; or Notice would defeat the purpose of entry. 2. A person entering land under this section is to produce the identity card issued to that person.	<ul style="list-style-type: none"> Director of Planning & Development Director of Works & Infrastructure Works Manager Works Supervisor Plumbing Surveyor Compliance Coordinator Compliance Officer Senior Environmental Health Officer Senior Planner 	<ul style="list-style-type: none"> General Manager
2	S.22	Delegation (of functions and powers) by Council.	Subject to the rates and charges policies and procedures, not to be sub-delegated (see S.22)	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
3	S.28D	Documents relating to agendas.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
4	S.28T(6)	Code of conduct The general manager is to make a copy of the council's code of conduct available – <ul style="list-style-type: none"> a) For public inspection, free of charge, at the public office of the council during ordinary office hours and on its website; and b) For purchase at a reasonable charge. 	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
5	S.28T(7)	Code of conduct A council is to review its code of conduct within 3 months after each ordinary election.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
6	S.28Y	Initial assessment of complaint by general manager.	Nil Conditions or Restrictions	• General Manager	• Council
7	S.28ZK	Notification of determination of code of conduct complaint.	Nil Conditions or Restrictions	• General Manager	• Council
8	S.55D	Register of pecuniary interests of members of audit panel.	Nil Conditions or Restrictions	• General Manager • Director of Corporate & Communication	• Council
9	S.56B	Gifts and donations register.	Nil Conditions or Restrictions	• General Manager • Director of Corporate & Communication • Executive Officer	• Council
10	S.65	Duty to ensure that advice, recommendations or information given is by a qualified person and certify the same to Council.	Nil Conditions or Restrictions	• General Manager	• Council
11	S.74	Expenditure A Council may expend its funds for the purpose of exercising its powers or carrying out its functions under this or any other Act within the estimates adopted under Section 82.	Nil Conditions or Restrictions	• General Manager • Director of Corporate & Communication • Director of Planning & Development • Director of Works & Infrastructure • Works Operations Manager	• Council • General Manager
12	S.75	Investments A Council may invest any money – (a) In any manner in which a trustee is authorised by law to invest trust funds; and (b) In any investment the Treasurer approves.	In accordance with Council's investment policies as reviewed from time to time	• General Manager • Director of Corporate & Communication	• Council • General Manager
13	S.72	Providing Annual Report.	Nil Conditions or Restrictions	• General Manager	• Council
14	S.72B	Notice of AGM.	Nil Conditions or Restrictions	• General Manager	• Council
15	S.76	Writing off bad debts A council may write off any debts owed to the council if there are no reasonable prospects of recovering the debt; or if the costs of recovery are likely to equal or exceed the amount to be recovered.	1. No authority for the General Manager to Sub-delegate 2. The General Manager may only write off debts that do not exceed the amount of \$500	• General Manager	• Council
16	S.77	Grants and benefits A council may make a grant or provide a pecuniary benefit or a non-pecuniary benefit that is not a legal entitlement to any person, other than a councillor, for any purpose it considers appropriate.	1. No authority for the General Manager to Sub-delegate 2. The General Manager may only approve any such grant or benefit upon receiving setting out the	• General Manager	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
			nature, date and location of the sporting event for which the grant is sought or details of academic assistance sought. 3. That only one (1) grant of up to \$200 per applicant per calendar year can be approved by the General Manager 4. That the total expenditure for a financial year under this delegation must be reported under the "Grants and Benefits" section of the Annual Report		
17	S.81	Authorised deposit-taking institution accounts A Council may establish and maintain in its corporate name such authorized deposit-taking institution accounts as it considers necessary.	This applies to all account signatories.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
18	S.84(1)(3)(4)	Financial Statements The general manager is to prepare and forward to the Auditor General a copy of the council's financial statements for each financial year in accordance with the Audit Act 2008.	This section will be affected by Part 4 of the <i>Local Government (Miscellaneous Amendment) Act 2013</i> which is yet to commence.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
19	S92(2)(3)	Adjustment of amount payable The General Manager is to issue a supplementary notice in accordance with section 122 in respect of any amount payable as a result of an adjustment under this section. The General Manager may refund or give credit for any amount paid in respect of a rate in excess of the amount payable as a result of an adjustment under this section.	In accordance with Rates and Charges Policy.	<ul style="list-style-type: none"> Director of Corporate & Communication 	<ul style="list-style-type: none"> General Manager
20	S.110	Record of Rates	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
21	S.111	Ownership If the general manager is of the opinion that a person may or may not be the owner of land, the general manager may require that person to make a statutory declaration in respect of his or her interest in that land.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
22	S.124	Instalment payments	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		A Council may permit a ratepayer to pay in instalments. The Council may decide that any rates are payable by instalments.		<ul style="list-style-type: none"> Director of Corporate & Communication 	
23	S.126	Conditions of postponement A council may grant a postponement of the payment of rates for a specified period if satisfied that such payment would cause hardship.	Request for postponement of the payment of rates must be received in writing addressed to the General Manager	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
24	S.127	Postponement ceases to operate A council may, at any time, revoke a postponement of payment of rates by giving 60 days notice in writing to the ratepayer of the date on which the postponement ceases to operate.	No authority for the General Manager to sub-delegate	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
25	S.129	Remission of rates The general manager is to keep a record of the details of any remission granted under this section.	No authority for the General Manager to sub-delegate	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
26	S.132(4)	Certificate of liabilities On receipt of an application, the general manager is to issue a certificate containing the details referred to in subsection (1).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Corporate & Communication 	<ul style="list-style-type: none"> General Manager
27	Div 10 S.133-135	Recovery A Council can recover debts due to unpaid rates.	No authority for the General Manager to sub-delegate	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
28	S.139A	Register of Money (relevant to sale of land)	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
29	S.175	Purchase or lease of land A council may purchase or lease land for any purpose which it considers to be of benefit to the council or the community.	<ul style="list-style-type: none"> Restricted to leasing of land to Council and for a maximum of three (3) years; and does not include purchase or land. Relates to land leased to Council not land leased by Council. 	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
30	S.176	Acquisition of land A council may acquire land for prescribed purposes in accordance with the Land Acquisition Act 1993.	Restricted to the delegated provisions of S.37(d)(e)(ea) of the Local Government (General) Regulations 2005.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
31	S.182	Fencing land The general manager, by notice in writing served on the owner or occupier of land, may require the owner or occupier to fence the land.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> Director of Planning & Development Director of Works & 	<ul style="list-style-type: none"> General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
				Infrastructure	
32	S.183	Land reinstated The general manager, by notice in writing, may require the owner or occupier to rehabilitate land from which soil, rock, sand or material has been extracted at any time after the commencement of this Act.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • Senior Environmental Health Officer • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • General Manager
33	S.185	Compliance with notice A person served with a notice under this Division must undertake any work required to be done under the notice in accordance with the terms of the notice and within the period specified in the notice.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Senior Environmental Health Officer • Director of Planning & Development 	<ul style="list-style-type: none"> • Council • General Manager
34	S.189	Closure of local highways (markets) Power to allow a person to conduct a market and to close a local highway or part of a local highway for the purpose of any such market.	<ul style="list-style-type: none"> • Under Section 189(2) the General Manager has a duty to publish a notice of intention in a public newspaper if it is intended that a local highway or any part of a local highway is to be closed. • Delegated to the General Manager only. 	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council
35	S.190(3)	Objections A council is to consider any objection before closing a local highway or part of a local highway.	Nil	<ul style="list-style-type: none"> • General Manager • Director Works & Infrastructure 	<ul style="list-style-type: none"> • Council
36	S.193	Establishment of pounds A council may establish pounds for the detention of stray animals.	Nil	<ul style="list-style-type: none"> • General Manager • Director Planning & Development 	<ul style="list-style-type: none"> • Council
37	S.194	Impounding of animals Power to impound any animal found straying or at large.	Nil	<ul style="list-style-type: none"> • Director of Planning & Development • Works Manager • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager
38	S.195	Notice of impounding Power to issue a notice to the owner if the animal is unclaimed.	Nil	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
39	S.196	Fees, costs and charges Power to require an owner to make payment of costs and charges incurred from the impounding of their animal by notice and to detain any such animal until payment is received.	Nil	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager
40	S.197	Sale or destruction of unclaimed animals Power to sell, give away, or destroy an impounded animal.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • Council • General Manager
41	S.198	Destruction of animals Power to arrange for an impounded animal to be destroyed.	Nil	<ul style="list-style-type: none"> • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager
42	S.200	Abatement notices If a council is satisfied that a nuisance exists, the general manager must serve a notice on – a) Any person whose act or default contributes to or causes the nuisance whether or not that act or default occurs wholly or only partly in the municipal area; or b) If the person cannot be ascertained or found, on the owner or occupier of the land on, or from which, the nuisance arises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Senior Environmental Health Officer • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • Council • General Manager
43	S.201	General manager may take necessary action Power to take necessary action to abate a nuisance if – a) There is an immediate danger to any person or property; or b) The person causing the nuisance cannot be ascertained or found; or c) An abatement notice has not been complied with.	Nil	<ul style="list-style-type: none"> • Senior Environmental Health Officer • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • General Manager
44	S.207	Remission of fees and charges A council may remit all or part of any fee or charge paid or payable under this Division.	1. No authority for the General Manager to Sub-delegate. 2. Powers must be exercised in accordance with the relevant Council policies.	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council
45	S.261(1)	List of electors The general manager is to –	Nil	<ul style="list-style-type: none"> • General Manager • Executive Officer 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		a) Prepare and keep a list of electors from the electoral roll kept under S.258(1) as at the time of closure referred to in S.260; and b) Certify that the list is correct.			• General Manager
46	S.333A	Tender A council must invite tenders for any contract it intends to enter into for the supply or provision of goods or services valued at or above the prescribed amount.	Nil	• General Manager • Director Works & Infrastructure	• Council
47	S.336	Power to use the Council arms in any manner they think fit.	Nil	• General Manager	• Council
48	S.337	Council land information certificate A person may apply in writing to the general manager for a certificate in respect of information relating to land specified and clearly identified in the application.	Subclause (8) in accordance with Council's Schedule of Fees and Charges.	• Director of Planning & Development • Compliance Coordinator	• General Manager
49	S.344	Rounding of rates, &c.	Nil	• General Manager	• Council

19. LOCAL GOVERNMENT (BUILDING AND MISCELLANEOUS PROVISIONS) ACT 1993

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.83	Power for approval of plan of subdivision	No authority for the General Manager to sub-delegate.	• General Manager	• Council
2	S.84	Power not to approve a subdivision If – a) Any proposed lot has not the qualities of a minimum lot; or b) It includes any lot or other block of land smaller than is required or permitted by a finally approved planning scheme; or c) The subdivision includes any road or other works whereby drainage will be concentrated and discharged into any drain or culvert on or under any State highway.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
3	S.85	Power for refusal of application for subdivision	No authority for the General Manager to sub-delegate.	• General Manager	• Council
4	S.86	Security for payment Before approving a plan of subdivision, the council may a) Require security for payments and the execution of works; and b) Refuse to approve the application until such security is given.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
5	S.89	Power to approve and seal final plans.	1. No authority for the General Manager to sub-delegate.	• General Manager	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
			2. The General Manager may only approve and seal a final plan where it is in accordance with a planning permit. 3. The General Manager is not to approve a final plan unless he has received advice from the Senior Planner or the Director of Planning & Development that the application is compliant with all of the relevant legislation.		
6	S.91(3)	Power to object to the making of a correction to a final plan by the Recorder of Titles.	1. No authority for the General Manager to sub-delegate. 2. The General Manager may only object to the making of a correction to a final plan upon advice from the Senior Planner or the Director of Planning & Development that the application is compliant with all of the relevant legislation.	• General Manager	• Council
7	S.92	Power for amendments to final plans.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
8	S.93	Power for cancellation of final plans.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
9	S.96	Dedication as highway If a sealed plan shows provision for widening or deviating a way on, or adjoining, land comprised in the plan, an obligation runs with that land to dedicate it as a highway if required to do so by the highway authority.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
10	S.103	Power to amend sealed plans.	1. No authority for the General Manager to sub-delegate. 2. The General Manager may only amend sealed plans upon advice from the Senior Planner or the Director of Planning & Development that the amendment complies with the relevant legislation.	• General Manager	• Council
11	S.104(1)	Power for hearing in respect of amendment of plans.	No authority for the General Manager to sub-delegate.	• General Manager	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
12	S.105(2)	Power for compensation in respect of amendments.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
13	S.107	Access orders The council considers that work of a substantial nature is needed to provide access for vehicles from a highway onto the block, it may refuse to seal the final plan under which the block is created until the owner has carried out the work specified in the order within the specified period or given the council security for carrying out that work if called upon by it to do so.	1. No authority for the General Manager to sub-delegate. 2. The General Manager may only make an order upon advice from the Senior Planner or the Director of Planning & Development that the amendment complies with the relevant legislation	• General Manager	• Council
14	S.109(6)	Minimum lots If land may be used only as a place of business the restriction on its use – a) Is to be set out above the council's seal on the final plan of the subdivision; and b) Is enforceable by the Council.	No authority for the General Manager to sub-delegate	• General Manager	• Council
15	S.110	Adhesion orders The council may make an adhesion order if a block a) Has the qualities of a minimum lot; and b) Comprises 2 parcels or more that may, without the approval of any plan by the council, lawfully be sold separately so as to create a block which i) Would not have the qualities of a minimum lot; and ii) Is or in the opinion of the council is likely to be, built on or bought for building.	1. No authority for the General Manager to sub-delegate. 2. The General Manager may only make adhesion order upon advice from the Senior Planner or the Director of Planning & Development that the amendment complies with the relevant legislation.	• General Manager	• Council
16	S.112	Purposes for which plan approved The council is to state on the plan one of the following purposes for which the plan is approved: i) For the purpose of enabling the approved lot to form a single parcel; ii) For the purpose of enabling a purchaser to acquire all the sub-minimum lots which together form the minimum lot shown on the plan; iii) For the purpose of enabling the portions of the approved lot to form a single parcel or for enabling a purchaser to acquire all the sub-minimum lots which together are to form the minimum lot, as well as for the purpose of giving effect to the subdivision.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
17	S.113(4)	Bringing land under Land Titles Act 1980 If a plan of subdivision approved by the council and lodged in the office of the Recorder of Titles includes any adjoining land to be added that is not under the provisions of the Land Titles Act 1980, the Recorder is not to take any further action upon the plan until applications to bring the land under those provisions	No authority for the General Manager to sub-delegate.	• General Manager	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		have been made under Section 11 of that Act.			
18	S.115	Exemption Power to exempt a subdivision from the provisions of Part 3.	1. No authority for the General Manager to sub-delegate. 2. The General Manager may only exempt a subdivision from the provisions upon advice from the Senior Planner or the Director of Planning & Development that the amendment complies with the relevant legislation.	• General Manager	• Council
19	S.116	Power for limitation on requirement for public open space.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
20	S.117	Payment instead of increasing public open space Instead of requiring an owner to increase the area for public open space, the council, before approving a plan of subdivision may require security for the payment of an amount.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
21	S.118	Council schemes Before the council disposes of lands in circumstances in which, if the disposition were that of a private person the plan would require approval under this Part, it is to prepare a plan of subdivision that it would approve if it were a private person's plan.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
22	Part 7	Long Service Leave and Employees Assurance Scheme.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
23	S.241(1)	Preservation orders A council, on the recommendation of the National Trust of Australia (Tasmania) may by order – a) Prohibit the demolition of a building that is by itself or with others of historical or architectural interest or of special beauty; and b) Prohibit the alteration of or adding to the building except as the council may approve; and c) Require the owner to keep the building in good and tenantable repair.	No authority for the General Manager to sub-delegate.	• General Manager	• Council
24	S.243	Preservation order is enforceable A preservation order – a) Operates as a covenant between the owner and the owner and the council that the owner, executors, administrators and assigns will comply with the order; and b) Runs with the land in equity; and	No authority for the General Manager to sub-delegate.	• General Manager	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		c) Is enforceable by the council as if it were owner of all other lands in the municipal area and the tenants were natural persons holding of the council for life.			
25	S.244	Registering preservation order On receipt of a sealed copy and certificate under subsection (1) the Recorder of Titles is to – (a) register the preservation order by entering a memorial on the folio of the Register identified by the certificate; and (b) endorse the memorial on the folio of the Register, under the Land Titles Act 1980 , for the land.	No authority for the General Manager to sub-delegate.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
26	S.246	Advertising hoardings A person must not, within a municipal area, erect, put up, place or use or permit to be erected, put up, placed or used, any hoarding or similar structure for advertising purposes without a licence from the council.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
27	S.247	Power to require the removal of an advertising hoarding.	Nil	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council
28	S.248	Power to demolish, remove or remedy any building erected or constructed over or under a Council drain or a drain connected to a Council drain.	No authority to sub-delegate in respect of this delegation.	<ul style="list-style-type: none"> General Manager Director of Planning & Development 	<ul style="list-style-type: none"> Council

20. LOCAL GOVERNMENT (GENERAL) REGULATIONS 2015

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	R.23(2)(3)(4)(5)	Public tenders A council, through a public tender process, may establish a standing contract in which a single tenderer or multiple tenderers may be contracted for a specified period to provide specified goods or services during that period without the need for a further tender process.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Works & Infrastructure Director of Corporate & Communication Works Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
2	R.24	Open tenders The general manager is to ensure that prospective tenderers are provided with the following in order to make a tender: <ol style="list-style-type: none"> Details of the goods or services required; Details of the duration of the contract, including any extensions that are specified in the contract; The criteria for evaluating tenders; The method of evaluating tenders against the evaluation criteria; Any mandatory tender specifications and contract conditions; A reference to the council's code relating to tenders and contracts. 	Nil Conditions or Restrictions	<ul style="list-style-type: none"> Director of Planning & Development Director of Works & Infrastructure Director of Corporate & Communication Works Manager 	<ul style="list-style-type: none"> General Manager
3	R.25	Multiple use register A council may establish a multiple-use register of suppliers who meet criteria established by the council in respect of the supply of particular categories of goods or services.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Works & Infrastructure Director of Corporate & Communication Works Manager 	<ul style="list-style-type: none"> Council
4	R.26(1)	Multi stage tender A multiple-stage tender process is a process by which suppliers are evaluated through stages against criteria determined by the council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Works & Infrastructure Director of Corporate & Communication Works Manager 	<ul style="list-style-type: none"> Council

21. LOCAL GOVERNMENT (HIGHWAYS) ACT 1982

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.6	Power to make, widening &c., of highways by corporations	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council
2	S.7	Limitation on opening of highways in cities and towns by private persons.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council
3	S.8	Maintenance of highways opened outside cities or towns by private persons.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
4	S.10	Obligations on landowners opening highways.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
5	S.11	Enforcement of obligations of landowners opening highways.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council
6	S.14	Closure and diversion of highways.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
7	S.15	Dealing with sites of closed highways.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
8	S.17	Definition of boundaries of highway	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
9	S.19	Power to close a local highway, forbid the use of a local highway or grant licences for the use of a closed local highway	In consultation with Commissioner of Police. Delegation excludes Section 19(1)(c).	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
10	S.20	Power to close part of a local highway for the purpose of the sale of goods or entertainment on a Saturday, Sunday or statutory holiday	In consultation with Commissioner of Police and Transport Commission.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
11	S.21	General responsibility of corporations The Corporation of a municipality is charged with the duty of maintaining the local highways in the municipality that are maintainable by the corporation as shown on its municipal map, and, in any particular case, it shall discharge that duty in such manner as, having regard to all the circumstances of the case, it considers practicable and appropriate.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
12	S.24	Highways on boundaries of municipalities Where 2 corporations would, apart from this subsection, each be liable to repair one side of a local highway that forms or follows the common boundary of the municipal districts of those corporations, they are jointly liable to repair the whole width of that highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
13	S.25	General supplementary provisions as to carrying out of highway works.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
14	S.26(4)	Obtaining of materials for highway works.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
15	S.27	Use of adjoining lands in carrying out highway works.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
16	S.28	Shifting of apparatus, &c., in roads.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
17	S.30	Improvements, &c., of highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
18	S.31	Obstructions for prohibition or restriction of vehicular traffic.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
19	S.32	Power to light and arrange for lighting of local highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
20	S.33	Lighting or private ways and courts.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
21	S.34	Power to make, cleanse and keep open Council drains and watercourses in and through land adjoining or near a local highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
22	S.35	Crossings over footpaths, table-drains, and gutters Where the corporation is of the opinion that works are necessary to be carried out in a highway under local management for the construction or repair of a vehicular crossing over a table-drain, gutter, or footpath at or opposite the entrance to land adjoining the highway, it may serve a written notice on the owner of the land requiring him to carry out those works within the time specified.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
23	S.36	Fencing of streets in towns.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council
24	S.37	Alterations, &c., of entrances to highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	• Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
25	S.38	Power to remove trees as required for the facilitation and good management of local highways	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
26	S.39	Power to require an occupier of land to cut, trim or reduce the height of vegetation to reduce or remove danger from the obstruction of their view	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
27	S.40	Animal barriers on highways	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
28	S.41	Prohibition of traffic likely to cause damage to highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
29	S.42	Power to close a dangerous highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
30	S.44	Protection of bridges from excessive loading.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
31	S.45(4)	Removal and disposal of abandoned articles Where it appears to the corporation that an article has, without lawful authority, been abandoned on a highway under local management, it may remove the article from the highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Planning & Development Compliance Officer Works Manager 	<ul style="list-style-type: none"> Council
32	S.45(5)(6)(7)(8)(9)(10)(12)	Removal and disposal of abandoned articles where an article has been removed from a highway under this section, the corporation may, subject to this section, dispose of it in such manner as it thinks fit.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Planning & Development Compliance Officer Works Manager 	<ul style="list-style-type: none"> Council
33	S.46(2)	Permission to carry out various works in relation to highways Subject to any directions given by the corporation, its powers to grant a permission may be exercised on its behalf by its mayor or by some other person authorized by it for that purpose.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
34	S.46	Permission to carry out various works in relation to highways A corporation may, in accordance with its by-laws, grant a person written permission to do any one or more of the following things: a) Open or break up the soil or pavement of a local highway; b) Make a drain leading to a local highway; c) Put or place a pipe or make a drain leading into a sewer or drain or other work of the corporation in or under a local highway; d) Make an excavation, vault or cellar in or under a local highway; e) Install, under a local highway, pipelines, pipe systems or other infrastructure required for the transmission, distribution or supply of natural gas or other gaseous fuels; f) Erect a hoarding or scaffolding for building or any other purpose in or on a local highway.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
35	S.50	Management of local highways not maintainable by the corporation.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
36	S.51	Making good of back roads, lanes, &c., at frontagers' expense.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
37	S.52	Projections on to highways, &c. At such time as is agreed with the occupier of a building, or after giving at least 30 days' notice of its intention to do so, the corporation may remove or alter an obstruction to which this section applies that has been erected or placed against or in front of the building.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
38	S.53	Low-lying land near highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
39	S.54	Names of highways, &c.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Planning & Development Compliance Coordinator Works Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
40	S.55	Numbering of buildings, &c.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Coordinator • Works Manager 	<ul style="list-style-type: none"> • Council
41	S.59	Development of land in connection with highway improvements.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council
42	S.60(3)	Restrictive covenants for benefit of highway A corporation may, at any time, by agreement with the person against whom there is enforceable a covenant, discharge the covenant or may agree to a variation of the covenant.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council
43	S.62	Special provisions as to acquisition for widening or other alteration A corporation may take land for the widening or other alteration of a highway. Land shall not be taken under this section, unless a) Every part of it is within 3 metres of the boundary of an existing highway and b) No building is situated wholly or partly on the land or within 3 metres of its boundary.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council
44	S.63	Letting of highways not presently used Where the corporation has acquired highway rights over any land, it may, if the land is not presently required to be opened as a highway, let that land to the owner of any adjoining land.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council
45	S.66	Proof that Street is subject to Part V The carriage-way of a street shall be deemed to have been well and sufficiently made only if it was made well enough to be an all-weather road for light or heavy traffic or both according to the standards accepted at the time of its making.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
46	S.67(2)	Street works in streets not previously made up Where a street has not at any time been well and sufficiently made, the corporation may, in accordance with a scheme under this Part, carry out such street works as it considers necessary to put that street in a proper condition in substantial conformity with the standard requirements, recovering the cost of the works in the manner provided in this Part.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
47	S.68	Scheme of street construction Where the corporation intends to carry out street works in a street, it shall cause to be prepared a scheme for the carrying out of those works.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
48	S.71	Notice of preparation of scheme.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
49	S.72	Objection by owners (to the scheme)	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
50	S.74	Execution of scheme.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
51	S.76	Payment by frontagers (under the scheme).	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
52	S.77	State contribution Where a corporation has prepared a scheme for the carrying out of street works that comprise or include the construction of a carriage-way, the Minister for State Highways may, on the application of the corporation, undertake to make a contribution to the corporation of an amount equal to one-third of the cost of the construction of the carriage-way.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
53	S.79	Urgent works If it considers it urgently necessary to do so, a corporation may, without a scheme, carry out in a street any part of the works referred to in section 67, and the cost of carrying out those works may be included in a scheme subsequently made by the corporation in respect of the remainder of those works carried out in that street, and, with any necessary modifications, this Part applies to the scheme as if the part of the works previously carried out were part of the works to be authorized by the scheme.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
54	S.81	Record of charges.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
55	S.95	Establishment of controlled parking (a parking meter or voucher machine).	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council
56	S.96	Hours of operation of controlled parking.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council
57	S.99	Closure of parking spaces in certain cases.	S.99(7) allows the General Manager to issue authorisations; Council delegation also covers this.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Coordinator • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council
58	S.100(1A)	Infringement notices (in respect of an offence relating to a vehicle).	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Works Manager • Director of Planning & Development • Compliance Coordinator • Compliance Officer 	<ul style="list-style-type: none"> • Council • General Manager
59	S.102	Removal of vehicles in certain cases from parking spaces.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
60	S.104	Permits for use of parking spaces without operation of meters or use of parking vouchers.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
61	S.109	Lighting of certain State highways: Contributions by corporations to lighting of certain State highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
62	S.110	Powers and duties of corporations in relation to State highways A corporation may exercise the powers conferred by section 30 in respect of a State highway in the municipality and, in relation to the exercise of those powers in respect of that highway, this Act has effect as if it were a local highway maintainable by the corporation.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
63	S.112	Liability of corporation to maintain road works carried out by the Crown	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
64	S.114	Right of private persons opening new streets to obtain contributions.	Delegation excludes S.114(8).	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
65	S.115	Retention of petrol-pumps in highways.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
66	S.116	Tramways along or across highways The Governor may authorize the laying down, construction, and maintenance of a tramway or railway along or across a local highway, subject to such terms and conditions as may be recommended by the corporation.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
67	S.119	Determination of compensation Where a corporation or other person is entitled to be paid compensation under this Act, that compensation shall, unless provision is otherwise made for its determination, be determined by agreement between the parties or, in default of agreement, by action in a court of competent jurisdiction.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Corporate & Communication 	<ul style="list-style-type: none"> Council

22. LOCAL GOVERNMENT (MEETING PROCEDURES) REGULATIONS 2015

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	R.7(1)(2)	Notice of Meetings	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
2	R.8(1)(3)	Agenda The general manager is to – a) Prepare an agenda for each council meeting and council committee meeting; and	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		b) In the case of a council meeting, provide each councilor with the agenda and any associated reports and documents; and c) In the case of a council committee meeting, provide each member of the committee with the agenda and associated reports and documents at least 4 days before the council committee meeting.			
3	R.9(1)	Public access to documents As far as practicable, the general manager is to make available for inspection by members of the public a copy of the agenda of a meeting and any associated reports and documents.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

23. MONETARY PENALTIES ENFORCEMENT ACT 2005

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.17(2)	Options for dealing with infringement notice – approve or refuse an application for the withdrawal of an infringement notice or a variation of an infringement notice, and notify the applicant of the approval or refusal.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
2	S.18(1)	Referral to Director of infringement notice issued by fee-paying public sector body.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Director Planning & Development Rates Officer Accounts Payable Officer Customer Services Officer Technical Officer Development Services 	<ul style="list-style-type: none"> Council
3	S.23	Withdrawal of infringement notice.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
4	S.28(3)-(4-)	Application to fee-paying public sector body for variation of payment conditions.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
5	S.39(1)	Hearing of offence by court – commencement of proceedings.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
6	S.40(3)	Application to court to set aside conviction.	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

24. NEIGHBOURHOOD DISPUTES ABOUT PLANTS ACT 2017

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	s.27	Appear on behalf of the Council in relation to applications to TASCAT under Part 4	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director Planning and Development Senior Planner Natural Resource Management Officer 	<ul style="list-style-type: none"> Council

25. OCCUPATIONAL LICENCING ACT 2005

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	<u>37C</u>	Certain Organisations May Apply for a Building Services Licence - a Council may apply for a building services licence and under s 37C(1)(c) and nominate a person to be the licenced person of the licenced entity s37C(2)(c).	Nil Conditions or Restrictions.	<ul style="list-style-type: none"> General Manager Director Planning & Development Director Works & Infrastructure 	<ul style="list-style-type: none"> Council
	<u>37D</u>	Continuation of building services licence held by certain organisations - the Council, as a Licenced Entity, must notify the Administration in writing as soon as practicable after becoming aware that a "relevant event" (as defined in s 37(C)(5) has occurred or is to occur in respect of the Licenced Entity.		<ul style="list-style-type: none"> General Manager Director Planning & Development Director Works & Infrastructure 	<ul style="list-style-type: none"> Council

26. PLACE NAMES ACT 2020

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.11 (2)	Naming of roads, streets, &c. As a responsible authority the council has a responsibility to name, alter or revoke a name of a place.	Nil	General Manager	<ul style="list-style-type: none"> Council
2	S. 11(3)	Naming of roads, streets, &c. The responsible authority for a place referred to in section 4(1)(c) must ensure that any naming action, performed in respect of the place, complies with –	Nil	General Manager	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		(a) the relevant provisions of the guidelines; and (b) this Act and any other applicable Act; and (c) the relevant procedures of the responsible authority.			
3	S.11 (4)	Naming of roads, streets, &c. As soon as practicable after performing a naming action in respect of a place, the responsible authority for the place is to submit details of the action to the Registrar for recording in the register.	Nil	General Manager	• Council

27. PUBLIC HEALTH ACT 1997

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.11(1)(2)	Appointment of officers	Nil Conditions or Restrictions	• General Manager	• Council
2	S.32(1)(2)	Production of Records	Nil Conditions or Restrictions	• General Manager • Director of Planning & Development • Senior Environmental Health Officer	• Council • General Manager
3	S.33(a)(b)	Production of things A council or an authorized officer may require a person to produce for inspection anything in the person's possession if – a) The council or the officer reasonably believes that it may disclose evidence of the commission of an offence under this Act; or b) It is otherwise necessary for the purposes of this Act.	Nil Conditions or Restrictions	• General Manager • Director of Planning & Development	• Council • General Manager
4	S.34(a)(b)	Production of licence A council or an authorized officer may – a) Require a person to produce for inspection any licence the person holds or should hold; and b) Examine, remove and take photographs or copies of, or extracts or notes from, any licence.	Nil Conditions or Restrictions	• General Manager • Director of Planning & Development	• Council • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
5	S.35	Photographs, sketches, measurements and recordings For the purposes of this Act, a council or an authorized office may: a) Take any photograph, film or video recording; and b) Take any measurements; and c) Make any sketches or drawing; and d) Make any other recording by any other means.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer Compliance Coordinator Compliance Officer 	<ul style="list-style-type: none"> Council General Manager
6	S.36(1)(2)	Information requirements A council or an authorized officer may require a person to – a) Give his or her full name and residential address; b) Give details of any licence, permit or exemption under this Act; c) Provide any information relating to public health reasonably required for the purposes of this Act. A council or an authorized officer may require any person to give information about that person's or another person's activities in respect of any matter under this Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council General Manager
7	S.57	Council immunization programs.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
8	S.77(1)(3)	Grant or refusal of licence for Place of Assembly.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
9	S.78	Issue of licence for Place of Assembly.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
10	S.81	Renewal of licence of Place of Assembly.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
11	S.82	Variation of licence of Place of Assembly.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
12	S.83	Cancellation of licence of Place of Assembly.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
13	S.84(2)	Overcrowding A council, an authorized officer, a person authorized by the Commissioner for Licensing or a person authorized by the State Fire Commissioner may –	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
		a) Cause the doors of a place of assembly to be closed; b) Evacuate the place of assembly; or c) Cause any event occurring at that place of assembly to be cancelled in circumstances referred to in paragraph (b).			
14	S.87	Closure order of Unhealthy premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
15	S.88	Service of closure order of Unhealthy premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
16	S.89	Revocation of closure order of Unhealthy premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
17	S.92(1)(4)(6)	Rectification notice A council, on the advice of an Senior Environmental Health Officer or building surveyor, is to serve a rectification notice in an approved form. If a person fails to comply with a notice, the council may cause any necessary work to be carried out at that person's expense. A council, upon the certificate of an Senior Environmental Health Officer or building surveyor that the condition of the premises is no longer, or is not likely to become, offensive, injurious or prejudicial to health, is to revoke a rectification notice.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
18	S.97	Grant or refusal of registration of premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
19	S.98	Issue of certificate of registration of premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
20	S.101	Renewal of registration of premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
21	S.102	Variation of registration of premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
22	S.103	Cancellation of registration of premises.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
23	S.106	Grant or refusal of licence (to carry out any Public health risk activity).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
24	S.107	Issue of licence (to carry out any Public health risk activity).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
25	S.110	Renewal of licence (to carry out any Public health risk activity).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
26	S.111	Variation of licence (to carry out any Public health risk activity).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
27	S.112	Cancellation of licence (to carry out any Public health risk activity).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
28	S.115	Grant or refusal of registration of regulated system.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
29	S.116	Issue of certificate of registration (of a regulated system).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
30	S.119(1)(3)	Notice to comply with direction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
31	S.121	Renewal of registration (of any regulated system).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
32	S.122	Variation of registration (of any regulated system).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
33	S.123	Cancellation of registration (of any regulated system).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
34	S.128	Notification of quality of water.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
35	S.129(1)	Orders relating to water quality.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
36	S.130(1)(3)	Monitoring and review (of the quality of water within the municipal area).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
37	S.131	Samples An authorized officer or a council may take a sample from any water. Any sample taken under this section is to be analysed and tested in accordance with the requirements of the Director.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
38	S.135	Grant or refusal of registration (as a supplier of water).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
39	S.136	Issue of certificate of registration (as a supplier of water).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
40	S.136AA	Renewal of registration (as a supplier of water).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
41	S.136B	Variation of registration (as a supplier of water).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
42	S.136C	Cancellation of registration (as a supplier of water).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager
43	S.136H	Issue of certificate of registration (as a water carrier).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Environmental Health Officer 	<ul style="list-style-type: none"> • Council • General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
44	S.136I	Renewal of registration (as a water carrier).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
45	S.136K	Variation of registration (as a water carrier).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
46	S.136L	Cancellation of registration (as a water carrier).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
47	S.144	Registers kept by Councils A council is to keep – <ul style="list-style-type: none"> a) A register of registered regulated systems; and b) A register of registered users and suppliers of water from private water sources; and c) A register of registered premises used for public health risk activities. 	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
48	S.148(1)	Requirement for information The Director, any council or an authorized officer may require a person to provide information relating to public health which is reasonably needed for the purposes of this Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
49	S.152(1)	Costs incurred in exercising power.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
50	S.158(1)	Proceedings Proceedings for an offence under this Act may only be instituted by – <ul style="list-style-type: none"> a) The Minister or a person authorized by the Minister; or b) An authorized officer; or c) A nominated officer in relation to proceedings for an offence under Part 4; or d) A police officer; or e) A council. 	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
51	S.169(1)	Infringement notices An authorized officer or a council may serve an infringement notice on a person if of the opinion that the person has committed a prescribed offence.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
52	S.190(1),(3) & (4)	Sale or disposal of forfeited things.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
53	S.191(3)	Return of and access to seized things.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager
54	S.192(1)	Sale or disposal of seized things.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Director of Planning & Development Senior Environmental Health Officer 	<ul style="list-style-type: none"> Council General Manager

28. PUBLIC INTEREST DISCLOSURE ACT 2002

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.29B	Referral of disclosure to Integrity Commission Where a public body believes a disclosure relates to misconduct defined in the Integrity Commission Act 2009, the public body may refer the disclosure to the Integrity Commission.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
2	S.29D(1)	Notice of referral If public body refers a disclosure to the Integrity Commission, they must notify the person who made that disclosure of the referral.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
3	S.33(1)	Determination by public body of disclosure as to public interest disclosure Public body to determine whether disclosure is a public interest disclosure within 45 days.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
4	S.34(1)	Procedure where public body determines disclosure to be public interest disclosure Notifications where disclosure is determined a public interest disclosure.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
5	S.35(1)	Procedure where public body determines disclosure not to be public interest disclosure Notifications where disclosure is deemed not to be public interest disclosure.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
6	S.62B	Delegation by Principal officer The principal officer may by instrument in writing delegate to a public interest disclosure officer specified in the instrument the performance or exercise of such of his or her functions or powers under this Act (other than this power of delegation) as are specified in the instrument, and may, by instrument in writing, revoke wholly or in part any such delegation.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
7	S.64	Matter that do not have to be investigated A public body may decide not to investigate a disclosure.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
8	S.65(1)	Decisions by public body not to investigate Notification of decision not to investigate.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
9	S.68	Referral to Ombudsman by public body A public body may refer the investigation of a disclosed matter to the Ombudsman if the public body considers that its own investigation is being obstructed or that it is otherwise not within the capacity of the public body to complete the investigation.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
10	S.70	Provision of information to Ombudsman Public body must give the Ombudsman in writing any information it has in respect to a disclosed matter.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
11	S.72(1)	Notice of referral Notice to be given where public body refers an investigation to the Ombudsman.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
12	S.74	Information about progress of investigation Public body must at the request of the person who made the disclosure or the Ombudsman, give all reasonable information about the investigation with 28 days.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
13	S.76(1)	Report on investigation Public body must notify the Ombudsman and the relevant person on completing an investigation of a disclosed matter.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
14	S.77(1)	Report to person making disclosure Public body must inform the person who made the disclosure of the findings.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
15	S.77A(2)	Investigations to be completed within 6 months A public body may apply to the Ombudsman for an extension of up to 6 months in which to complete the investigation.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
16	S.77A(4)	Investigations to be completed within 6 months If investigation is not complete within time specified in 77A(1), public body must refer the disclosure to the Ombudsman.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Executive Officer Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager

29. RIGHT TO INFORMATION ACT 2009

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.10	Electronic information If information is stored in an electronic form, a Minister or public authority may refuse an application if – <ul style="list-style-type: none"> a) The information cannot be produced using the normal computer hardware and software and technical expertise of the public authority; and b) Producing it would substantially and unreasonably divert the resources of the public authority from its usual operations. 	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
2	S.12	Information to be provided apart from Act This Act does not prevent and is not intended to discourage a public authority or a Minister from publishing or providing information, otherwise than as required by this Act.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
3	S.13(5)(6)(7)(8)	Application for assessed disclosure of information.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
4	S.14(1)	Transfer of applications (for assessed disclosure of information).	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
5	S.15	Time within which applications for assessed disclosure of information are to be decided.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
6	S.16	Charges for information All applications for assessed disclosure of information must be accompanied by an application fee of 25 fee units. The application fee may be waived if – <ul style="list-style-type: none"> a) The applicant is impecunious; or b) The applicant is a Member of Parliament acting in connection with his or her official duty; or ba) The applicant is a journalist acting in connection with their professional duties; or c) The applicant is able to show that he or she intends to use the information for a purpose that is of general public interest or benefit. 	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council
7	S.17	Deferment of provision of information.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
8	S.18	Provision of information.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
9	S.19	Requests may be refused if resources unreasonably diverted.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
10	S.20	Repeat or vexatious applications may be refused.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
11	S.21(1)	Decision to be made on behalf of public authority by authorised person A decision in respect of an application for information made to a public authority is to be made by – <ul style="list-style-type: none"> a) The responsible Minister; or b) The principal officer of the public authority or c) A delegated officer. 	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
12	S.21(2)	Decision to be made on behalf of public authority by authorised person A person who makes a decision in accordance with this Act is to act impartially in making that decision.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council
13	S.22	Reasons to be given (when a decision in relation to an application for information is made).	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
14	S.23	Other responsibilities of principal officer.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager
15	S.33	Public Interest Test In this Division, information is exempt information if the principal officer of the public authority or Minister considers, after taking into account all relevant matters, that it is contrary to the public interest to disclose the information.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager
16	S.36(2)	Personal information of person If <ol style="list-style-type: none"> An application is made for information under this Act; and The information was provided to a public authority or Minister by a third party; and The principal officer or Minister decides that disclosure of the information concerned may be reasonably expected to be of concern to the third party – the principal officer or Minister is to, by notice in writing to the third party – Notify that person that the public authority or Minister has received an application for the information; and State the nature of the information that has been applied for; and Request that, within 15 working days from the date of the notice, the person provide his or her view as to whether the information should be provided. 	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager
17	S.36(3)(5)	Personal information of person If a public authority or Minister, after receipt of a person's view, decides to provide the information, the public authority or Minister must, by notice in writing given to that person, notify that person of the decision. See subsection 5 for caveats.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
18	S.37(2)	Information relating to business affairs of a third party If – a) An application is made for information under this Act; and b) The information was provided to a public authority or Minister by a third party; and c) The principal officer or Minister decides that disclosure of the information concerned may be reasonably expected to be of substantial concern to the third party – the principal officer or Minister must, before deciding whether the disclosure of the information under this Act would be likely to expose the third party that provided the information to substantial harm to the third party's competitive position, by notice in writing given to the third party – d) Notify the third party that the public authority or Minister has received an application for the information; and e) State the nature of the information applied for; and f) Request that, within 15 working days from the date of the notice, the third party provide the third party's view as to whether the information should be provided.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager
19	S.37(3)(5)	Information relating to business affairs of a third party If a public authority or Minister, after receipt of a third party's view, decides to disclose the information, the public authority or Minister must, by notice in writing given to the third party, notify the third party of the decision. See subsection 5 for caveats.	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Executive Officer 	<ul style="list-style-type: none"> Council General Manager
20	S.43(4)(5)	Internal review (of a decision in respect of an application).	A delegation may be for a period not exceeding 3 years.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

30. ROADS AND JETTIES ACT 1935

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.22LGA	To agree with the Minister for the maintenance or reconstruction of a State highway or a subsidiary road otherwise than in accordance with S.11(1).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council

No Statutory Ref		Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
2	S.22LGA	To carry out the Council's power to move, keep or impound any vehicle causing an obstruction or danger etc and related action pursuant to S.48B.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Works & Infrastructure Works Manager Compliance Coordinator Compliance Officer 	<ul style="list-style-type: none"> Council
3	S.11	Maintenance of State highways, &c. in cities, &c.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
4	S.11(2)	To agree with the Minister for the maintenance or reconstruction of a State highway or a subsidiary road otherwise than in accordance with S.11(1).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
5	S.28	Acquisition of land for quarry, &c.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
6	S.29	Intention to acquire land may be abandoned if compensation excessive.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
7	S.32	Entry by Council upon land and staking out of same.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
8	S.33	Rental of land (for the purpose of obtaining materials therefrom for the construction or maintenance of any road or street).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
9	S.34	Use of uncultivated land for temporary road.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
10	S.35	Taking of timber, &c., from land (for making, repairing, or fencing any road, or for any other purposes of this Act).	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
11	S.36	Quarries, &c., to be fenced and filled up or otherwise secured.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager

No Statutory Ref		Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
12	S.37	Fences to be restored.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
13	S.38	Deviations to be fenced Where any road has been diverted, the road authority shall, if required by the owner or occupier of any land through which such road passes, cause such road to be well and sufficiently fenced where it so passes.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
14	S.40	Power to make, cleanse and keep open drains or watercourses in and through land adjoining or near any road	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
15	S.41	Timber growing near roads may be cut down: Consent of owner required in certain cases.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
16	S.42	Hedges, &c., obstructing view of traffic to be cut or trimmed.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
17	S.44	Culverts to be constructed by owners at entrances to lands adjoining roads.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager Development Engineer 	<ul style="list-style-type: none"> Council General Manager
18	S.45	Power of Minister in certain cases to erect gates across roads.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
19	S.46	Damage caused by overweight vehicles.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
20	S.47	Road metal, &c., may be placed on side of road.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
21	S.47A	Warning gantries for bridges with overhead members.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Works Operations Manager 	<ul style="list-style-type: none"> Council General Manager
22	S.48	Power of road authority, with the consent of the Governor, to permit tramway or railway along or across road.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Planning & Development Works Operations Manager 	<ul style="list-style-type: none"> Council General Manager

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
23	S.48A	Removal and disposal of abandoned articles.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager Director Planning & Development Compliance Coordinator Compliance Officer 	<ul style="list-style-type: none"> Council General Manager
24	S.48B	Power to remove vehicles causing obstruction or danger.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Planning & Development Compliance Officer Works Manager 	<ul style="list-style-type: none"> Council General Manager
24	S.49	Obstructing roads: Notice to remove obstructions.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Planning & Development Works Manager Compliance Officer 	<ul style="list-style-type: none"> Council General Manager
26	S.50B	Excavations A person must not make any excavation, vault or cellar beneath a street in a town without the consent of the appropriate council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
27	S.51	Laying down timber, &c., on roads.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager

31. STRATA TITLES ACT 1998

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.31AA	Requirement for staged development scheme Where an application for a certificate of approval is made wholly or partly in respect of vacant land, the council may refuse the application on the ground that an application for a staged development scheme under section 38 should be made.	<p>No authority to sub-delegate in respect of the delegation</p> <p>Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation</p>	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
2	S.31(2A)	Application for, and grant of, certificate of approval The Council must within 30 days of receiving an application issue or refuse to issue a certificate of approval.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
3	S.31(2B)	Application for, and grant of, certificate of approval The Council may give the applicant notice requiring further information in order to determine the application.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
4	S.31(3)	Application for, and grant of, certificate of approval The Council may issue a certificate of approval for a strata plan after satisfying itself of certain matters.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
5	S.31(4)	Application for, and grant of, certificate of approval The Council must return sketches, plans and models if it refuses to issue a certificate of approval.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
6	S.31(6)	Application for, and grant of, certificate of approval The Council must refuse to issue a certificate of approval if it considers the proposal is actually a subdivision.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or 7the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
7	S.36(1)	Application for council approval (in relation to a staged development scheme).	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council
8	S.37(1)(a)	Approval of scheme in principle Before giving in principle approval for a staged development scheme council can require specified changes to the scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council
9	S.37(1)(b)	Approval of scheme in principle Before giving in principle approval for a staged development scheme council can require the demolition or alteration of buildings on the site.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council
10	S.37(2)(a)	Approval of scheme in principle Council can approve a staged development scheme unconditionally.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council
11	S.37(2)(b)	Approval of scheme in principle Council can approve the staged development scheme subject to specified conditions.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
12	S.37(2)(c)	Approval of scheme in principle Council can refuse to approve the staged development scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
13	S.37(4)	Approval of scheme in principle If council approves the proposed staged development scheme it must issue a certificate of approval.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
14	S.41(2)	Progressive development The council may refuse to approve a particular stage in a staged development scheme if an earlier stage of the scheme has not been completed as required under the terms of the registered scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
15	S.42(2)	Application for variation of scheme The application is to be made in the first instance to the council for the area in which the site is situated.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development 16. that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
16	S.42(5)	Application for variation of scheme The council may dispense with the consent of a present or prospective owners of lots in the staged development scheme in relation to a proposed variation if satisfied of certain matters.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
17	S.42(6)	Application for variation of scheme The council may approve the variation unconditionally, or approve the variation subject to specified conditions or refuse to approve the variation.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
18	S.45	Injunction Council (as an “interested person” under the Act) can apply for a mandatory injunction requiring the developer of a staged development scheme to complete the scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
19	S.54(1)(a)	Approval of scheme Before giving in principle approval for a community development scheme council can require specified changes to the scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
20	S.54(1)(b)	Approval of scheme Before giving in principle approval for a community development scheme council can require the demolition or alteration of buildings on the site.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
21	S.54(2)(a)	Approval of scheme Council can approve a proposed community development scheme unconditionally.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
22	S.54(2)(b)	Approval of scheme Council can approve the proposed community development scheme subject to specified conditions.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
23	S.54(2)(c)	Approval of scheme Council can refuse to approve the proposed community development scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
24	S.54(4)	Approval of scheme If council approves the proposed community development scheme it must issue a certificate of approval.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
25	S.57(2)	Progressive development The council may refuse to approve a particular stage of a community development scheme in certain circumstances.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
26	S.58(2)	Application for variation of scheme The application is to be made in the first instance to the council for the area in which the site is situated.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
27	S.58(5)	Application for variation of scheme The council may dispense with the consent of a present or prospective owners of lots in the community development scheme in relation to a proposed variation if satisfied of certain matters.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
28	S.58(6)	Application for variation of scheme The council may approve the variation unconditionally, or approve the variation subject to specified conditions or refuse to approve the variation.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
29	S.61	Injunction Council (as an “interested person” under the Act) can apply for a mandatory injunction requiring the developer of a community development scheme to complete the scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
30	S.65(a)	Assignment of interest in land subject to scheme If the owner of land subject to a registered community development scheme proposes to sell or dispose of land subject to the scheme the owner must given written notice of the proposed transaction to the Council for the area in which the site is situated.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
31	S.65(b)(i)	Assignment of interest in land subject to scheme If the owner of land subject to a registered community development scheme proposes to sell or dispose of land subject to the scheme the person who is to acquire title to the land in consequence of the transaction must give to the council a written undertaking to develop the land in accordance with the registered scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Functions or Power	Conditions or Restrictions	Delegation	Original Source of Power
32	S.65(b)(ii)	Assignment of interest in land subject to scheme If the owner of land subject to a registered community development scheme proposes to sell or dispose of land subject to the scheme the person who is to acquire title to the land in consequence of the transaction must give the council any security required by the council, within 28 days after notice of the transaction was given to the council, for the development of the land in accordance with the scheme.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council
33	S.142(2)(b)	Recording of certain orders.	No authority to sub-delegate in respect of the delegation Any action taken may only be done so upon advice from the Senior Planner or the Director of Planning & Development . that the application complies with the relevant legislation	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Senior Planner 	<ul style="list-style-type: none"> • Council

32. SURVEY CO-ORDINATION ACT 1944

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.4(2)	Public authorities to compile and forward to Surveyor-General lists of existing plans Every public authority shall, upon being so required by the Surveyor-General, appoint a fit and proper person as the proper officer of that authority for the purposes of this Act.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council
2	S.5	Public authorities to give notice of intention to commence new surveys.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council

33. TRAFFIC ACT 1925

Notes on Legislation S.3(2):

This Act is to be read together with the Vehicle and Traffic Act 1999 as a single Act and accordingly –

- (a) Words and expressions used in this Act that are defined under the Vehicle and Traffic Act 1999 (and not in this Act) have, unless the contrary intention appears, the same respective meanings; and
- (b) A reference to “this Act” extends, unless the contrary intention appears, to both Acts.

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.43(2)	Removal of things obstructing public streets An authorized person may remove, take and detain articles placed or left in public streets to the obstruction, annoyance or danger of other persons.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council
2	S.43(3)(4)(5)	Removal of things obstructing public streets A relevant authority must notify articles owner of removal and/or dispose of articles not removed.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Compliance Officer • Works Manager 	<ul style="list-style-type: none"> • Council

34. URBAN DRAINAGE ACT 2013

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.5(4)	Council to provide adequate public stormwater system A council may appeal to the Tasmanian Civil and Administrative Tribunal against an order under subsection 5(3) within the period specified in the order.)	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
2	S.5(6)	Council to provide adequate public stormwater system Council to provide public stormwater system. If found not too, they must comply with the orders in notice of default.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
3	S.7	Service of notice relating to negotiations for provisions of stormwater services.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
4	S.11(1)	Power of council to adopt stormwater systems General manager may agree with a person who has a private stormwater system or is proposing to construct stormwater system that if it is constructed in accordance with the terms of the agreement that the council will declare the works to be vested in the council.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
5	S.11(4)	Power of council to adopt stormwater systems General manager may require person constructing a drain to construct it in a different way.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
6	S.11(8)	Power of council to adopt stormwater systems Where a council imposes a requirement under S.11(4) they must pay extra costs incurred by person constructing the drain.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
7	S.12	Council to maintain maps.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
8	S.13	Protection of stormwater assets General manager granting consent as to protection of stormwater assets. Issuing of notices requiring removal where consent has not been granted.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
9	S.13(4)	Protection of stormwater assets If a person fails to carry out the works required in the notice within the specified period, the council may demolish, remove or remedy the building or construction and carry out any works necessary for restoring or reinstating the public stormwater system.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
10	S.13(5)(b)	Protection of stormwater assets If the council carries out works under S.13(4) expenses are recoverable in a court of a competent jurisdiction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
11	S.14	Interference with public stormwater systems General manager granting consent as to interference with stormwater systems. Issuing of notices requiring removal where consent has not been granted.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
12	S.14(4)	Interference with public stormwater systems If a person fails to comply with the notice issued under 14(2) within the specified period, the council may demolish, remove or remedy the works and carry out any works necessary for restoring or reinstating the infrastructure.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
13	S.14(5)(b)	Interference with public stormwater systems If the council carries out works under S.14(4) expenses are recoverable in a court of a competent jurisdiction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
14	S.15(13)	Power of authorised officers to carry out work on or adjacent to public land A council must make good, to the satisfaction of the authority responsible for the land, any damage caused by the exercise of powers under this section as soon as practicable.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
15	S.16(9)	Power of authorized officers to enter private land The council must make good any damage caused by the exercise of powers under this section as soon as practicable or pay reasonable compensation for the damage.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager • Works Supervisor • Team Leader – Bicheno • Team Leader – Swansea • Team Leader – Triabunna 	<ul style="list-style-type: none"> • Council
16	S.17	Power to undertake construction of public stormwater systems Without the permission of the relevant general manager, a person must not discharge, or cause or permit to be discharged, stormwater into any system other than the public stormwater system.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
17	S.18(3)	Discharge of matter into public stormwater system General Manager must give permission to discharge matter into public stormwater systems.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
18	S.20	Limits on connection point General manager to provide approval in relation to limits on connection points for public and private stormwater systems.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
19	S.21(1)	Requirement to connect General Manager may service notice requiring connection to public stormwater systems.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
20	S.21(3)	Requirement to connect Where notice has been served, council may recover costs if it is not complied with.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council
21	S.22(1)	Requirement to disconnect General manager may service notice to property owner requiring the removal of existing connections between the property and public stormwater systems and recover costs where notice is not complied with.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
22	S.22(3)	Requirement to disconnect Where notice has been served, council may recover costs if it is not complied with.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council

No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
23	S.23(2)(a)	Property owners not to direct stormwater onto neighbouring properties General manager to issue notice giving property owner creating nuisance 28 days to stop.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
24	S.23(2)(b)	Property owners not to direct stormwater onto neighbouring properties If a property owner does not comply with a notice under S.23(2)(a) the council can carry out such works that are necessary to rectify the nuisance.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council
25	S.23(3)	Property owners not to direct stormwater onto neighbouring properties Any costs incurred under S.23(2)(b) are recoverable in a court of competent jurisdiction.	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council

35. VEHICLE AND TRAFFIC ACT 1999


No	Statutory Ref	Function or Power	Conditions or Restrictions	Delegation	Original Source of Power
1	S.56C(2)(3)(4)(5)	Certain activities prohibited on public streets (ie selling goods, or a business, calling, or employment) in accordance with the provisions of Section 56C(2)(3)(4)(5) of the Vehicle and Traffic Act 1999	Nil Conditions or Restrictions	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager

36. MISCELLANEOUS POWERS AND FUNCTIONS TO THE GENERAL MANAGER AND AN OFFICER / EMPLOYEE

No	Function or Power	Delegation	Original Source of Power
1	To call for and accept quotations, tenders or auction the disposal of surplus or redundant plant, equipment or materials.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Director of Corporate & Communication Works Manager 	<ul style="list-style-type: none"> Council General Manager
2	To approve the taking over by the Council of engineering works involved in the development of a subdivision subject to certification by the Engineering Technical Officer or Consultant Engineer that all the items, including maintenance, have been satisfactorily completed and “as constructed” drawings have been received.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Development Engineer 	<ul style="list-style-type: none"> Council General Manager
3	To institute, defend, abandon, settle or compromise any proceedings before any tribunal for the recovery of debts due to the Council or for breaches of any By-laws or statutes affecting the Council, or to protect, recover or secure recompense for damage to or loss of any property of the Council.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication Director of Planning & Development 	<ul style="list-style-type: none"> Council General Manager

No	Function or Power	Delegation	Original Source of Power
4	To authorise and to institute proceedings for non-compliance with any order or notice lawfully made or given by or on behalf of the Council, and where such order or notice is not complied with, to authorise the carrying out of the necessary work where the Council has the power to do so.	<ul style="list-style-type: none"> • Director of Works & Infrastructure • General Manager • Senior Environmental Health Officer • Director of Planning & Development • Director of Corporate & Communication • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council • General Manager
5	To issue or publish or cause to be issued or published statements of fact relating to Council's activities or policies.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure • Director of Planning & Development • Director of Corporate & Communication • Works Manager • Community & Communications Officer 	<ul style="list-style-type: none"> • Council
6	To seek legal advice and to complete affidavits on behalf of Council in accordance with Council policies.	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council
7	To sign all contracts, leases and agreements on behalf of Council in accordance with Council policies.	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council
8	To control and supervise all contracts and to approve expenditure authorised thereunder in the relevant budget, including contingency provisions.	<ul style="list-style-type: none"> • General Manager • Director of Corporate & Communication • Director of Works & Infrastructure • Director of Planning & Development 	<ul style="list-style-type: none"> • Council • General Manager
9	To authorise the carrying out by Council of private works for other parties.	<ul style="list-style-type: none"> • General Manager • Director of Planning & Development • Director of Works & Infrastructure • Works Manager 	<ul style="list-style-type: none"> • Council • General Manager
10	To authorise the joining in or the contribution by the Council, to the erection or repair of any fence between land of the Council and adjoining land in accordance with the Boundary Fences Act 1908 and in keeping with the Council budget estimates.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council • General Manager
11	To determine the use of public roads for walk-a-thons, charitable collections or other like events.	<ul style="list-style-type: none"> • General Manager • Director of Corporate & Communication • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council • General Manager
12	To authorise the closure of roads or parts thereof temporarily for repairs or construction.	<ul style="list-style-type: none"> • General Manager • Director of Works & Infrastructure 	<ul style="list-style-type: none"> • Council • General Manager
13	To authorise the total or partial release of bonds, guarantees and security deposits where the relevant Manager has certified that the work or thing which the bond, guarantee or security deposit relates has been satisfied in whole or in part and to call on any bonds, guarantees or security deposits where the work secured has not been carried out in accordance with Council requirements.	<ul style="list-style-type: none"> • General Manager • Director of Corporate & Communication • Director of Planning & Development 	<ul style="list-style-type: none"> • Council • General Manager
14	To authorise the use of Council's plant and equipment in emergencies at the request of the State Emergency	<ul style="list-style-type: none"> • General Manager 	<ul style="list-style-type: none"> • Council

No	Function or Power	Delegation	Original Source of Power
	Services, Tasmania Police or the State Fire Authority.	<ul style="list-style-type: none"> Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> General Manager
15	To make payments and donations in keeping with Council policy.	<ul style="list-style-type: none"> General Manager Director of Corporate & Communication 	<ul style="list-style-type: none"> Council General Manager
16	To approve or disapprove, upon written application, requests to consume intoxicating liquor on Council reserves or premises.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
17	To lend materials from Council stores stock in emergency circumstances as determined by the General Manager subject to the provision of a written acknowledgement of receipt of an undertaking to replace within a set time.	<ul style="list-style-type: none"> General Manager Director of Works & Infrastructure Works Manager 	<ul style="list-style-type: none"> Council General Manager
18	Power to approve demolition of buildings not classified by the National Trust or Heritage listed.	<ul style="list-style-type: none"> General Manager Director of Planning & Development Director of Works & Infrastructure 	<ul style="list-style-type: none"> Council General Manager
19	To approve conditionally or otherwise all temporary signs and hoardings.	<ul style="list-style-type: none"> General Manager Director of Planning & Development Senior Planner 	<ul style="list-style-type: none"> Council General Manager
20	Authority to appoint "Authorised Officers" or "Council Officers" where such are required to be appointed under the Local Government Act 1993 or any other Act and to issue "Certificates of Authority" to those officers where required.	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
21	The Affixing of the Common Seal in accordance with Council's <i>Use of Council's Common Seal Policy</i>	<ul style="list-style-type: none"> General Manager 	<ul style="list-style-type: none"> Council
22	To act in the role of Permit Authority to facilitate the powers and functions in administration, enforcement and responsibilities in accordance with the provisions of the Building Act 2016. **NOTE CONDITION: 1. This authority does not grant the Officers the power to delegate this function to any other persons.	<ul style="list-style-type: none"> Director Planning & Development Compliance Coordinator Compliance Officer Plumbing Surveyor 	<ul style="list-style-type: none"> General Manager
23	Environmental Health By-Law No.1 of 2019 Section 3(1) Authorised Officer Appointed as an authorised officer for the purposes of the by-law	<ul style="list-style-type: none"> General Manager Director Planning & Development Director Infrastructure & Works Senior Environmental Health Officer Compliance Officer Compliance Coordinator Works Manager Waste Transfer Station operator 	<ul style="list-style-type: none"> Council

APPLICANT DETAILS			
Organisation / Group	Bicheno Community MEN'S Shed		
Is your organisation an incorporated body?	YES	Incorporated Number	1A 11407
Is your organisation a registered not-for-profit?	YES	Registration Number	5531199 4554
Contact Person	Pamela TROODE	Surname	
Contact Number	0428001102		
Postal Address	24 BANKSIA ST Bicheno 7215		
Email	pamtrooded@outlook.com		
PROJECT TITLE AND BRIEF DESCRIPTION (If insufficient space, please attach additional sheet)			
<p>FINANCIAL HELP WITH INSURANCE Policy for 2025/26 YR.</p> <p>the shed is anticipating an INCREASE, from last year (see attached)</p>			
OUTLINE INTENDED OUTCOMES OF THE PROJECT			
<p>Bicheno Men's shed is a very small organisation.</p> <p>Our income is not "noteworthy" as we do a lot of voluntary work for community - therefore seek assistance</p>			
FUNDING REQUEST			
Funding sought from council	\$ 1000.00		
Funding to be contributed by you or your organisation	\$ 1000.00		
Funding to be contributed from other organisations	\$ -		
Total Project Expenses	\$ 2000.00		
Signed			
Name	Pamela TROODE (TREASURER)		
Date	19/5/2025		

Please Note:
 Attached INVOICE is 2024/2025. (* not Received 2025/2026 as yet.)
 I have Received email from insurance company
 Stating 2025/2026 Payment will be due 30/6/2025.



TAX INVOICE

Pamela Troode
Bicheno Men's Shed Inc
19 Sinclair Street
Bicheno TAS 7215

Marsh Advantage Insurance Pty Ltd
ABN 31 081 358 303
Collins Square
727 Collins Street
Melbourne 3008
Tel +61 3 9613 1415
Fax +61 3 9614 3600
www.marshadvantage.com.au

Invoice No. **030-M002626**
Date 29 June 2024
Our Ref 098282
Client Code 030-BICMENS
Policy No. 31-0100037-IAR
Class **Industrial Special Risks - Renewal**
Insured Jobs Australia Limited
Period 30/06/2024 to 30/06/2025
Situation As Declared
Insurer Allianz Australia Insurance Ltd
Sydney NSW

Adviser/s

Jamie Tzouvanellis

Premium	1,043.33
FSL/ESL	292.14
Broker Fee	250.00
GST	158.54
Stamp Duty	146.90

TOTAL DUE	AUD \$1,890.91
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Refer overleaf for information about statutory notices, terms and conditions

PAYMENT OPTIONS

PAY IN FULL NOW

Total Due AUD \$1,890.91 by 13/07/2024

*BPAY and Card payments are limited to \$50,000 per transaction

	Biller Code: 3269 Ref: 88023 55068 1794094 1	Telephone or Internet Banking - BPAY® Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More Info: www.bpay.com.au .
	<small>*Registered to BPAY Pty Ltd ABN 69 079 137 518</small>	
Visa/Mastercard/Amex - www.marsh.com/au/payonline Payment reference 880 235 5068. A 1% surcharge fee (including GST) applies		
EFT ONLY	Bank: Commonwealth Bank BSB: 066-774 Email Remittance to: Payments.Australia@marsh.com	Acct: 80 235 5068 Ref: 030-BICMENS
Cheque – Mail with completed Payment Slip overleaf		

OR

PAY BY THE MONTH

	Premium Funding
Call the above Adviser/s to discuss this option.	
Benefits of funding include:	
<ul style="list-style-type: none"> Improved Cash Flow Retain your valuable Capital Leave your banking facilities open and available, Pay all of our invoices with one easy monthly payment 	

Not-For-Profit Cash Management Account



/1684 009719



BICHENO MEN'S SHED
19 SINCLAIR STREET
BICHENO TAS 7215

Your details at a glance

BSB number **633-000**
Account number **149948267**
Customer number **30318638/1201**
Account title **BICHENO MEN'S SHED**

Account summary

Statement period **1 Apr 2025 - 30 Apr 2025**
Statement number **142**
Opening balance on 1 Apr 2025 **\$10,372.38**
Deposits & credits **\$800.02**
Withdrawals & debits **\$0.00**
Closing Balance on 30 Apr 2025 **\$11,172.40**

Stay alert.
Avoid a scam.

Learn more at
bendigobank.com.au/security/scams

Any questions?

Contact Us at P O Box 480, Bendigo 3552 on **03 5445 0666**,
or call **1300 BENDIGO** (1300 236 344).

Not-For-Profit Cash Management Account

Date	Transaction	Withdrawals	Deposits	Balance
	Opening balance			\$10,372.38
1 Apr 25	INTEREST		0.02	10,372.40
1 Apr 25	Monthly Transaction Summary			
	PAY ANYONE TRANSFERS (1 @ 0.40)	0.40		
	Total Transaction Fees	0.40		
	ACCOUNT REBATE		0.40	
	Total Rebates		0.40	
	Net Transaction Fees for March 25	0.00		10,372.40
29 Apr 25	DIRECT CREDIT 101934685 Aurora Energy 0403739396		800.00	11,172.40
	Transaction totals / Closing balance	\$0.00	\$800.02	\$11,172.40



Account number 149948267
 Statement period 01/04/2025 to 30/04/2025
 Statement number 142 (page 2 of 2)

We suggest you carefully check all entries on your statement. Apparent errors or possible unauthorised transactions should be promptly reported to us.

The security of your Personal Identification Number (PIN) is very important. To avoid being liable for unauthorised transactions, you should follow the terms and conditions of your account. We also recommend some simple steps to protect your PIN:

- Memorise your PINs and passwords and destroy any communications advising you of new ones. Don't keep a record of your PINs or passwords, in written or electronic form.
- If you choose your own, ensure that it is not something easy to guess like your (or a family member's) birth date, name, phone number, postcode, driver's licence number or numbers that form a pattern.
- Don't tell anyone your PIN, not even friends, family or a bank representative.
- Ensure nobody watches you enter your PIN or password. A good practice is to cover the keypad when you put in your PIN or password.
- Watch out for email, SMS or call scams asking for details relating to your account. If you receive suspicious emails, please contact us immediately.

Please note: These are guidelines only. While following these steps will help you to protect your PIN, your liability for any losses arising from unauthorised transactions is determined in accordance with the ePayments Code. For further details, see <https://asic.gov.au/regulatory-resources/financial-services/epayments-code/> or visit bendigobank.com.au/mycard for all card related information. Business customers visit [mybusinesscard](https://bendigobank.com.au/mybusinesscard).

An International Transaction Fee of 3% of the transaction amount (in AUD) is payable for each transaction which is conducted in a currency other than Australian dollars (AUD), or conducted in Australian dollars (AUD) but with or using a merchant, payment processor, financial institution or other entity (including an online merchant) who is outside of Australia. (Fee does not apply to Bendigo Ready Credit Card). Note: It may not always be apparent to you that an online merchant is located outside of Australia. Additional charges may apply for cash transactions.

Card Security

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 Telephone: 1800 931 678 (free call)
 Email: info@afca.org.au
 In writing to: Australian Financial Complaints Authority, GPO Box 3, Melbourne VIC 3001

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Campaign key messages

The *Lift the Tone* campaign addresses the prevalence of abuse and intimidation faced by elected representatives, promoting respect and constructive dialogue in public discourse.

Recent data shows that nearly 80% of surveyed elected representatives in Tasmania have experienced abuse or intimidation in the past two years.

Abuse commonly occurs on social media (47.3%) and in public spaces (36.8%), with significant impacts on the mental and physical health of representatives and their families.

The campaign is about safeguarding democracy by ensuring that public discourse remains respectful and constructive.

Toxic behaviour discourages community members from running for office.

It weakens local governance and corrodes democracy by fostering division.

Encourage the community to communicate respectfully by signing the online pledge.

Share the campaign's message across social media, council platforms and community events.

It's important we, as elected members and council staff, model respectful behaviour in our interactions and encourage others to do the same.



Frequently Asked Questions

Q: What is the Lift the Tone campaign about?

A: The campaign is an initiative by the Local Government Association of Tasmania (LGAT) to address the rising abuse and intimidation faced by elected representatives in Tasmania.

It calls on the public to commit to respectful communication and civil debate online and in public spaces.

Q: Why was the campaign launched?

A: Recent data shows that nearly 80% of surveyed Tasmanian elected representatives have experienced abuse, bullying, harassment or intimidation in the past two years. This behaviour negatively impacts individuals, families, and democracy.

Q: Who is leading this campaign?

A: LGAT is leading the campaign in collaboration with councils.

Q: What is the goal of the campaign?

A: The campaign aims to promote civility in public debate, reduce instances of abuse, and encourage respectful engagement in the community.

Q: What am I committing to when I sign the pledge?

A: By signing the pledge, you commit to:

- Promoting civility in public debate.
- Refraining from abusive language and behaviour online or in person.
- Encouraging others to engage respectfully.

Q: How do I sign the pledge?

A: You can sign the pledge by visiting the [campaign webpage](#) and filling out the form provided.

Q: Is signing the pledge legally binding?

A: No, it's not legally binding. It's a voluntary commitment to help create a respectful and inclusive community.

Q: What types of behaviour are elected representatives experiencing?

A: The most common forms include verbal abuse, harassment on social media, and intimidation in public spaces. Some reported incidents include threats requiring security measures and harassment while with family.



Frequently Asked Questions

Q: How does this behaviour affect elected representatives?

A: Abuse can negatively impact both the mental and physical health of representatives and their families. It may also deter people from running for office and harm local governance.

Q: Why is online abuse a significant focus?

A: Social media is one of the most common settings for abuse. The campaign emphasises that behaviour unacceptable on the street or in the workplace should not be tolerated online either.

Q: How can I get involved in the campaign?

A: You can sign the pledge, share the campaign message on social media, and encourage respectful communication within your community.

Q: Why is respectful communication important for democracy?

A: Civility in public discourse fosters constructive dialogue, strengthens community relationships, and ensures diverse voices are heard without intimidation or abuse.

Q: Who can I contact for more information about the campaign?

A: You can contact LGAT for inquiries (communications@lgat.tas.gov.au).

Q: How will the campaign be promoted?

A: The campaign will roll out across social media, digital platforms, and through Tasmanian councils.

Q: Are councillors and Tasmanian politicians signing the pledge?

A: All Tasmanian councillors are encouraged to sign the pledge and share it publicly.