



ORDINARY COUNCIL MEETING – 28 SEPTEMBER 2021

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GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development;

SITE: Spencer Street Triabunna

PROPOSAL: Multiple dwellings x 18 units

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager. Representations must be received before midnight on 06 August 2021.

APPLICANT: Wilson Homes
DATE: 27 January 2021
APPLICATION NO: DA 2021 / 32

OFFICE USE ONLY	
DATE RECEIVED:	PID:
FEE	RECEIPT No:
DA:	PROPERTY FILE:

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including subdivision as well as for planning scheme amendment & minor amendments to permits.

If you are applying for a change of use to visitor accommodation in the General Residential, Low Density Residential, Rural Living, Environmental Living or Village Zone, the *Visitor Accommodation Use in Existing Habitable Buildings Standard Application Package* must be used. This is available on the Council website.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme provides details of what other information may be required at clause 8.1 and in each applicable Code.

Please provide the relevant details in each applicable section by providing the information or circling Yes or No as appropriate. If relevant details are provided on plans or documents please refer to the drawing number or other documents in this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required please contact the office.

Details of Applicant & Owner

Applicant:	Wilson Homes Tasmania Pty Ltd				
Contact person: (if different from applicant)	Erin Porter				
Address:	250 Murray Street			Phone	62346444
	Hobart	Tas	7000	Fax:	
Email:	projects@wilsonhomes.com.au			Mobile:	
Do you wish for all correspondence to be sent solely by email?				Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Owner: (if different from applicant)	Glamorgan-Spring Bay Council				
Address:	PO Box 6			Phone:	
	Triabunna			Fax:	
Email:				Mobile:	

Details of Site and Application

Please note, if your application is discretionary the following will be placed on public exhibition.

Site Details

Address / Location of Proposal: Corner of Spencer Street and Selwyn Street, Triabunna			
Access from Selwyn Street		Suburb	Post Code
Size of site	8190 m ²	or	Ha
Certificate of Title(s):	62/55156, 63/55156, 64/55156, 65/55156, 66/55156, 67/55156, 68/55156, 69/55156, 70/55156, 61/55156, 62/55156, 98/55156		
Current use of site:	Vacant		

General Application Details

Complete for All Applications

<input checked="" type="checkbox"/>	New Dwelling	<input type="checkbox"/>	Change of use
<input type="checkbox"/>	Additions / Alterations to Dwelling	<input type="checkbox"/>	Intensification or modification of use
<input type="checkbox"/>	New Outbuilding or Addition	<input checked="" type="checkbox"/>	Subdivision or boundary adjustment
<input type="checkbox"/>	New Agricultural Building	<input type="checkbox"/>	Minor amendment to existing permit DA /
<input type="checkbox"/>	Commercial / Industrial Building	<input type="checkbox"/>	Planning Scheme Amendment

****Adhesion of Titles**

Estimated value of works (design & construction)	\$3,200,000.00
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Describe the order and timing of any staged works:	or N/A
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General Background Information

Please state the name of any Council officers that you have discussed this proposal with:	Officer's name : or N/A	
Is the site listed on the Tasmanian Heritage Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Have any potentially contaminating activities ever occurred on the site? <i>If yes, please provide a separate written description of those activities.</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Is the proposal consistent with any restrictive covenants or Part 5 agreements that apply to the site?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Does the proposal involve any of the following?		
Type of development		Brief written description if not clearly shown on the plans:
Partial or full demolition	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fencing	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per landscaping design
New or upgraded vehicle / pedestrian access	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per civil design
New or modified water, sewer, electrical or telecommunications connection	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per design
Retaining walls	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per design
Cut or fill	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per design
Signage	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New car parking	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	As per civil design
Vegetation removal	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Existing floor area . m ²	Proposed floor area 958.53m ²
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Number of existing car parking on site	Number of proposed car parking on site 38
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Describe the width & surfacing of vehicular access (existing or proposed) and how drainage/runoff is collected and discharged:	As per design and civil design
If vehicular access is from a road sign-posted at more than 60 km/hr, please state the sight distance in both directions:	or N/A

Please note, if a gravel driveway is proposed from a sealed public road please address the following clause (E6.7.6 P1):

Parking spaces and vehicle circulation roadways must not unreasonably detract from the amenity of users, adjoining occupiers or the quality of the environment through dust or mud generation or sediment transport, having regard to all of the following:

- (i) the suitability of the surface treatment;
- (ii) the characteristics of the use or development;
- (iii) measures to mitigate mud or dust generation or sediment transport.

Will stormwater from buildings and hardstand areas be managed by: (details should be clearly shown / noted on plans)	Discharge to a main:	Yes <input checked="" type="checkbox"/> As per civil design
	Discharge to kerb & gutter:	Yes <input type="checkbox"/>
	Discharge to roadside table drain:...	Yes <input type="checkbox"/>
	Discharge to natural watercourse: ..	Yes <input type="checkbox"/>
	Retained on site:	Yes <input type="checkbox"/>

Materials				
External building material	Walls:	Brick Veneer	Roof:	Colorbond
External building colours	Walls:		Roof:	
Fencing materials:	Treated Pine		Retailing wall materials:	Concrete Block

For all outbuildings

Describe for what purpose the building is to be used:	
Describe any intended toilet, shower, cooking or heating to be installed:	
If the building is to be used wholly or partly as a domestic workshop, what type of tools and machines will be used?	

For all non-residential applications

Hours of Operation						
Current hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:	
Proposed hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:	
Number of Employees						
Current Employees Total:			Maximum at any one time:			
Proposed Employees Total:			Maximum at any one time:			

Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency:	or N/A
Describe current traffic movements into the site, including the type & timing of heavy vehicle movements & any proposed change:	or N/A
Describe any hazardous materials to be used or stored on site:	or N/A
Describe the type & location of any large plant or machinery used (refrigeration, generators)	or N/A
Describe any retail and/or storage of goods or equipment in outdoor areas:	or N/A
Describe any external lighting proposed:	or N/A

Personal Information Protection Statement:

The personal information requested is personal information for the purposes of the *Personal Information Protection Act 2004* and will be managed in accordance with that Act. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993* (LUPPA) and other related purposes, including for the purpose of data collection.

The intended recipients of personal information collected by Council may include its officers, agents or contractors or data service providers and contractors engaged by the Council from time to time.

The information may also be made publically available on the Council's website and available for any person to inspect in accordance with LUPAA. The supply of this information is voluntary. However, if you cannot or do not provide the information sought, the Council will be unable to accept and/or process your application.

Declaration:

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that: -

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site in order to assess the application.
- I/we have obtained all copy licences and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on and determining the application.
- I/we authorise the Council to:
 - Make available the application and any and all information, reports, plans and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
 - Make such copies of the application and any and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application; and
 - Publish and or reproduce the application and any and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application.
- You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and any and all information, report, plan and material provided with or as part of the application.
- I/we authorise Council to provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.
- I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature:	<i>Eparter</i>	Date:	19.01.2021
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If applicant is not the owner

If the applicant is not the owner, please list all persons who were notified of this application pursuant to section 52 of the *Land Use Planning and Approvals Act 1993*.

Name:	Method of notification:	Date of notification:
As per discussion with CentaCare Evolve Housing		

If application is on or affect Council or Crown owned or administered land

If land affected by this application is owned or administered by the Crown or Council then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided and that person must also sign this application form below:

I _____ being responsible for the administration of land at _____
 declare that I have given permission for the making of this application by _____ for use
 and/or development involving _____

Signature:

Date:

It is the applicant's responsibility to obtain any consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent should be directed to the relevant department.

CHECKLIST OF APPLICATION DOCUMENTS
Taken from Section 8 of the Planning Scheme

An application must include:

- (a) details of the location of the proposed use or development;
- (b) a copy of the current certificate of title for the site to which the permit sought is to relate, including the title plan and any schedule of easements;
- (c) a full description of the proposed use or development; and
- (d) a description of the manner in which the proposed use or development will operate.

In addition to the above Council may, in order to enable it to consider an application, request such further or additional information as considered necessary or desirable to satisfy Council that the proposal will comply with any relevant standards, including:

- (a) a site analysis and site plan at an acceptable scale showing:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution, and trees and vegetation to be removed;
 - (vii) the location and capacity of any existing services or easements on the site or connected to the site;
 - (viii) existing pedestrian and vehicle access to the site;
 - (ix) the location of existing and proposed buildings on the site;
 - (x) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xi) any natural hazards that may affect use or development on the site;
 - (xii) proposed roads, driveways, car parking areas and footpaths within the site;
 - (xiii) any proposed open space, communal space, or facilities on the site;
 - (xiv) main utility service connection points and easements;
 - (xv) proposed subdivision lot boundaries, where applicable.
- (b) where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 showing:
 - (i) the internal layout of each building on the site;
 - (ii) the private open space for each dwelling;
 - (iii) external storage spaces;
 - (iv) car parking space location and layout;
 - (v) major elevations of every building to be erected;
 - (vi) the relationship of the elevations to natural ground level, showing any proposed cut or fill;
 - (vii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites;
 - (viii) materials and colours to be used on roofs and external walls.
- (c) where it is proposed to erect buildings, a plan of the proposed landscaping:
 - (i) planting concept;
 - (ii) paving materials and drainage treatments and lighting for vehicle areas and footpaths; and
 - (iii) plantings proposed for screening from adjacent sites or public places.

**GUIDELINES FOR DEVELOPMENT IN AREAS WITHIN THE
GLAMORGAN SPRING BAY COUNCIL (GSBC) BIODIVERSITY PROTECTION AREA
OR IN AREAS CONTAINING NATIVE VEGETATION**

Who should read these guidelines?

If you are planning to build or undertake a development on a property within the GSBC 'Biodiversity Protection Area' (see below for definition) or land containing **any** native vegetation, AND your development requires the clearing of **any** native vegetation (including for driveways and outbuildings), then these guidelines are for you.

What is the GSBC Biodiversity Protection Area?

The GSBC Biodiversity Protection Area (BPA) incorporates land that is also zoned for a variety of uses, for example, 'rural living' and 'rural resource'. The BPA contains native vegetation and consequently supports 'biodiversity' (or 'natural') values. These values can be classified as high priority, medium priority or low priority depending on the type of vegetation or the species of plants and animals and their habitat that occur on the land.

The purpose of these guidelines

The purpose of these guidelines is to provide advice in order to save you any unexpected delays in your development – and probably save you time and money in the long run. These guidelines should be considered prior to submitting any Development Application to Council.

Background

The GSB Municipality is renowned for its unique biodiversity (short for biological diversity) and within it there are many 'hotspots' for threatened species, or in other words, those species that are at risk of extinction. Threatened species include both plants and animals (or flora and fauna). The Municipality also contains a number of vegetation types (or vegetation communities) that are also threatened with risk of extinction. Threatened flora, threatened fauna (including their 'core' habitat) and threatened vegetation communities are protected under various State and/or National legislation.

Requirements for a Development Application

If your property contains, or is likely to contain, any threatened species or communities that may be impacted by your development, or if you want to clear a substantial area of non-threatened native vegetation, then you are likely to be required to submit to Council a 'Natural Values Survey Report' (also known as an 'Ecological Assessment' or 'Flora and Fauna Report') along with your Development Application.

However, just because your property contains threatened species or communities, or you wish to clear any native vegetation, this does **not** necessarily mean that you cannot undertake the development.

The purpose of a 'Natural Values Survey Report' is to determine the species and communities present in relation to the location of your proposed development and to provide recommendations including:

- How any potential impacts on natural values can be avoided, minimised or remedied on site,
- If the above is not feasible, then how potential impacts can be mitigated and how any residual impacts can be offset,
- Advises whether you will require permits under various legislation.

Application for Planning Approval

Determining if you need a 'Natural Values Survey Report'

Step 1:

Contact the Natural Resource Management (NRM) Department at GSBC, providing your PID (Property Identification Number) and a broad description of your proposed development.

The NRM Department will make a determination as to whether or not a 'Natural Values Survey Report' will be required. This decision will in no way be an arbitrary decision but will be based on the best current scientific knowledge available through various Government databases. This knowledge is also available to the general public such as through the following links:

www.naturalvaluesatlas.tas.gov.au

www.thelist.tas.gov.au

www.threatenedspecieslink.tas.gov.au

If a 'Natural Values Survey Report' is not required then proceed with your Development Application.

Step 2:

If a 'Natural Values Survey Report' is required then contact a reputable environmental consultant to undertake a survey and provide you with a report.

Any reputable consultant will know that they are required to provide a report that is consistent with DPIPWE's 'Guidelines for Natural Values Surveys – Terrestrial Development Proposals', which can be found at:

<http://dpiipwe.tas.gov.au/Documents/Guidelines%20for%20Natural%20Values%20Surveys%20related%20to%20Development%20Proposals.pdf>

Appropriate consultants are listed in the yellow pages under Environmental Consultants or can be found on the web. It is advisable to ask for quotes from two or more consultants.

Step 3:

Fill out your Development Application with consideration to the recommendations provided in your 'Natural Values Survey Report'.

Step 4:


Submit your Development Application together with your 'Natural Values Survey Report' to Council.

Relevant legislation

Threatened species are protected under one or both of the following pieces of legislation:

- Tasmanian *Threatened Species Protection Act 1995*.
- Commonwealth *Environment Protection and Biodiversity Conservation Act 1999*.

Threatened vegetation communities are protected under the:

-  Tasmanian Nature Conservation Act 2002.

Other legislation relevant to the protection and management of native forest:

-  Tasmanian Forest Practices Act 1985.

Legislation relating to noxious weeds and their impact on native vegetation:

-  Tasmanian Weed Management Act 1999.

For questions relating to any other aspect of the Development Application process contact the Council's Planning Department on 6256 4777

23 April 2021

Ms Sarah Henley
35 Tower Road
NEW TOWN TAS 7008

Dear Ms Henley,

**COUNCIL CONSENT TO THE PROPOSED MULTIPLE DWELLINGS (18 UNITS)
USING LAND OWNED OR ADMINISTERED BY COUNCIL**

I refer to your request for the proposed multiple dwellings (18 units) involving Council land.

I give permission to the making of the following planning permit application on land owned or administered by Council, under section 52(1B) of the Land Use Planning and Approvals Act 1993:

Application No:	DA 2021/32
Applicant:	Wilson Homes
Address of Land Subject to Application:	Spencer Street, Triabunna
Description of use or development	Multiple dwellings (18 units)

Please note that this permission to use Council land as part of the application does not constitute or imply either:

1. Council support for the application on its planning merits. This is a matter for independent assessment by the Glamorgan Spring Bay Planning Authority or delegate; or
2. Landlord permission to undertake the use or development on Council land. Council may withhold its permission for the land to be used or developed in the manner proposed. Alternatively, before landlord permission is granted, there may be further processes required to be undertaken under the *Local Government Act 1993*, or negotiation of the terms upon which the land to be used or developed is to be occupied.

Yours Sincerely



Greg Ingham
GENERAL MANAGER

20th April 2021

Greg Ingham

Glamorgan Spring Bay Council

Via email: planning@frecyinet.tas.gov.au

RE: Multiple Dwellings x 19 Units, Spencer Street, Triabunna – DA 2021/32

Dear Greg,

In regards to Councils' advice in regards to potential future requests for further information, please see below for responses and summary of supporting information supplied to address all items raised. It is also noted that the RFI letter received is titled to pertain to 19 dwellings, whereas the application submitted is for 18 dwellings.

Invalid Application

In addition to the information provided in the planning application, the proposed development is for 18 residential dwellings to be utilised for social housing.

The development will be tenanted by those off the Housing Tasmania priority housing waitlist. It is intended that the dwellings will house those already living in the Glamorgan Spring Bay Region who are experiencing housing stress due to current economic circumstance and rental market squeeze. The tenancies will be actively managed by Centacare Evolve Housing.

The dwellings will be retained for social housing for a minimum of 30 years. The development has attracted funding of over \$2.5 million dollars from Department of Communities under the "Regional Supply of Social Housing" program with a further \$1.5M + investment by Centacare Evolve Housing. The development includes 7 LHA silver dwellings <https://livablehousingaustralia.org.au/>, this built form allows comfortable living for those with a disability or support those ageing in place.

Colour schemes are yet to be determined, however, should it be deemed necessary, it would be considered acceptable for a reasonable condition to be imposed on any permit issued providing for Council to approve external colour schemes. It is anticipated that the dwellings will reach or be close to a 7 Star energy rating.

Please also refer to the attached written consent from Council as the owner of the land

10.4.1 & 10.4.3 A1 and A2

Please refer to updated plan PD20313-01 for details and calculations to satisfy 10.4.1 and 10.4.3 A1 (a)

In regards to 10.4.3 A1 (b) the following table provides enclosed area calculations for each dwelling within the proposed development, in all cases exceeding the minimum requirement of 60m²:

Unit No	Enclosed site area (m ²)
1	119
2	103
3	112
4	105.05
5	119
6	193
7	161
8	270.19
9	70
10	215
11	132
12	166
13	115
14	163
15	105.8
16	80
17	99
18	65

Units 9-15 inclusive do not comply with 10.4.3 A2 and therefore the performance criteria must be addressed. Dwellings 9-15 have been designed to best fit the significant gradient of the land whilst also conforming with the Liveable Housing Australia Silver level guidelines, inclusive of a step free access to the dwelling. A deck has been proposed in all cases to provide a reasonable outdoor space for use by the occupants, who may have varying levels of mobility. The decks in this case are conveniently located in relation to the living area, and are also located to take advantage of available sunlight throughout the day.

Site gradient has restricted the size of Unit 9-15 decks due to the height above natural ground level (considering aesthetics, construction methodology and the net benefit any increase in size would provide), and with the step free access and orientation not suiting the lower side of the dwellings, it is considered reasonable to assess the POS area of these dwellings using 10.4.3 A2 (a) (ii) and (b) (ii).

The proposed dwellings also provide total POS area in excess of the minimum requirement for total POS area as described in 10.4.3 A1 (b). Provision of natural surfaces in these areas as proposed on the landscaping plan PD20313-02 is also considered to be paramount to increased amenity of each dwelling, and provides a continuous and unimpeded (by larger decks) area for use by the occupants, friends or family where mobility allows.

A condition on any permit issued requiring the size of U7 POS to be increased to approx. 15m² would be considered acceptable, as it is acknowledged that this deck is smaller than all other proposed dwellings.

10.4.4 A3

U2 – please refer to amended site plan and shadow diagrams showing compliance with 10.4.4 A1 (b)

U4 – please refer to amended elevations showing compliance with 10.4.4 A1 (a)

U17 – please refer to shadow diagrams showing a minimum of percentages of area of sunlight between the hours of 12-3pm

10.4.6 A3

U13 – please refer to amended site and floor plans for U13, showing opaque windows to the bathroom and no other windows within 2.5m of a shared driveway

U15 – please refer to amended site plan with the inclusion of a privacy screen where the window is within 2.5m of the shared driveway

Landscaping

Please refer to amended landscaping plan PD20313-02 noting the inclusion of plantings

Engineering:

Please refer to the attached response from Gandy & Roberts, addressing all turning, parking and access related queries raised.

10.4.6

Please refer to amended plan 01c/03 confirming Southeast elevation of existing U1 and confirming floor level is below 1m above natural ground level.

The existing deck attached to the existing dwelling (refer plans 01/03, 01a/03 and perspective view 03a/03) has proposed addition of 1700mm high 30% transparency screening to alleviate privacy and overlooking concerns to U2 P3 carpark and living room windows.

10.4.7

Please refer to plan 01d showing proposed modification of the existing front fence to comply with 10.4.7 A1

E6.7.2

Please refer to amended traffic impact assessment addressing E6.7.2 P1

E6.7.6

Stormwater Runoff - Please refer to amended site and drainage plans 01a/03 and 01b/03 inclusive of kerbing and drainage to contain stormwater runoff

Fence/Gate Damage – please refer to site plan 01a/03 providing wheel stops to carparking areas to prevent vehicle damage to fencing and gates

E7.7.1

Please refer to Engineers Advice attached from Gandy & Roberts with associated detention calculations and methodology. A number of detention options are available for the site and are currently under review to determine the most efficient option. It would be considered reasonable for Council to condition the inclusion of an appropriate system in accordance with these calculations in any Development Approval that is issued.

Please refer to amended drainage plans 01b/03 for conceptual stormwater runoff and disposal into Council's infrastructure, which will be incorporated into future engineering design as described previously.

Please contact me if you require any clarification on the documentation or responses provided.

Yours Sincerely,

Sam Plaschke

General Manager – Multi Residential

AS2870-2011 SITE ASSESSMENT

Selwyn Street

Triabunna

September 2020



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Introduction

Client: Wilson Homes
Date of inspection: 11/9/20
Location: Selwyn Street, Triabunna
Land description: Approx. 7200m² combined lots
Building type: Proposed new units
Investigation: Power-Probe
Inspected by: A Plummer

Background information

Map: Mineral Resources Tasmania, 1:25000 Buckland Sheet
Rock type: Triassic Sandstone
Soil depth: Approx. 1.0 to 1.60m
Planning overlay: N/A
Local meteorology: Annual rainfall approx 550 mm
Local services: Fully serviced site

Site conditions

Slope and aspect: Approx. 15-20% slope to the west
Site drainage: Imperfect drainage
Vegetation: Pasture
Weather conditions: Cloudy, approx 5mm rainfall received in preceding 7 days.
Ground surface: Slightly moist surface conditions

Investigation

A number of bore holes were completed to identify the distribution of, and variation in soil materials on the site, representative profile boundaries are indicated in figure 1 and were chosen for testing and classification according to AS2870-2011 (see profile summaries).

Profile Summary 1

Depth (m)	Horizon	Description
0.00 – 0.25	A1	Silty SAND (SM): dark grey, slightly moist, medium dense to dense consistency
0.25 – 0.80	B2	Sandy CLAY (CI): orange/grey/brown, slightly moist, very stiff consistency, medium plasticity
0.80 – 1.00	C	SANDSTONE recovered as Clayey SAND (SC): orange, dry very dense consistency, extremely weathered, very low strength. Refusal

Profile Summary 2

Depth (m)	Depth (m)	Horizon	Description
0.00 – 0.25	0.00 – 0.20	A1	Silty SAND (SM): dark grey, slightly moist, medium dense to dense consistency
0.25 – 1.50	0.20 – 1.30	B2	Sandy CLAY (CI): orange/grey/brown, slightly moist, very stiff consistency, medium plasticity
1.50 – 1.60	1.30 – 1.50	C	SANDSTONE recovered as Clayey SAND (SC): orange, dry very dense consistency, extremely weathered, very low strength. Refusal

Soil Profile Notes

The soils on site consist of mixed sandy topsoils overlying sandy clay subsoils which have developed on Triassic sandstone deposits.

Site Classification

According to “AS2870-2011 Residential slabs & footings” the site has been classified as **Class M** (20-40mm Y^s range), the natural soil is moderately reactive, design and construction should be made in accordance with this classification.

Wind Classification

The AS 4055-2012 *Wind load for Housing* classification of the site is:

Region:	A
Terrain category:	TC2.5
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed ($V_{h,u}$)	50 m/sec

Construction Recommendations

The site has been classified as **Class M**; the natural soil profile is moderately reactive. It is recommended the foundations be placed on the underlying bedrock to minimise the potential for significant foundation movement.

All site earthworks must comply with AS3798-2012. Attention should be paid to the preparation of a consistent footing surface, and appropriate backfilling in accordance with recommendations in AS2870-2011 for reactive clay sites. In addition, adequate drainage should be installed upslope of the units to ensure soil strength is not compromised by excessive soil moisture.

During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Director

Figure 1. Site plan





Proposed Residential Development – Selwyn Street, Triabunna

Bushfire Hazard Report

Applicant: Wilson Homes



May 2021 J1715 v2

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Attachment 1 – Bushfire Hazard Management Plan

Attachment 2 - Certificate of Others (form 55)

Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the unpredictable nature and behaviour of fire and extreme weather conditions.

Reasonable steps have been taken to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

Authorship

This report was prepared by Mark Van den Berg BSc. (Hons.) FPO (planning) of Geo Environmental Solutions. Base data for mapping: TasMap, Digital and aerial photography: Mark Van den Berg, GoogleEarth.

1.0 Purpose

This bushfire hazard report is intended to provide information in relation to the proposal. It will demonstrate compliance with the *Building Amendment (Bushfire-Prone Areas) Regulations 2014*, and the *Determination, Director of Building Control – Requirements for Building in Bushfire-Prone Areas, version 2.2 6th February 2020*. Provide a certificate of others (form 55) as specified by the Director of Building Control for bushfire hazard and give guidance by way of a certified bushfire hazard management plan which shows a means of protection from bushfires in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

2.0 Summary

Site details & compliance

Title reference	55156/62-72
Address	Selwyn Street, Triabunna
Applicant	Wilson Homes
Municipality	Glamorgan Spring Bay
Planning Scheme	Glamorgan Spring Bay Interim Planning Scheme 2015
Zoning	General Residential
Land size	~0.8Ha
Bushfire Attack Level	BAL-12.5
Certificate of others (form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified & Attached

Development of 18 new class 1a buildings at Selwyn Street, Triabunna requires demonstrated compliance with *Building Amendment (Bushfire-Prone Areas) Regulations 2014*, and the *Determination, Director of Building Control – Requirements for Building in Bushfire-Prone Areas*, the site is located in a bushfire prone area. The Bushfire attack level has been determined as 'BAL-12.5', provisions for property access and water supplies for firefighting will be required as detailed in this report and on the Bushfire Hazard Management Plan (BHMP).

3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific bushfire hazard management plan has been provided for compliance purposes.

4.0 Proposal

It is proposed that 18 new class 1a buildings with associated accesses be developed at Selwyn Street, Triabunna (appendix B).

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The Bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with table 2.3 of AS3959-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat

5.2 Site Description

The proposal is located Selwyn Street, Triabunna, in the municipality of Glamorgan Spring Bay and is zoned General Residential under the Glamorgan Spring Bay Interim Planning Scheme 2015. Access to the lot will be by development of new crossovers from Selwyn Street, a council-maintained road. The lot is ~0.8 Ha, is irregular in shape and is located approximately 0.9km east of dead Isle (Figure 1).

Adjacent lands surrounding the lot to the north, south and west are zoned General Residential and are by enlarge developed while lands to the east are zoned Rural Resource and carry grassland and woodland vegetation. At a landscape scale the lot occurs on the interface of urban development and large tracts of grassland and woodland vegetation. The lot has gentle slopes with a westerly aspect which is unlikely influence fire behaviour in this circumstance. Vegetation surrounding the lot was assessed (Table 1) and described as 'grassland' and 'woodland' or excluded from the assessment as low threat vegetation (as per AS3959-2018). The classified vegetation potentially having the greatest impact on the site occurs to the east of the site (Figure 2). The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.3 (A to H) has been used to determine vegetation types within 100 metres of the site (Table 1).



Figure 1. The lot in a topographical context (lot outlined in pink).



Figure 2. Shows the approximate location of the site (pink line) in the context of the adjacent lands and classified vegetation.

Table 1. Bushfire Attack Level (BAL) Assessment – assessment completed from building area shown on site plan

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard management area width	Bushfire Attack Level
North	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to >100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
East	Exclusion 2.2.3.2 (e, f)^	upslope	0 to 23 metres*	Title boundary	BAL-12.5
	Woodland^	upslope	23 to >100 metres		
	--	--	--		
	--	--	--		
South	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to >100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
West	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to >100 metres	Title boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		

^ Vegetation classification as per AS3959-2018, Table 2.3 and Figures 2.4(A) to 2.4 (H).

^^ Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).

* The reserve road to the east of the development is managed through councils abatement program, correspondence in appendix C.

6.0 Results

The bushfire attack level for all units has been determined as BAL-12.5. While the risk is considered to be low, there is a risk of ember attack and a likelihood of low levels of radiant heat impacting the site. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m². A hazard management area will need to be established and maintained for the life of the development to achieve and maintain this outcome and is shown on the Bushfire Hazard Management Plan. An area to the east of the unit development carries grassland vegetation which is effectively managed through councils works or abatement programs. Correspondence from council is located in appendix C.

6.1 Property Access

New property access will be constructed as part of this development and will be required to meet the following design and construction specifications;

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum outer radius of 10 metres;
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long
- (k) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

6.2 Water supplies for fire fighting

Dedicated water supplies for firefighting will be provided by an existing fire hydrants connected to a reticulated water supply system managed by Tas Water. The existing hydrants will be required to conform with the following specifications;

- The building area to be protected must be located within 120 metres of a fire hydrant; and
- The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area.

6.3 Hazard management area.

A hazard management area will need to be established and maintained for the life of the development and is shown on the BHMP. Guidance for the establishment and maintenance of the hazard management area is given below and on the BHMP.

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following strategies;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Avoid the use of flammable mulches (especially against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers;
- Remove and or prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access and water connection points;
- Use low-flammability plant species for landscaping purposes where possible;
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

7.0 Compliance

Section 4 of the Directors Determination Requirements for Building in Bushfire-prone Areas (transitional), version 2.2, 6th February 2020.

Table 3. Compliance with the Directors Determination Requirements for Building in Bushfire-prone Areas, version 2.2, 6th February 2020.

Requirements	Compliance
4.1 Construction Requirements	<p>Clause 4.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL-12.5 for units 1 to 18 inclusive standards of AS3959-2018.</p> <p>If the proposed buildings are designed and constructed in accordance BAL-12.5 construction standards for units 1 to 18 the development will comply with clause 4.1.</p>
4.2 Property Access	<p>Clause 4.2 requires property access to be designed and constructed to comply with table 4.2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point, Unless the access is less than 30 metres in length or is not required to access a water connection point.</p> <p>In this circumstance property access is not required to access a firefighting water connection point, there are no specific design or construction requirements for property access.</p> <p>No specific design or construction requirements required for compliance with clause 4.2.</p>
4.3 Water Supply for Firefighting	<p>Clause 4.3 requires that a new buildings constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with tables 4.3A or 4.3B.</p> <p>Firefighting water supplies will be provided by existing hydrants.</p> <p>If the requirements of section 6.2 of this report are achieved the proposal will comply with clause 4.3.</p>
4.4 Hazard Management Areas	<p>Clause 4.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with table 4.4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA's are shown on the BHMP and are specified to the minimum widths required to achieve the BAL for specific units. This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA's are established in accordance with the BHMP the proposal will comply with clause 4.4.</p>
4.5 Emergency Plan	There is no requirement for the provision of emergency plans for this proposal.

8.0 Guidance

The defendable space (hazard management area) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that fire fighting activities may be undertaken. The larger the defendable space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building;
- Includes non flammable areas such as paths, driveways, short cropped lawns;
- Establishment of orchards, vegetable gardens, dams or waste water effluent disposal areas on the fire prone side of the building;
- Creating wind breaks and radiation shields such as non combustible fences and low flammability hedges;
- Removing fire hazards such as wood piles, rubbish heaps and stored fuels;
- Creating and maintaining vertical as well as horizontal separation between ground fuels and tree canopies by pruning;
- It is not necessary to remove all vegetation from the defendable space, trees can provide protection from wind borne embers and radiant heat in some circumstances.

9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at www.fire.tas.gov.au or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan
- Preparing yourself and your home for a bushfire
- Guidelines for development in bushfire prone areas in Tasmania
- Fire resisting plants for the urban fringe and rural areas
- Using fire outdoors
- Fire permits
- Total fire bans
- Bushfires burning in Tasmania

10.0 References

Australian Building Codes Board, *National Construction Code, Building Code of Australia*, Australian Building Codes Board, Canberra.

Building Amendment (Bushfire-Prone Areas) Regulations 2016

Determination, Director of Building Control – Requirements for Building in Bushfire-Prone Areas, version 1 14th March 2016. Consumer, Building and Occupational Services, Department of Justice, Tasmania.

The Bushfire Planning Group 2005, *Guidelines for development in bushfire prone areas of Tasmania – Living with fire in Tasmania*, Tasmania Fire Service, Hobart.

Tasmania Fire Service 2013, *Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders*.

Glamorgan Spring Bay Interim Planning Scheme 2015, Tasmanian Planning Commission 2015, Tasmanian Planning Commission, Hobart.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

11.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur as a result of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.

Appendix A – Site photos



Figure 3. Northern azimuth from site.



Figure 4. Eastern azimuth from site.



Figure 5. Southern azimuth from site.



Figure 6. Western azimuth from site

15 of 16

Appendix C – Council correspondence

From: Terry Higgs <terry@freycinet.tas.gov.au>
Sent: Wednesday, 30 September 2020 10:58 AM
To: Mark Van den Berg <mvandenberg@geosolutions.net.au>
Cc: Rob Brunning <rob.brunning@freycinet.tas.gov.au>; Cleve Smith <Cleve.Smith@freycinet.tas.gov.au>
Subject: RE: Bushfire management/Abatement Road reserve adjacent to Selwyn Street Triabunna

Morning Mark,

Yes I can confirm this site will be managed either by the fire abatement process or would be mowed / slashed by Council or a contractor.

Kind regards,

Terry.



Terry Higgs
Glamorgan Spring Bay Council

P: 03 6256 4775
M: 0400 715 722
F: 03 6256 4774
E: terry@freycinet.tas.gov.au

Privileged/confidential information may be contained in this message. If you are not the addressee indicated in this message (or responsible for delivery of the message to such a person), you may not copy or deliver this message to anyone. In such case, you should destroy this message and kindly notify the sender by reply email. Please advise immediately if you or your employer does not consent to Internet email for messages of this kind. Opinions, conclusions and other information in this message that do not relate to the official business of the Glamorgan Spring Bay Council shall be understood as neither given, or endorsed by it.

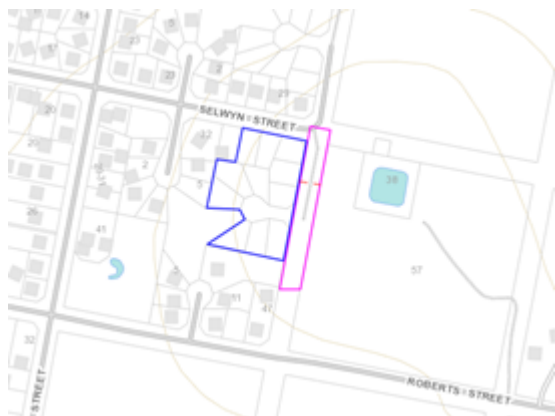
From: Mark Van den Berg [<mailto:mvandenberg@geosolutions.net.au>]
Sent: Tuesday, 29 September 2020 10:23 AM
To: Terry Higgs <terry@freycinet.tas.gov.au>
Subject: Bushfire management/Abatement Road reserve adjacent to Selwyn Street Triabunna

Hi Terry,

As discussed on the phone I have a proposed unit development for land that is currently owned by council as shown below in blue. Adjacent and to east of this site is a road reserve which would appear, in the past, to have been managed in terms of bushfire risk (shown in pink).

Is council able to confirm that this area is part of councils annual fire abatement process and is effectively managed through this process?

Thanks for your time, regards Mark.



Mark Van den Berg BSc.(Hons). FPO(planning). BFP-108



BUSHFIRE HAZARD MANAGEMENT PLAN

Bushfire Hazard Management Plan, Selwyn Street, Triabunna.
May 2021. J 715 2
Glamorgan-Spring Bay Interim Planning Scheme 2015



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point.
T| 62231839 E| office@geosolutions.net.au



Approx hydrant location



Hazard Management Area

Compliance Requirements

Standards for Property Access

New property access will be constructed as part of this development and will be required to meet the following design and construction specifications;

- (a) All-weather construction;
- (b) Load capacity of at least 20 tonnes, including for bridges and culverts;
- (c) Minimum carriageway width of 4 metres;
- (d) Minimum vertical clearance of 4 metres;
- (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
- (f) Cross falls of less than 3° (1:20 or 5%);
- (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle;
- (h) Curves with a minimum inner radius of 10 metres;
- (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
- (j) Terminate with a turning area for fire appliances provided by one of the following:
 - (i) A turning circle with a minimum outer radius of 10 metres;
 - (ii) A property access encircling the building; or
 - (iii) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long
- (k) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

Reticulated Water Supplies for Fire fighting

Dedicated water supplies for firefighting will be provided by new fire hydrant/s connected to a reticulated water supply system managed by Tas Water. The new hydrant/s will be required to conform with the following specifications;

A) Distance between building area to be protected and water supply
The following requirements apply:
(a) The building area to be protected must be located within 120 metres of a fire hydrant; and
(b) The distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

B) Design criteria for fire hydrants
The following requirements apply:
(a) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA Edition 2.0; and
(b) Fire hydrants are not installed in parking areas.

C) Hardstand
A hardstand area for fire appliances must be provided:
(a) No more than three metres from the hydrant, measured as a hose lay;
(b) No closer than six metres from the building area to be protected;
(c) With a minimum width of three metres constructed to the same standard as the carriageway; and
(d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Hazard Management Areas

A hazard management area will be required to be established and maintained for the life of the development. The hazard management area will need to be established at the commencement of construction of the first unit. Guidance for the establishment and maintenance of the hazard management area is provided.

Low threat vegetation
exclusion 2.2.3.2 e, f.

Low threat vegetation
exclusion 2.2.3.2 e, f.

Bushfire Hazard.

Low threat vegetation
exclusion 2.2.3.2 e, f.

Low threat vegetation
exclusion 2.2.3.2 e, f.

Building Specifications to BAL-12.5 of AS3959-2018 for units 1 to 18 inclusive

Hazard Management Area

A hazard management area is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter;
- Maintain grass at less than a 100mm height;
- Avoid the use of flammable mulches (especially against buildings);
- Thin out under-story vegetation to provide horizontal separation between fuels;
- Prune low-hanging tree branches (<2m from the ground) to provide vertical separation between fuel layers;
- Remove and or prune larger trees to maintain horizontal separation between canopies;
- Minimise the storage of flammable materials such as firewood;
- Maintain vegetation clearance around vehicular access and water connection points;
- Use low-flammability plant species for landscaping purposes where possible;
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

Certification No. J 715

Mark Van den Berg
Acc. No. BFP-108
Scope 1, 2, 3A, 3B, 3C.

Do not scale from these drawings.
Dimensions to take precedence
over scale.

Wilson Homes
250 Murray Street
Hobart, Tasmania 7000

C.T.: 55156/62 - 72
PID: 2208374

Date: 7/05/2020

Bushfire Hazard Management Plan Selwyn Street,
Triabunna. May 2021. J 715 2
Bushfire Management Report Selwyn Street,
Triabunna. May 2021. J 715 2

Drawing Number:
A01

Sheet 1 of 1
Prepared by:
MdB

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☒
or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report, Selwyn Street, Triabunna. May 2021. J1715 v2 Bushfire Hazard Management Plan Selwyn Street, Triabunna. May 2021. J1715 v2 and Form 55.
Relevant calculations:	Not Applicable.
References:	Determination, Director of Building Control Requirements for Building in Bushfire-Prone Areas, version 2.2 6 th February 2020. Consumer, Building and Occupational Services, Department of Justice, Tasmania. Building Amendment (Bushfire-Prone Areas) Regulations 2014. Standards Australia 2018, Construction of buildings in bushfire prone areas, Standards Australia, Sydney.

Substance of Certificate: (what it is that is being certified)

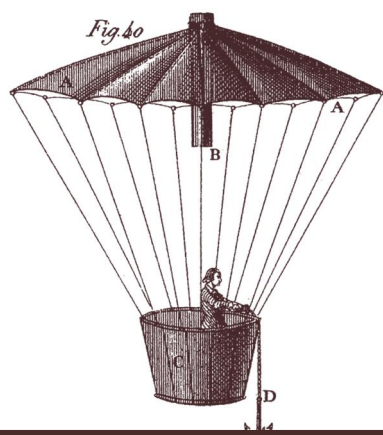
Bushfire Attack Level is BAL-12.5 for units 1 to 18 inclusive. All specifications of report and BHMP required for compliance. HMA to be established from the commencement of construction of the first unit.

Scope and/or Limitations

Scope: This report was commissioned to identify the Bushfire Attack Level for the existing property. Limitations: The inspection has been undertaken and report provided on the understanding that;-1. The report only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report. 2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken. 3. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:	Signed: 	Certificate No: J1715	Date: 07/05/2021
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Stormwater Management Report

Planning Scheme Compliance

Selwyn Street, Triabunna

for Centacare Evolve Housing

13/07/2021

Version control

Revision	Description	Issue date	Issued by
A	Planning Approval	13/07/2021	Simon Palmer

PROJECT NUMBER 20.0642
REPORT AUTHOR Simon Palmer

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1 Background

An 18-unit development is proposed at the intersection of Selwyn Street and Spencer Street, Triabunna. The existing site generally slopes in a westerly direction towards Spring Bay, with grades between the range of 10-23%. At the location of the proposed development site, Selwyn Street has a longitudinal slope of 15-18%.

In response to Council's Request for Information elements of the Stormwater Management Code are addressed in this report in support of the development application.

2 Planning Scheme Requirements

The current Glamorgan Spring Bay Interim Planning Scheme 2015 requires that this development manages stormwater in compliance with the Stormwater Management Code. Code requirements for this development are:

Acceptable Solution A2 of Clause E7.7.1 Stormwater Drainage and Disposal states:

A stormwater system for a new development must incorporate water sensitive urban design principles^{R1} for the treatment and disposal of stormwater if any of the following apply:

- (a) the size of new impervious area is more than 600 m²;*
- (b) new car parking is provided for more than 6 cars;*
- (c) a subdivision is for more than 5 lots.*

This development meets criteria (a) and (b) of the clause and therefore water sensitive urban design principles must be incorporated into the design of stormwater management for the site.

Acceptable Solution A3 of Clause E7.7.1 Stormwater Drainage and Disposal states:

A minor stormwater drainage system must be designed to comply with all of the following:

- (a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;*
- (b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.*

^{R1} *Water Sensitive Urban Design Engineering Procedures for Stormwater Management in Southern Tasmania or the Model for Urban Stormwater Improvement Conceptualisation (MUSIC), a nationally recognised stormwater modelling software package used to assess land development proposals based on local conditions including rainfall, land use and topography, is recognised as current best practice.*

This development incorporates a minor stormwater drainage system, therefore the design must satisfy both criterion (a) and criterion (b) of Acceptable Solution A3. As the development is located within a General Residential zone, the 20 year ARI storm must be accommodated in the design.

3 Stormwater Management

3.1 Stormwater Treatment

Performance Criteria P2 of Clause E7.7.1 requires:

A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so.

The acceptable stormwater quality and quantity targets are:

<i>80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater TSS concentrations.</i>
<i>45% reduction in the average annual load of total phosphorus (TP) based on typical urban stormwater TP concentrations.</i>
<i>45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater TN concentrations.</i>
<i>Stormwater quantity requirements must always comply with requirements of the local authority including catchment-specific standards. All stormwater flow management estimates should be prepared according to methodologies described in Australian Rainfall and Runoff (Engineering Australia 2004) or through catchment modelling completed by a suitably qualified person.</i>

Numerous proprietary products can be selected to treat stormwater to the targets specified in the planning scheme. Analysis using MUSIC (6.2.1) indicates that the required stormwater quality and quantity targets can be achieved. An indicative treatment train and analysis is provided on Gandy and Roberts drawing 20.0642 C010.

3.2 Stormwater Disposal

3.2.1 20 Year ARI Storm Event

The internal stormwater system will be designed to accommodate an ARI of 20 years.

3.2.2 Stormwater Analysis

The pre and post-development rainfall runoff scenarios for the site were analysed in XP Storm 2019, using hydrological analysis methods in accordance with Australian Rainfall and Runoff (ARR) 2019.

The existing site has previously been subdivided and infrastructure has been put in place to accept runoff from future development on the lots. It has been assumed that the existing lots would have been developed with 30% of lot areas being impervious. For the undeveloped site the critical storm duration was determined to be the 15-minute rainfall event, with the median storm pattern resulting in a design runoff volume of 102.4 L/s (refer Figure 1). This flow rate may be taken as the Permissible Site Discharge (PSD).

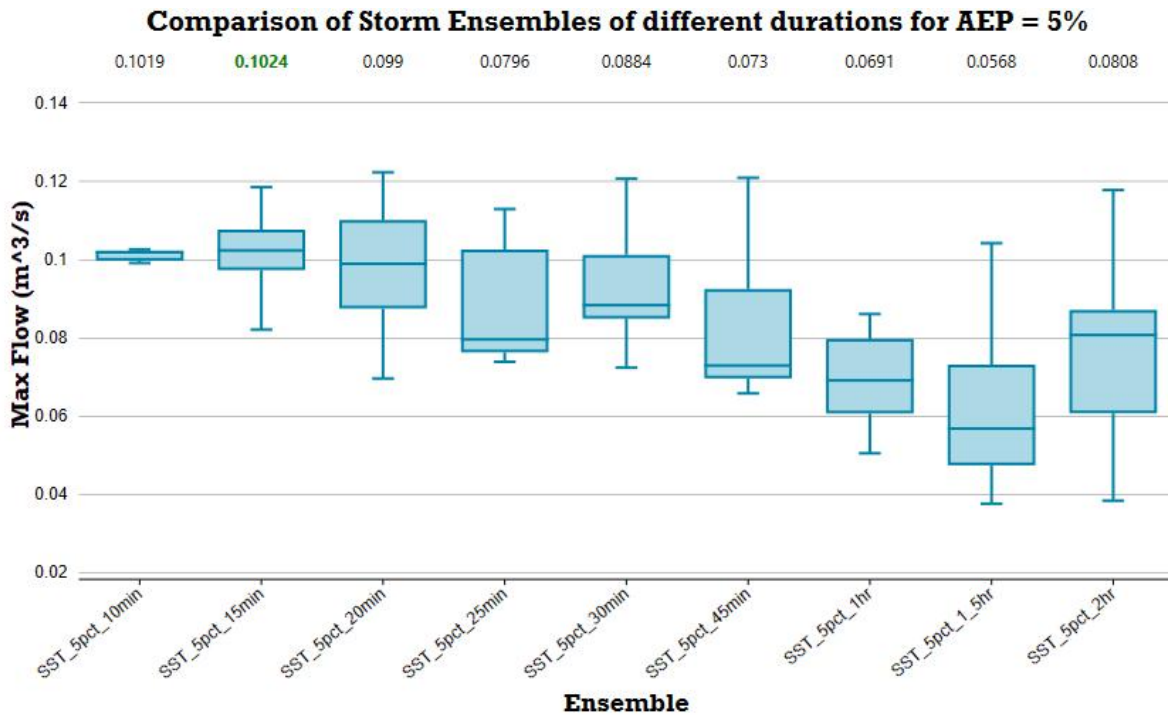


Figure 1 Pre-development box and whisker plot comparison of storm ensembles for 5% AEP. Design flow rate for critical storm duration median pattern = 102.4 L/s (15-minute duration, storm pattern 2).

3.2.3 Runoff Mitigation Proposal

In order to limit site runoff post development to the PSD on-site detention is proposed, with orifice-controlled discharge limiting the site runoff for all storm durations up to the 5% AEP event.

For this assessment, it has been assumed that all impervious areas and 50% of garden areas will be reticulated to on site detention, and 50% of garden areas will discharge from the site undetained. The detention requirements were analysed in XP Storm using the storm pattern producing the median peak runoff for each event duration. Discharge hydrographs for each storm event are shown in Figure 2.

Detention will consist of two 5,000 L Graf underground tanks collecting a majority of the site stormwater with Units 10 to 12 provided with a 1 kL above ground detention tank to each unit.

This analysis has been undertaken for planning purposes. A more thorough analysis will be undertaken during detailed design, which may result in an alternate design solution.

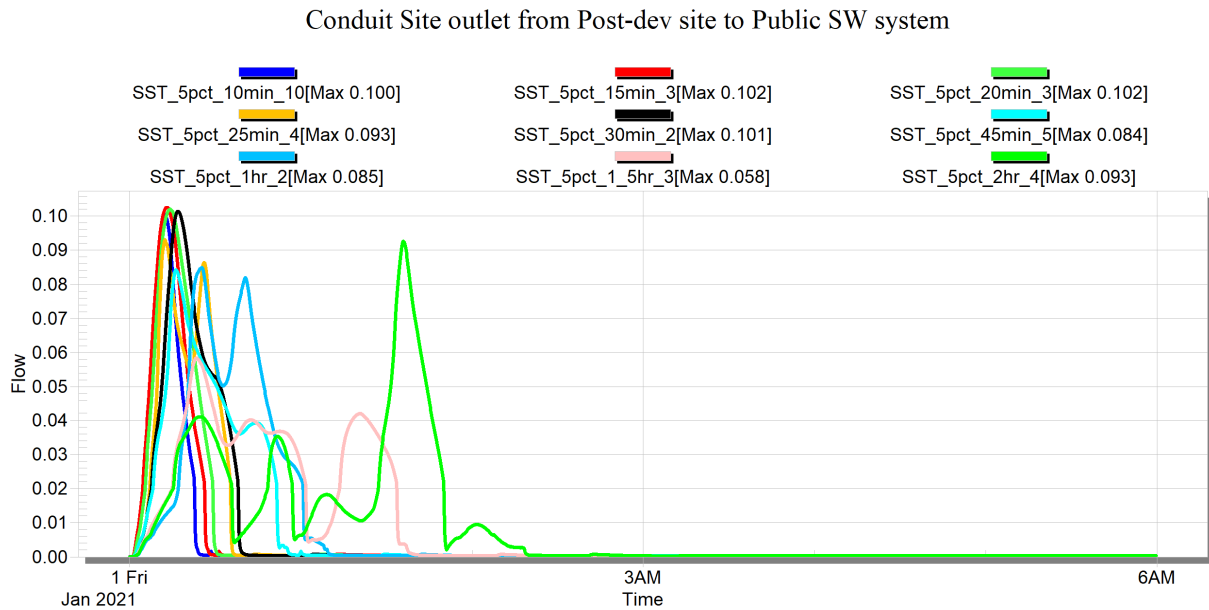
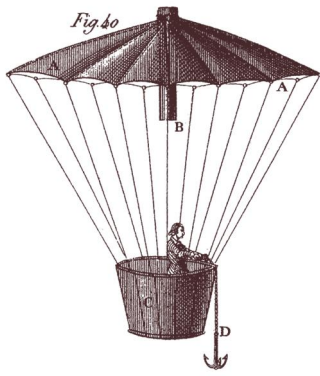


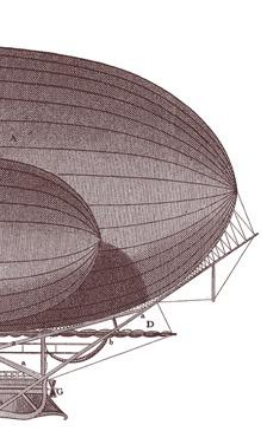
Figure 2 Pre-development critical median temporal pattern for various storm durations (m^3/s)

To comply with Objective A3 of Clause E7.7.1 post development runoff is to be no greater than pre-development runoff; therefore, stormwater detention will be required for this site. Analysis using XP storm indicates that detention tanks with orifice-controlled outlets will achieve compliance with Objective A3.

3.3 Conclusion

The development can be designed to satisfy Objectives A2 and A3 of Clause E7.7.1 of the Hobart Interim Planning Scheme 2015.





ENGINEERS ADVICE

TO	Glamorgan Spring Bay Council	DATE	13/07/2021
FROM	Joshua Farnar/Simon Palmer	TIME	-
PROJECT	Proposed Residential Development Selwyn Street Triabunna	PROJECT N ^o	20.0642
SUBJECT	Response to Council RFI – updated response	REF N ^o	RFI-01b
<input type="checkbox"/> SITE INSPECTION REPORT	<input checked="" type="checkbox"/> RESPONSE TO RFI	<input type="checkbox"/> ENGINEERS DIRECTION	

**GANDY AND
ROBERTS**
159 DAVEY ST
HOBART TASMANIA
AUSTRALIA 7000
**CONSULTING
ENGINEERS**

To whom it may concern,

In response to your Request for Additional Information, dated 10 February 2021 and 7 June 2021, relating to planning permit DA 2021/32 for the Proposed Residential Development at Selwyn Street, Triabunna, we provide the following advice.

Additional Information Required:

- The driveway has been designed for two-way movement with entry and exit at both access points. An assessment against performance criteria P1 of E6.7 Of the Parking and Access Code is required to be provided.



Figure 1: Proposed development site

Response:

In conversation with the Glamorgan Spring Bay Council, it was advised that the number of crossovers proposed must be addressed. Under the Glamorgan Spring Bay Council Interim Planning Scheme 2015 item E6.7.1 *Number of Vehicular Accesses*, the acceptable solution A1 states:

The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.

The proposed development site is shown in Figure 1. As shown, the development proposes to amalgamate several existing lots into one title. These lots currently have vehicular accessed off Selwyn Street. The development proposes to remove all existing crossovers in Selwyn Street and provide two 6 m wide double crossovers. The proposed number of crossovers does not exceed the existing number of crossovers for the existing road frontage, hence Acceptable Solution A1 of E6.7.1 is satisfied.

Additional Information Required:

- The parking spaces for units 1 and 18 are located very close to the main driveway entrances off Selwyn St and Council is concerned there is a potential conflict between vehicles entering the complex and vehicles reversing out of the parking spaces for those units.

Response:

Swept paths are provided below for driveway manoeuvres for units 1 and 18. The design vehicle shown is a B85 with a 5.8 m radius turn (realistic turning radius). In each swept path diagram below, the reversing manoeuvre of a parked car exiting each driveway is shown, with clearance shown to a potential car entering the site.

It should be noted that the below diagrams present the vehicle clearance envelope for each vehicle in accordance with AS/NZ 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*, and do not illustrate the wheel-path.

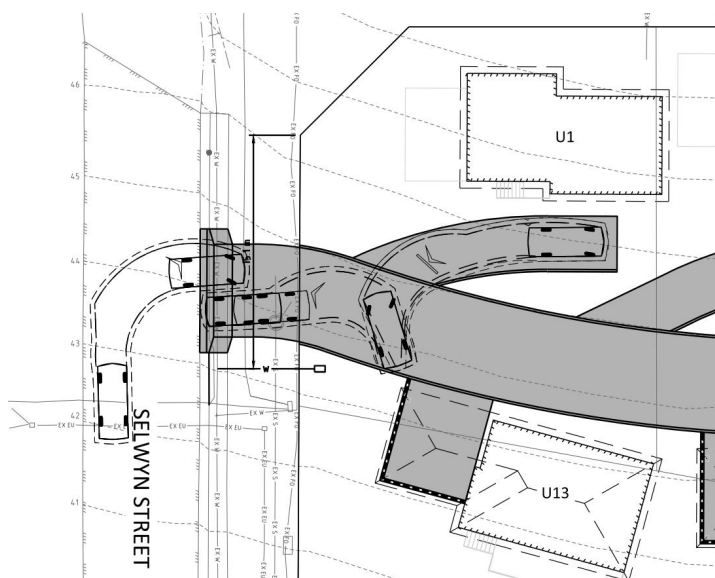


Figure 2: Unit 1 driveway exit manoeuvre swept path

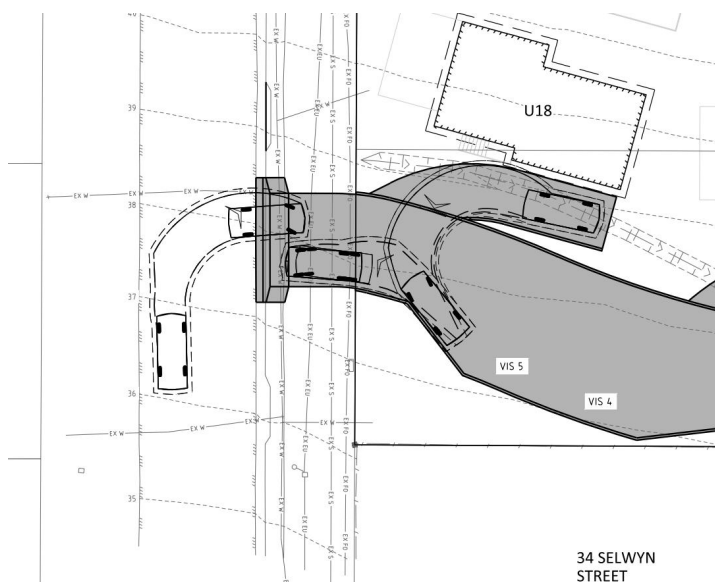


Figure 3: Unit 18 driveway exit manoeuvre swept path

As shown, vehicles can comfortably reverse out of each driveway and exit the site via the nearest site access. There is adequate clearance and sight distance to a vehicle entering the site to avoid any potential conflict.

Additional Information Required:

- Turning path plans are required to demonstrate that vehicles can enter and exit car parking spaces in a safe manner that ensures ease of access in accordance with clause E6.7.5.

Response:

Turning paths are provided in accordance with AS/NZ 2890.1:2004 *Parking Facilities Part 1: Off-street car parking* in order to demonstrate that the parking areas have been designed to enable safe, easy and efficient use.

The main access driveway has been designed as a sealed 6 m wide driveway. AS2890.1 Clause 2.5.2 (a) (ii) states that the minimum width of two-way roads is to be 5.5 m. The development exceeds this minimum width. Parking spaces for each unit have been designed to be 5.4 m long by 3.6 m wide (where a retaining wall is located on one side), and visitor parking bays are 5.4 m long by 3.2 m wide. AS2890.1 Clause 2.6.1 states that the minimum width for domestic driveways shall be 3.0 m. The development exceeds this minimum width.

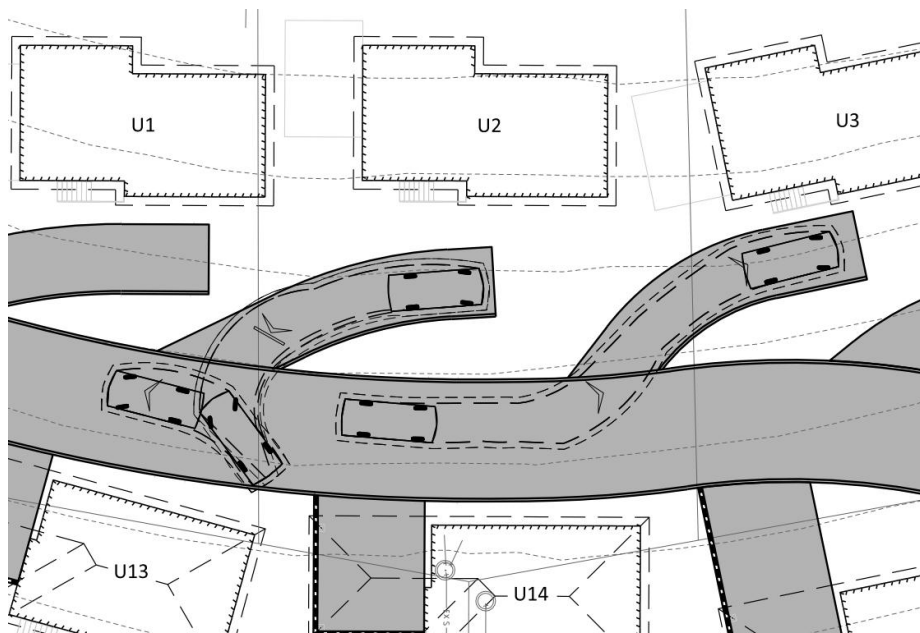


Figure 4: Unit 2 exit and unit 3 entry driveway swept path manoeuvres

Figure 4 shows the exit and entry swept paths for the driveways of units 2 and 3, respectively. These driveways have been selected as being representative of all driveways for units 1, 2, 3, 4, 17 and 18.

As shown, vehicles can comfortably enter each driveway in a forward direction, and can perform a reverse turning manoeuvre in order to exit the site via the closest site access, ensuring safe and easy manoeuvring on-site.

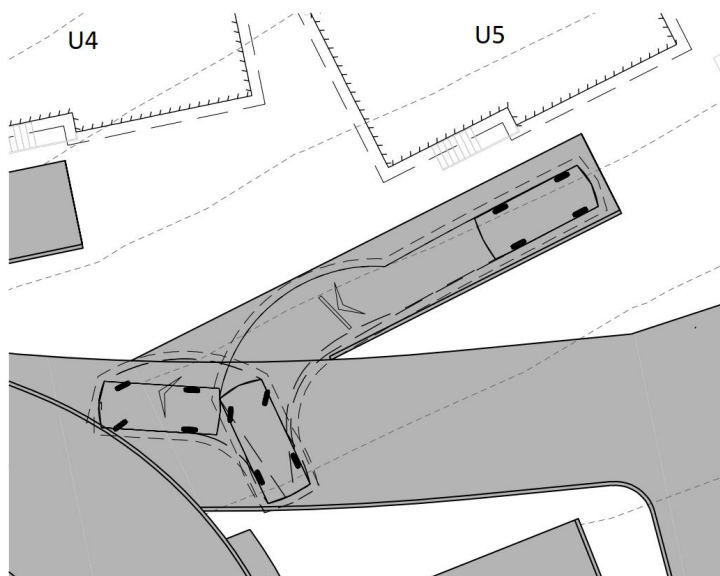


Figure 5: Unit 5 driveway exit manoeuvre swept path

It is envisaged that vehicles will enter the driveway to unit 5 in a forward-facing direction. The reversing exit manoeuvre is shown, demonstrating safe and easy manoeuvring on-site.

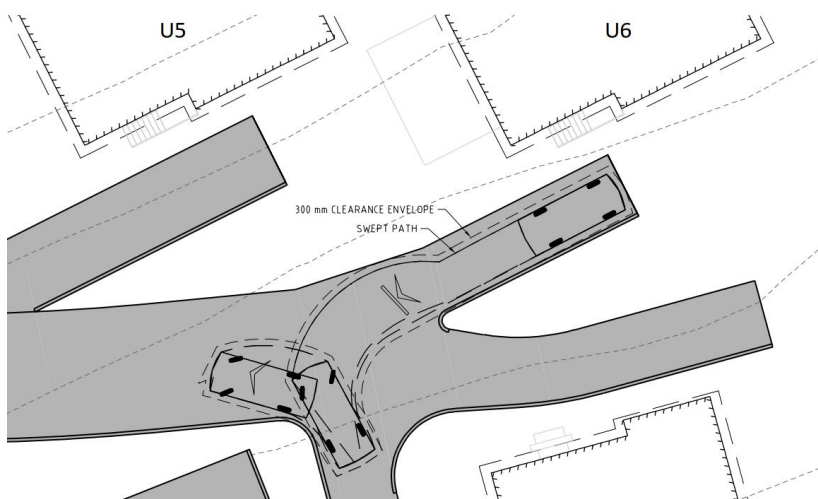


Figure 6: Unit 6 driveway exit manoeuvre swept path

It is envisaged that vehicles will enter the driveway to unit 6 in a forward-facing direction. The reversing exit manoeuvre is shown, demonstrating safe and easy manoeuvring on-site.

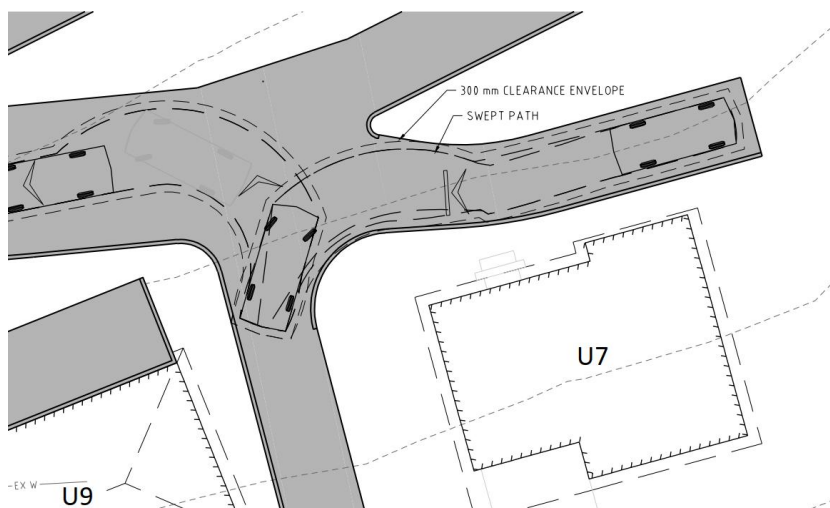


Figure 7: Unit 7 driveway exit manoeuvre swept path

It is envisaged that vehicles will enter the driveway to unit 7 in a forward-facing direction. The reversing exit manoeuvre is shown, demonstrating safe and easy manoeuvring on-site.

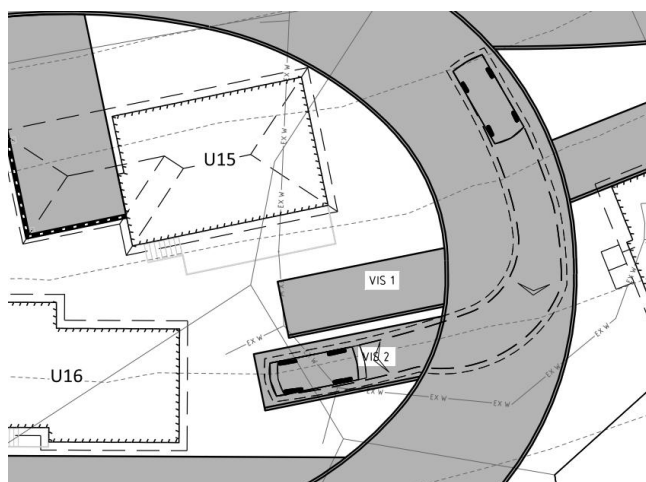


Figure 8: Visitor 2 parking bay entry manoeuvre swept path – entry from top of site

Visitor parking bays 1 and 2 are at the furthest location along the access driveway away from the site accesses. As such, these may be approached from the west (low side) and east (high side) of the site. Figure 8 above shows the forward-facing swept path of a vehicle entering visitor park 2, while Figure 9

below shows the entering manoeuvre of a vehicle accessing the park from the west and reversing into the parking bay.

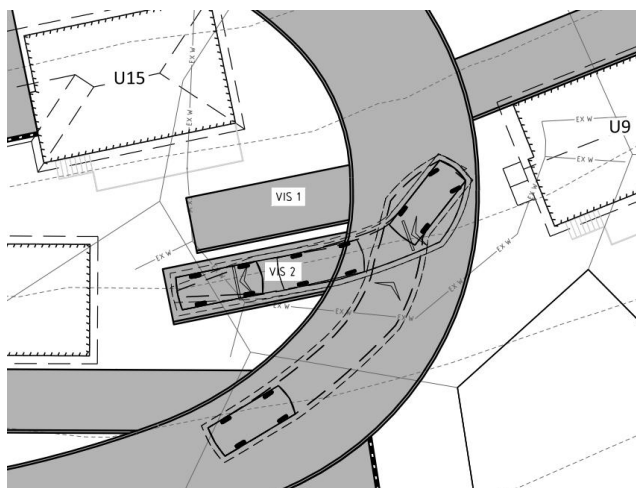


Figure 9: Visitor 2 parking bay manoeuvre swept path – (reverse) entry from bottom of site

The turning paths shown in Figures 8 and 9 are representative of the entry manoeuvres for visitor park 1 as well as unit 16 driveway.

Upon exiting the driveway from unit 16, a reversing vehicle could comfortably turn either left or right, while a forward-facing vehicle could easily turn left. If a vehicle wished to exit forwards and turn downhill, a forward-facing vehicle could exit to the right via a three-point turn as shown below.

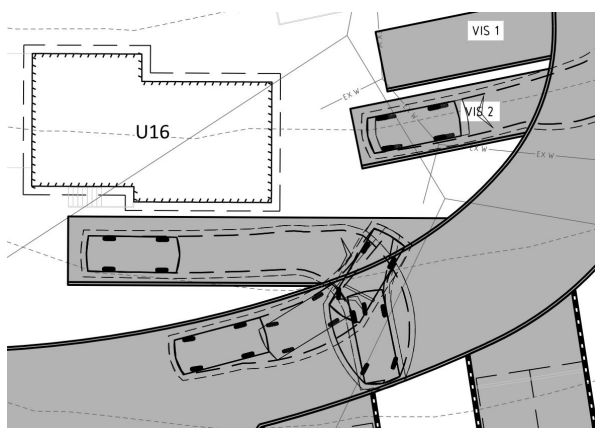


Figure 10: Unit 16 driveway exit manoeuvre swept path (forward-facing right-hand turn)

Note: The right turn manoeuvre is achievable, but most drivers would make the easier left turn on forward exit.

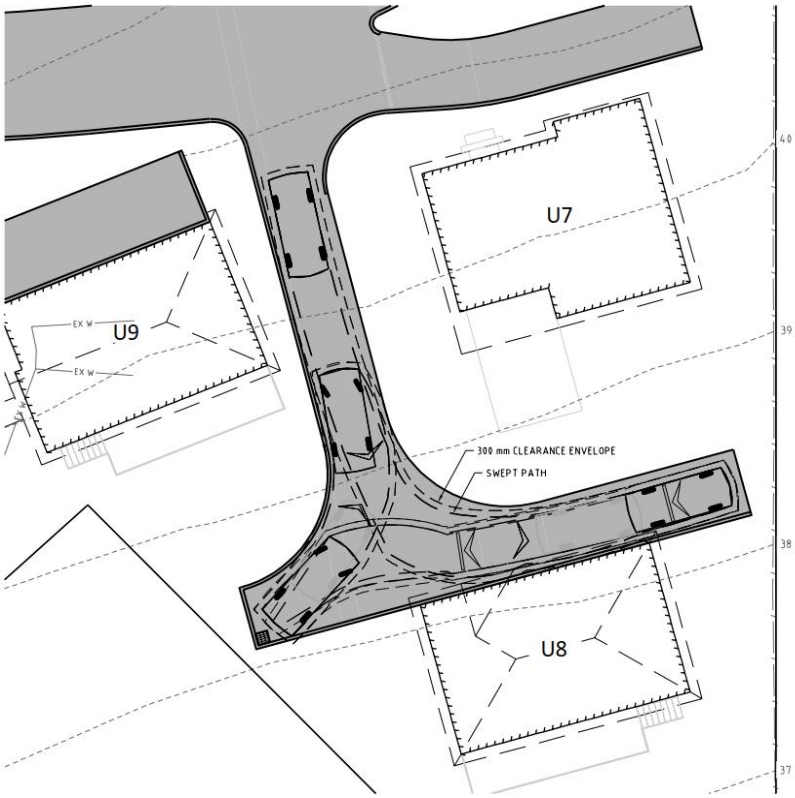


Figure 11: Unit 8 driveway entry and exit manoeuvre swept path

A turning head has been provided for unit 8, allowing a vehicle to enter the parking bays in a forward-facing direction, reverse into the turning head and exit the driveway in a forward-facing direction.

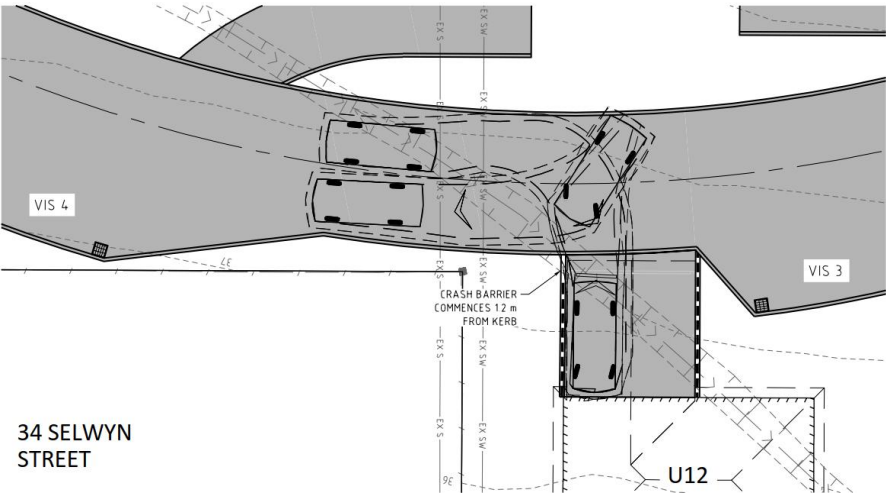


Figure 12: Unit 12 driveway entry and exit manoeuvre swept path

Figure 12 shows the entry and exit swept paths for unit 12. This driveway is representative of all driveways for units 10, 11, 12, 13, 14 and 15.

As shown, vehicles can comfortably enter each driveway parking space in a forward direction, and can perform a reverse turning manoeuvre in order to exit the site via the closest site access, ensuring safe and easy manoeuvring on-site.

Additional Information Required:

- Section plans are required showing the retaining walls required for each unit including parking areas. Council is concerned that retaining walls may block sightlines of vehicles reversing out of parking spaces into the main driveway.

Response:

The area between the unit driveways and the access driveway will be battered to avoid retaining walls on the downhill side of the driveways. As such, clear sight lines will be provided from the access driveway to all unit driveways. Schematic 3D model images of the site are shown below, with the existing topography shown in pink and the battered areas shown in dark purple.

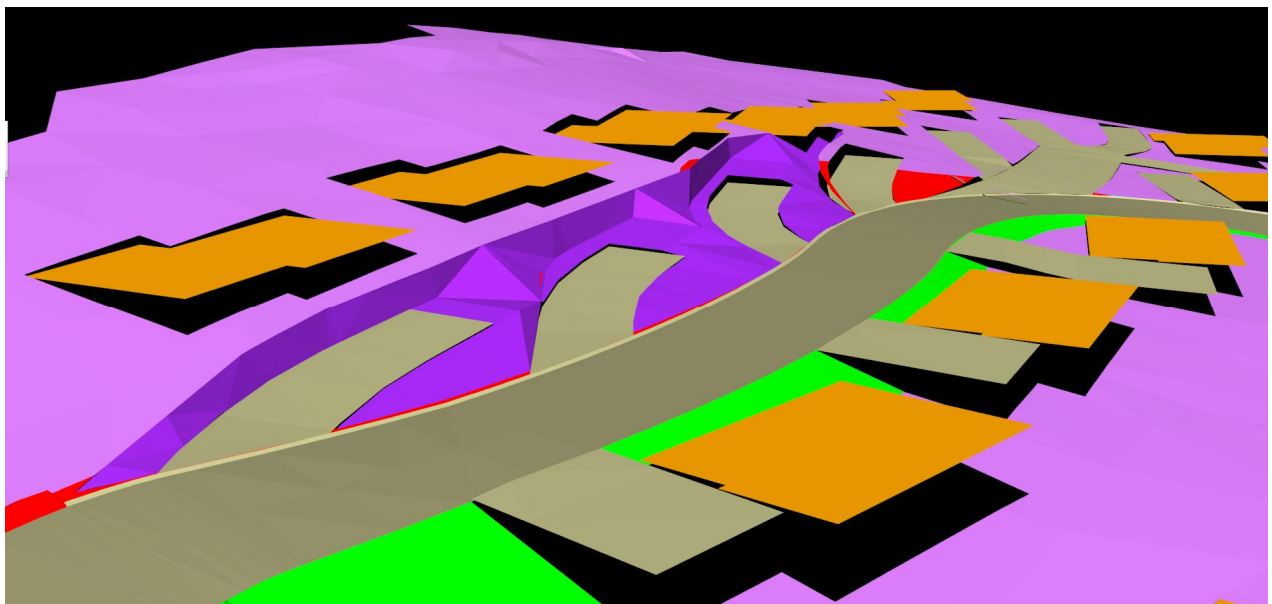


Figure 13: Schematic 3D site model, showing batters between the unit driveways and the access driveway

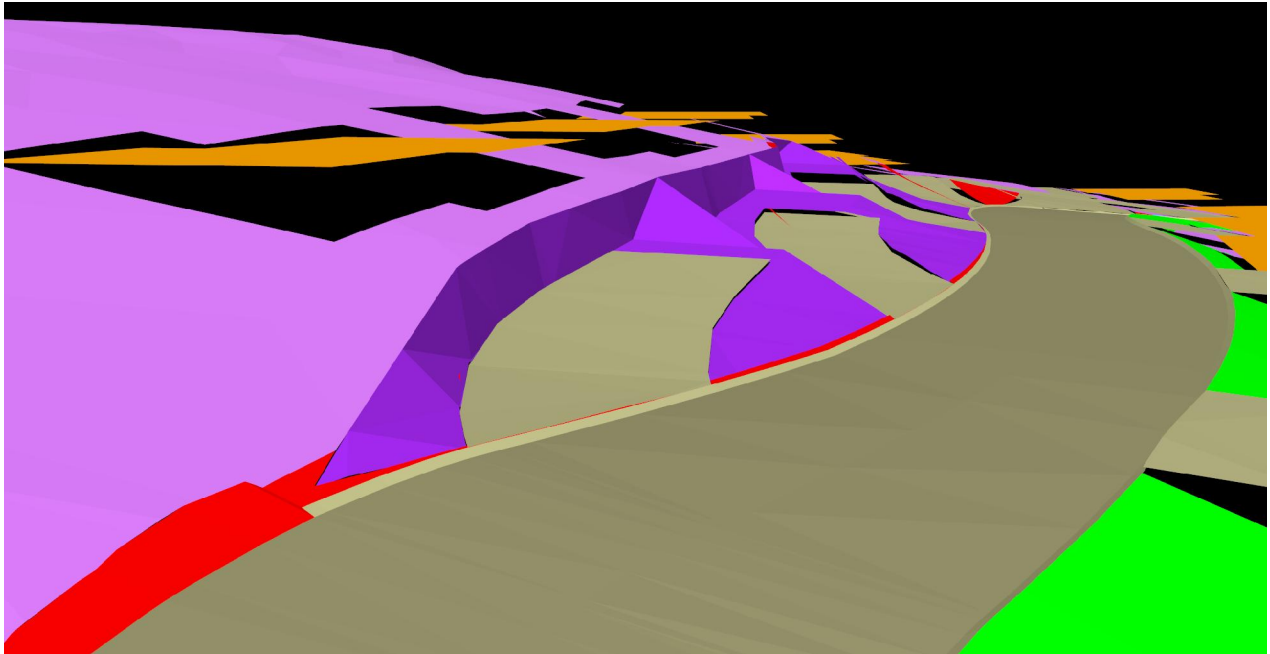


Figure 14: Schematic 3D site model

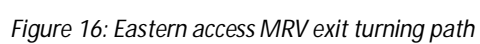
Additional Information Required:

- Detail is required to be provided as to how garbage collection will occur. Is it anticipated that the garbage truck will enter the property? If so, further detail is required as to how this will occur including a turning path plan.

Response:

A garbage truck is proposed to enter the site and collect garbage bins located along the main access driveway. As shown below, the site accesses have been designed to allow for a garbage truck (represented as an MRV design vehicle under AS/NZ 2890.1:2004) to enter and exit the site via either accesses. The 6 m wide access driveway allows for the passing of a typical vehicle (B85) alongside the garbage truck.

For units 5-9, a common collection location is proposed downhill from unit 4, as shown in Figure 19 below. This collection location would require a garbage truck to briefly deviate from the access driveway to collect the bins and would have to reverse a distance of around 10 m in order to continue around the access driveway. Due to the short reversing distance and the clear lines of sight in this location, the design is considered practical and safe.



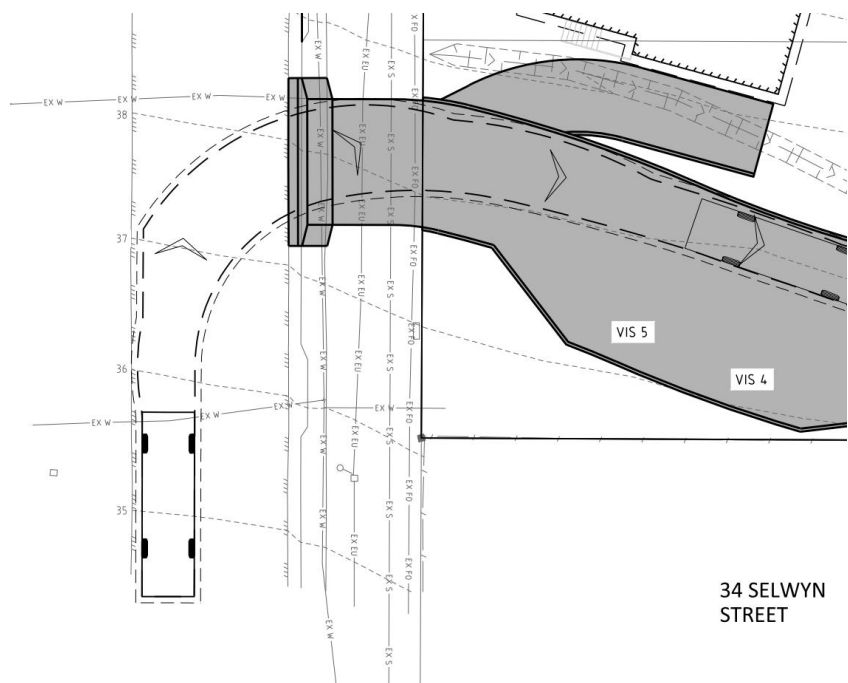


Figure 17: Western access MRV entry turning path

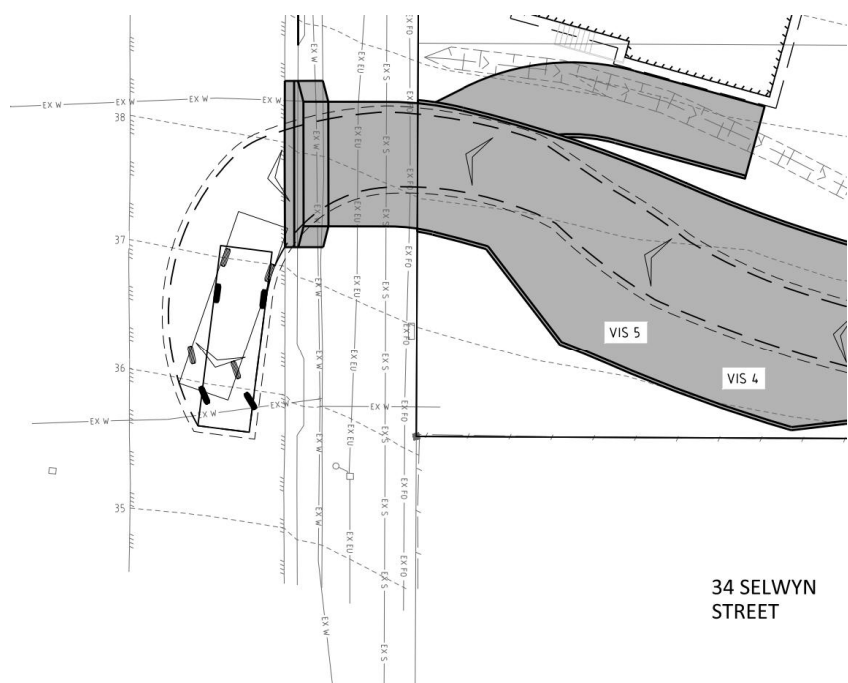


Figure 18: Western access MRV exit turning path

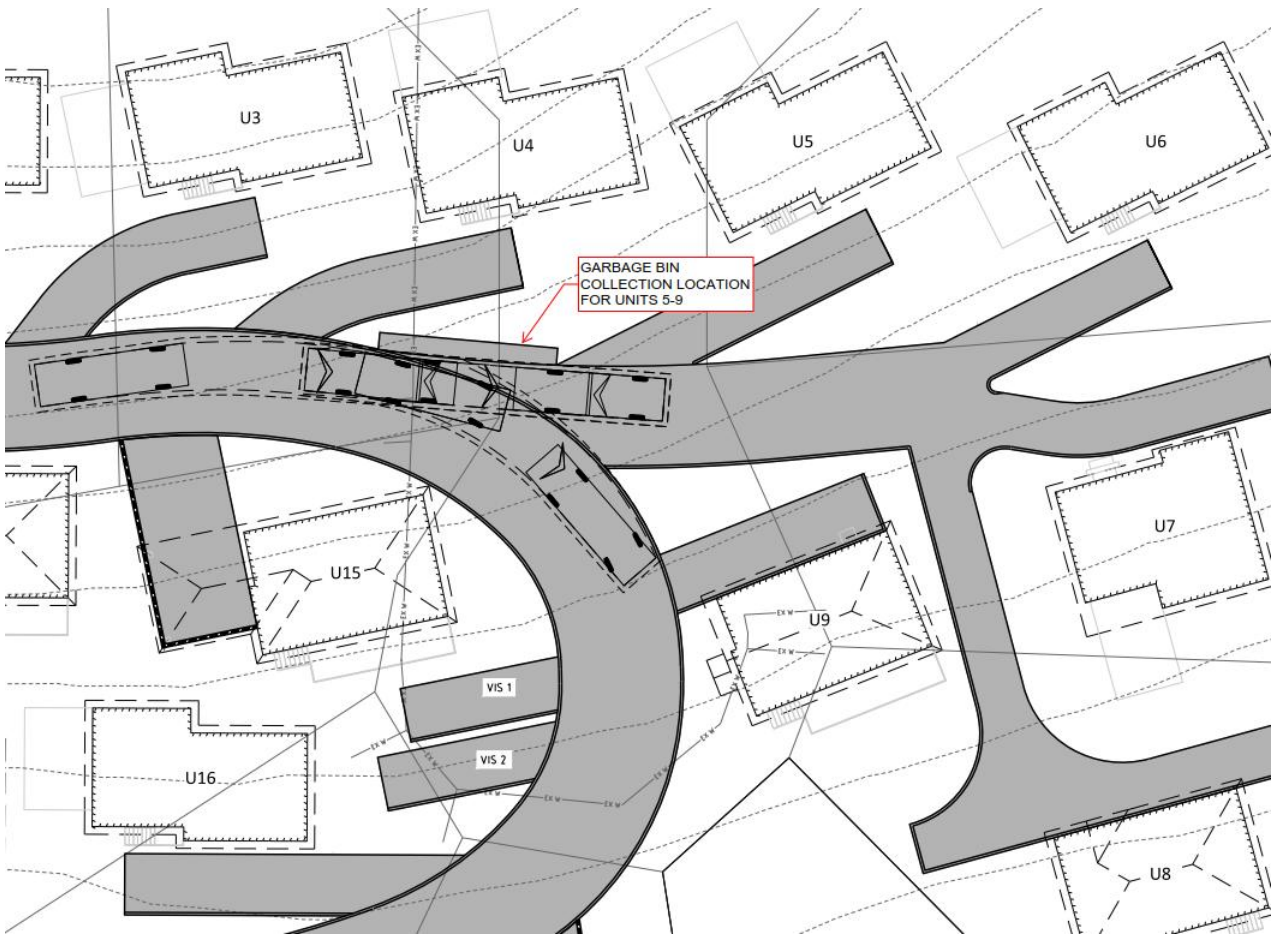


Figure 19: Proposed garbage bin collection location for units 5-9

PROPOSED RESIDENTIAL DEVELOPMENT

SELWYN STREET,

TRIABUNNA

CENTRECARE EVOLVE HOUSING

PD20313

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE LANDCAPING PLAN
03	LOCALITY PLAN
04	SHADOW DIAGRAMS
05	SHADOW DIAGRAMS

UNIT 1 BUILDING DRAWINGS

No	DRAWING
01-01	FLOOR PLAN
01-02	ELEVATIONS
01-03	ELEVATIONS
01-04	ROOF PLAN

UNIT 2 BUILDING DRAWINGS

No	DRAWING
02-01	FLOOR PLAN
02-02	ELEVATIONS
02-03	ELEVATIONS
02-04	ROOF PLAN

UNIT 3 BUILDING DRAWINGS

No	DRAWING
03-01	FLOOR PLAN
03-02	ELEVATIONS
03-03	ELEVATIONS
03-04	ROOF PLAN

UNIT 4 BUILDING DRAWINGS

No	DRAWING
04-01	FLOOR PLAN
04-02	ELEVATIONS
04-03	ELEVATIONS
04-04	ROOF PLAN

UNIT 5 BUILDING DRAWINGS

No	DRAWING
05-01	FLOOR PLAN
05-02	ELEVATIONS
05-03	ELEVATIONS
05-04	ROOF PLAN

UNIT 6 BUILDING DRAWINGS

No	DRAWING
06-01	FLOOR PLAN
06-02	ELEVATIONS
06-03	ELEVATIONS
06-04	ROOF PLAN

UNIT 7 BUILDING DRAWINGS

No	DRAWING
07-01	FLOOR PLAN
07-02	ELEVATIONS
07-03	ELEVATIONS
07-04	ROOF PLAN

UNIT 8 BUILDING DRAWINGS

No	DRAWING
08-01	FLOOR PLAN
08-02	ELEVATIONS
08-03	ELEVATIONS
08-04	ROOF PLAN

UNIT 9 BUILDING DRAWINGS

No	DRAWING
09-01	FLOOR PLAN
09-02	ELEVATIONS
09-03	ELEVATIONS
09-04	ROOF PLAN

UNIT 10 BUILDING DRAWINGS

No	DRAWING
10-01	FLOOR PLAN
10-02	ELEVATIONS
10-03	ELEVATIONS
10-04	ROOF PLAN

UNIT 11 BUILDING DRAWINGS

No	DRAWING
11-01	FLOOR PLAN
11-02	ELEVATIONS
11-03	ELEVATIONS
11-04	ROOF PLAN

UNIT 12 BUILDING DRAWINGS

No	DRAWING
12-01	FLOOR PLAN
12-02	ELEVATIONS
12-03	ELEVATIONS
12-04	ROOF PLAN

UNIT 13 BUILDING DRAWINGS

No	DRAWING
13-01	FLOOR PLAN
13-02	ELEVATIONS
13-03	ELEVATIONS
13-04	ROOF PLAN

UNIT 14 BUILDING DRAWINGS

No	DRAWING
14-01	FLOOR PLAN
14-02	ELEVATIONS
14-03	ELEVATIONS
14-04	ROOF PLAN

UNIT 15 BUILDING DRAWINGS

No	DRAWING
15-01	FLOOR PLAN
15-02	ELEVATIONS
15-03	ELEVATIONS
15-04	ROOF PLAN

UNIT 16 BUILDING DRAWINGS

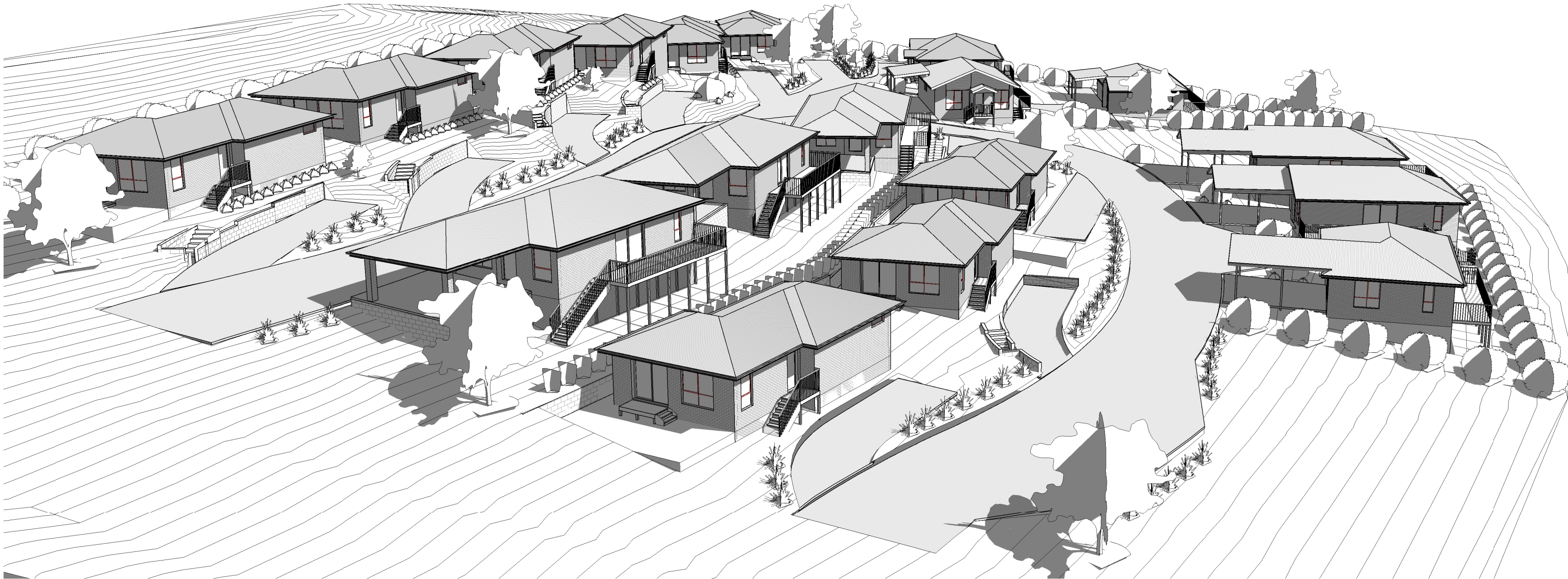
No	DRAWING
16-01	FLOOR PLAN
16-02	ELEVATIONS
16-03	ELEVATIONS
16-04	ROOF PLAN

UNIT 17 BUILDING DRAWINGS

No	DRAWING
17-01	FLOOR PLAN
17-02	ELEVATIONS
17-03	ELEVATIONS
17-04	ROOF PLAN

UNIT 18 BUILDING DRAWINGS

No	DRAWING
18-01	FLOOR PLAN
18-02	ELEVATIONS
18-03	ELEVATIONS
18-04	ROOF PLAN



GENERAL PROJECT INFORMATION
TITLE REFERENCE:
62/55156, 63/55156, 64/55156, 65/55156,
66/55156, 67/55156, 68/55156, 69/55156,
70/55156, 61/55156, 62/55156, 63/55156
SITE AREA: 8190m²
DESIGN WIND SPEED:
SOIL CLASSIFICATION:
CLIMATE ZONE: 1
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: YES
BAL RATING: 12.5
OTHER KNOWN HAZARDS: NONE KNOWN



10 Goodman Court , Invermay Launceston 7248
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160 New Town Road, New Town, Hobart 7008
p01 +03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

FEBRUARY 2021

PLANNING



SITE PLAN
1 : 250

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2041
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

- WARNINGS:**
- THE DETAIL SHOWN / RECORDED
- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
 - IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
 - SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.20m

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - 12.5 REFER TO ASSESSMENT FOR FURTHER DETAILS. ALL CONSTRUCTION MUST COMPLY WITH AS3959.

NOTE:
ALL TITLES TO BE CONSOLIDATED

10.4.1 RESIDENTIAL DENSITY FOR MULTIPLE DWELLINGS

SITE AREA 8190 / NO. OF UNIT 18 = 455m²
SITE AREA PER DWELLING MUST BE GREATER THAN 325m²

10.4.3 SITE COVERAGE & PRIVATE OPEN SPACES FOR ALL DWELLINGS

SITE COVERAGE
BUILDING FOOTPRINT 1633.06 / SITE AREA 8190 = 0.20
TOTAL SITE COVERAGE 20%

IMPERVIOUS SURFACES
NON-IMPERVIOUS SURFACES 3492.22 / SITE AREA 8190 = 0.487
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 48.7%

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

WILSON MULTI

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
p(h) + 03 6332 3790
160 New Town Road, New Town, Hobart 7008
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTRECARE EVOLVE HOUSING
Drawing:
SITE PLAN

Drafted by: Author	Approved by: Approver
Date: 23.02.2021	Scale: 1 : 250 @ A1
Project/Drawing no: PD20313-01	Revision: 06

Accredited building practitioner: Frank Geskus -No CC246A



LOCALITY PLAN
1 : 750

THIS SITE IS ZONED GENERAL RESIDENTIAL AND REQUIRES A BUSHFIRE ASSESSMENT.
RESIDENCES IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.
REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



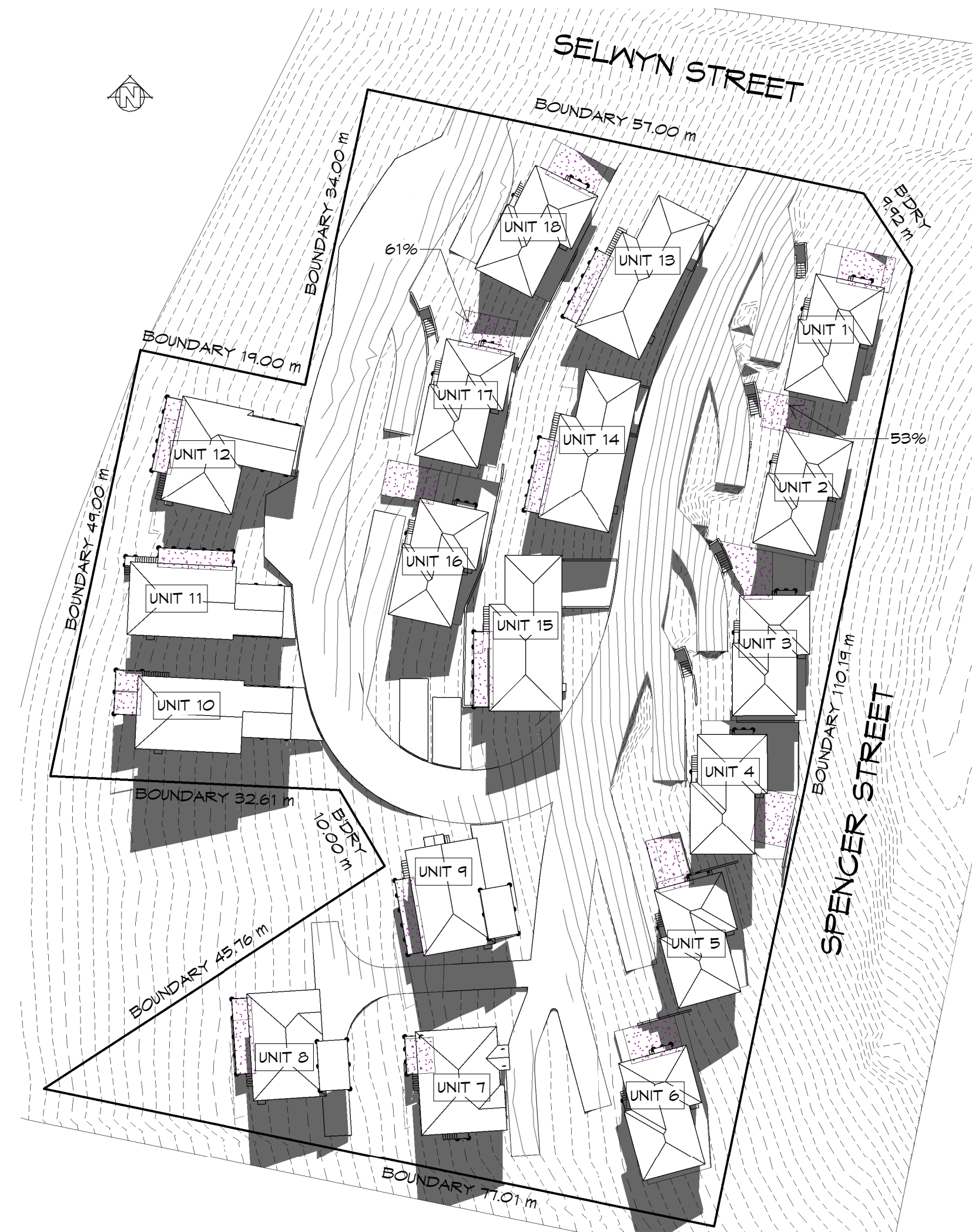
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160 New Town Road, New Town, Hobart 7008
p(h) + 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTRECARE EVOLVE HOUSING
Drawing:
LOCALITY PLAN

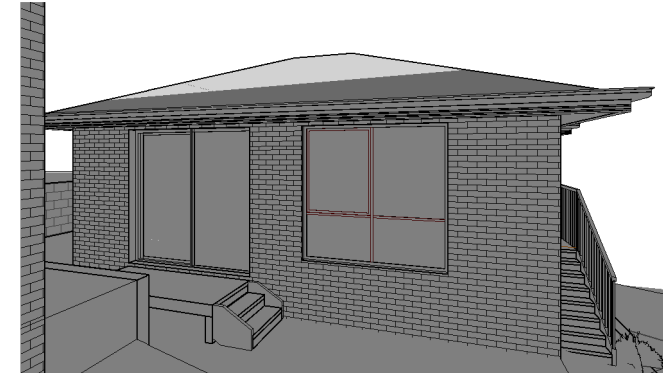
Drafted by: Author	Approved by: Approver	
Date: 23.02.2021	Scale: 1 : 750	
Project/Drawing no: PD20313 -03	Revision: 06	

Accredited building practitioner: Frank Geskus -No CC246A





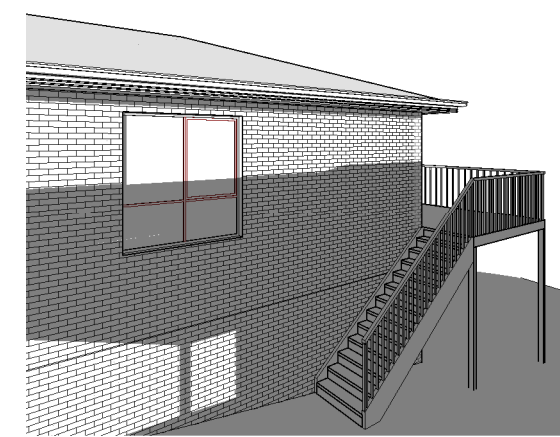
U3 - 21ST JUNE @ 9AM



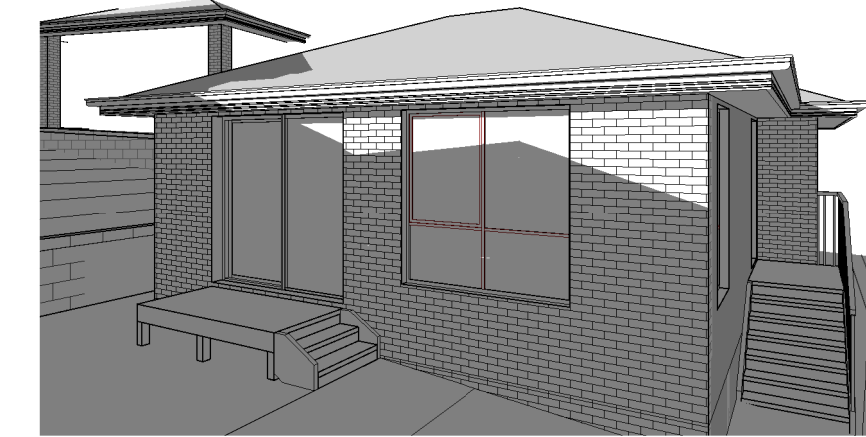
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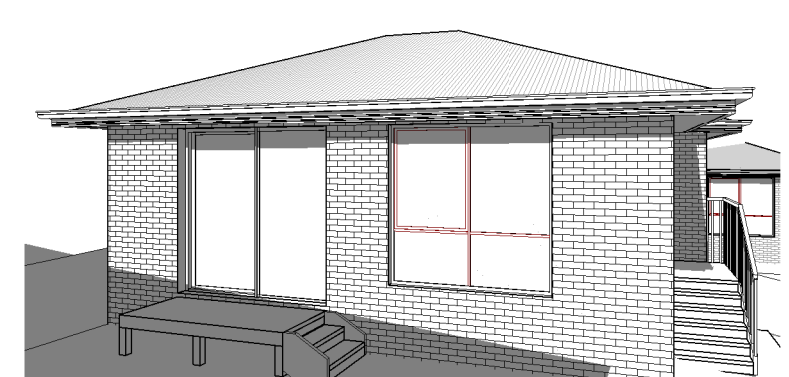
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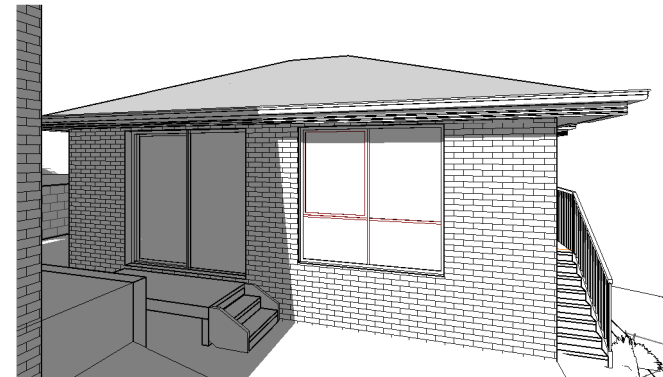
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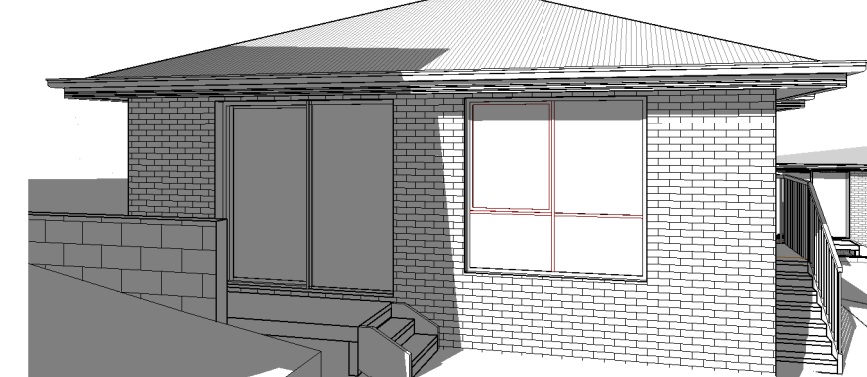
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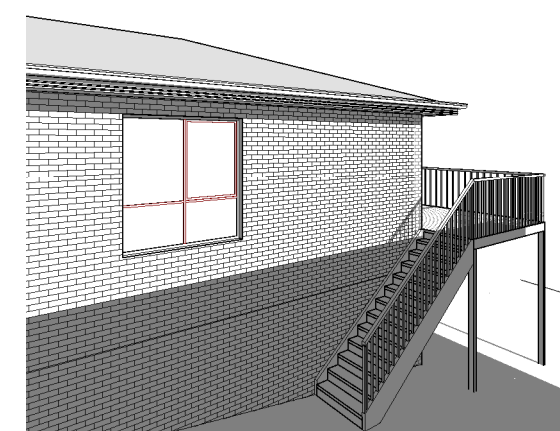
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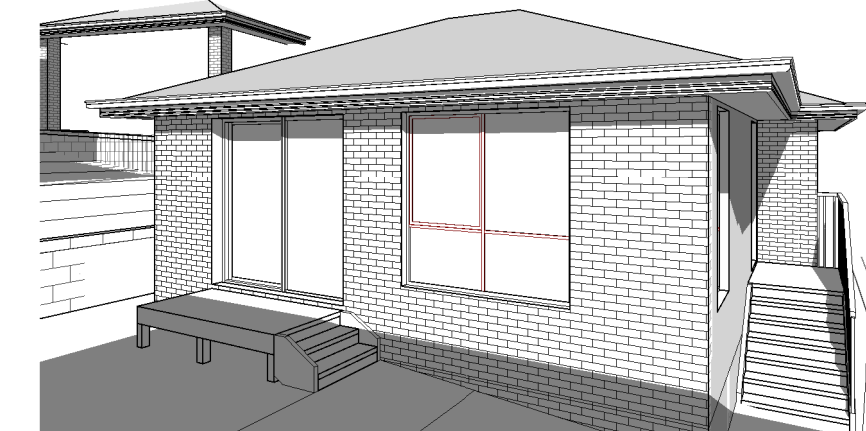
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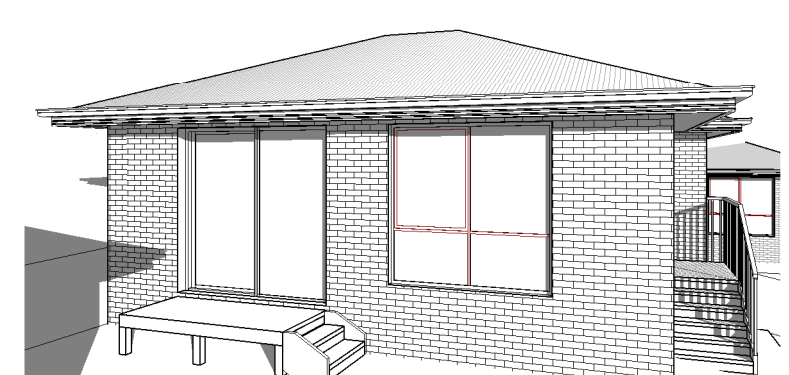
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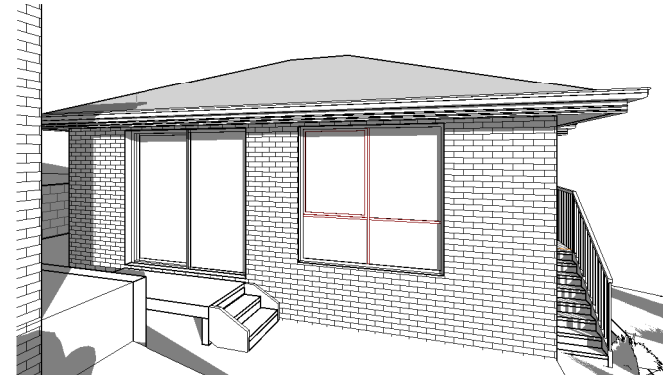
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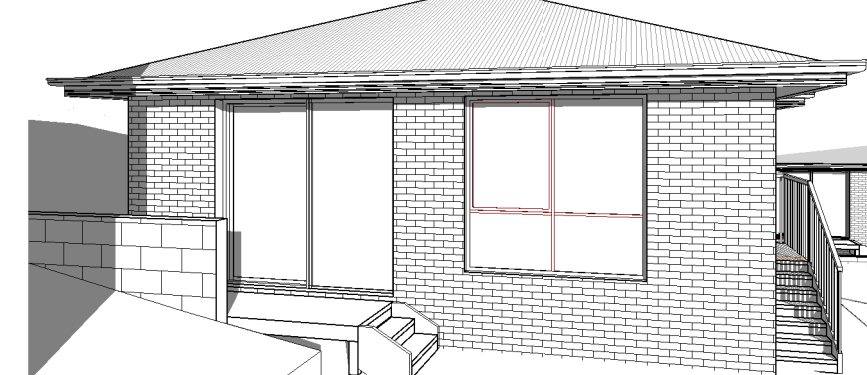
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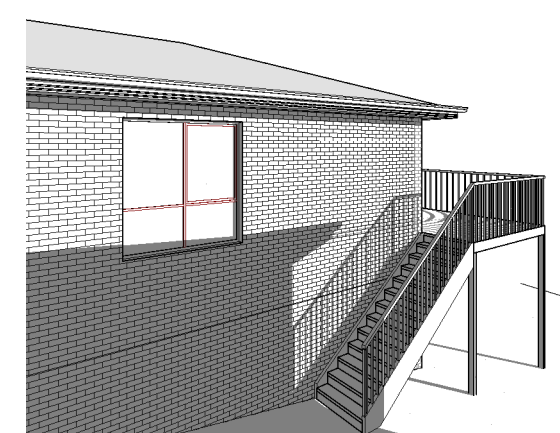
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U4 - 21ST JUNE @ 3PM



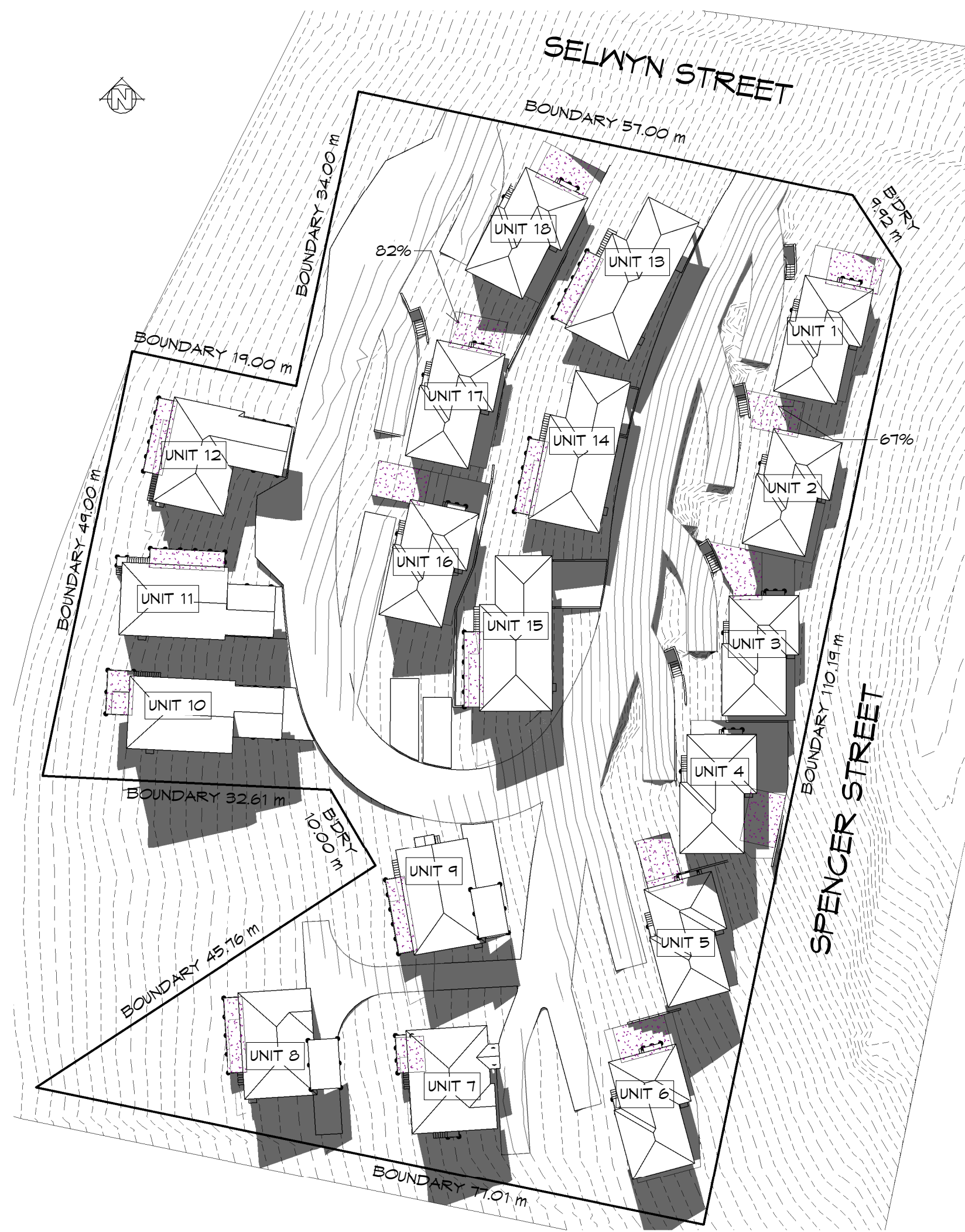
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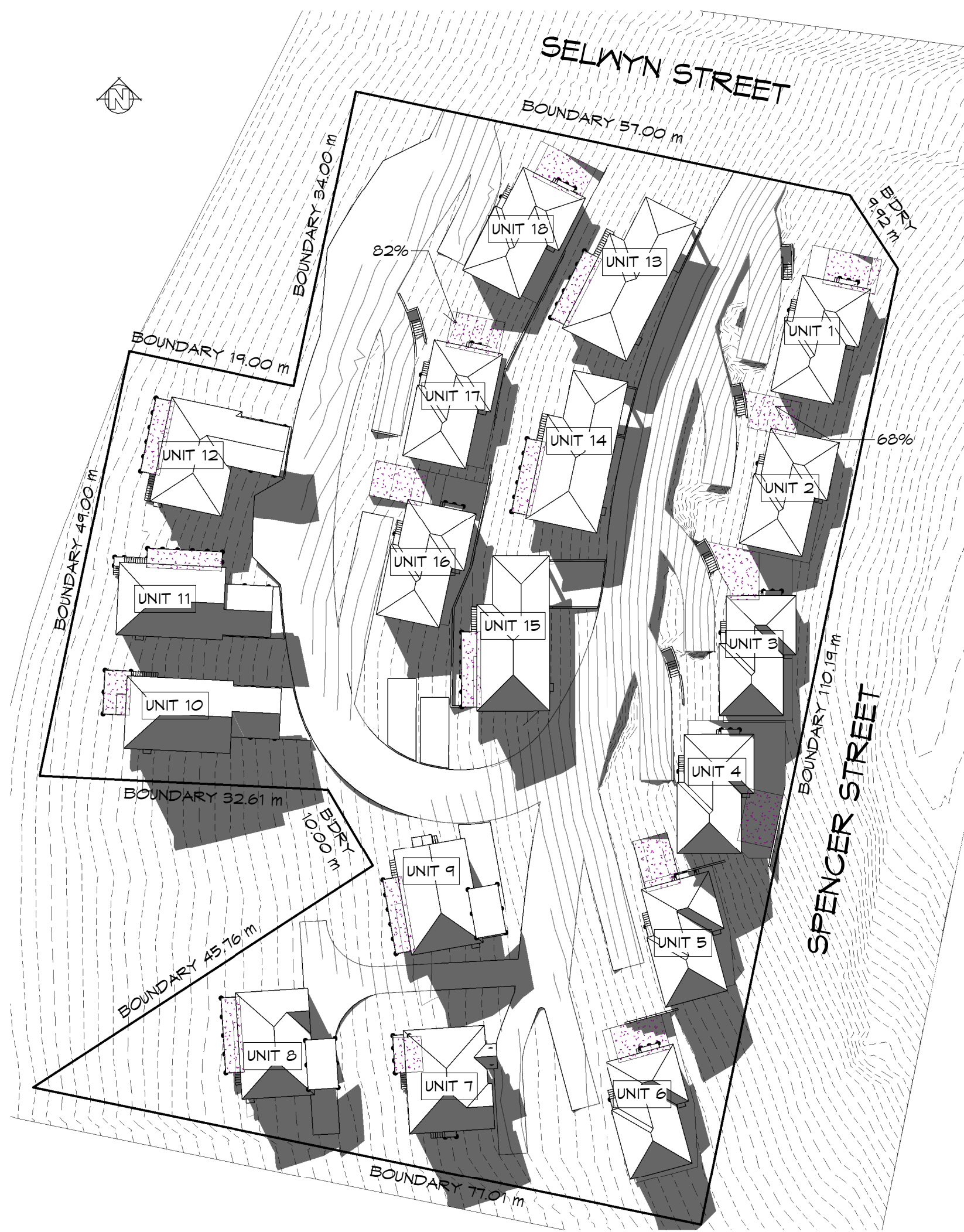
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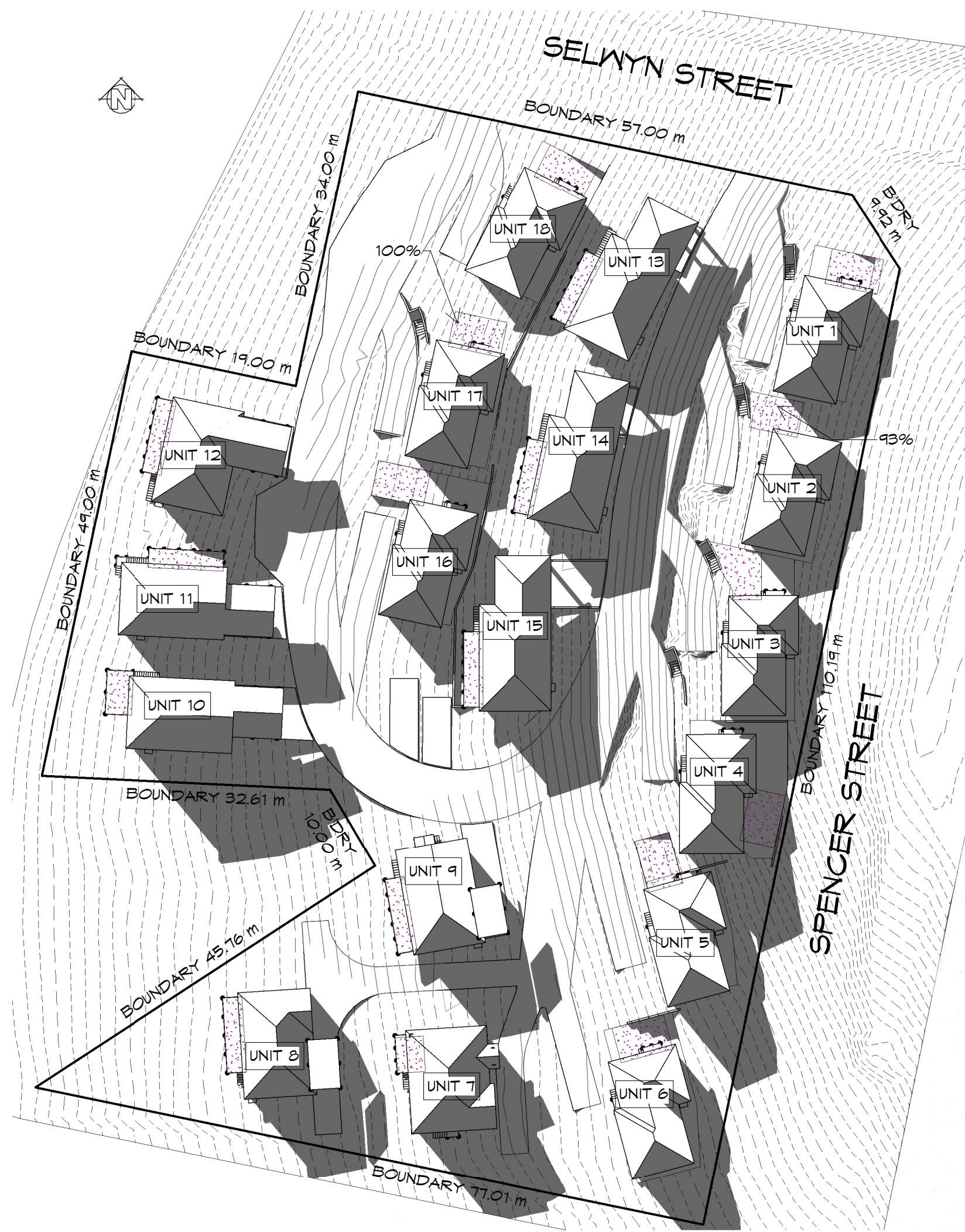
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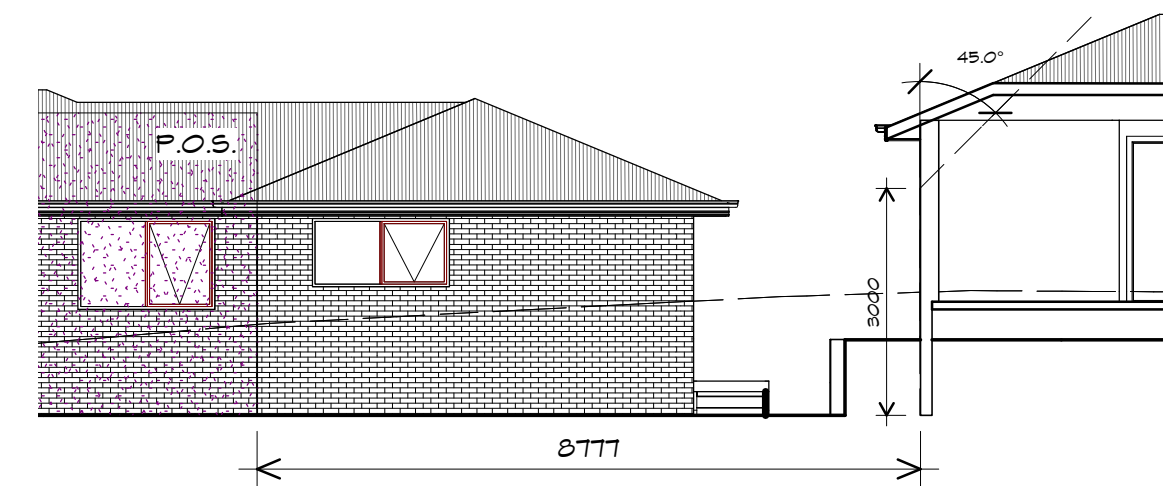
SHADOW DIAGAMS - 21ST JUNE @ 1PM
1 : 500



SHADOW DIAGAMS - 21ST JUNE @ 2PM
1 : 500



SHADOW DIAGAMS - 21ST JUNE @ 3PM
1 : 500



UNIT 4 POS
1 : 100

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

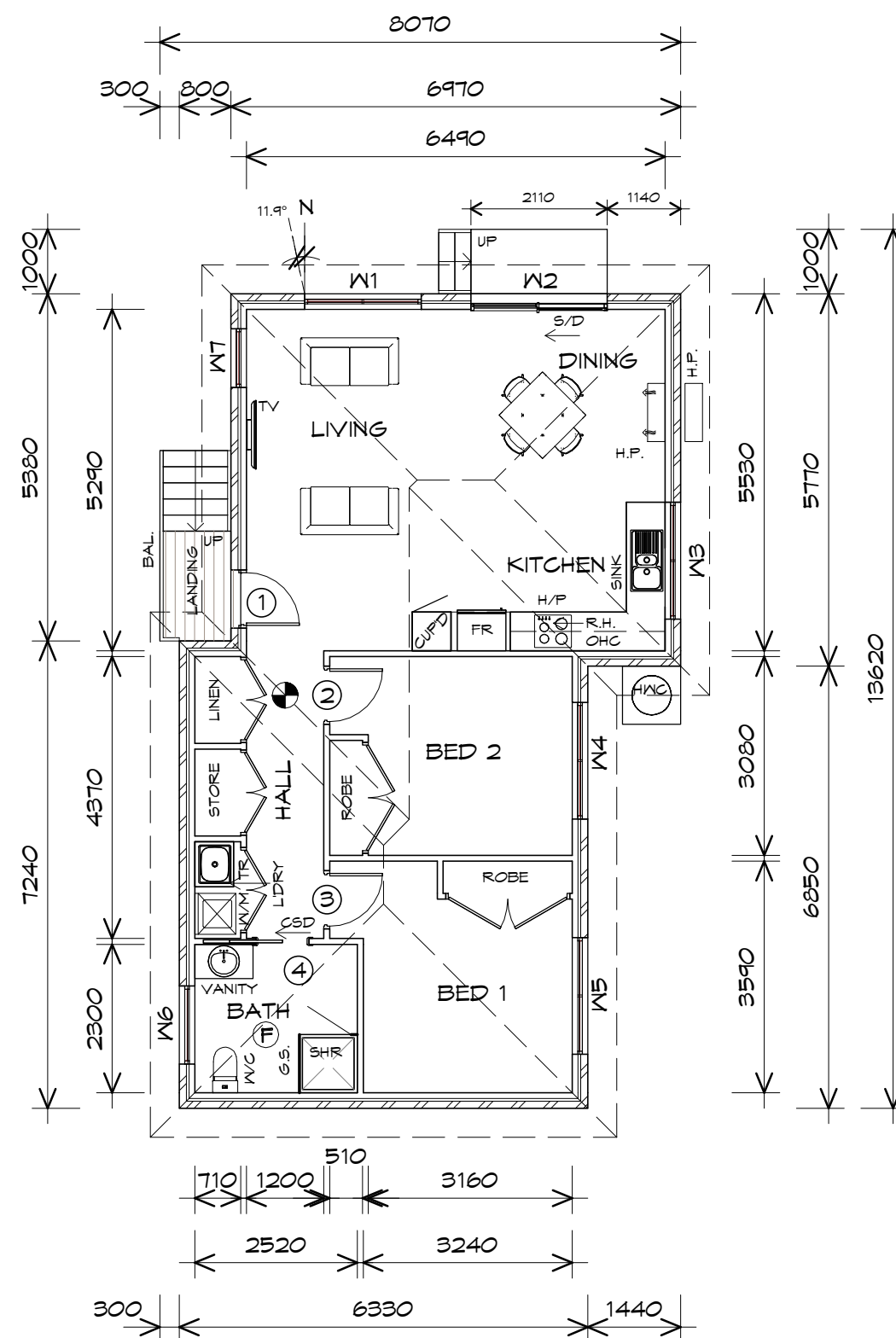
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MULTI

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Design

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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTRECARE EVOLVE HOUSING
Drawing:
SHADOW DIAGRAMS

Drafted by:
Author
Date:
23.02.2021
Project/Drawing no:
PD20313 -05
Approved by:
Approver
Scale:
As indicated
Revision:
06
bda BUILDING DESIGNERS AUSTRALIA
Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m2	(	8.89	SQUARES)
LANDING AREA	2.17	m2	(	0.23	SQUARES)
TOTAL AREA	84.83			9.12	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.

(S) 240V SMOKE ALARM

CSD CAVITY SLIDING DOOR

S/D SLIDING DOOR

R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- (FW) FLOOR WASTE

G.S. GLASS SCREEN

HWC HOT WATER CYLINDER

BAL. BALUSTRADE

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 1



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Project:
**PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date:
12.01.2021

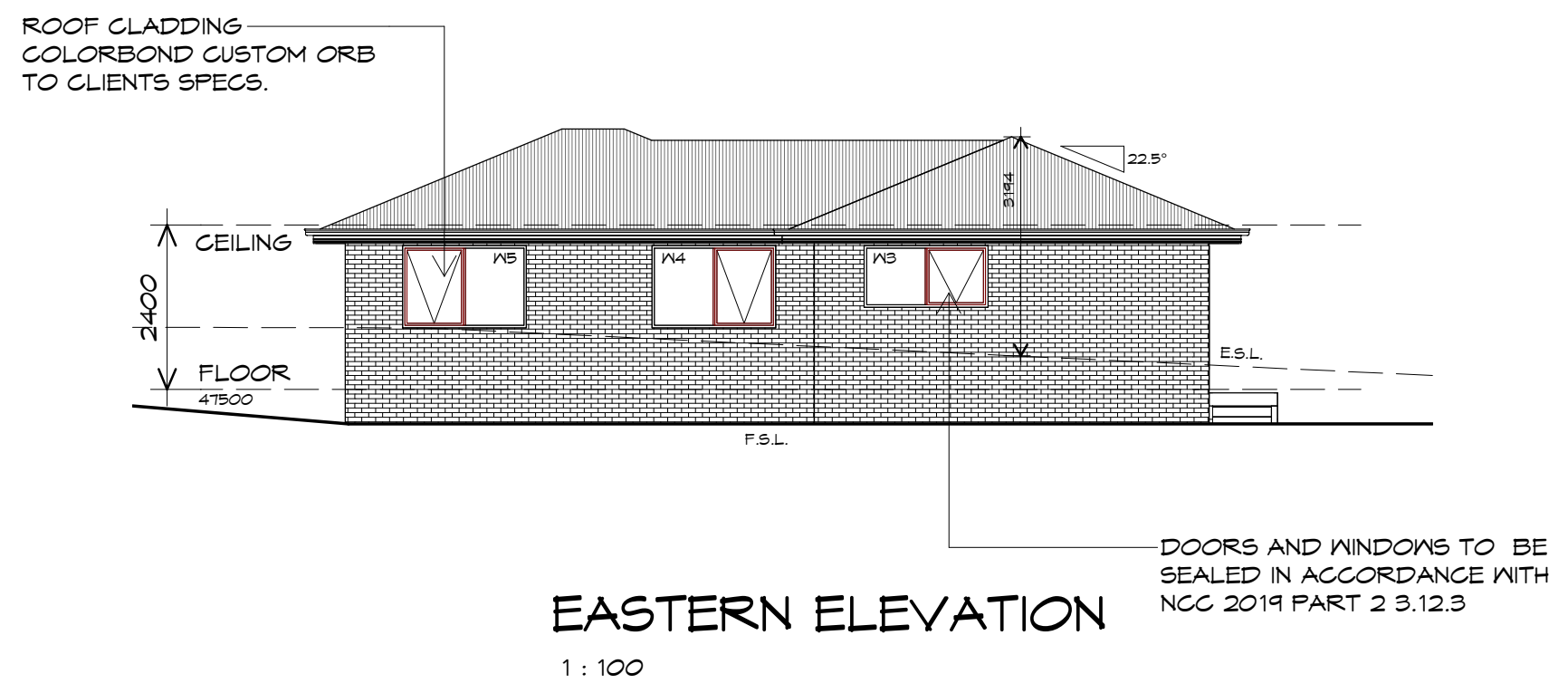
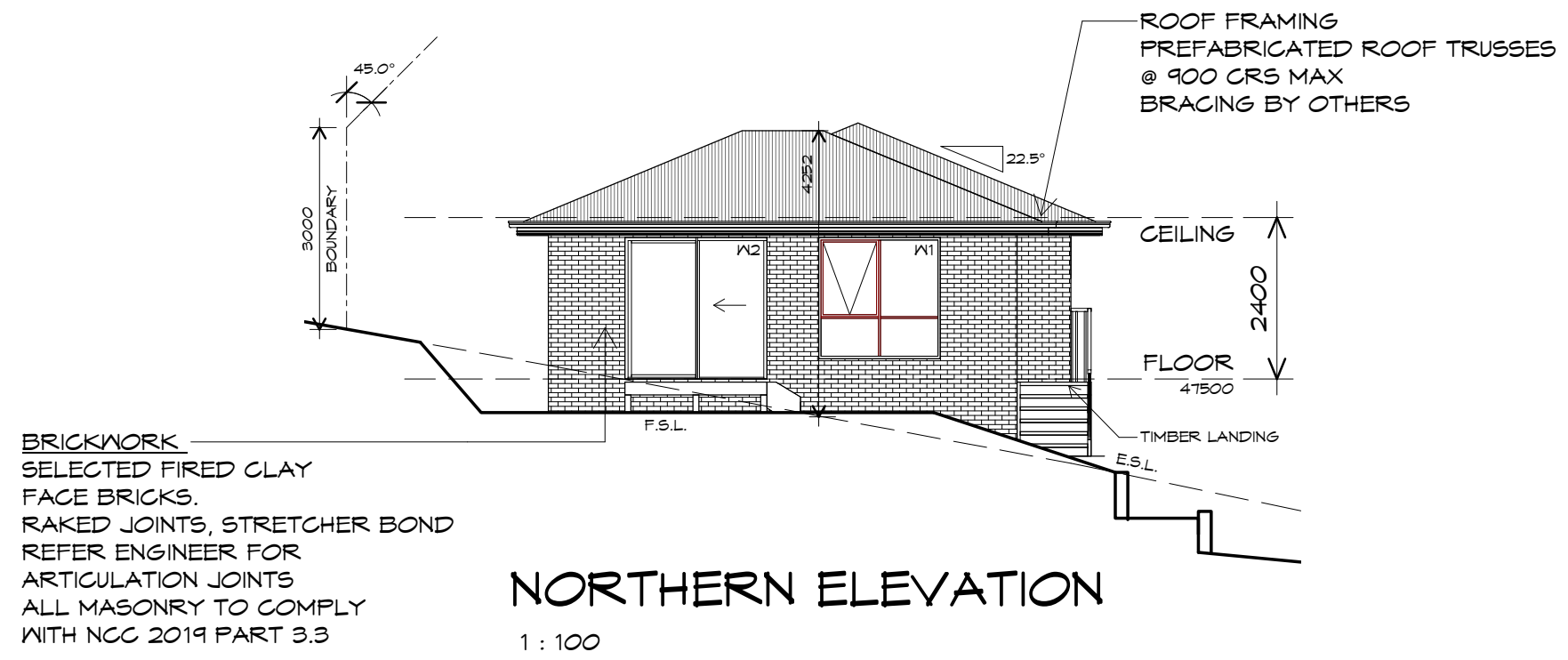
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Project/Drawing no:
PD20313 01-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A





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SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author
Approved by:
Approver



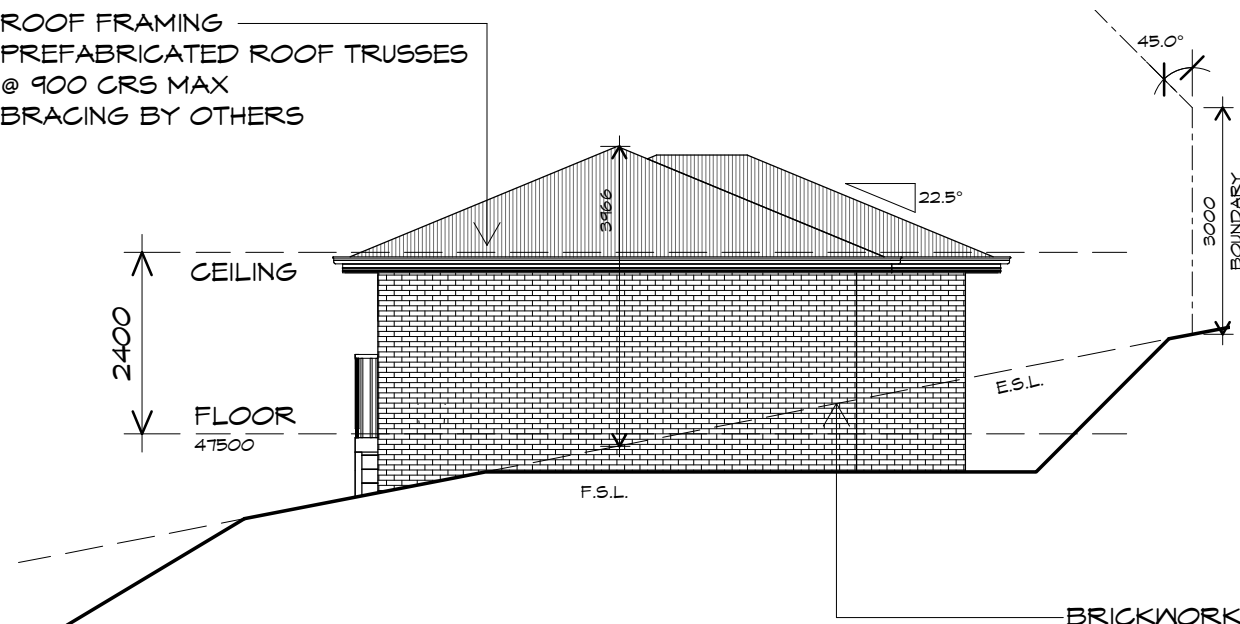
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ELEVATIONS

Date:
12.01.2021
Scale:
1 : 100

Project/Drawing no:
PD20313 01-02
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

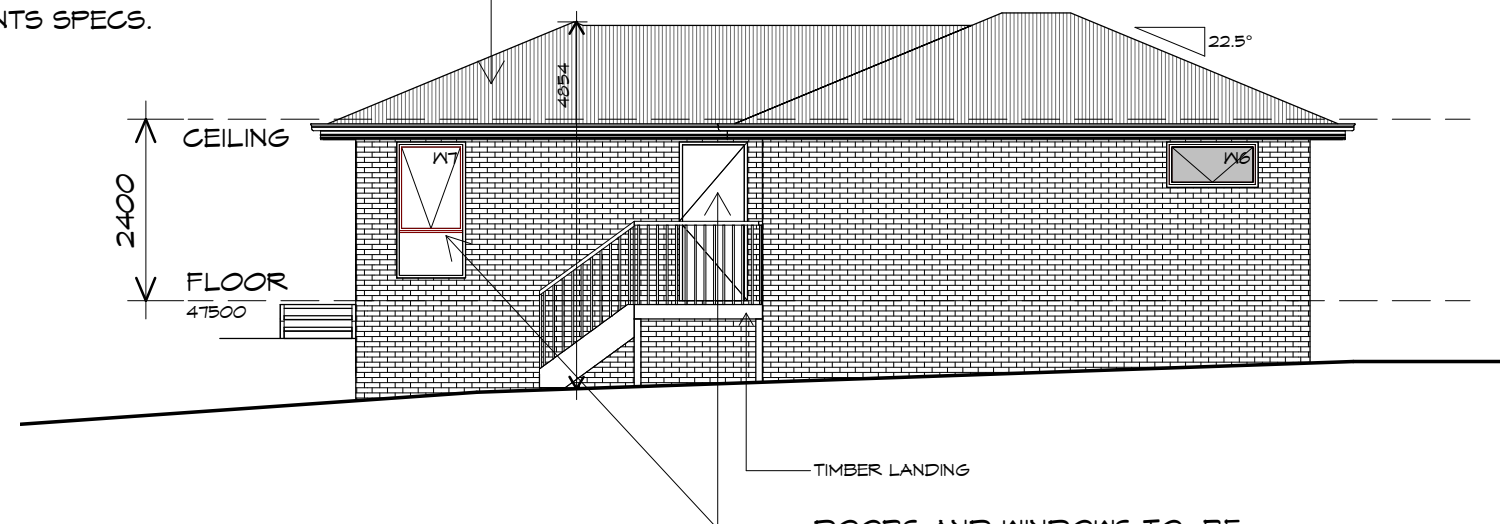


SOUTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3



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Project:
 PROPOSED RESIDENTIAL
 DEVELOPMENT
 SELWYN STREET,
 TRIABUNNA
 Client name:
 CENTACARE EVOLVE HOUSING

Drafted by:
 Author

Approved by:
 Approver

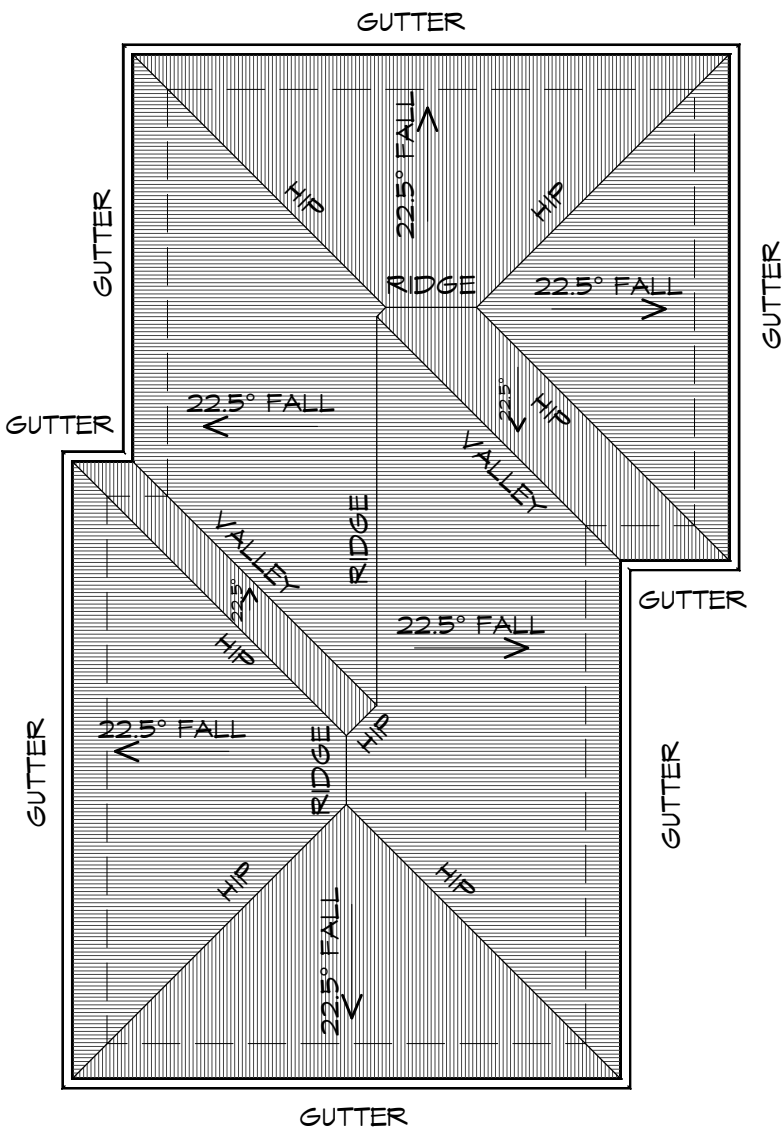


Drawing:
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Date: 12.01.2021
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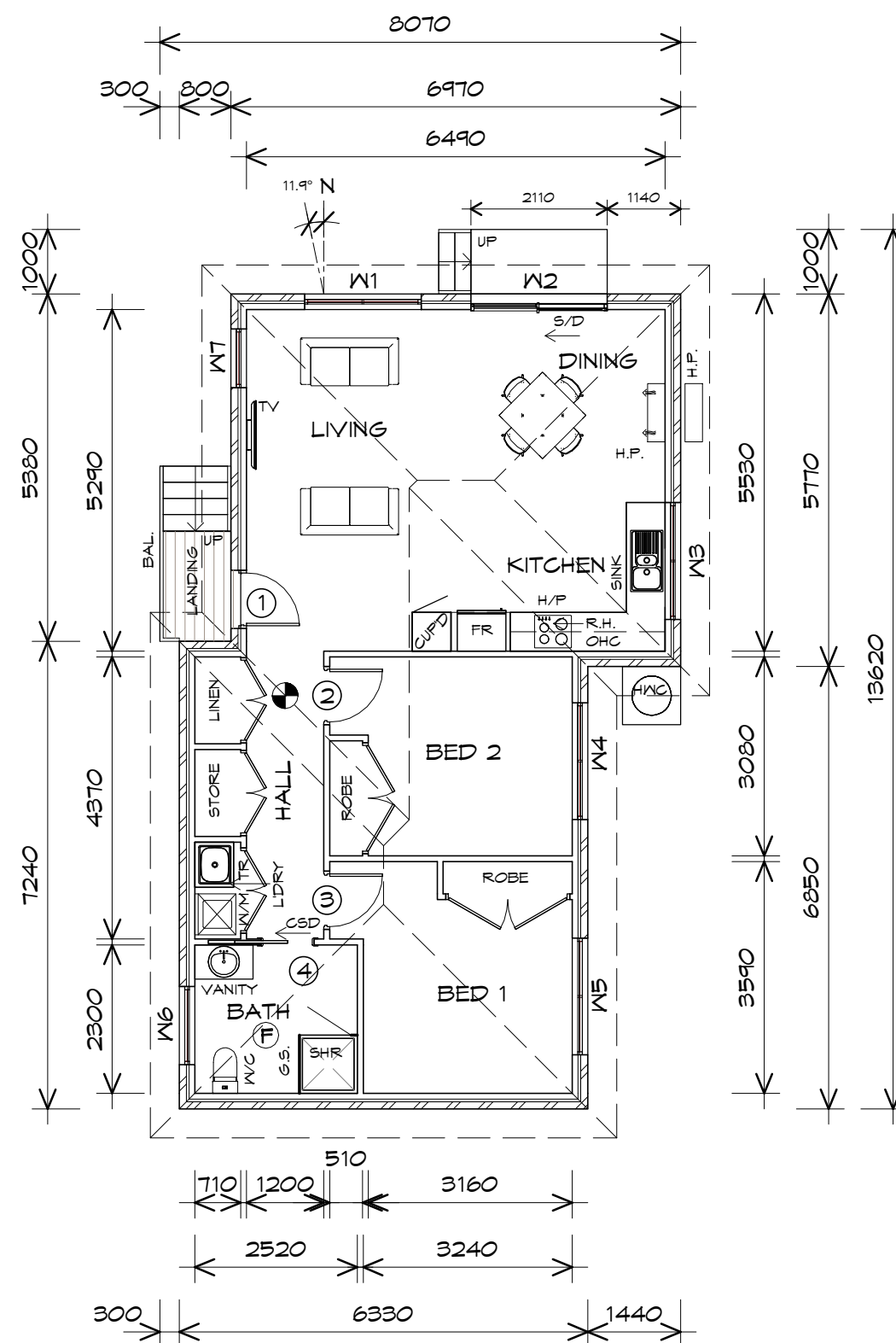
Project/Drawing no: PD20313 01-03
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m2	(	8.89	SQUARES)
LANDING AREA	2.17	m2	(	0.23	SQUARES)
TOTAL AREA	84.83			9.12	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

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(S) 240V SMOKE ALARM

CSD CAVITY SLIDING DOOR

S/D SLIDING DOOR

R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- (FW) FLOOR WASTE

G.S. GLASS SCREEN

HWC HOT WATER CYLINDER

BAL. BALUSTRADE

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

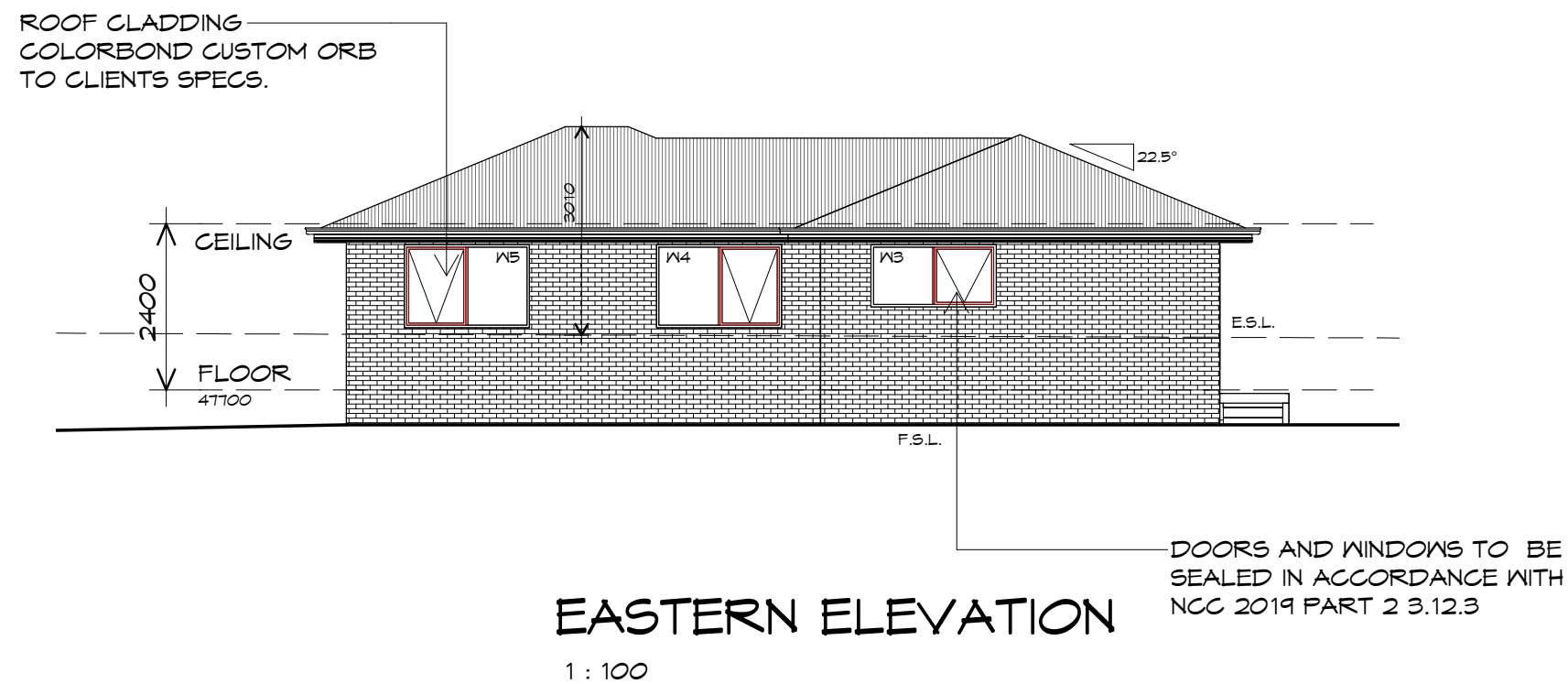
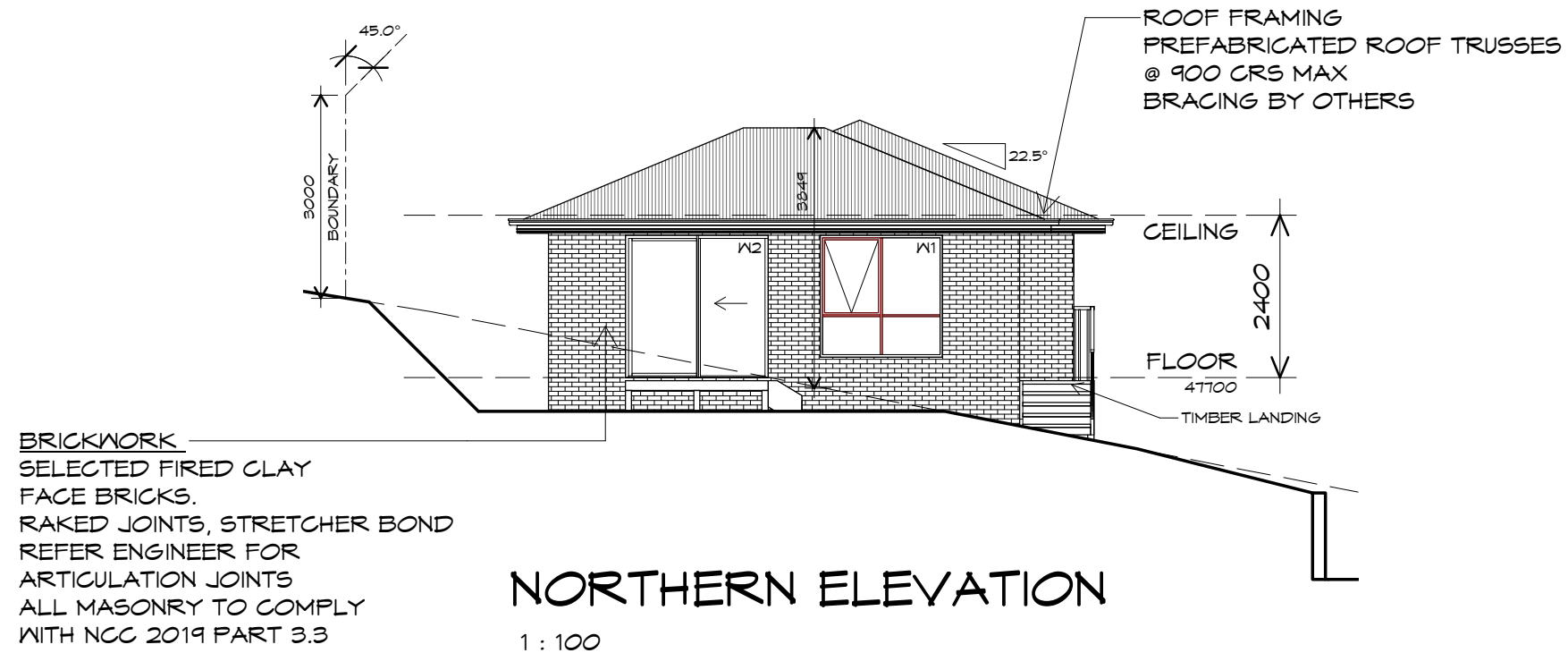
Date:
12.01.2021

Scale:
1 : 100

Project/Drawing no:
PD20313 02-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A



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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author
Approved by:
Approver

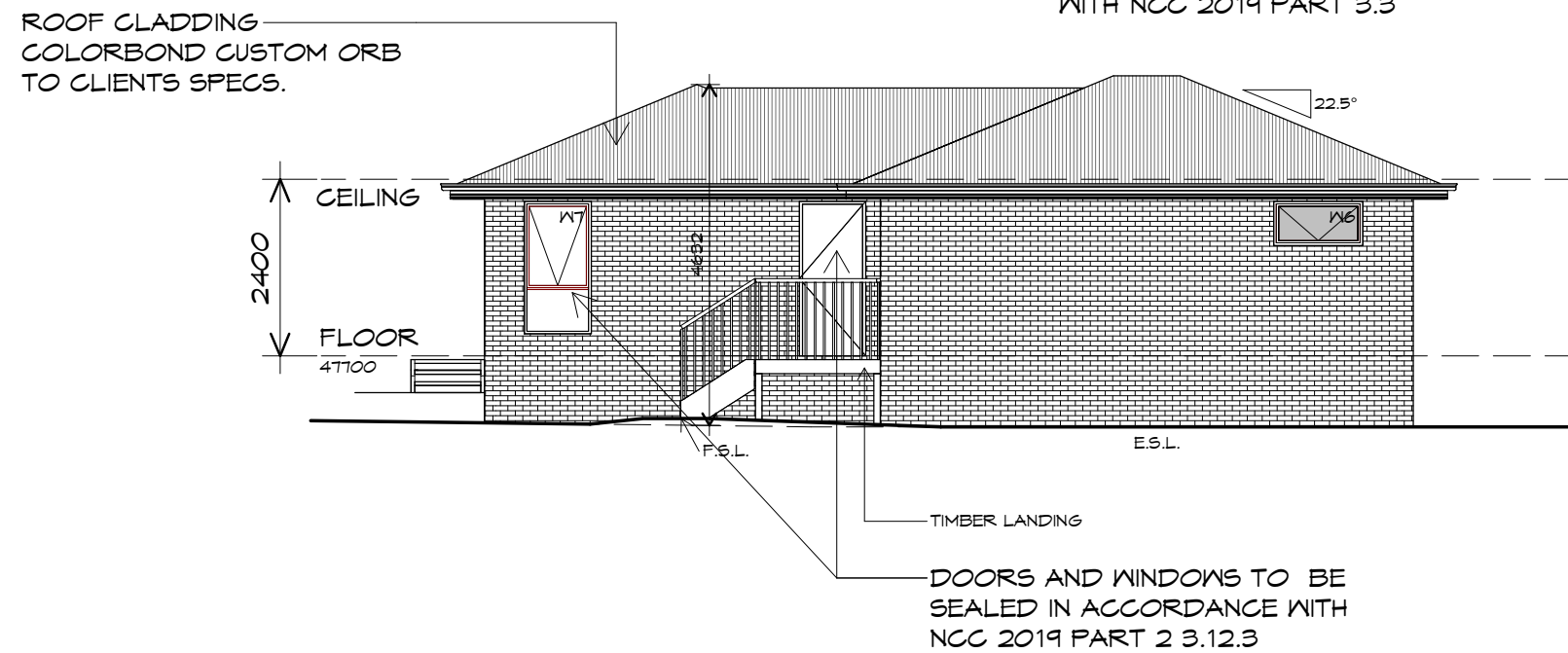
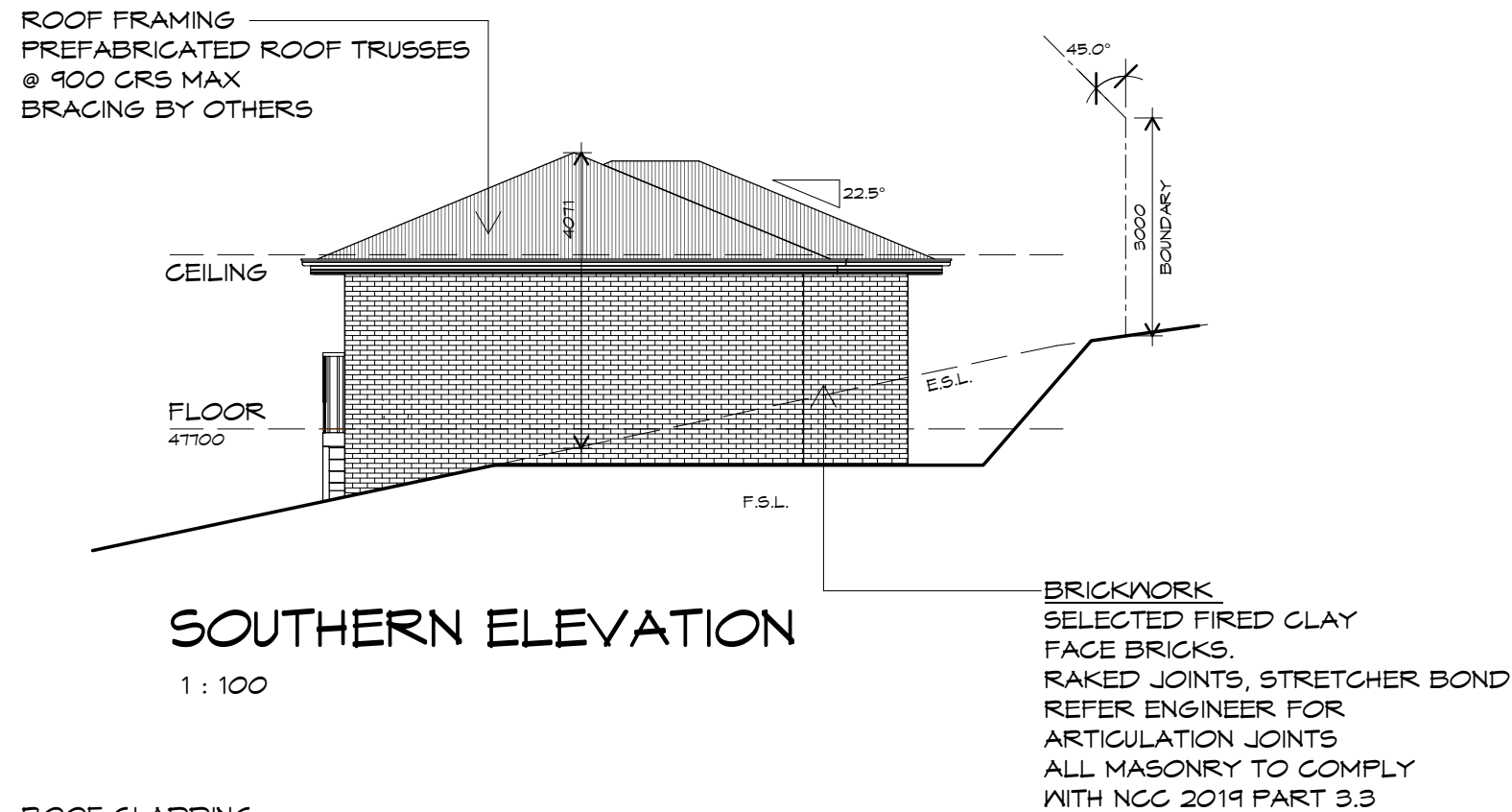


Drawing:
ELEVATIONS

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 02-02
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver

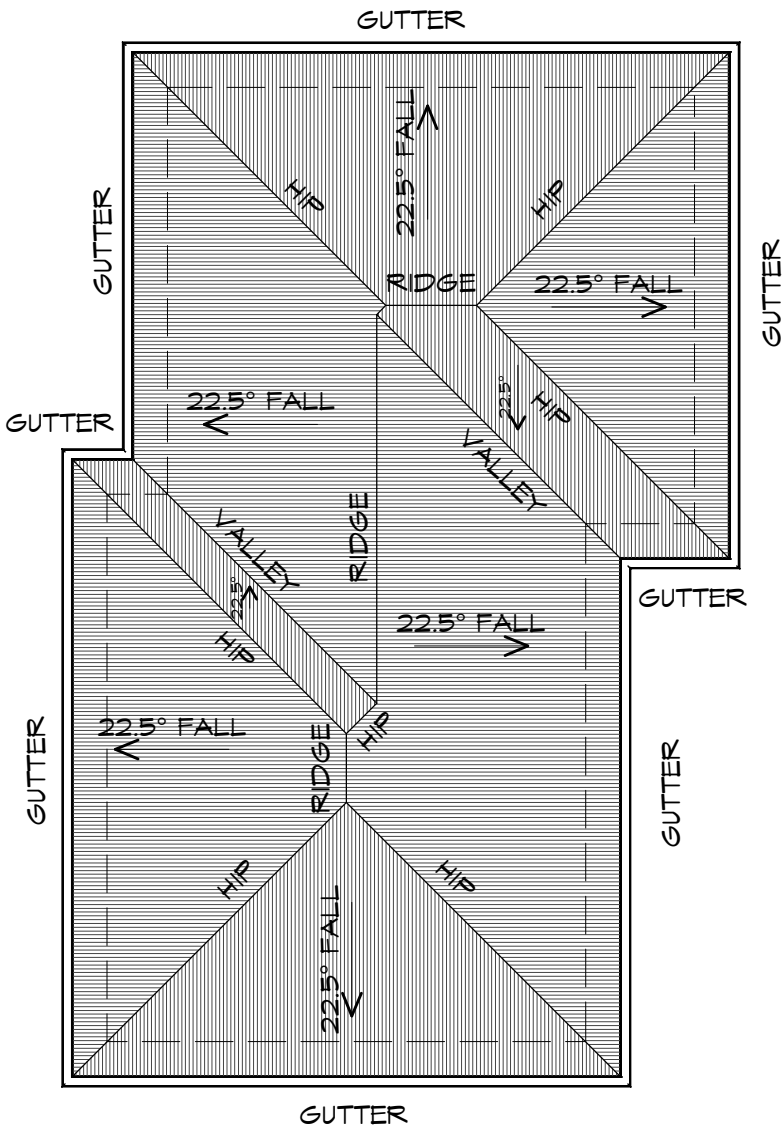
bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Drawing:
ELEVATIONS

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 02-03
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

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Prime

Design

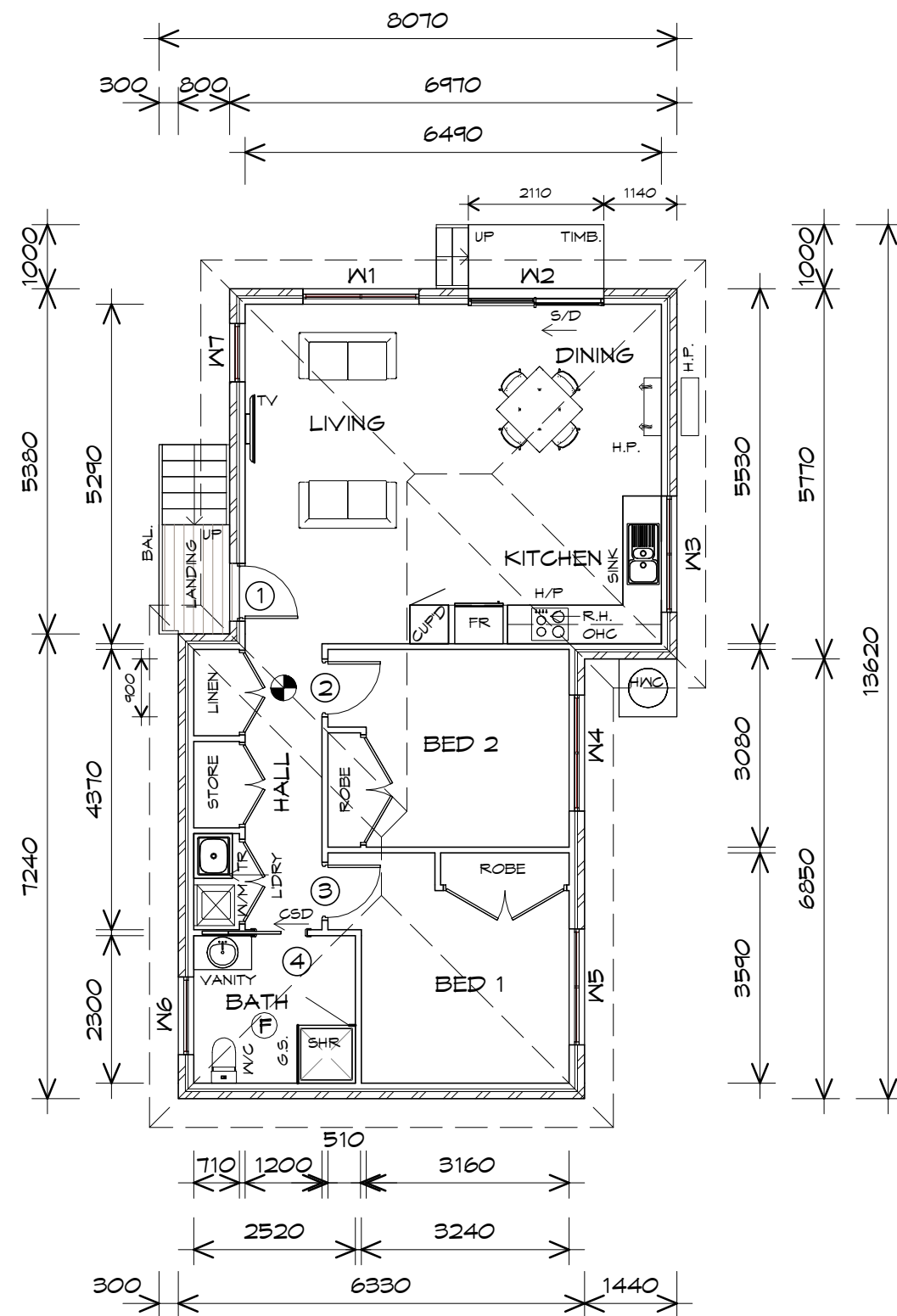
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Project:
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SELWYN STREET,
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Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
12.01.2021	1 : 100

Project/Drawing no:	Revision:
PD20313 -02-04	01
Accredited building practitioner: Frank Geskus -No CC246A	



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m ²	(8.89	SQUARES)
LANDING AREA	2.17	m ²	(0.23	SQUARES)
TOTAL AREA	84.83		9.12	

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

(F)	EXHAUST FAN-VENT TO OUTSIDE AIR.	oFW	FLOOR WASTE
(S)	240V SMOKE ALARM	G.S.	GLASS SCREEN
CSD	CAVITY SLIDING DOOR	HWC	HOT WATER CYLINDER
S/D	SLIDING DOOR	BAL.	BALUSTRADE
R.H.	RANGE HOOD, FAN-VENT TO OUTSIDE AIR.		

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date:
12.01.2021

Scale:
1 : 100

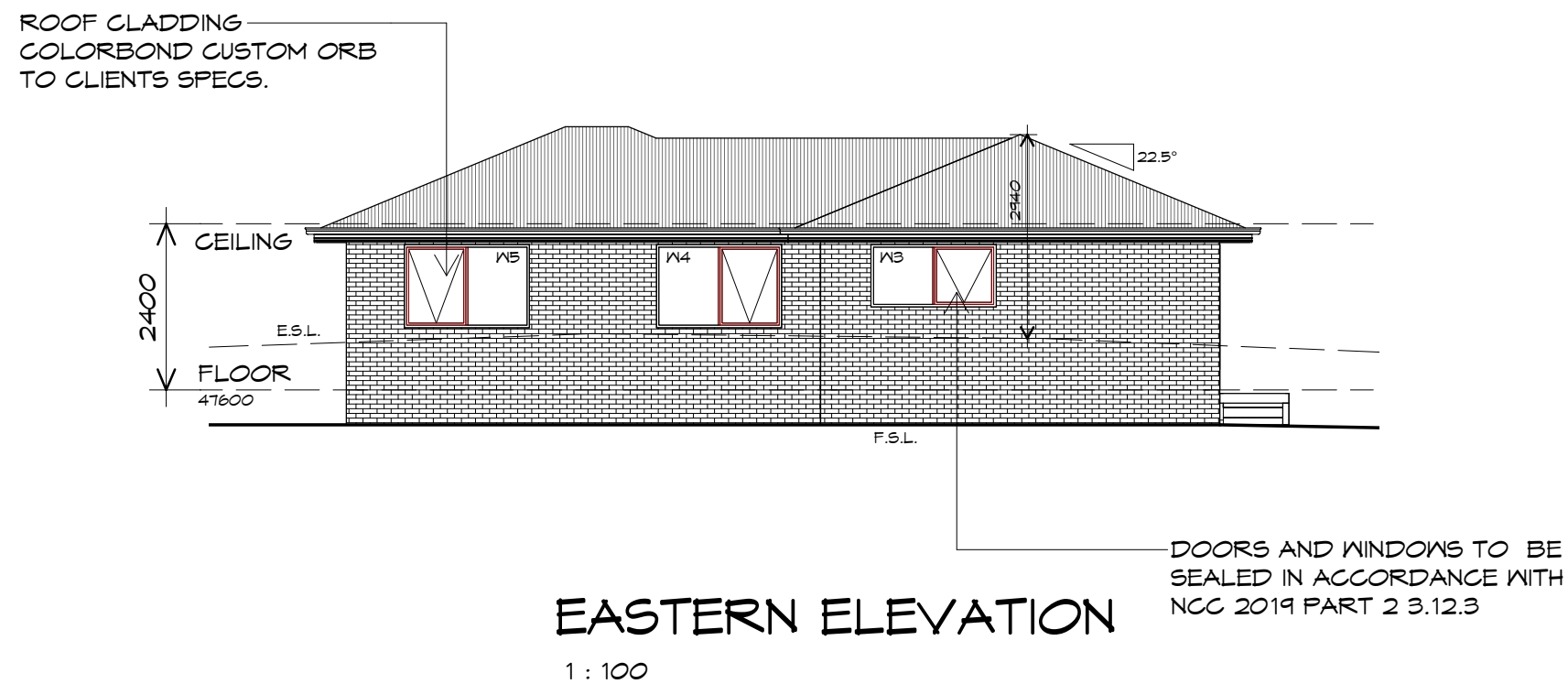
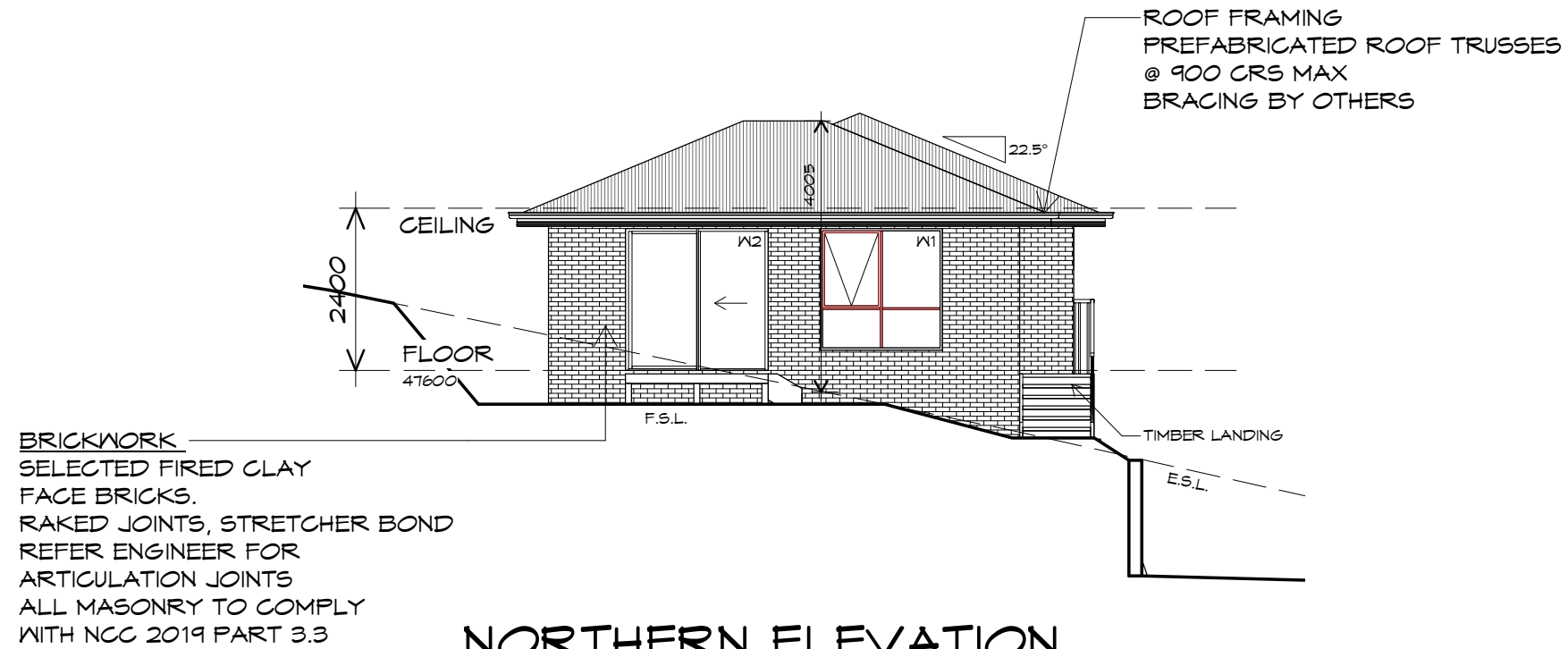
Project/Drawing no:
PD20313 03-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Client name:
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Author

Approved by:
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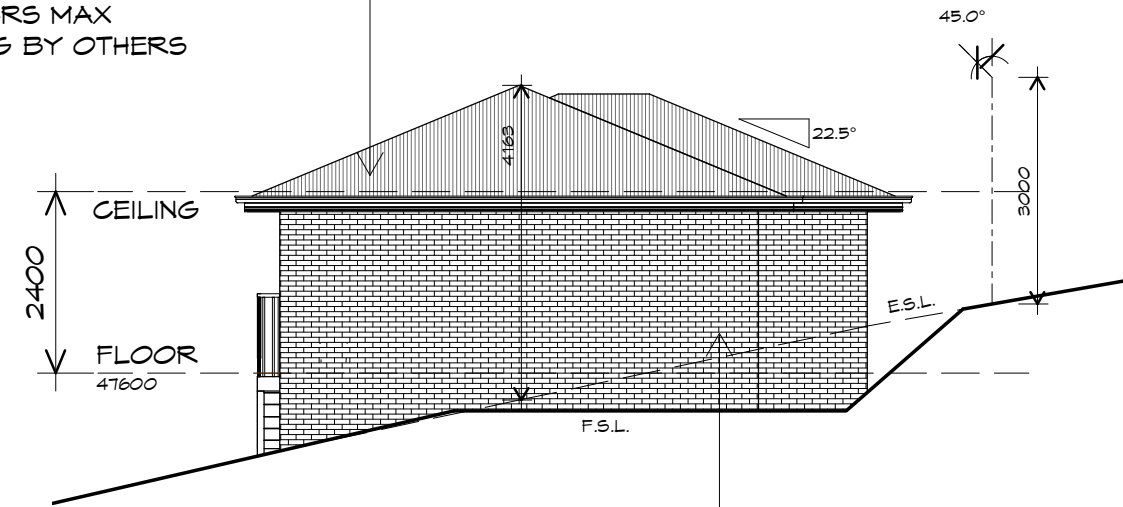
Drawing:
ELEVATIONS

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 03-02
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

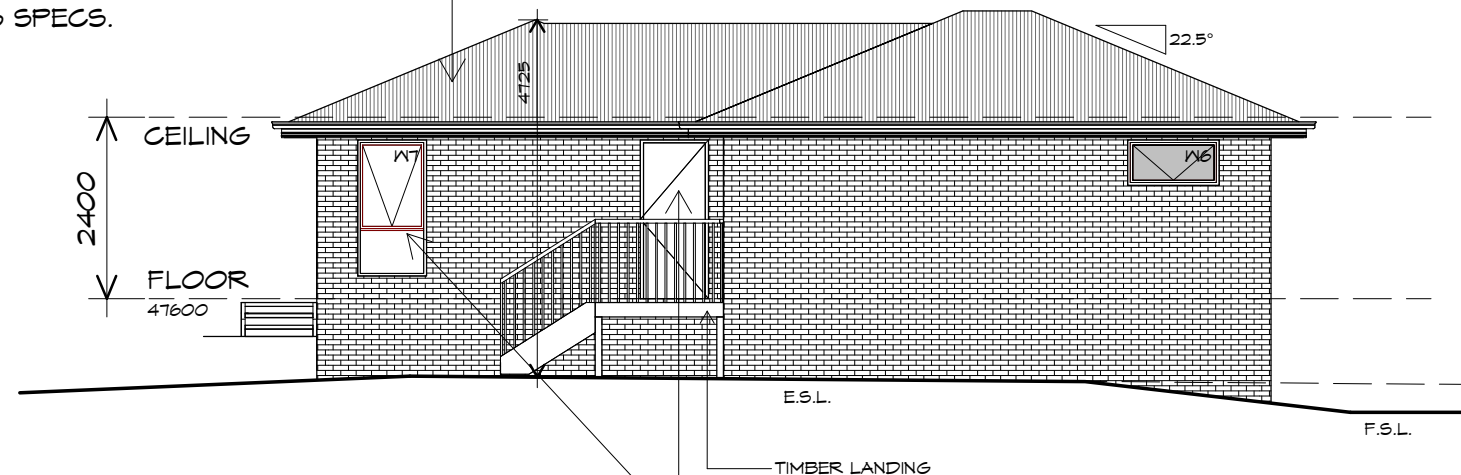


SOUTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3



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Project:
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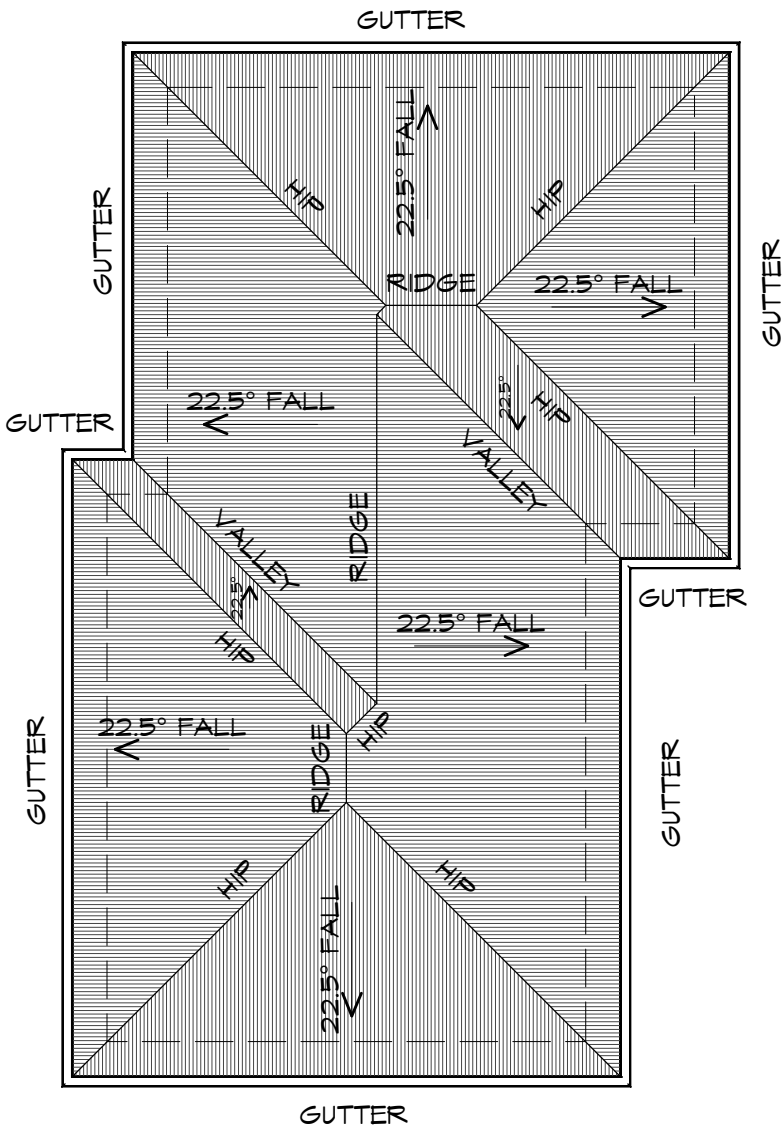


Drawing:
 ELEVATIONS

Date: 12.01.2021
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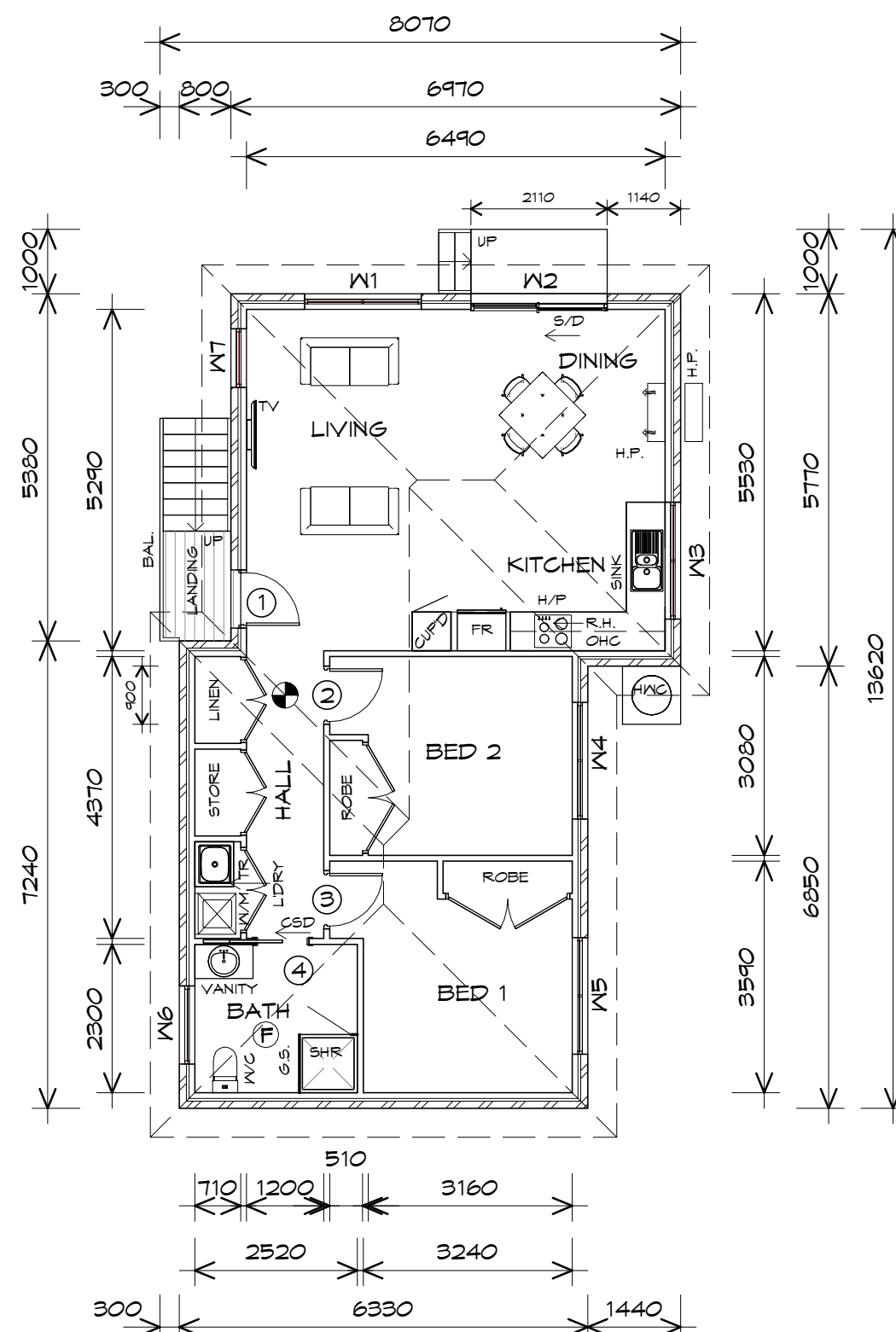
Project/Drawing no: PD20313 03-03
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100



FLOOR PLAN
1 : 100

FLOOR AREA	82.66	m ²	(8.89 SQUARES)
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- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL. BALUSTRADE

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
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2	820	INTERNAL TIMBER DOOR	
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MARK	HEIGHT	WIDTH	TYPE	REMARKS
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W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
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Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

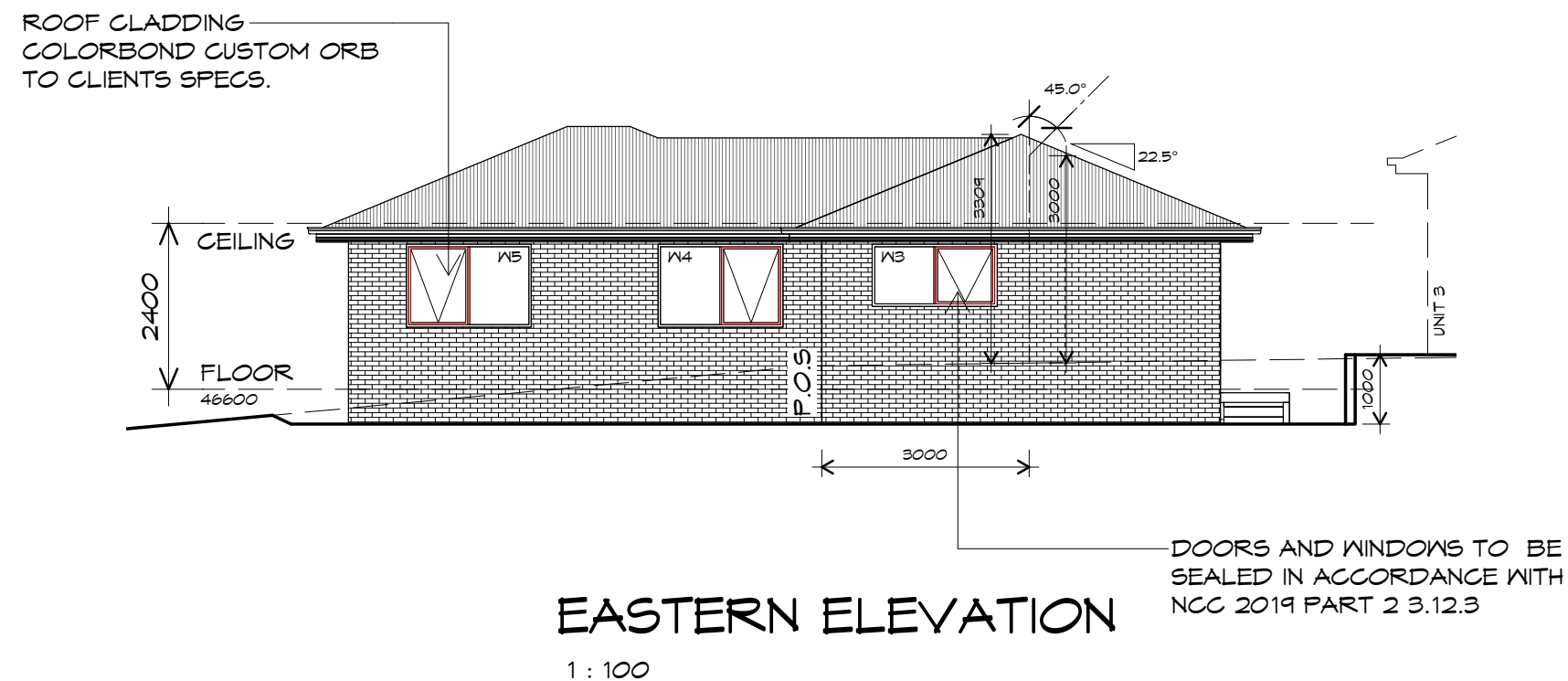
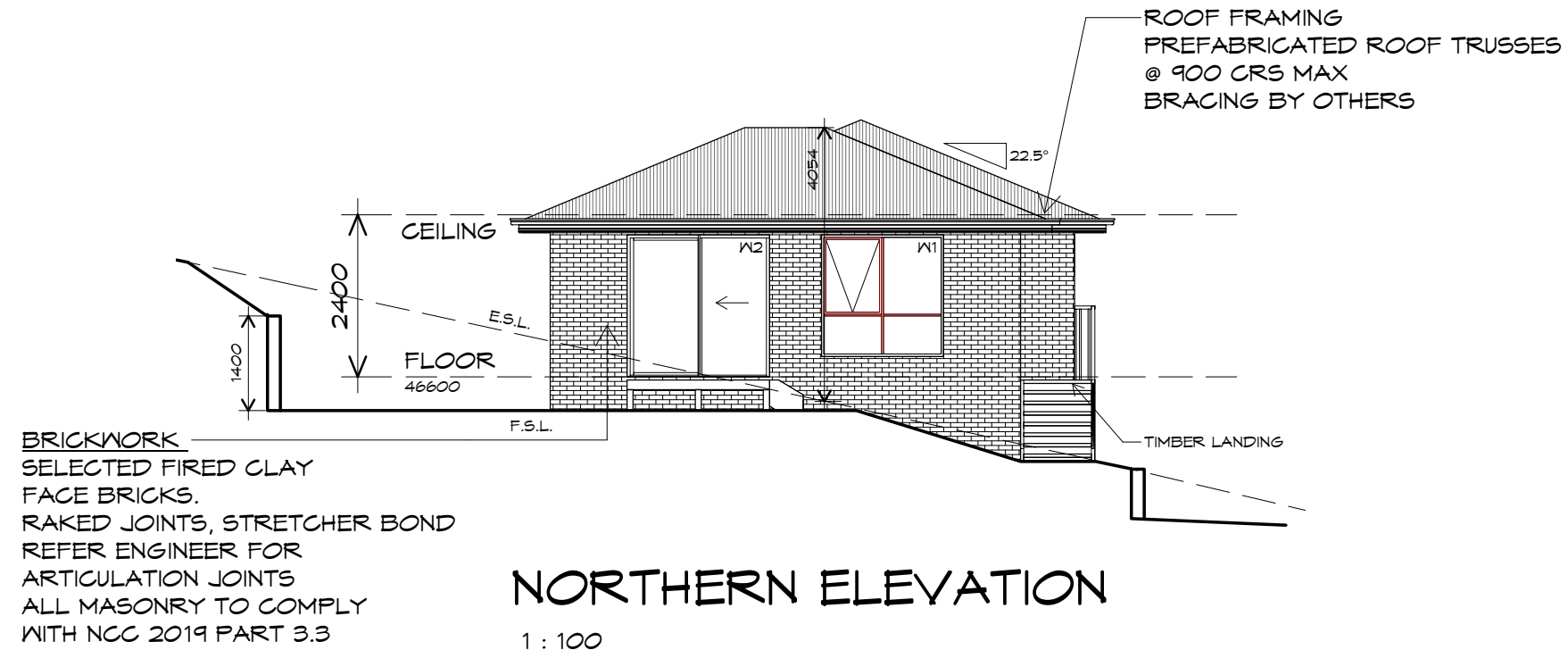
Approved by:
Approver

Drawing:
FLOOR PLAN

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 04-01
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



WILSON
MULTI

Drawing:
ELEVATIONS

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 04-02
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

Prime Design

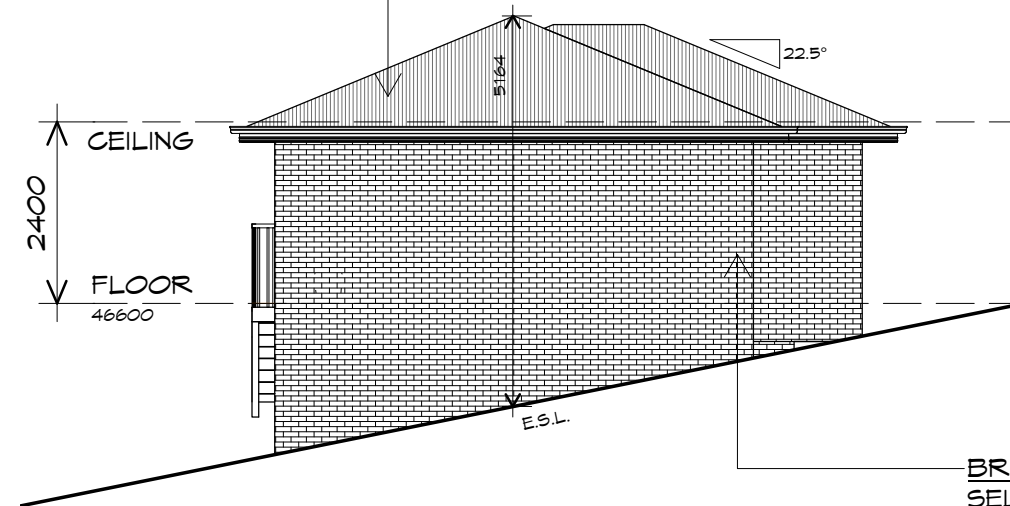
10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
160 New Town Road, New Town, Hobart 7008
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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by: Author
Approved by: Approver

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

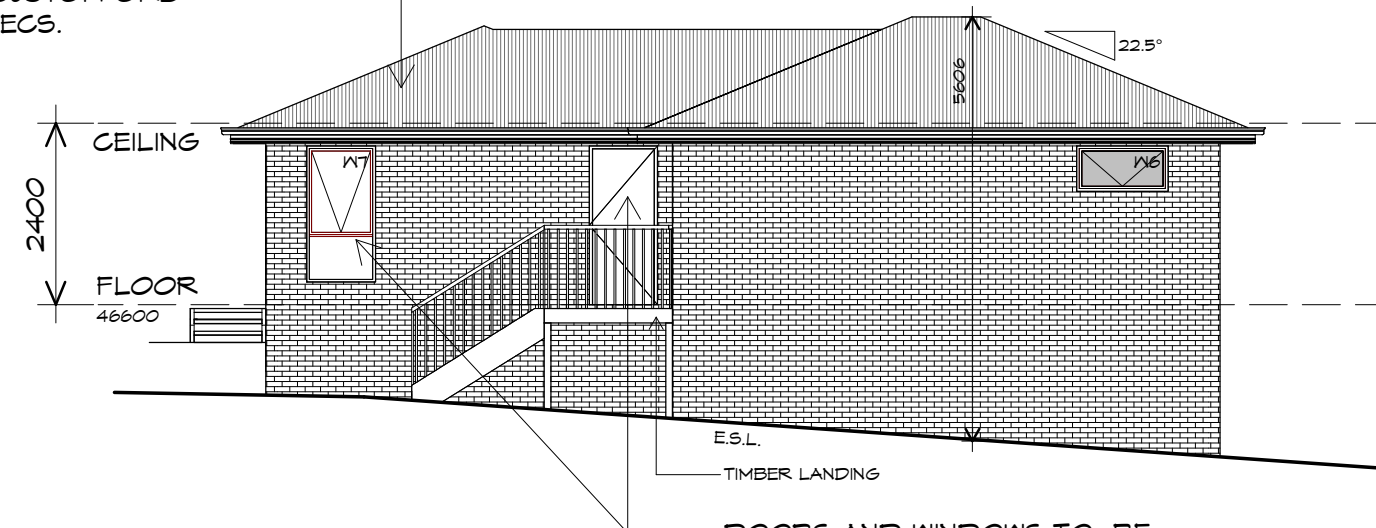


SOUTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3

m WILSON
 MULTI

**Prime
 Design**

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Project:
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 SELWYN STREET,
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Drafted by:
 Author

Approved by:
 Approver

bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

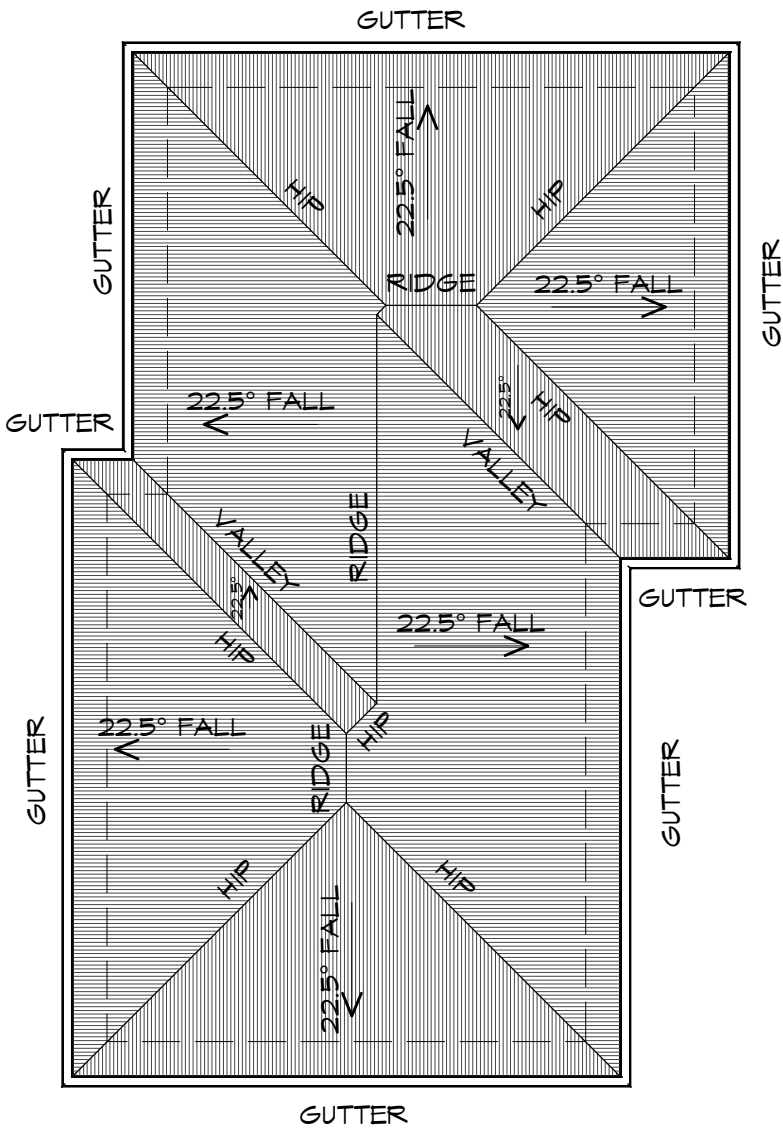
Drawing:
 ELEVATIONS

Date: 12.01.2021
 Scale: 1 : 100

Project/Drawing no:
 PD20313 04-03

Revision:
 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

m WILSON
MULTI

Prime
Design

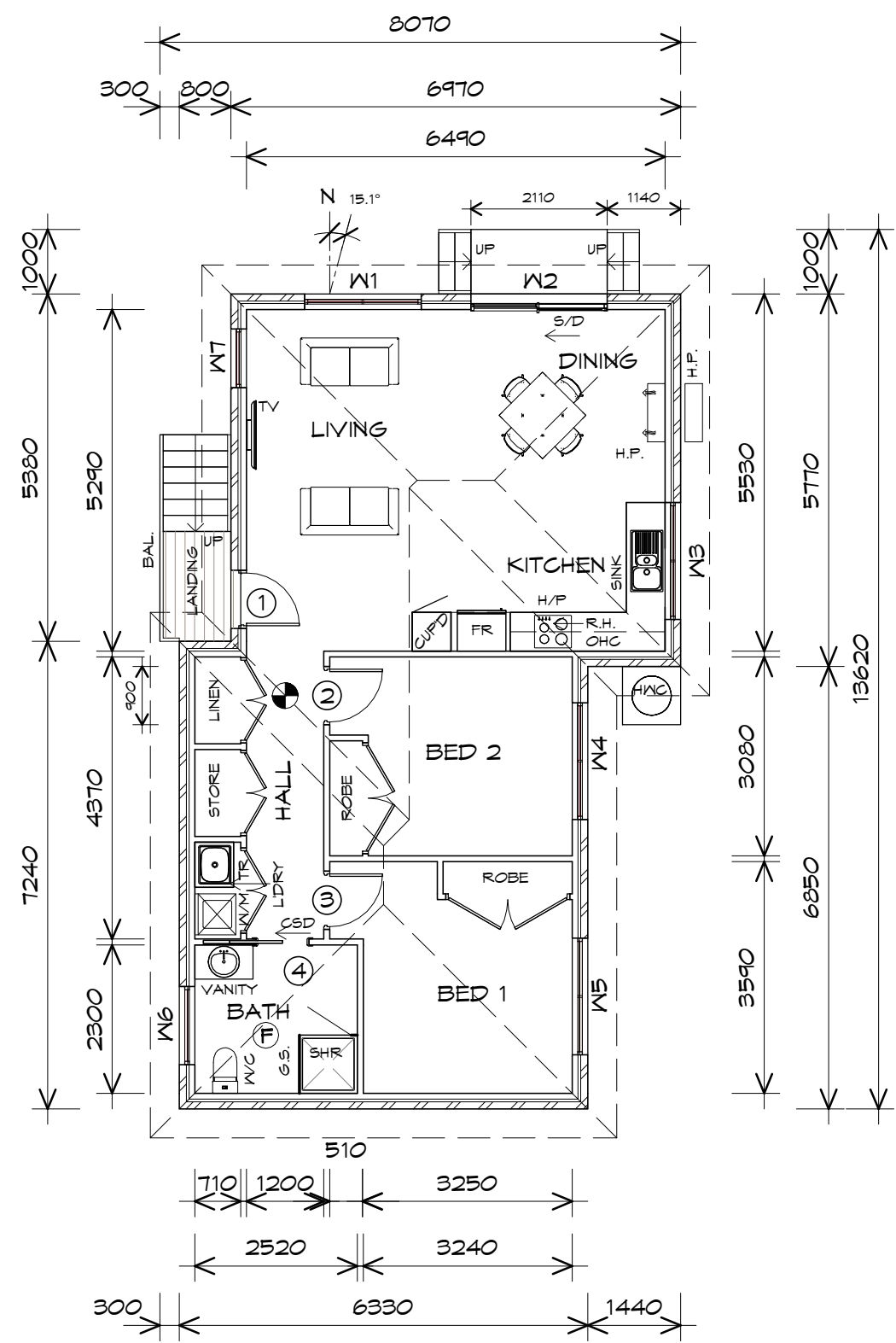
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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -04-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m ²	(8.89	SQUARES)
LANDING AREA	2.17	m ²	(0.23	SQUARES)
TOTAL AREA	84.83		9.12	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL. BALUSTRADE

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
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SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

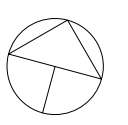
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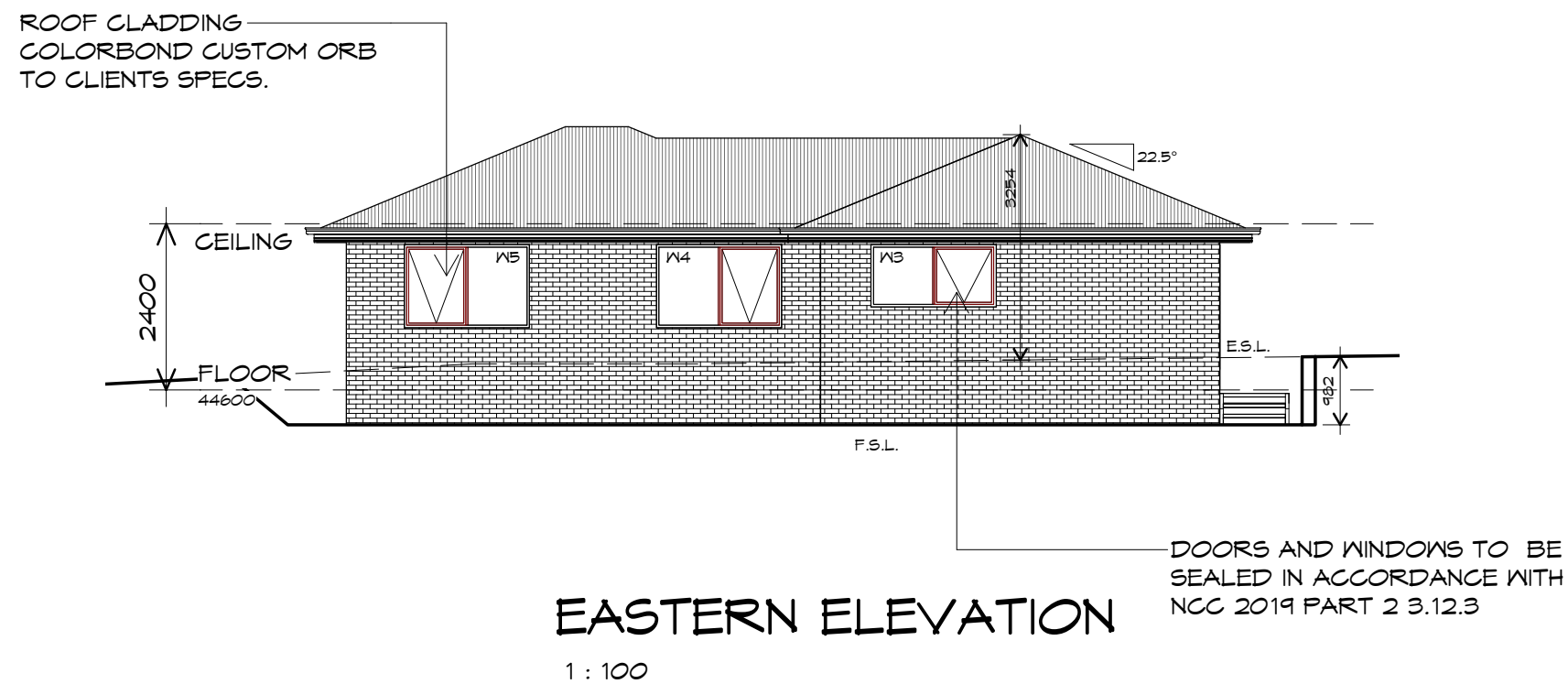
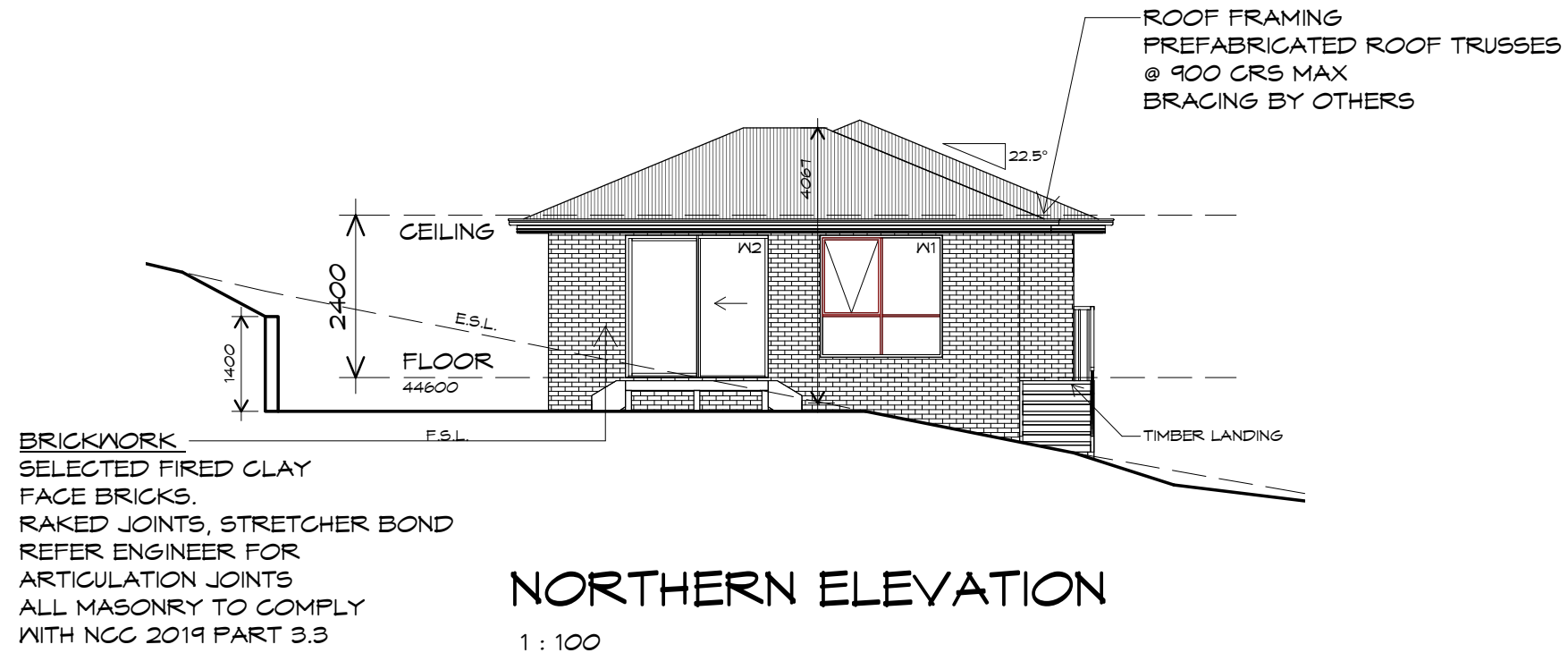
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Project/Drawing no:
PD20313 05-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A





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Project:
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SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
ELEVATIONS

Date:
12.01.2021

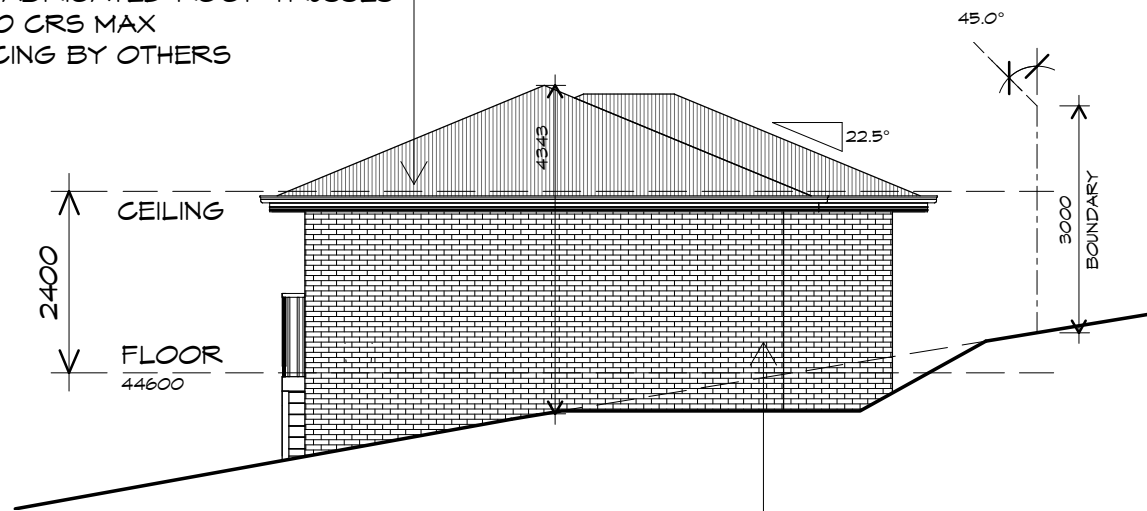
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Project/Drawing no:
PD20313 05-02

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

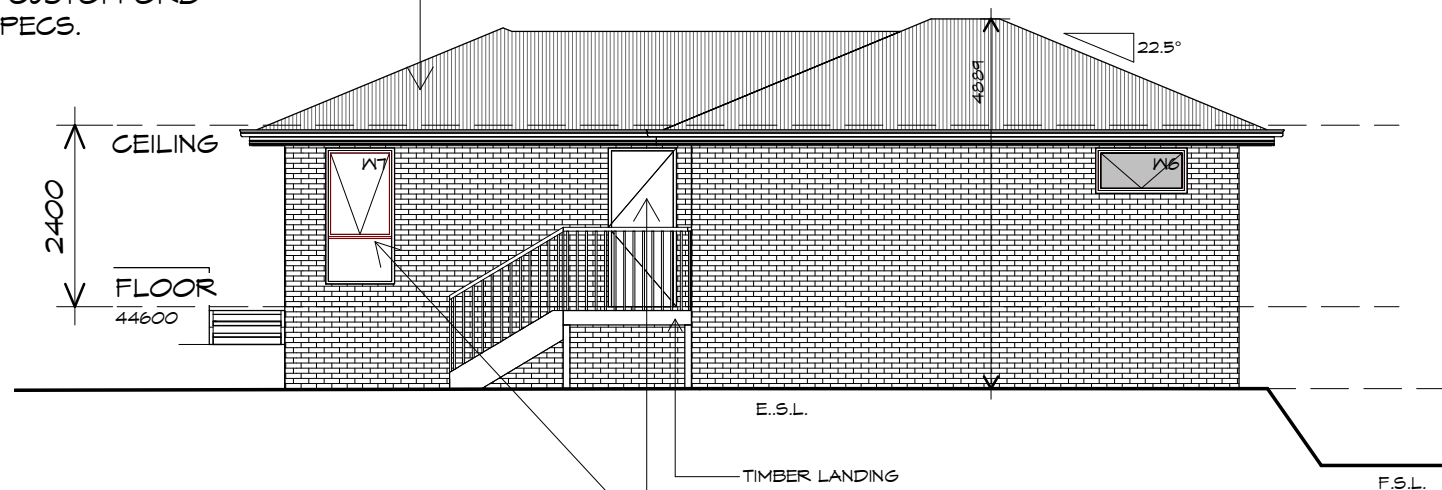


SOUTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3



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Project:
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Drafted by:
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 Approved by:
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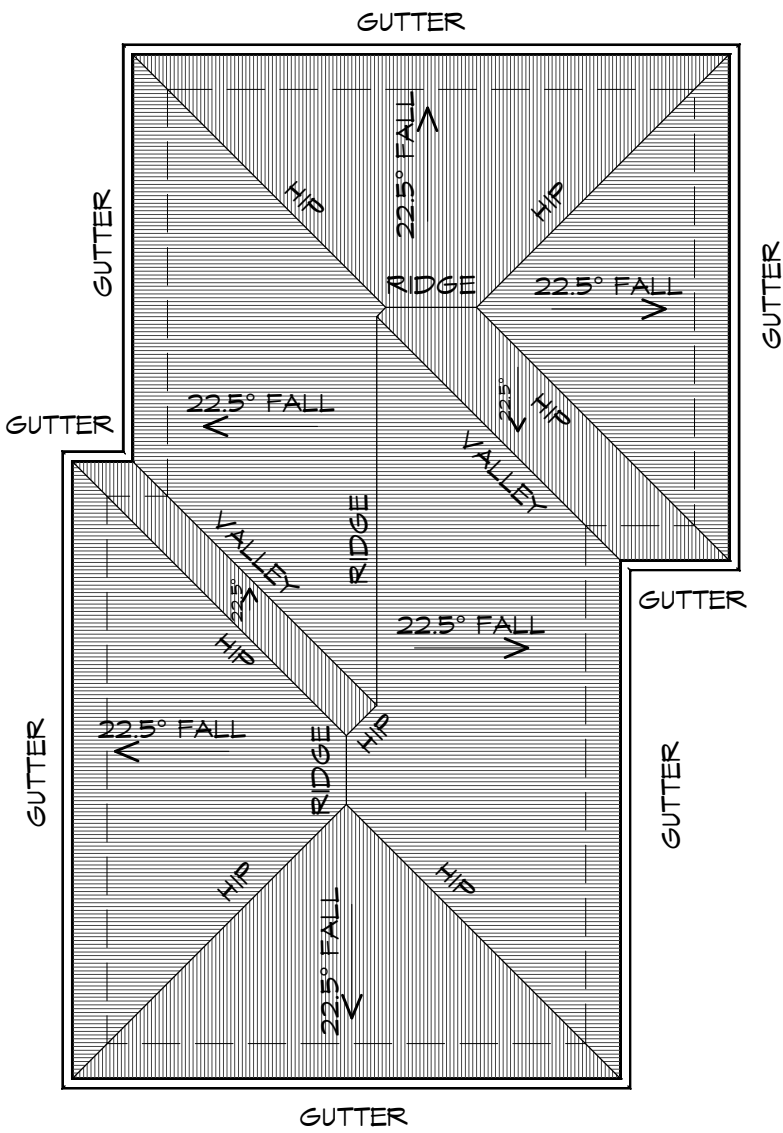


Drawing:
 ELEVATIONS

Date: 12.01.2021
 Scale: 1 : 100

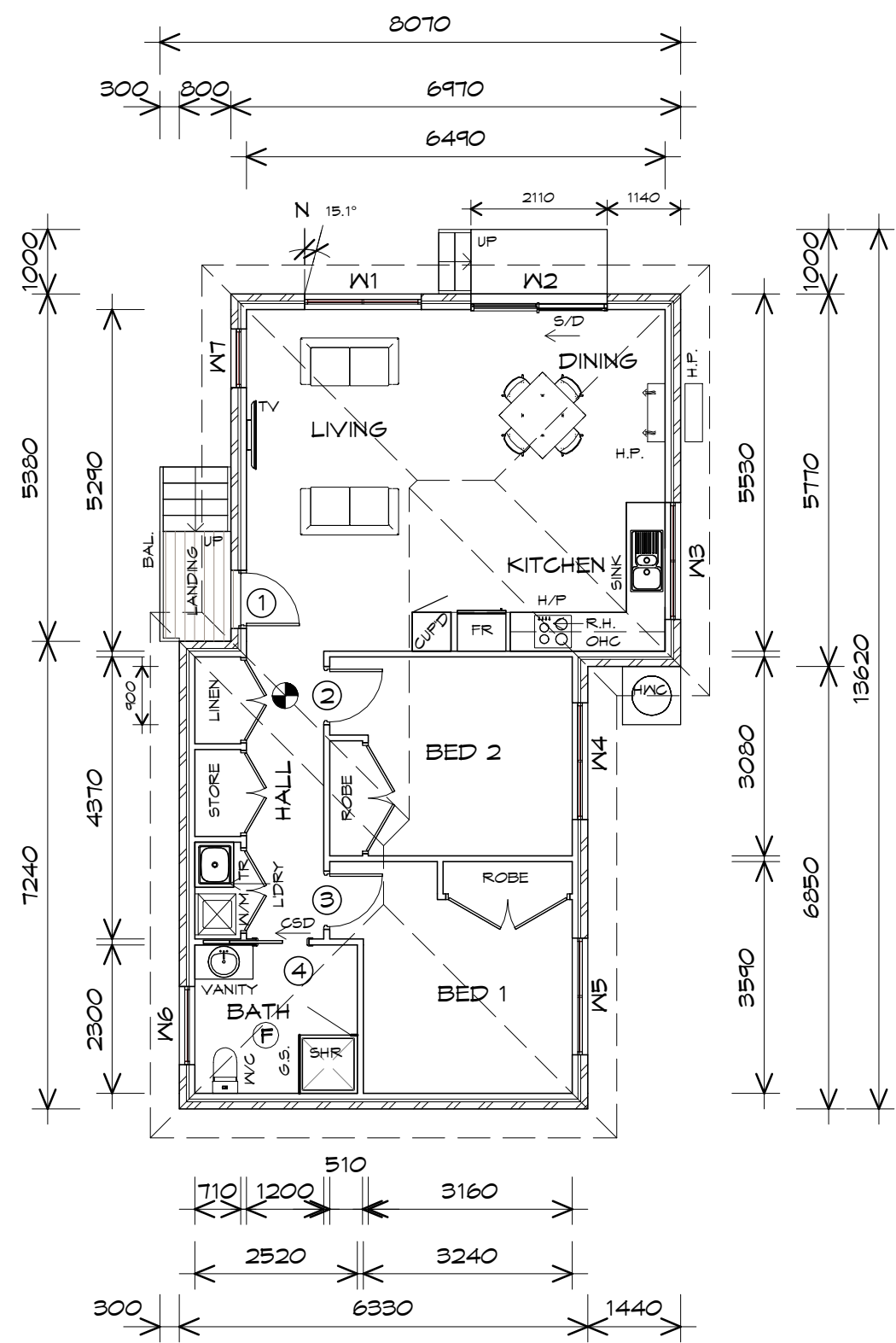
Project/Drawing no: PD20313 05-03
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m2	(	8.89	SQUARES)
LANDING AREA	2.17	m2	(	0.23	SQUARES)
TOTAL AREA	84.83			9.12	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.

(S) 240V SMOKE ALARM

CSD CAVITY SLIDING DOOR

S/D SLIDING DOOR

R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- (FW) FLOOR WASTE

G.S. GLASS SCREEN

HWC HOT WATER CYLINDER

BAL. BALUSTRADE

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
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Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

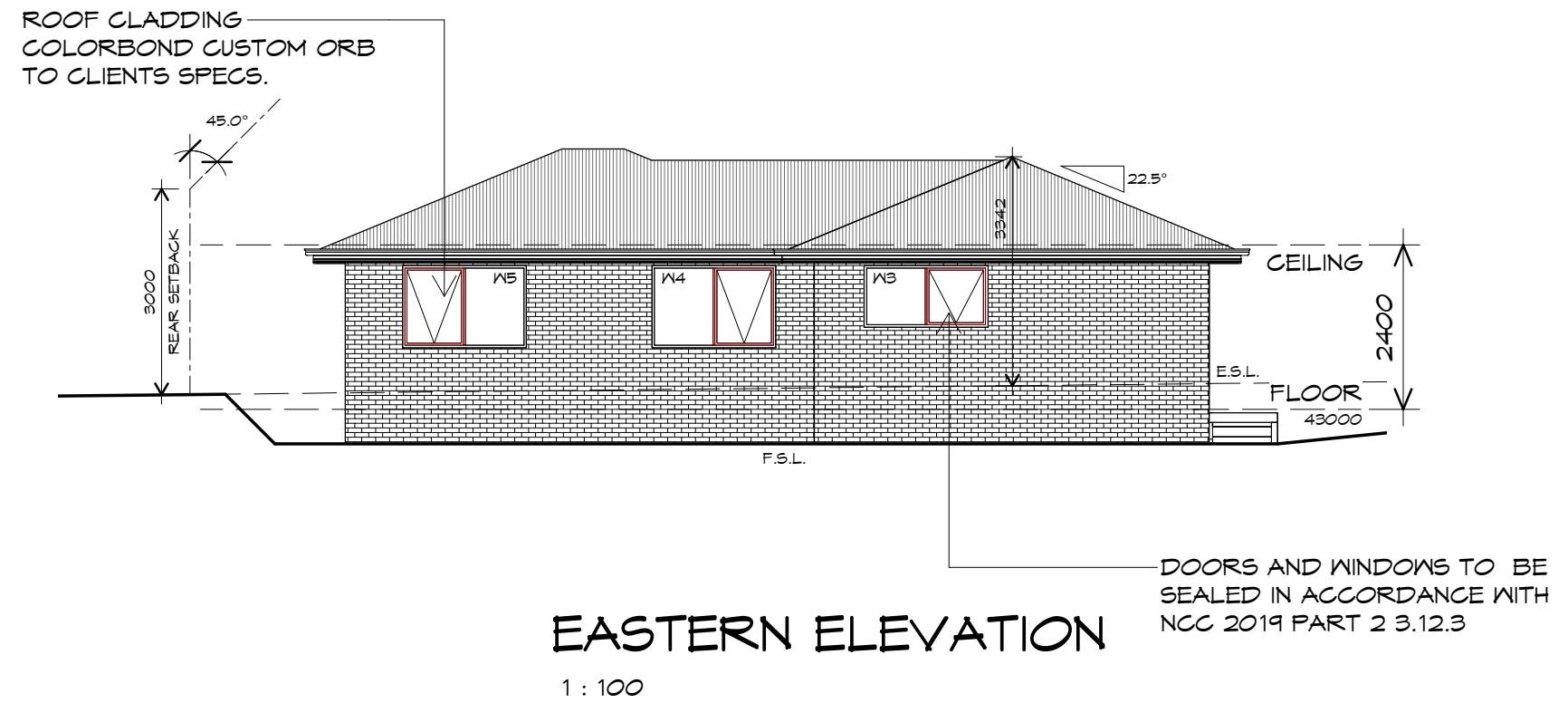
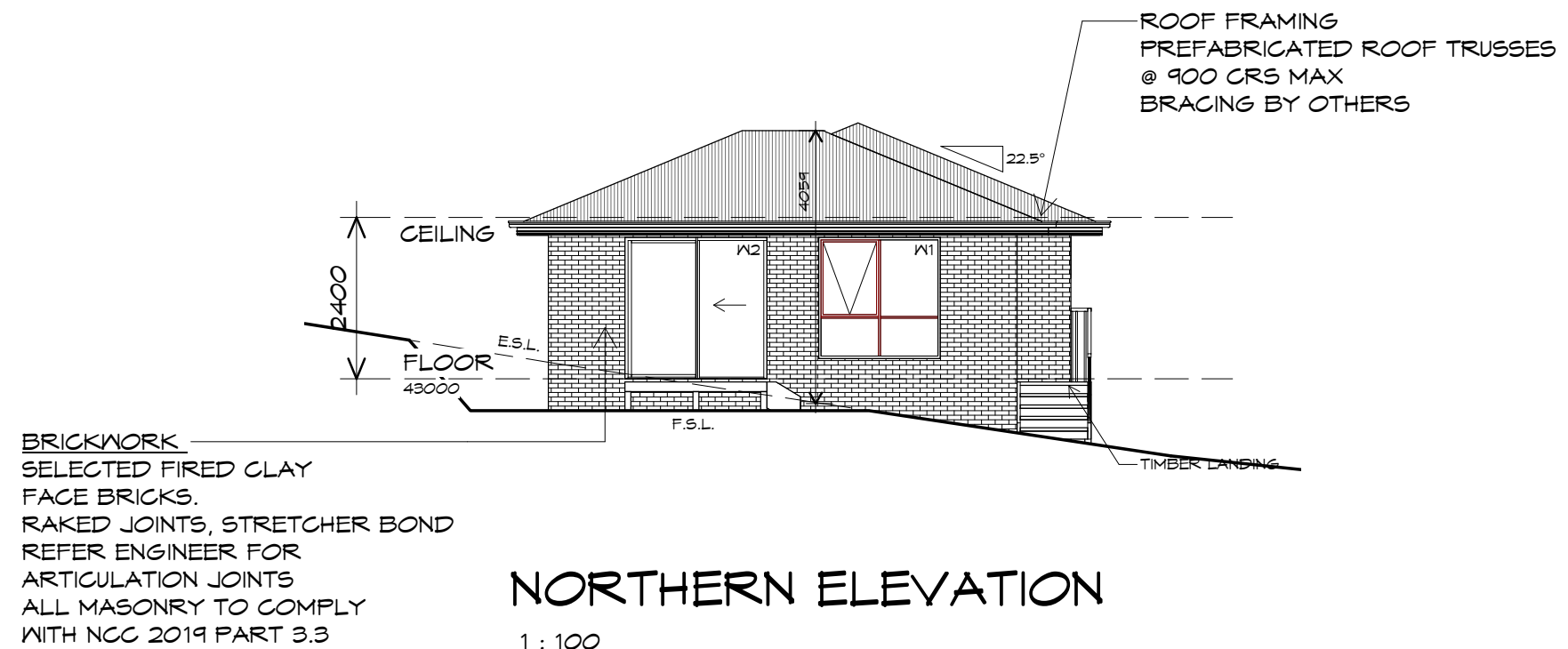
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12.01.2021

Scale:
1 : 100

Project/Drawing no:
PD20313 06-01

Revision:
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Accredited building practitioner: Frank Geskus -No CC246A



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Project:
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TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author
Approved by:
Approver



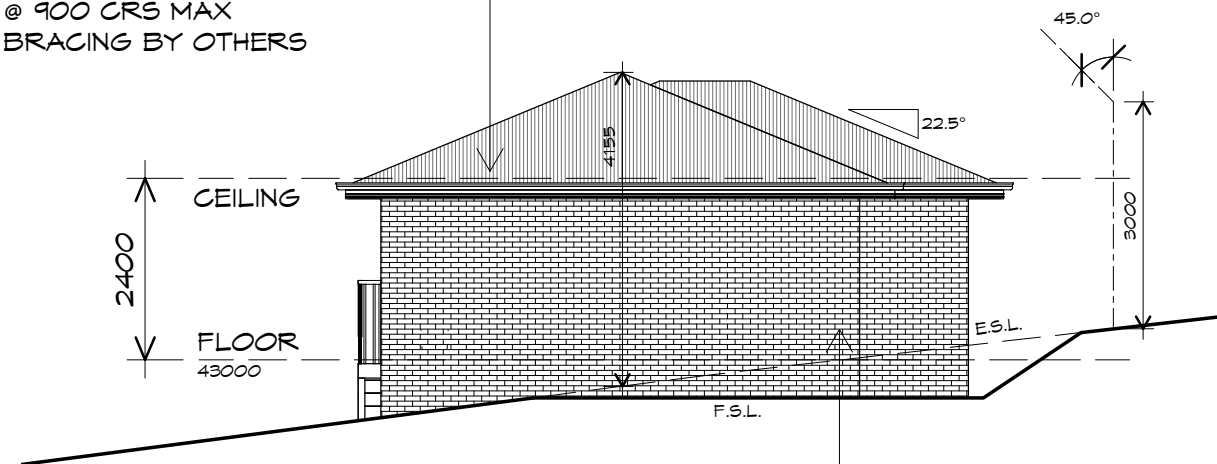
Drawing:
ELEVATIONS

Date:
12.01.2021
Scale:
1 : 100

Project/Drawing no:
PD20313 06-02
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

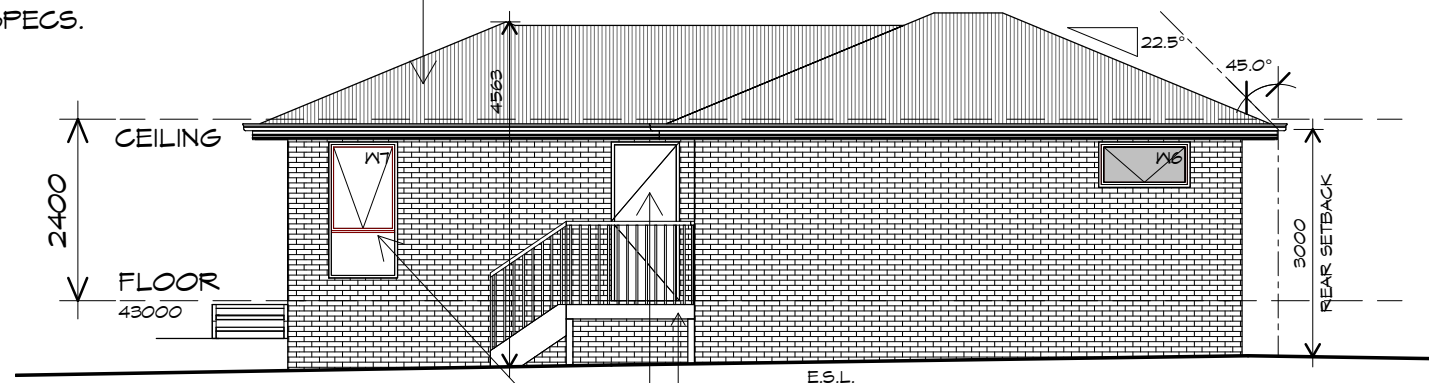


SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
NCC 2019 PART 2 3.12.3



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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver

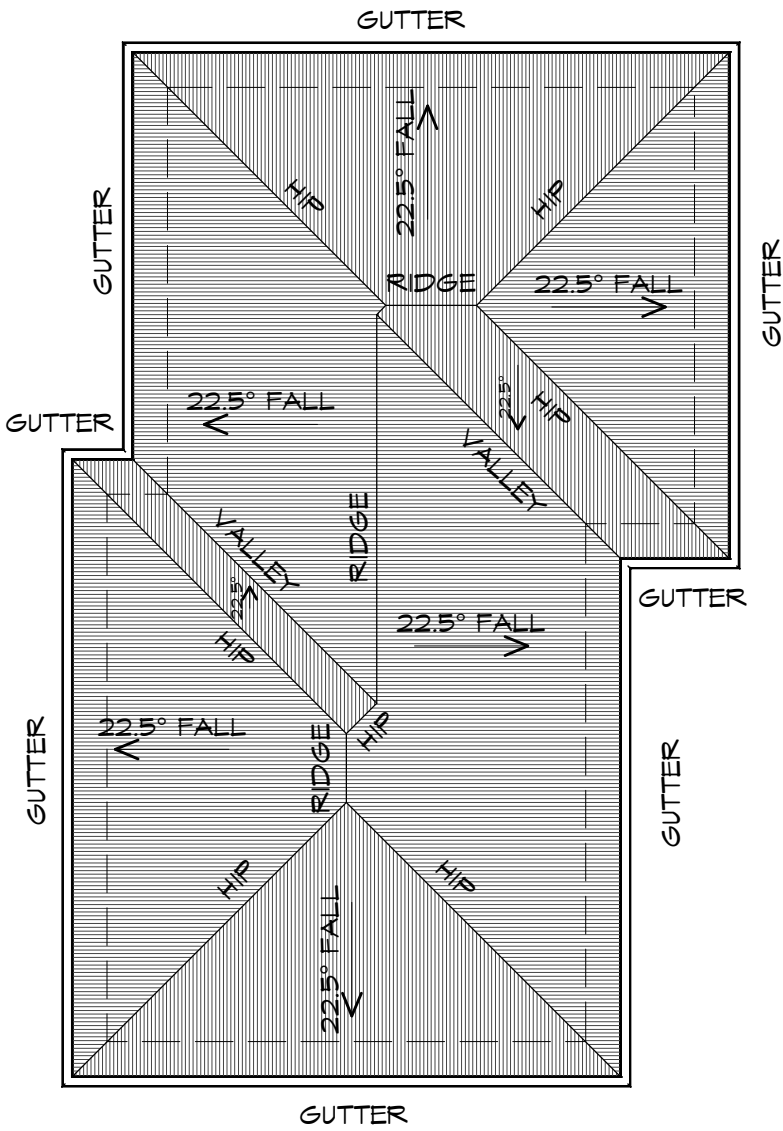


Drawing:
ELEVATIONS

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 06-03
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

WILSON

MULTI

Prime

Design

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Project:

PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:

ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

12.01.2021

Scale:

1 : 100

Project/Drawing no:

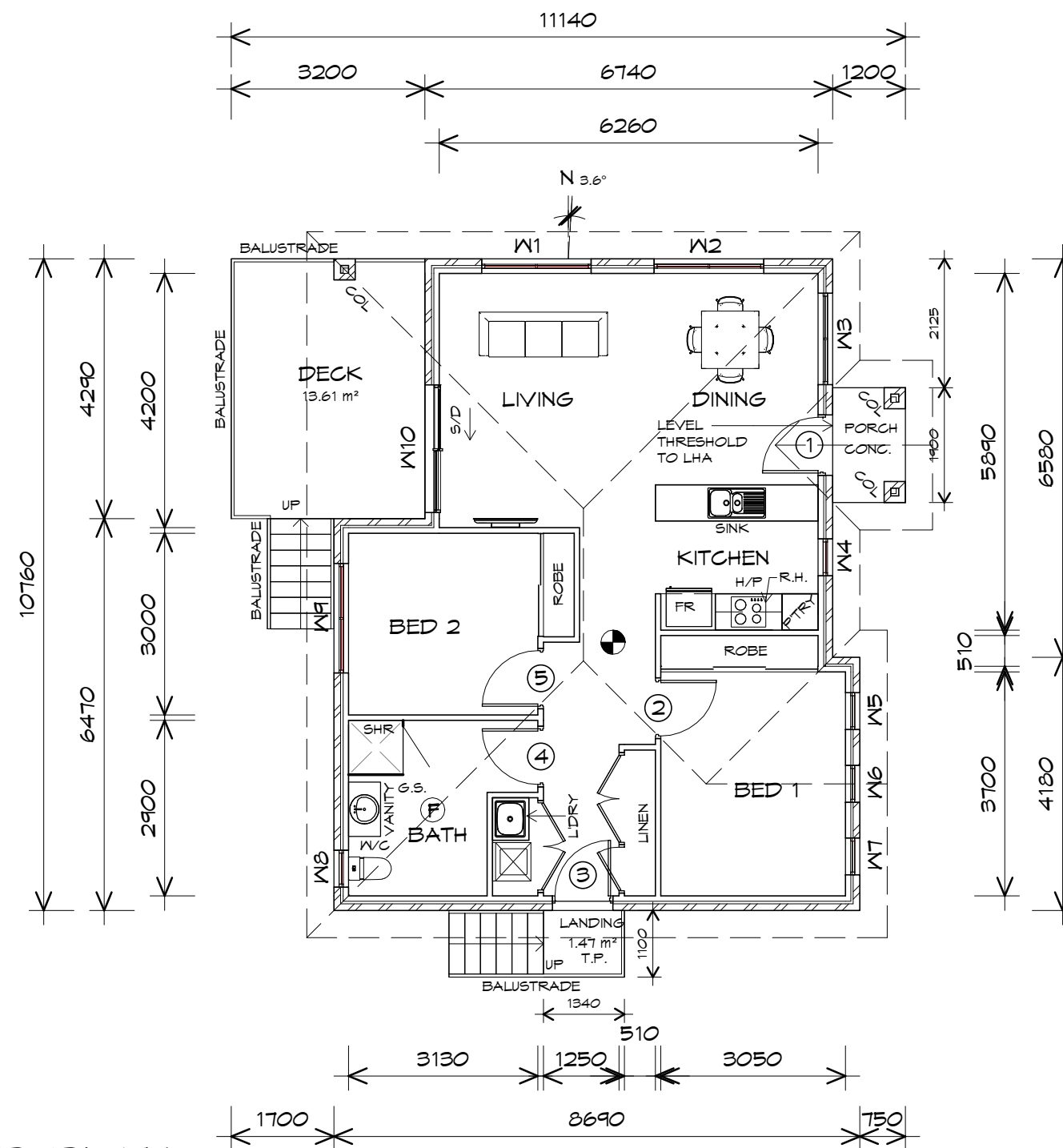
PD20313 -06-04

Revision:

01

Accredited building practitioner: Frank Geskus -No CC246A

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



FLOOR PLAN

1 : 100

FLOOR AREA	83.17	m ²	(8.94 SQUARES)
PORCH AREA	2.51	m ²	(0.27 SQUARES)
DECK AREA	14.42	m ²	(1.55 SQUARES)
TOTAL AREA	100.10		10.76

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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Page 90 of 263

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- S/D SLIDING DOOR
- R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- BAL BALUSTRADE
- o^{FW} FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN; TO BE REMOVABLE
- HWC HOT WATER CYLINDER

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM
2	920	INTERNAL TIMBER DOOR	
3	920	EXTERNAL SOLID DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	1800	1810	AWNING WINDOW	
W3	600	1510	AWNING WINDOW	
W4	1800	610	AWNING WINDOW	
W5	1800	610	AWNING WINDOW	
W6	1800	610	AWNING WINDOW	
W7	1800	610	AWNING WINDOW	
W8	600	610	AWNING WINDOW	OPAQUE
W9	1800	1810	AWNING WINDOW	
W10	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



Drawing:
FLOOR PLAN

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Date:
12.01.2021

Scale:
1 : 100

Project/Drawing no:
PD20313 07-01

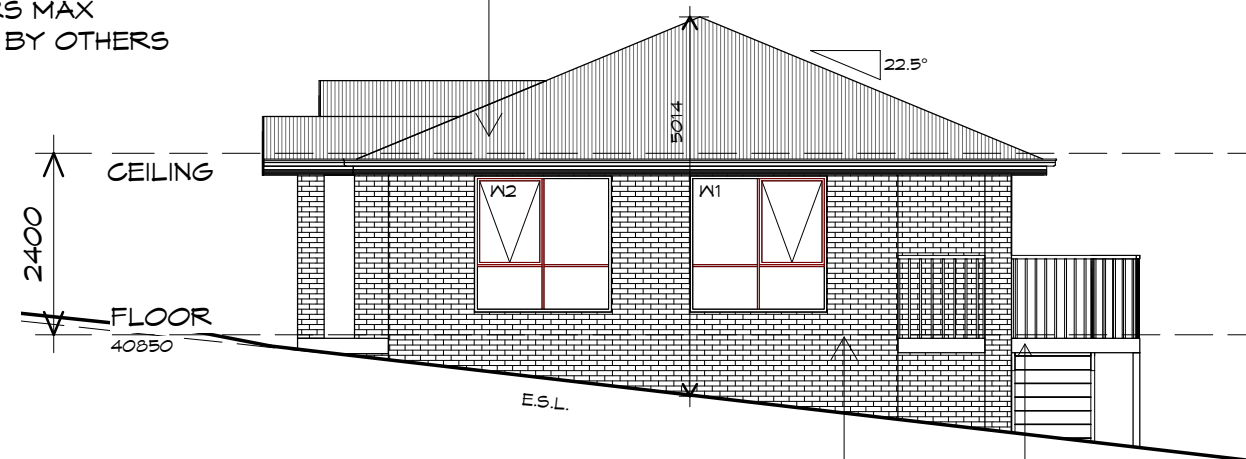
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS



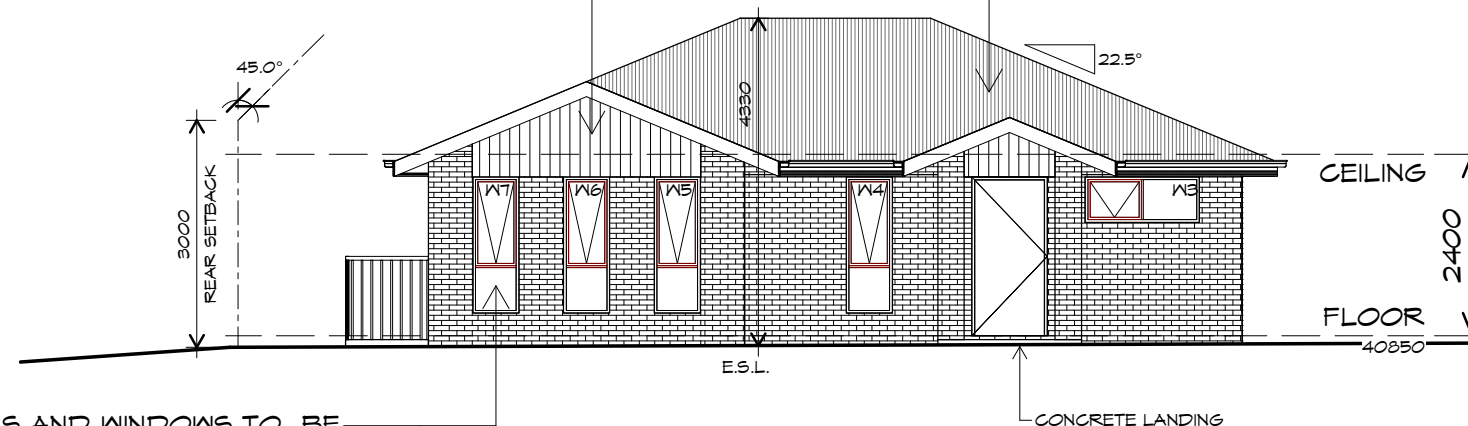
NORTHERN ELEVATION

1 : 100

TIMBER DECK
 BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

CLADDING TO BE
 SELECTED BY CLIENT

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3

EASTERN ELEVATION

1 : 100



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Project:
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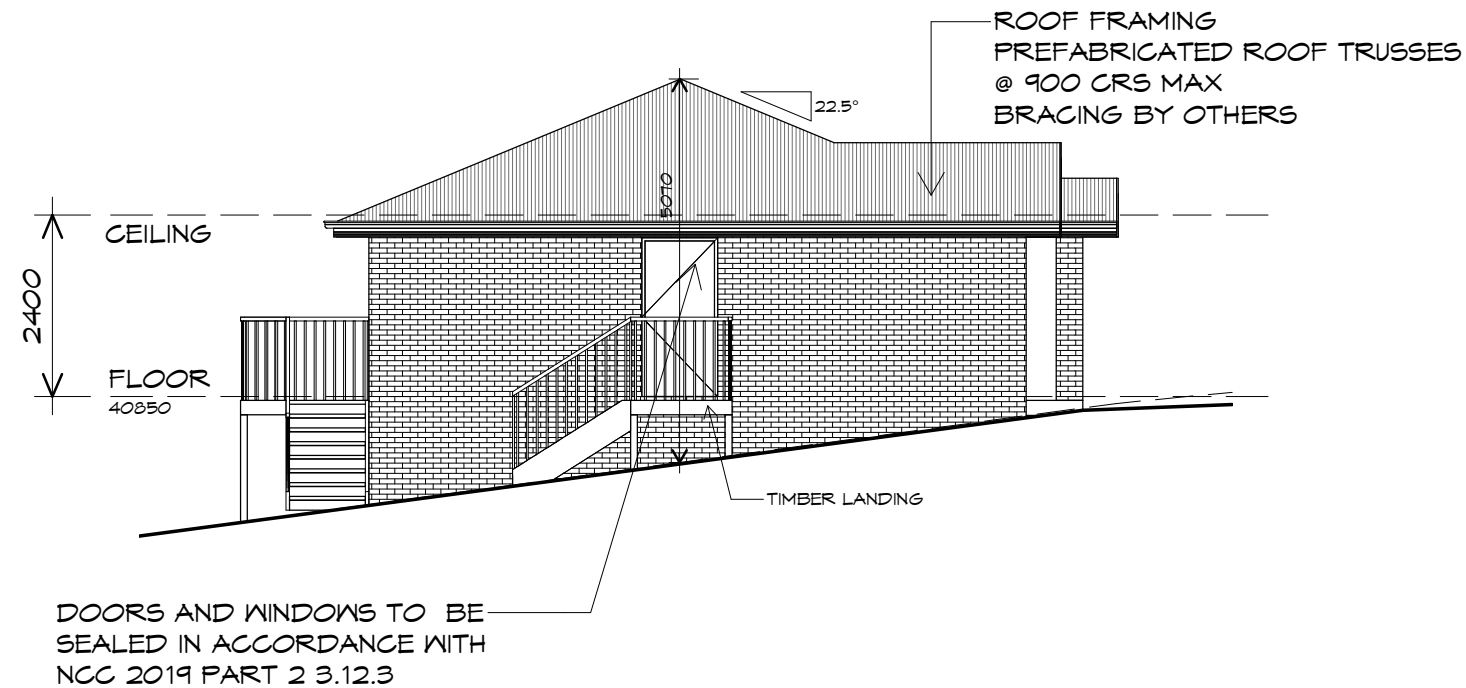
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Date: 12.01.2021
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Project/Drawing no: PD20313 07-02
 Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

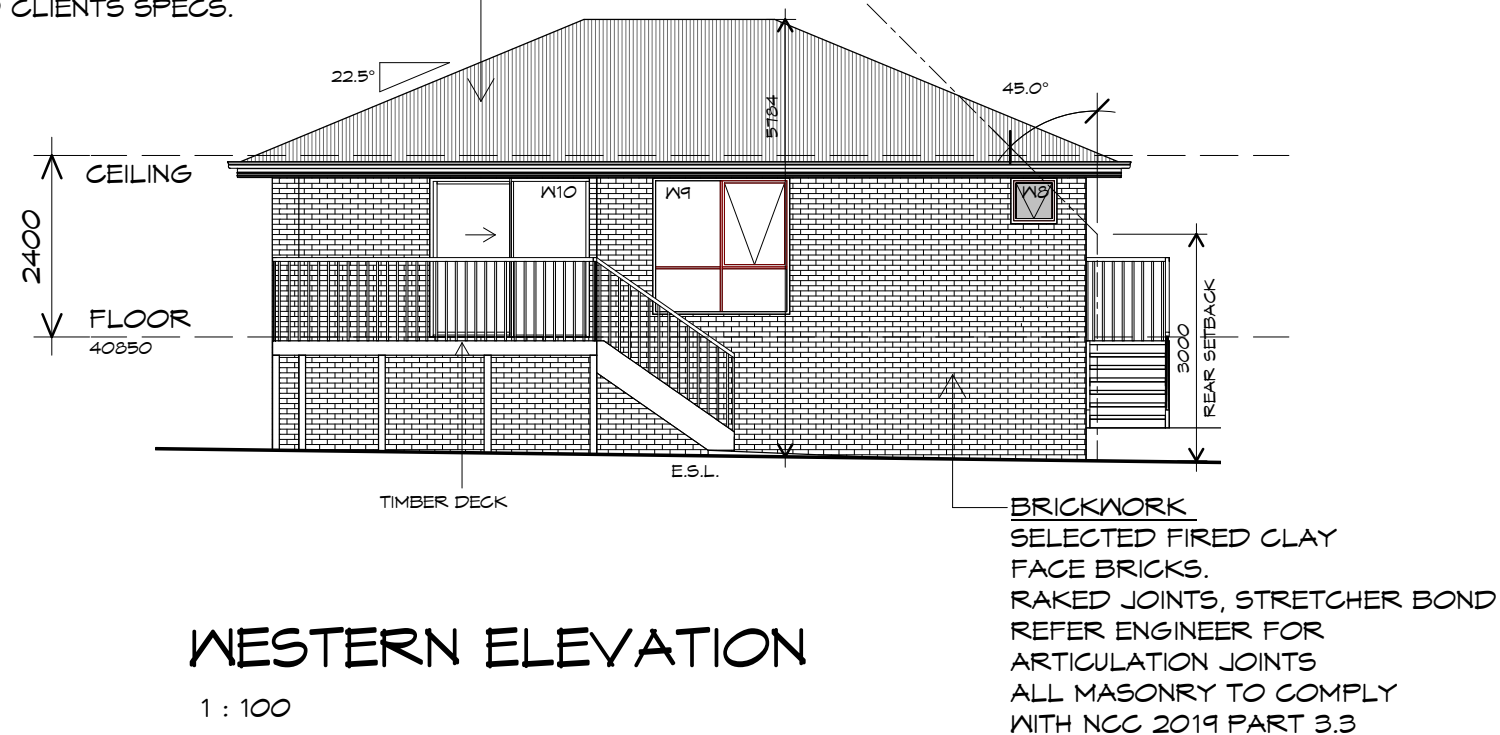
PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



SOUTHERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

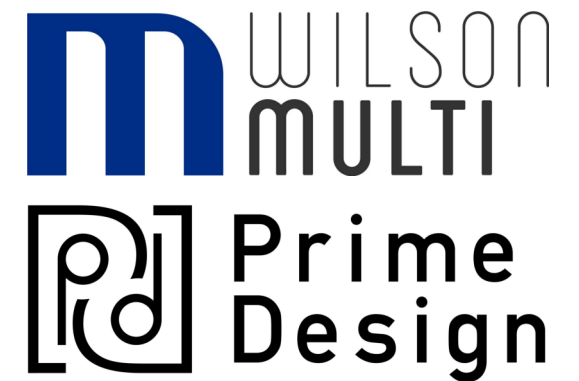


WESTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



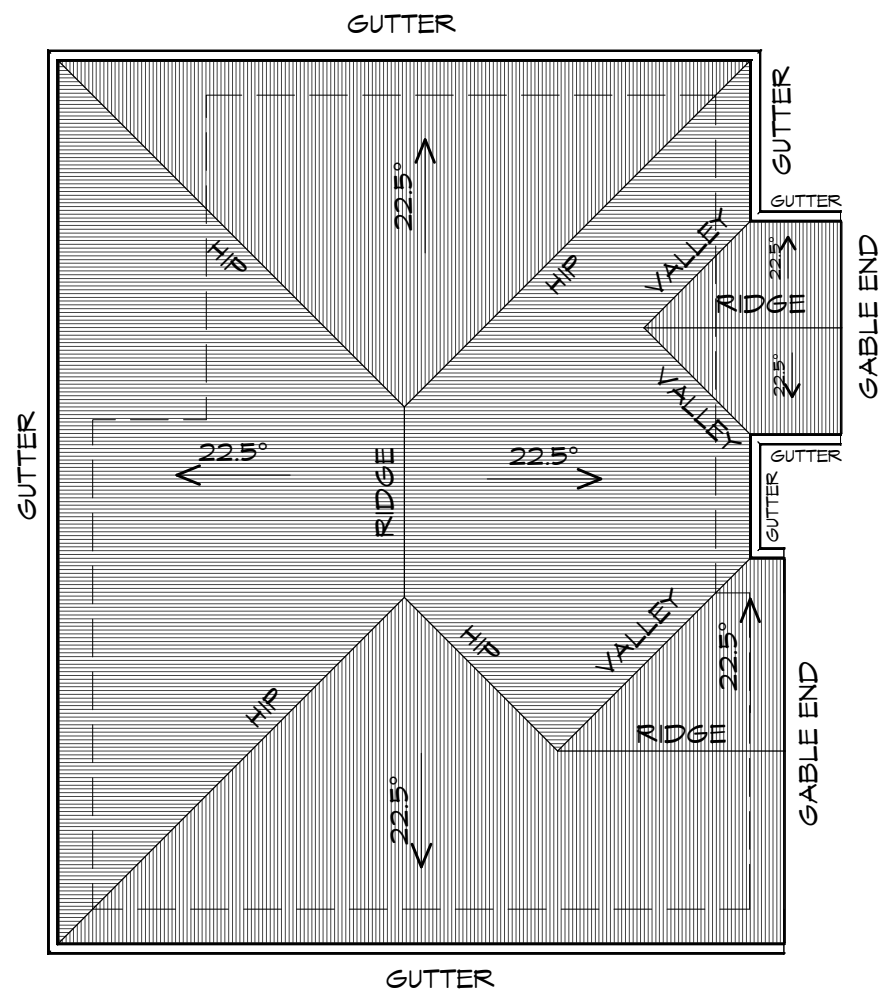
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Project:
**PROPOSED RESIDENTIAL
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Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -07-03	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF PLAN
1 : 100



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Author
Approved by:
Approver



Drawing:
ROOF PLAN

Date:
12.01.2021
Scale:
1 : 100

Project/Drawing no:
PD20313 07-04
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

- Ⓢ

EXHAUST FAN-VENT TO OUTSIDE AIR.

Ⓢ/L

FLOOR WASTE
- Ⓢ

240V SMOKE ALARM
- S/L

SIDELIGHT
- COL

COLUMN
- B.H.

BULK HEAD
- HWC

HOT WATER CYLINDER
- S/D

SLIDING DOOR

FLOOR AREA	79.28	m2	(8.52 SQUARES)
DECK AREA	19.72	m2	(2.12 SQUARES)
CARPORT AREA	18.48	m2	(1.99 SQUARES)
TOTAL AREA	117.48		12.63

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	1800	1510	AWNING WINDOW	
W4	2100	450	FIXED WINDOW	SIDELIGHT
W5	900	1510	AWNING WINDOW	OPAQUE
W6	1800	1510	AWNING WINDOW	
W7	1800	1510	AWNING WINDOW	
W8	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



Project:

PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA

Client name:

CENTACARE EVOLVE HOUSING

Drawing:

FLOOR PLAN

Date:

12.01.2021

Scale:

1 : 100

Project/Drawing no:

PD20313 08-01

Revision:

01

Accredited building practitioner: Frank Geskus -No CC246A

Drafted by:

Author

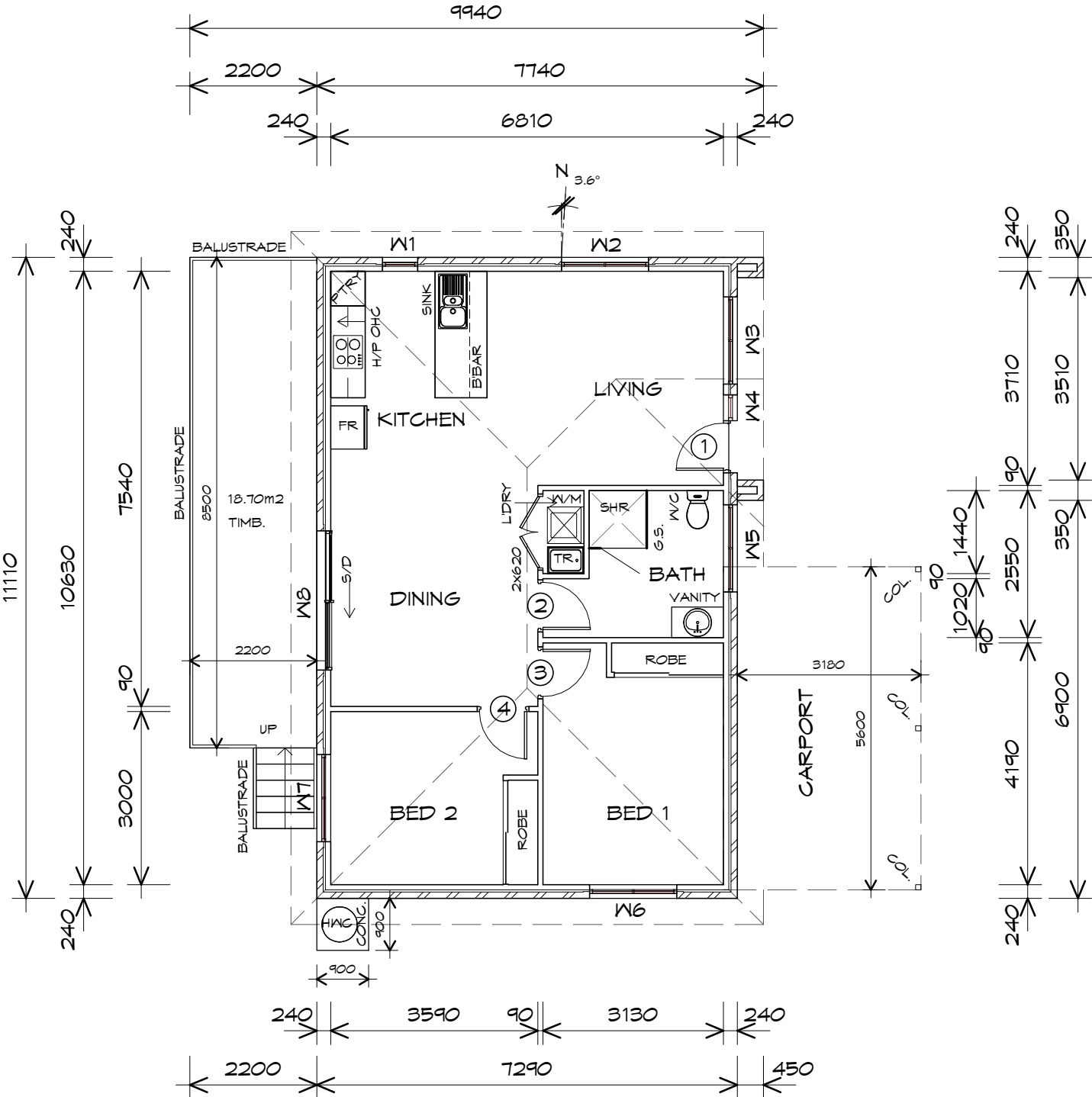
Approved by:

Approver

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

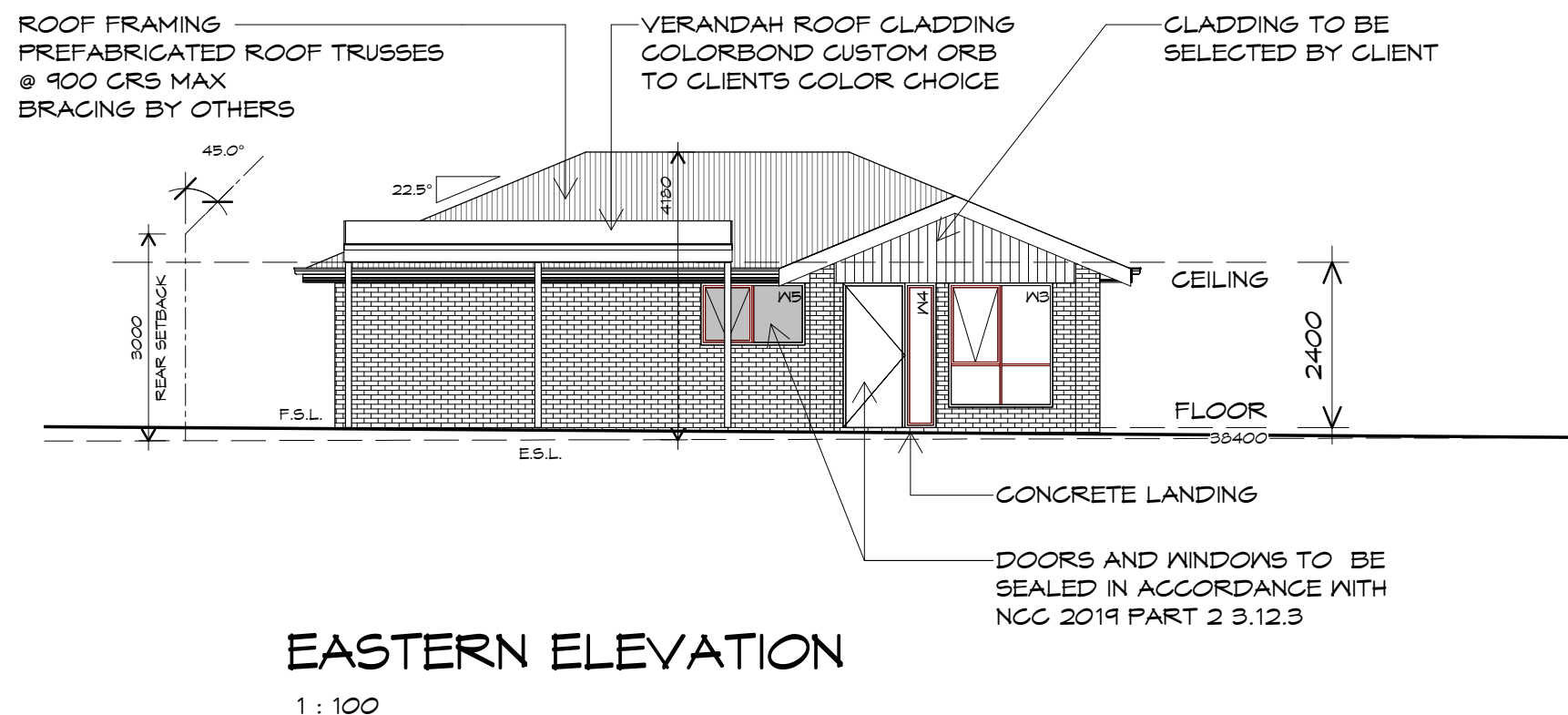
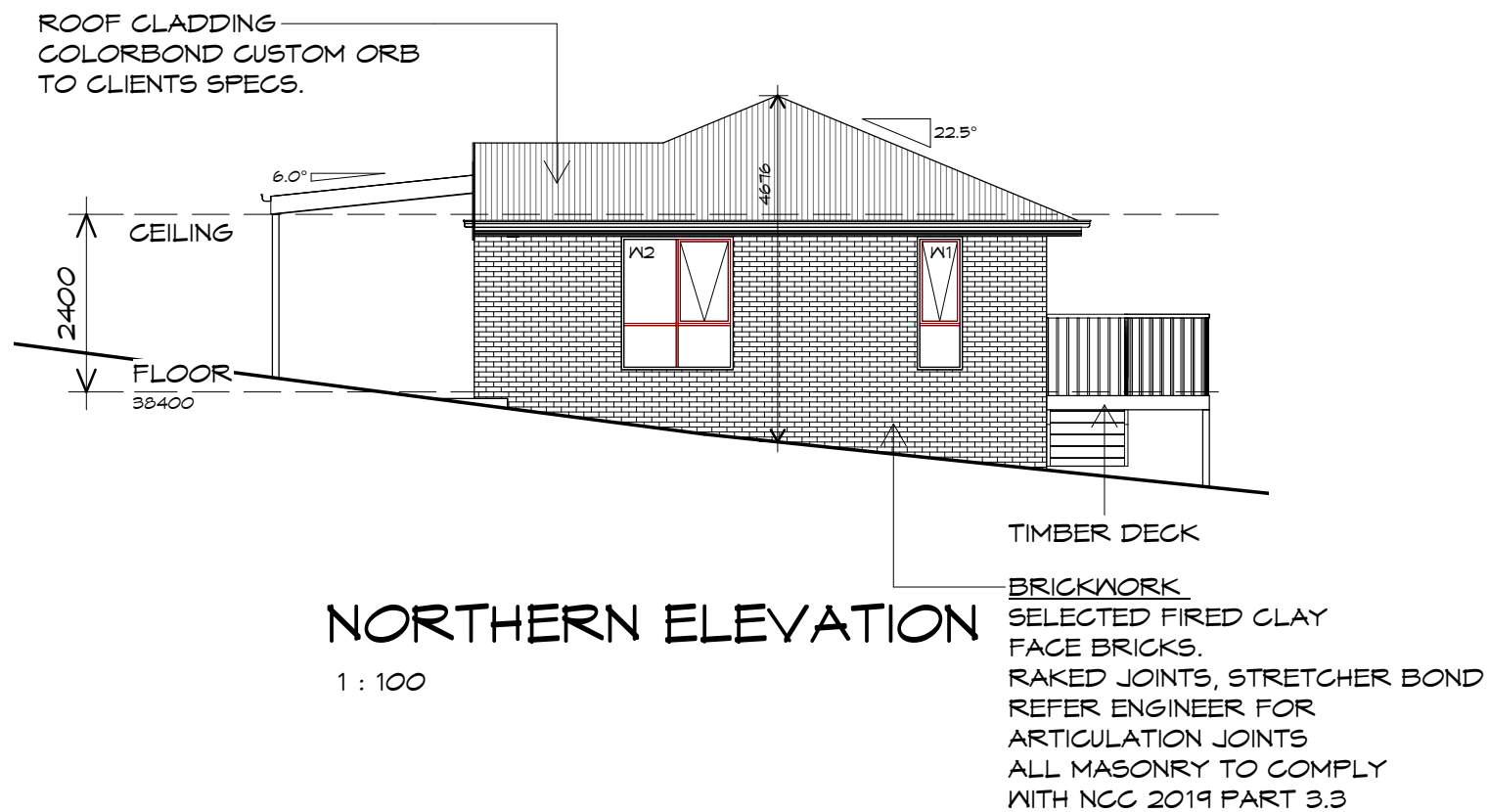


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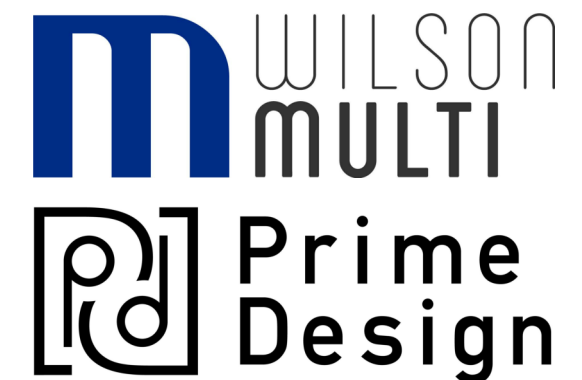
FLOOR PLAN

1 : 100



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

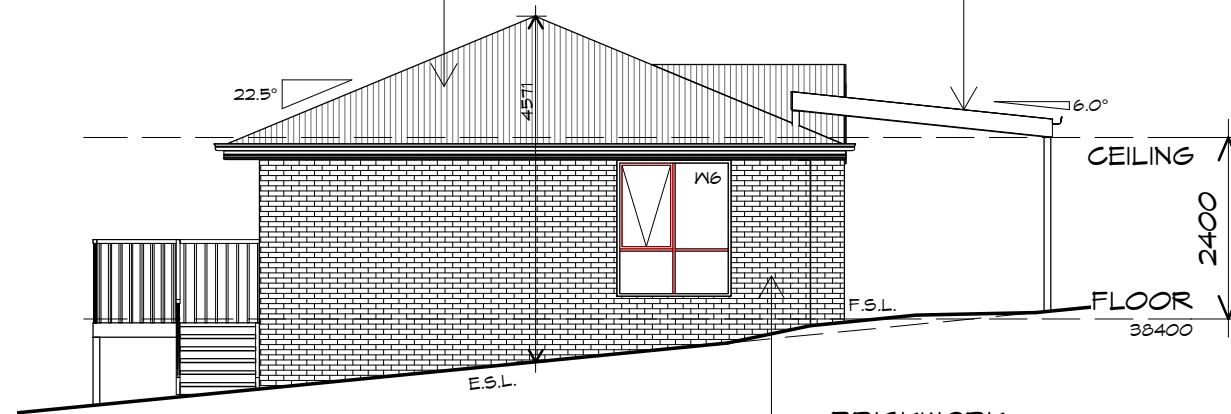
Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -08-02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

VERANDAH ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS COLOR CHOICE

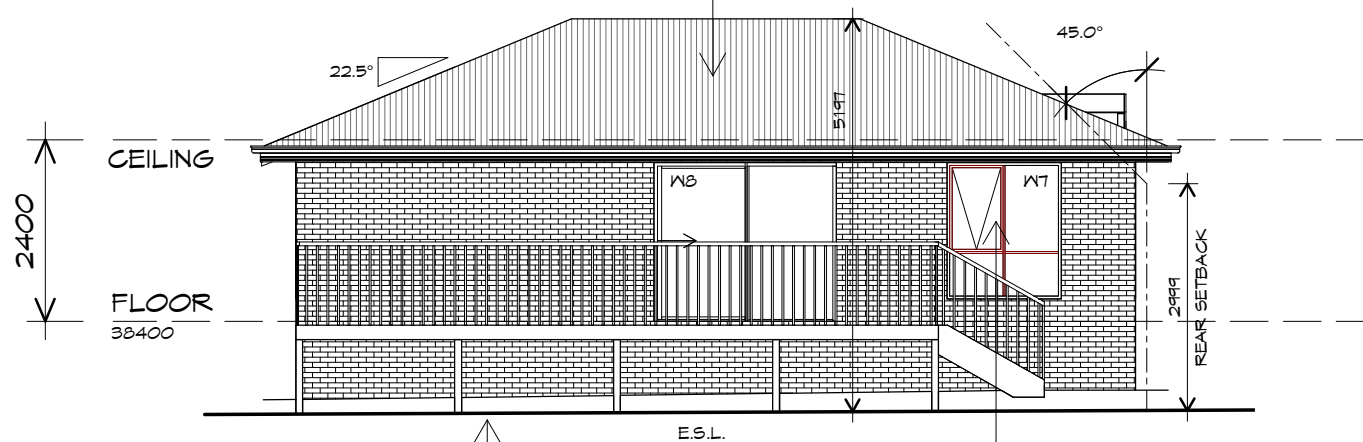


BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

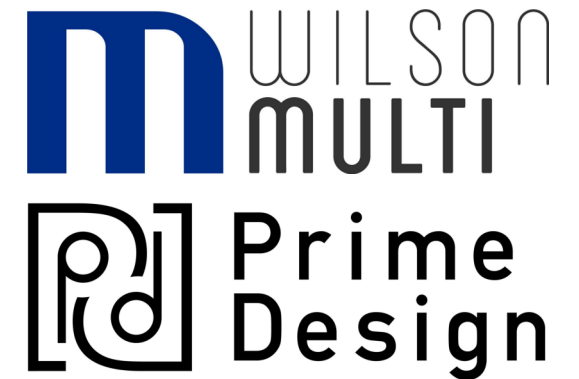


DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
NCC 2019 PART 2 3.12.3

WESTERN ELEVATION

1 : 100

PLANNING
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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author
Approved by: Approver

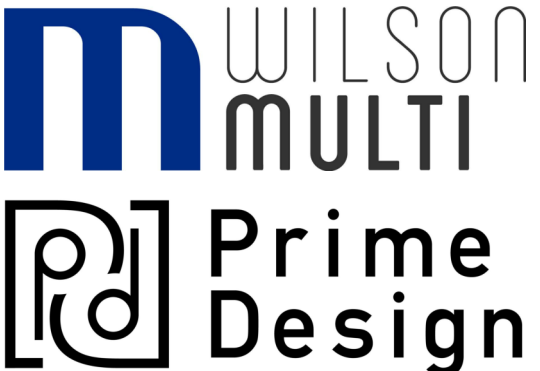
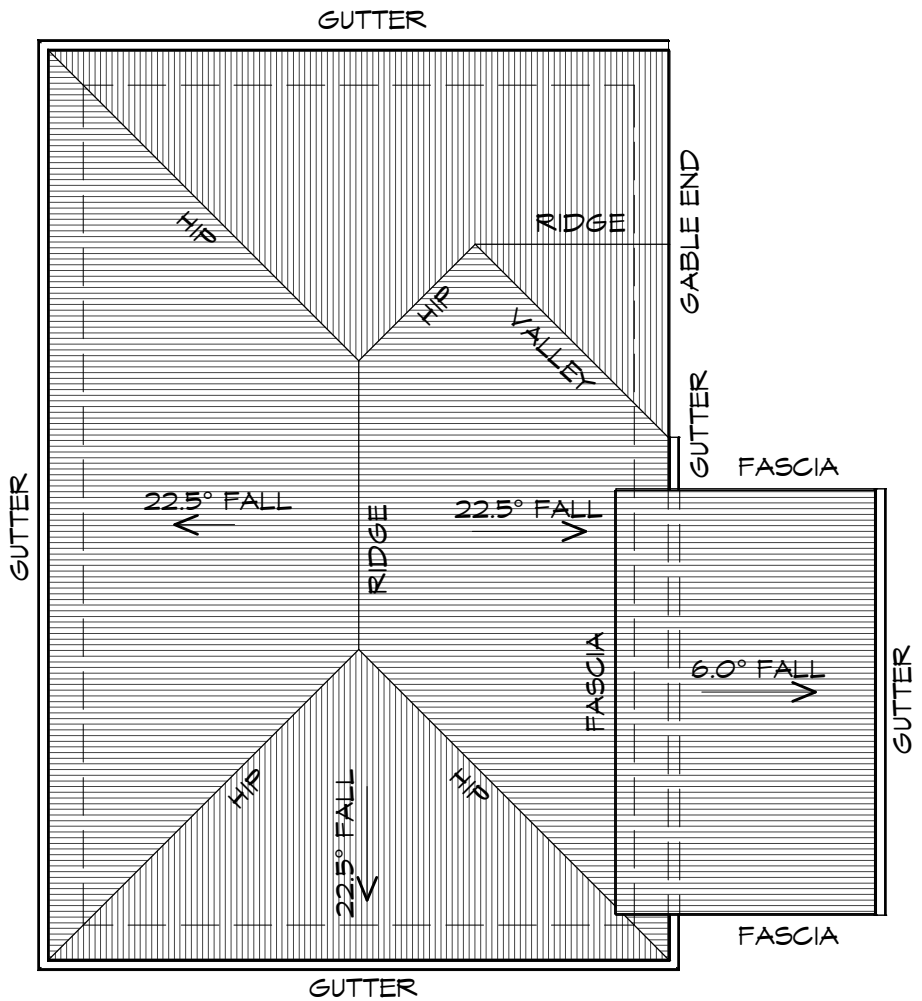
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Scale: 1 : 100

Project/Drawing no: PD20313 -08-03
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN
1 : 100



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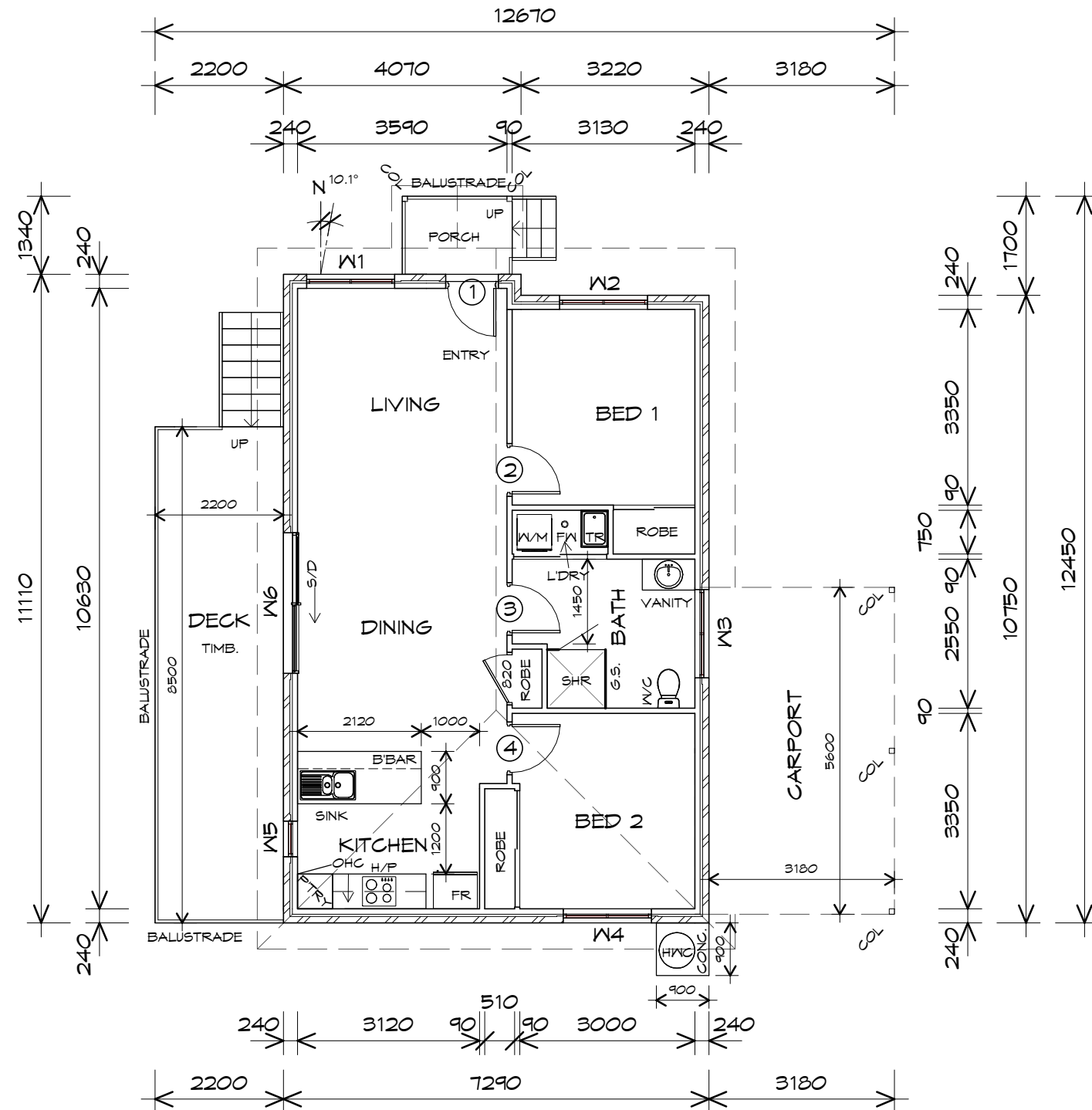
Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver	
Date:	Scale:	
12.01.2021	1 : 100	

Project/Drawing no: PD20313 -08-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





FLOOR PLAN

1 : 100



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LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240V SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	77.88	m2	(8.37 SQUARES)
PORCH AREA	2.75	m2	(0.30 SQUARES)
DECK AREA	19.72	m2	(2.12 SQUARES)
CARPORT AREA	18.48		(1.99 SQUARES)
TOTAL AREA	118.83		12.78

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1510	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	1800	1510	AWNING WINDOW	
W5	1800	610	AWNING WINDOW	
W6	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
FLOOR PLAN

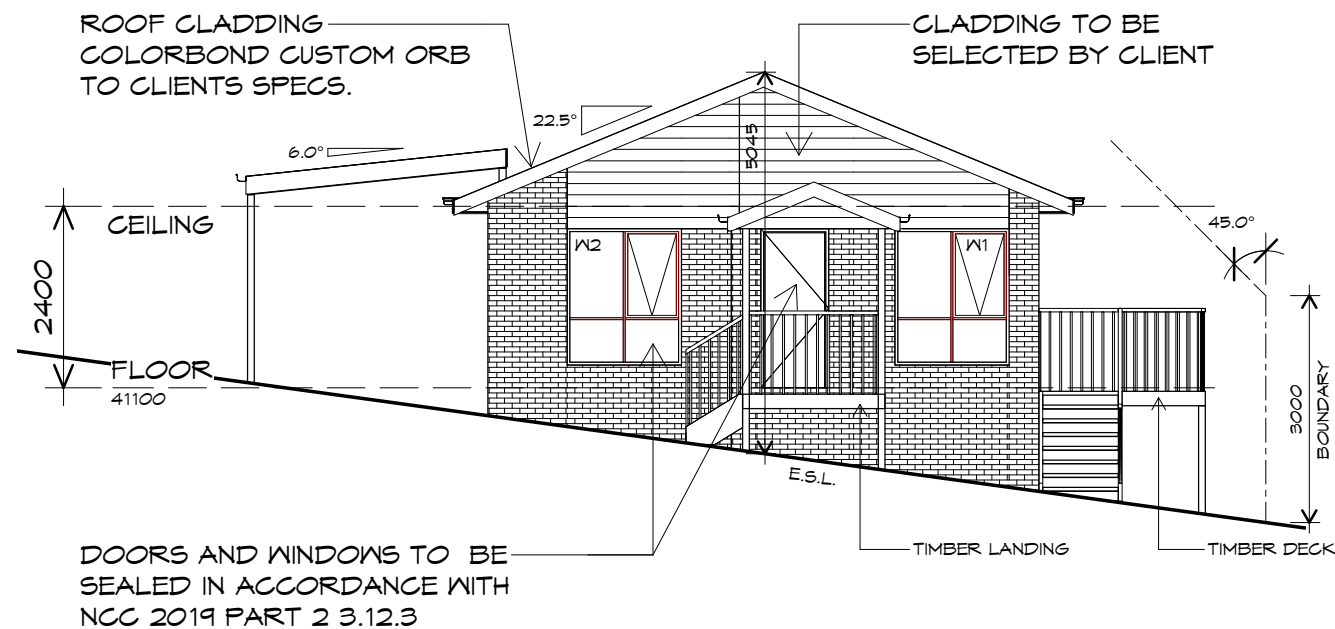
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Project/Drawing no: PD20313 09-01
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

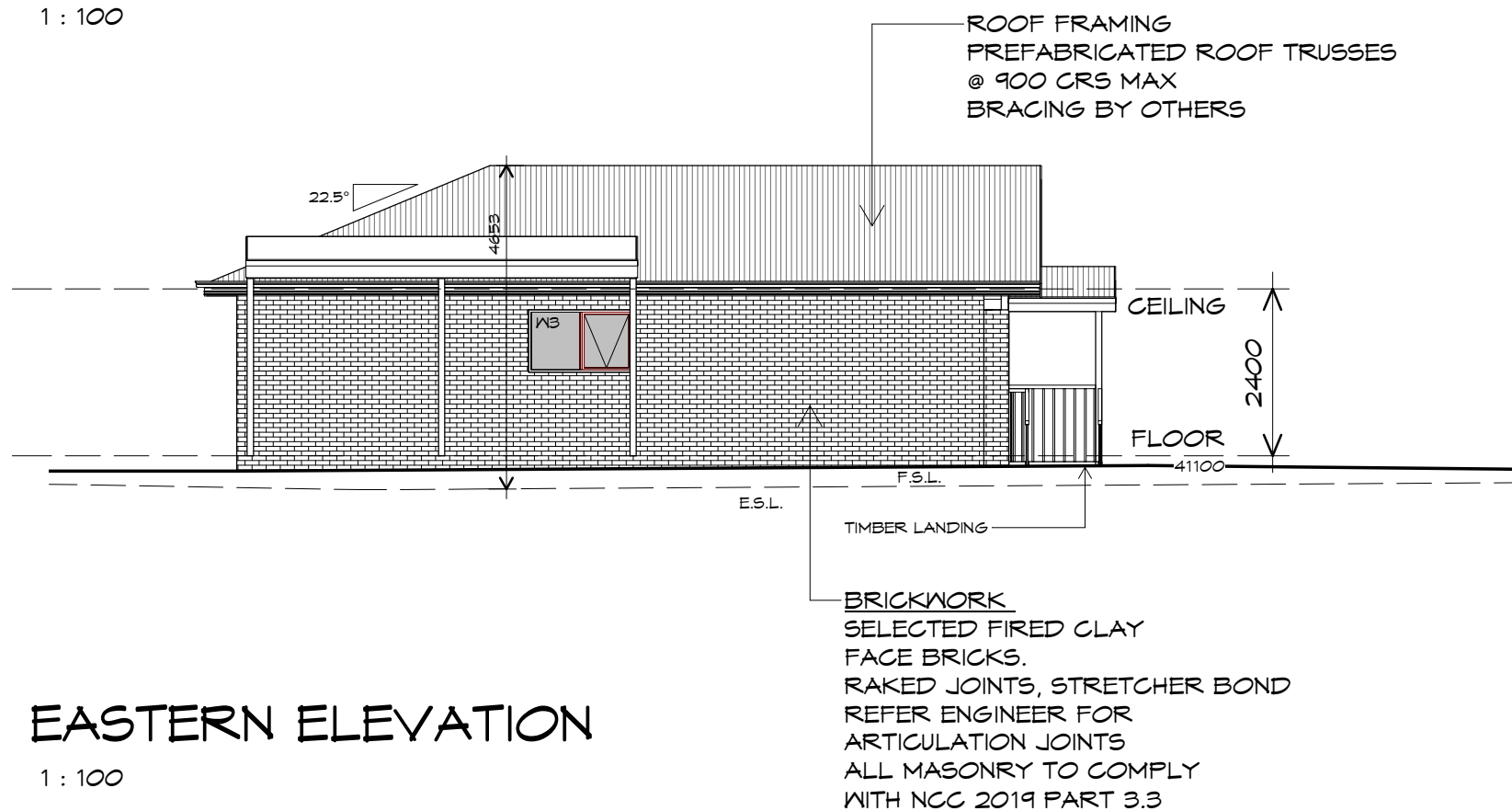
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Approved by: Approver





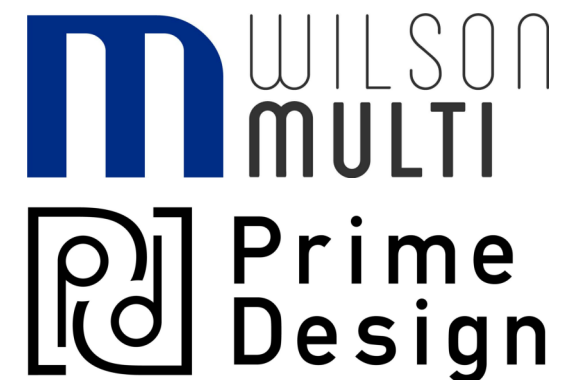
NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



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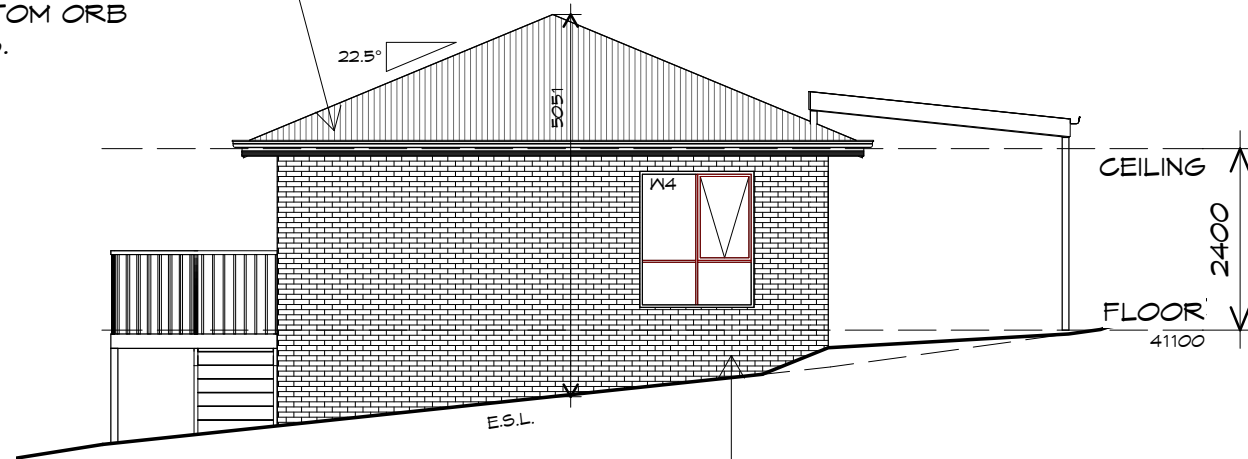
Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author
Approved by: Approver
Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 -09-02
Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

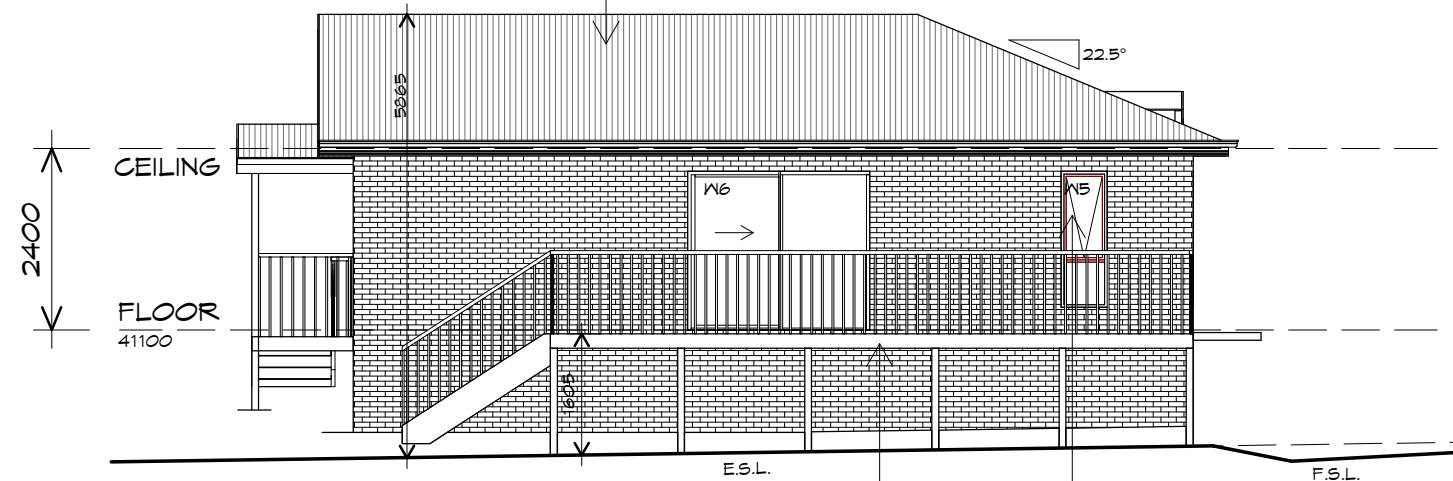


BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

SOUTHERN ELEVATION

1 : 100

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



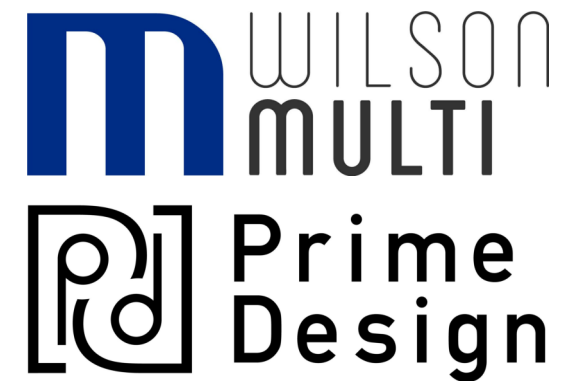
TIMBER DECK

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
NCC 2019 PART 2 3.12.3

WESTERN ELEVATION

1 : 100

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author
Approved by: Approver

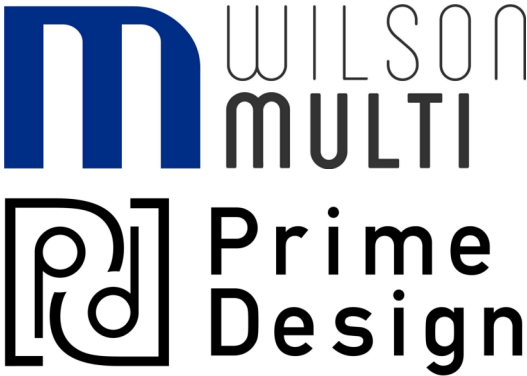
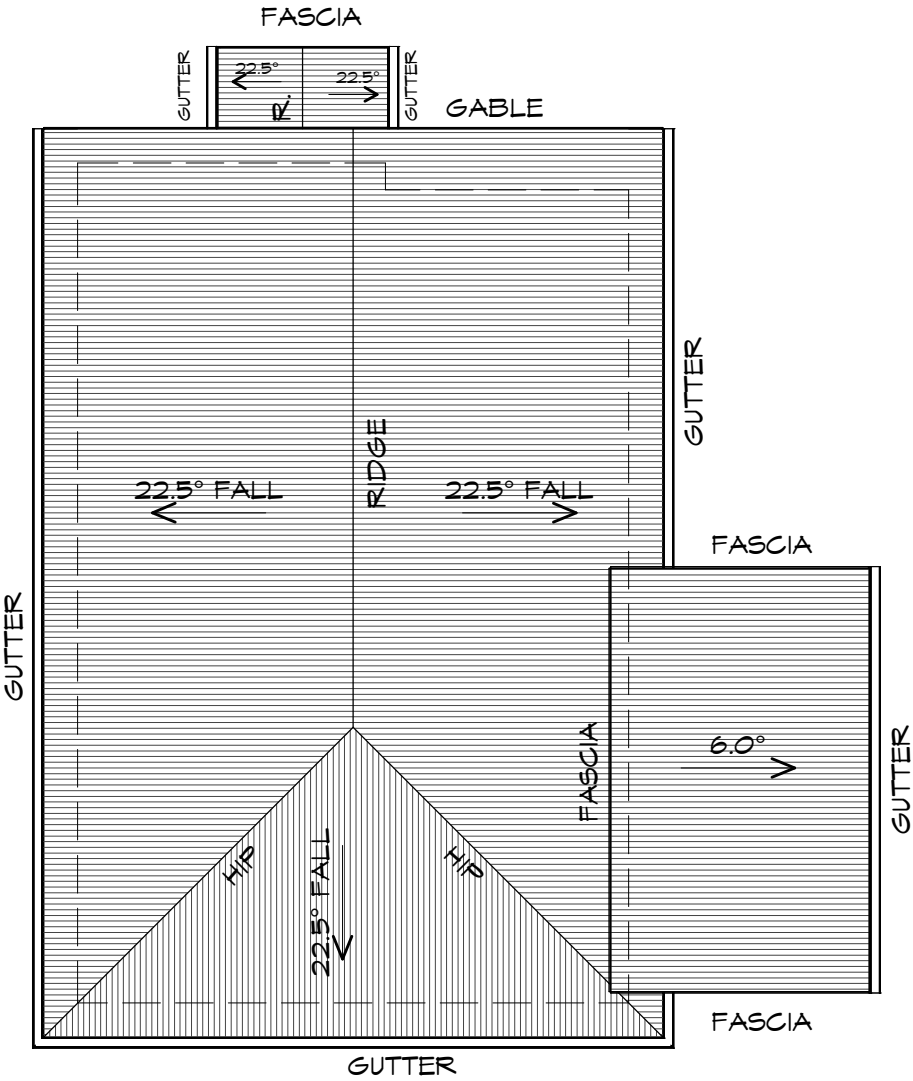
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Project/Drawing no: PD20313 -09-03
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN
1 : 100



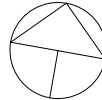
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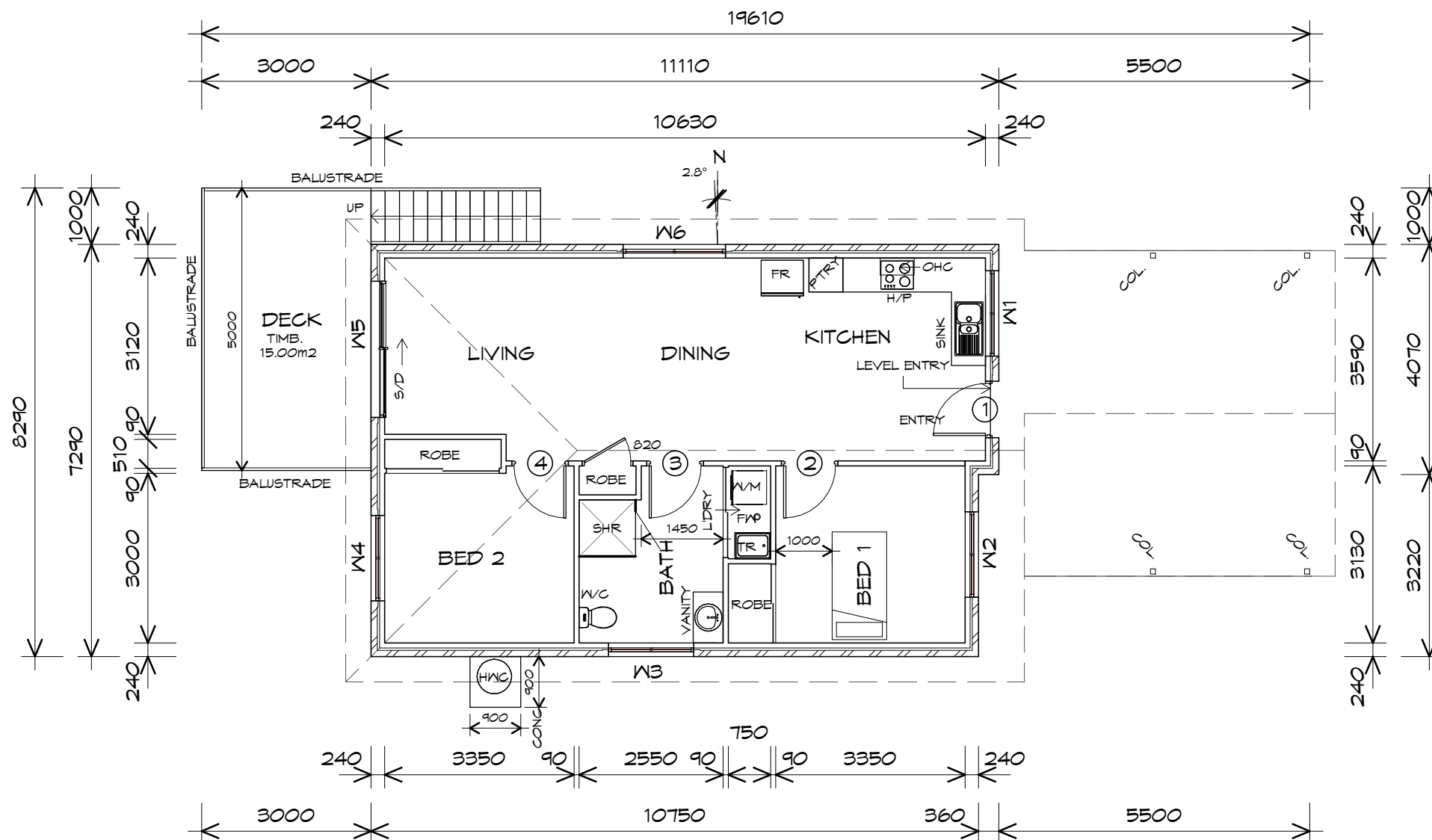
Project:
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DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -09-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





FLOOR PLAN

1 : 100

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR. o FW FLOOR WASTE
240v SMOKE ALARM S/L SIDELIGHT
B.H. BULK HEAD COL COLUMN
S/D SLIDING DOOR HWC HOT WATER CYLINDER

FLOOR AREA	77.63	m2	(8.35 SQUARES)
CARPORT AREA	33.54	m2	(3.61 SQUARES)
	111.17		11.95

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1000	1510	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	1800	1510	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W6	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

WILSON
MULTI

Drawing:
FLOOR PLAN

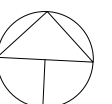
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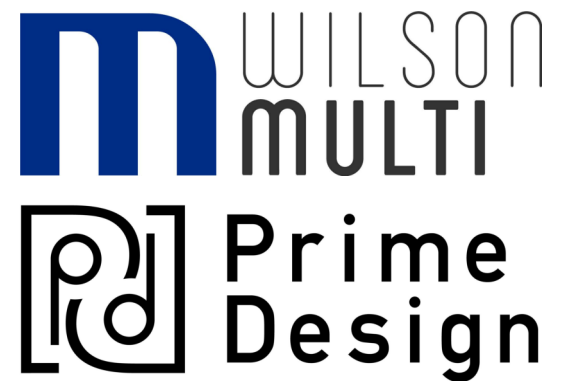
Project/Drawing no: PD20313 10-01
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS





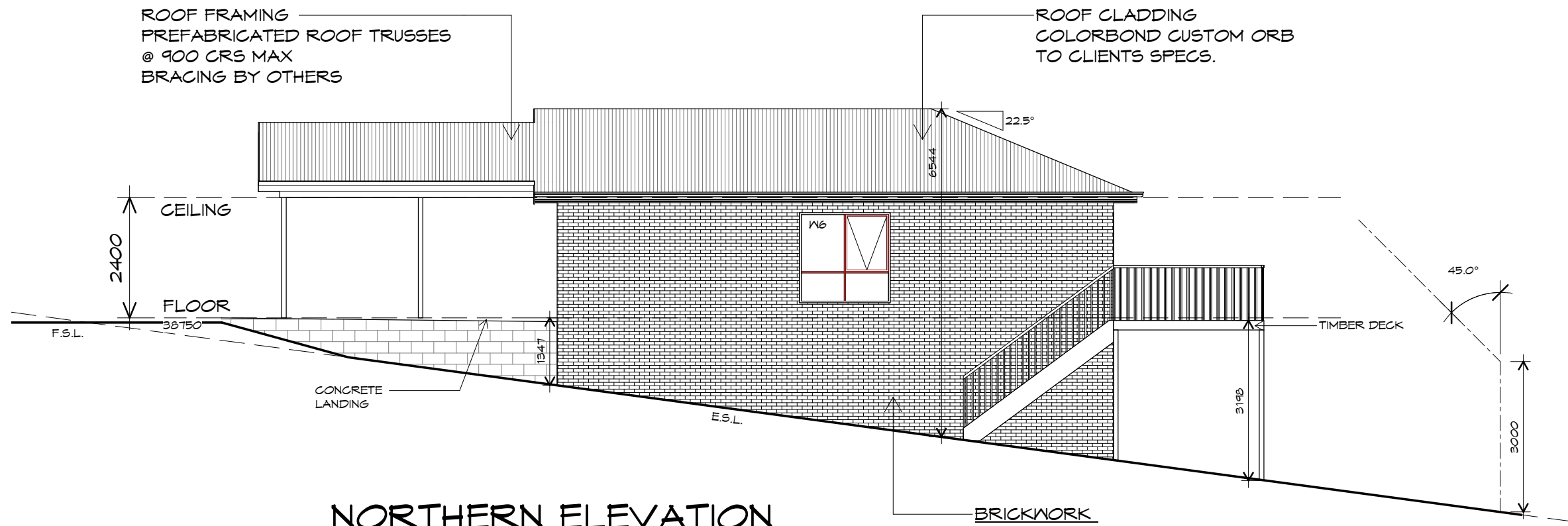
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Project:
**PROPOSED RESIDENTIAL
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TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

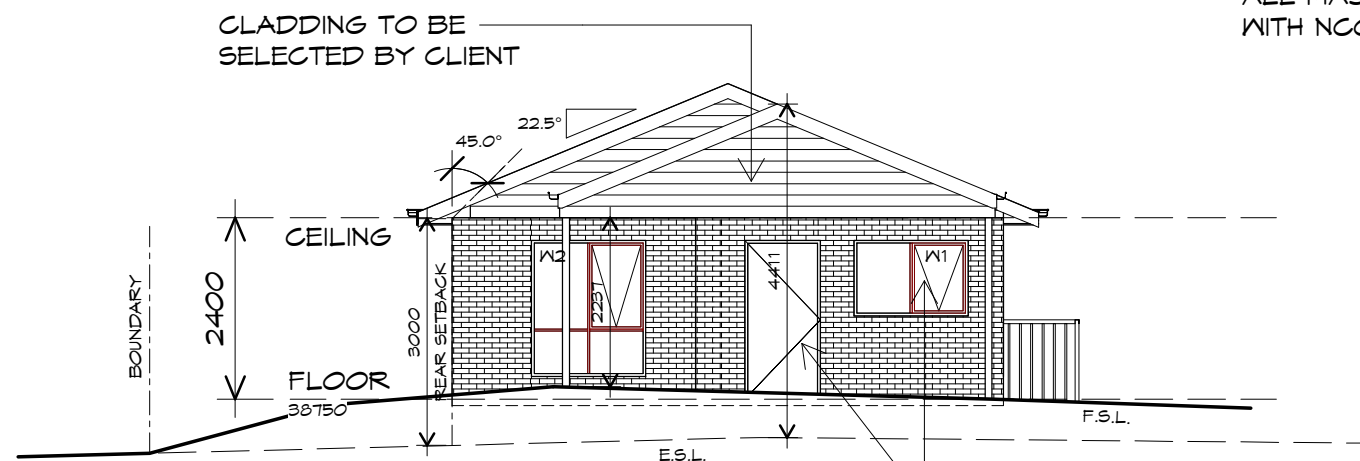
Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -10-02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



NORTHERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100

Architectural elevation drawing of a building facade. The drawing includes the following annotations:

- ROOF FRAMING**
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS
- ROOF CLADDING**
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.
- CEILING**
- FLOOR**
 38750
- DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3**
- Dimensions:**
 - Overall height: 2400
 - Roof slope: 22.5°
 - Roof height: 6462
 - Door height: 3071
 - Window height: 1386
 - Ground level: E.S.L.

1 : 100



1 : 100

UNIT 10

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Project:
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SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

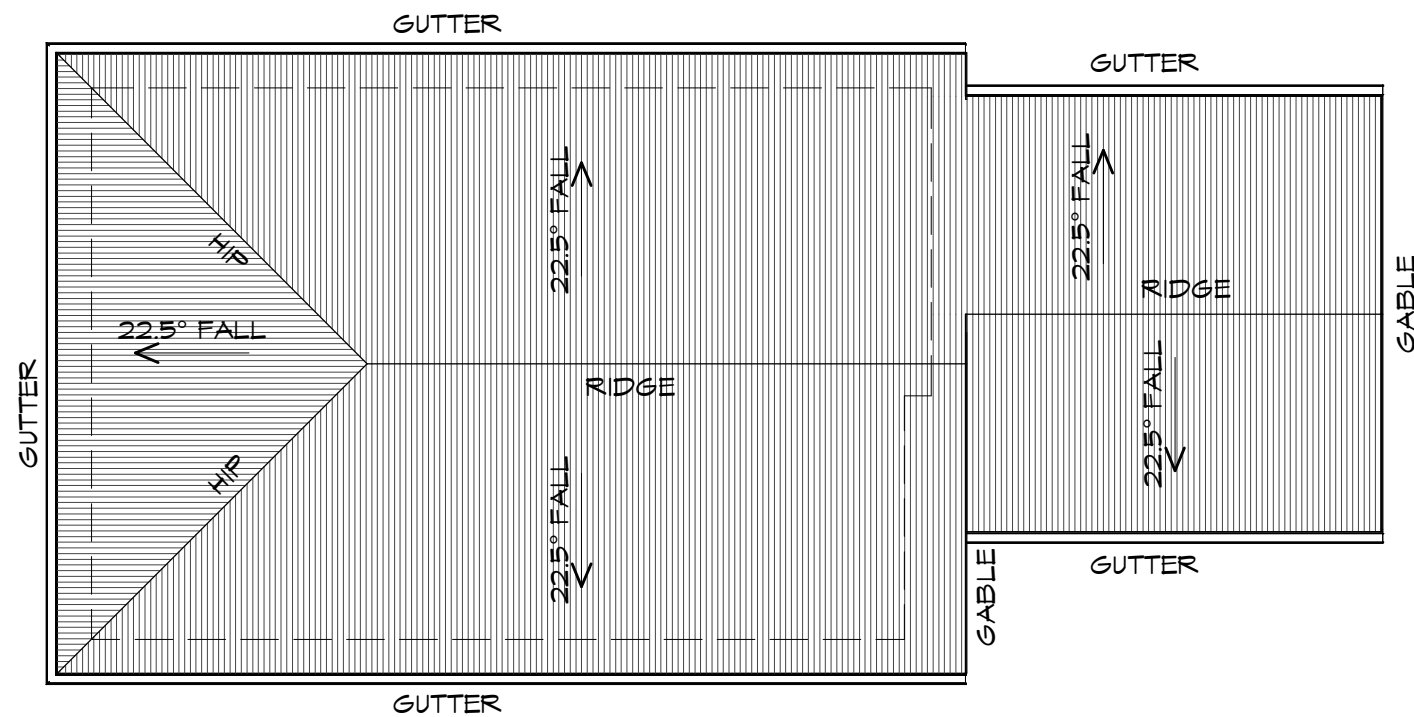
Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no:	Revision:
PD20313 -10-03	01
Accredited building practitioner: Frank Geskus -No CC246A	

PLANNING

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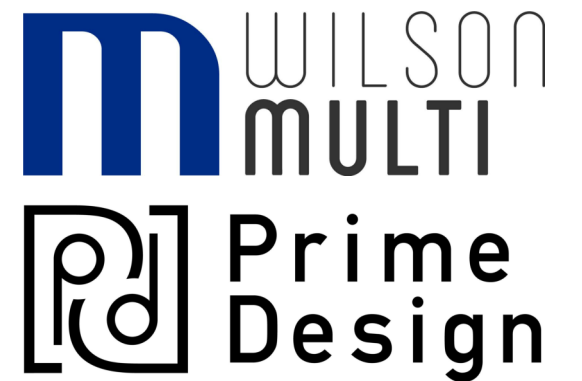


ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

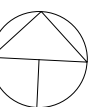


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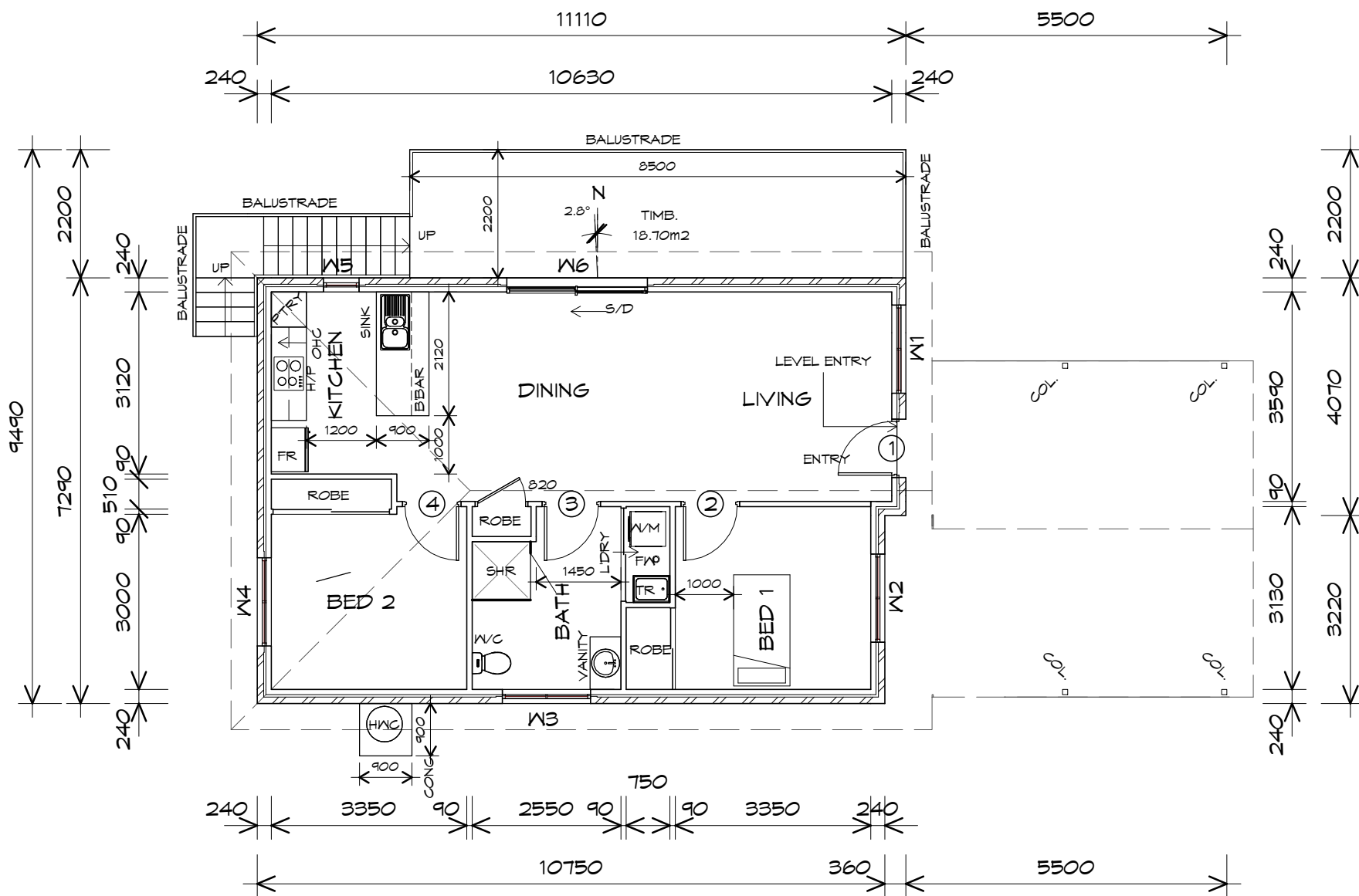
Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100



Project/Drawing no: PD20313 -10-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





FLOOR PLAN

1 : 100

LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240v SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- o^{FW} FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	78.56	m ²	(8.45 SQUARES)
PORCH AREA	4.24	m ²	(0.46 SQUARES)
	82.79		8.90

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1510	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	1800	1510	AWNING WINDOW	
W5	1800	610	AWNING WINDOW	
W6	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date: 12.01.2021
Scale: 1 : 100

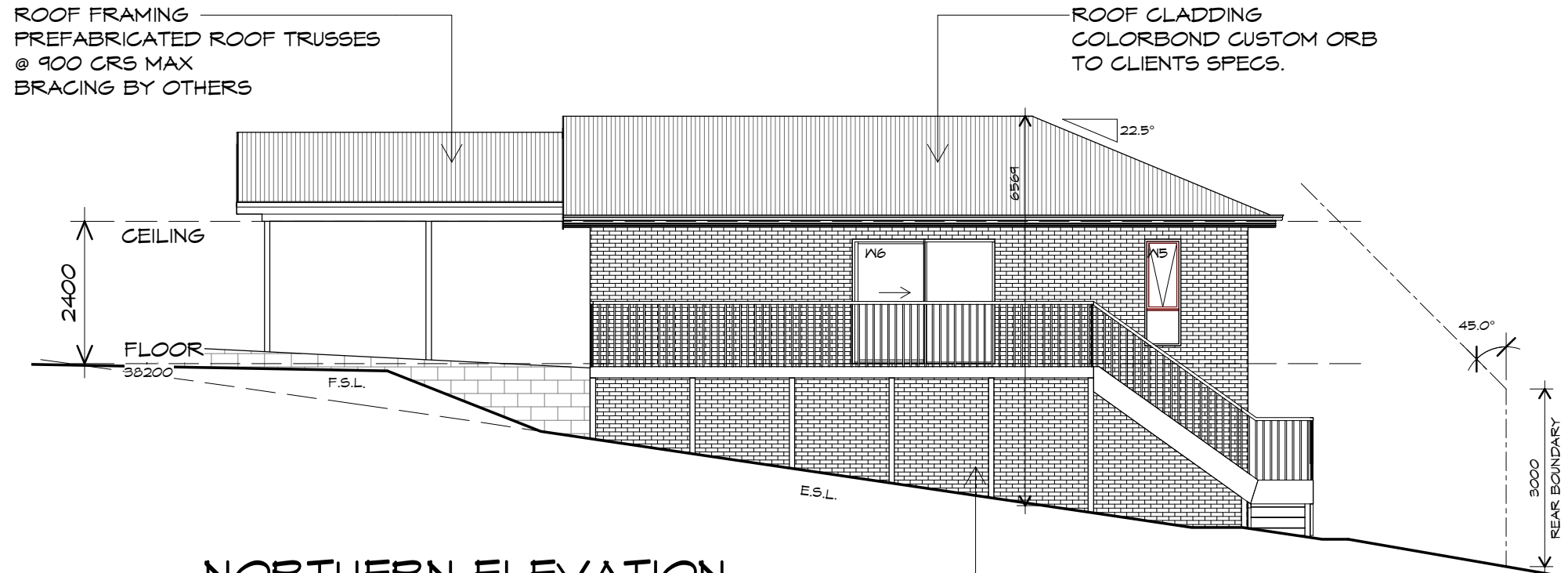
Project/Drawing no:
PD20313 11-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

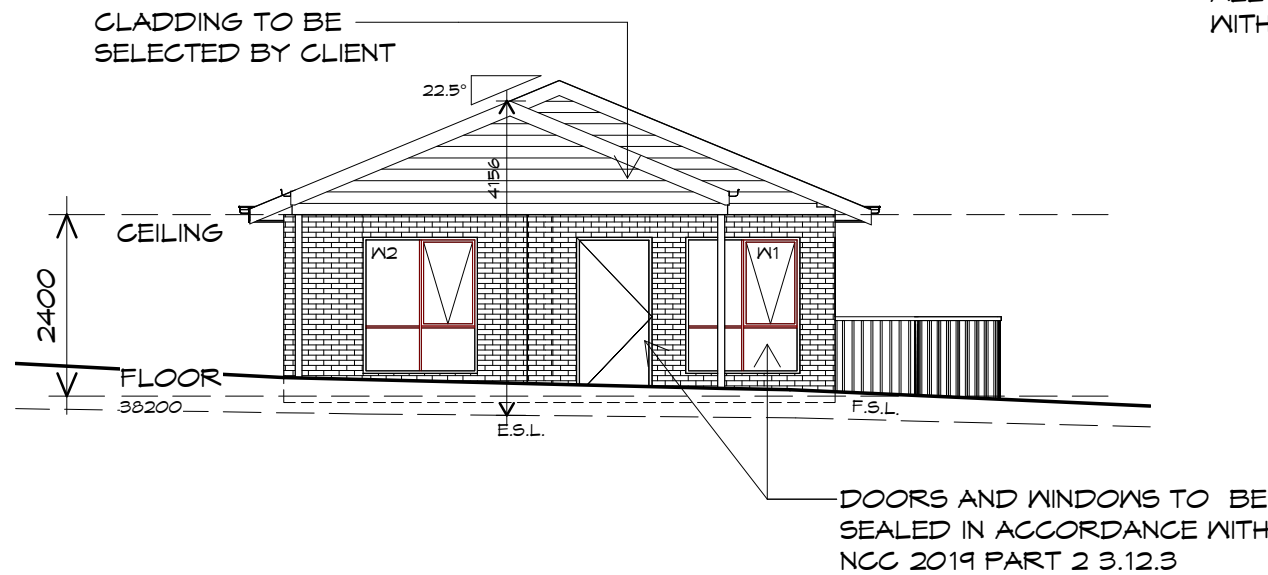
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NORTHERN ELEVATION

1 : 100

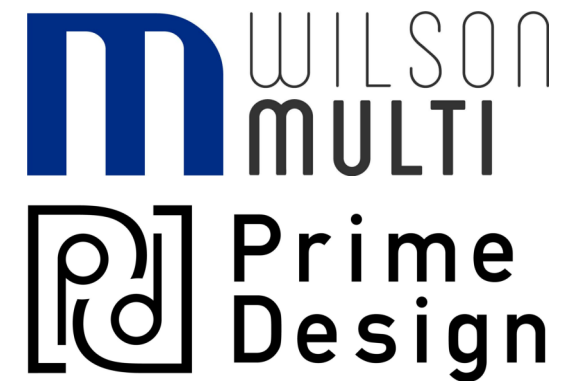


EASTERN ELEVATION

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
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SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

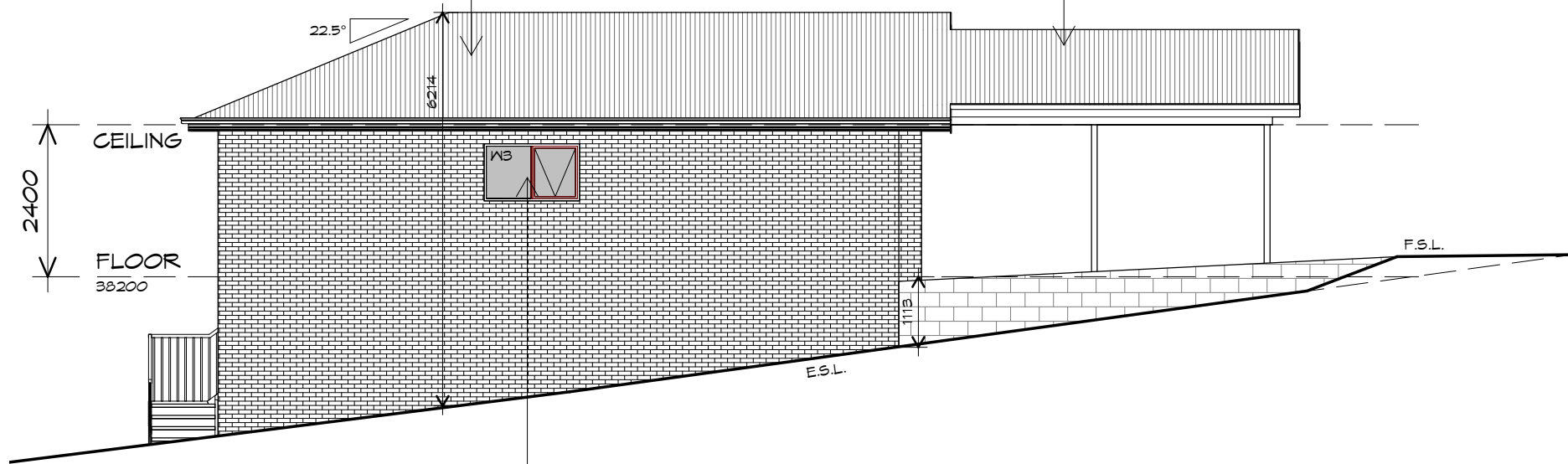
Drafted by: Author
Approved by: Approver
Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 -11-02
Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A



ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

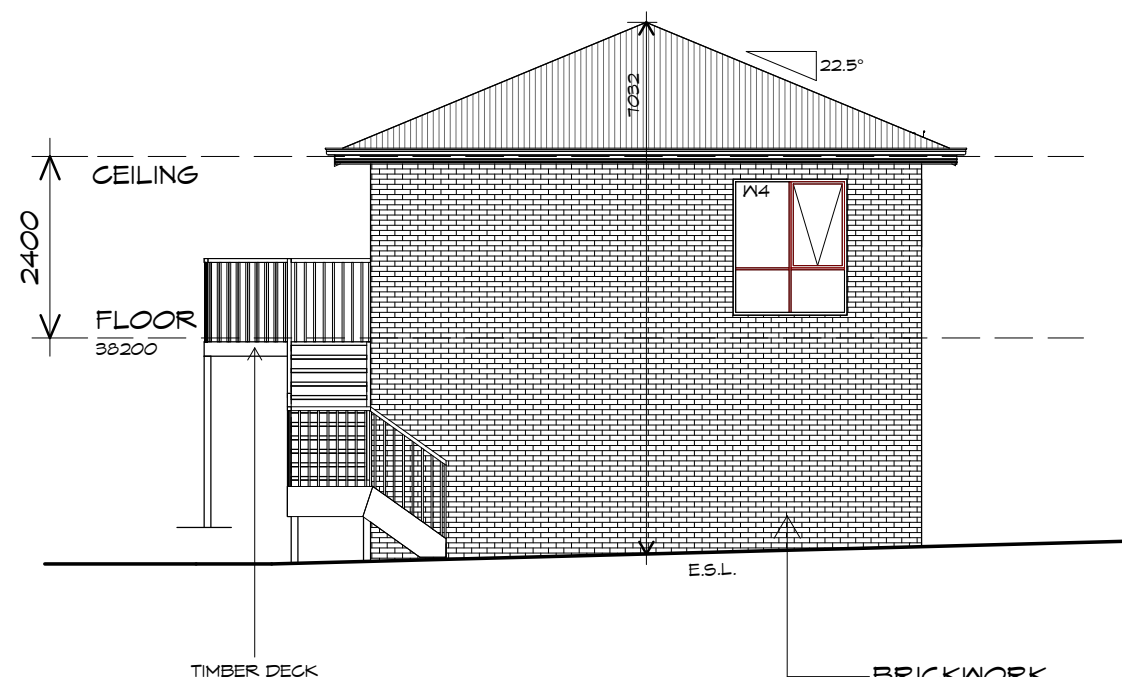
ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 NCC 2019 PART 2 3.12.3

SOUTHERN ELEVATION

1 : 100

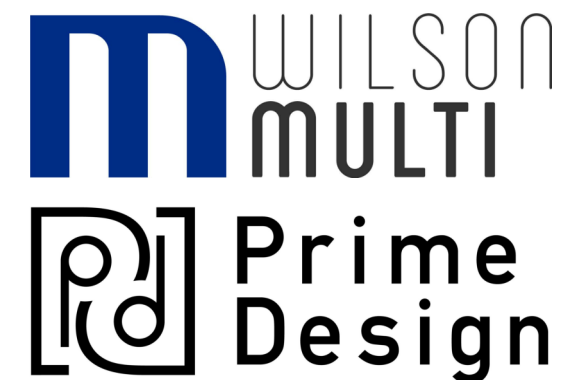


WESTERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS



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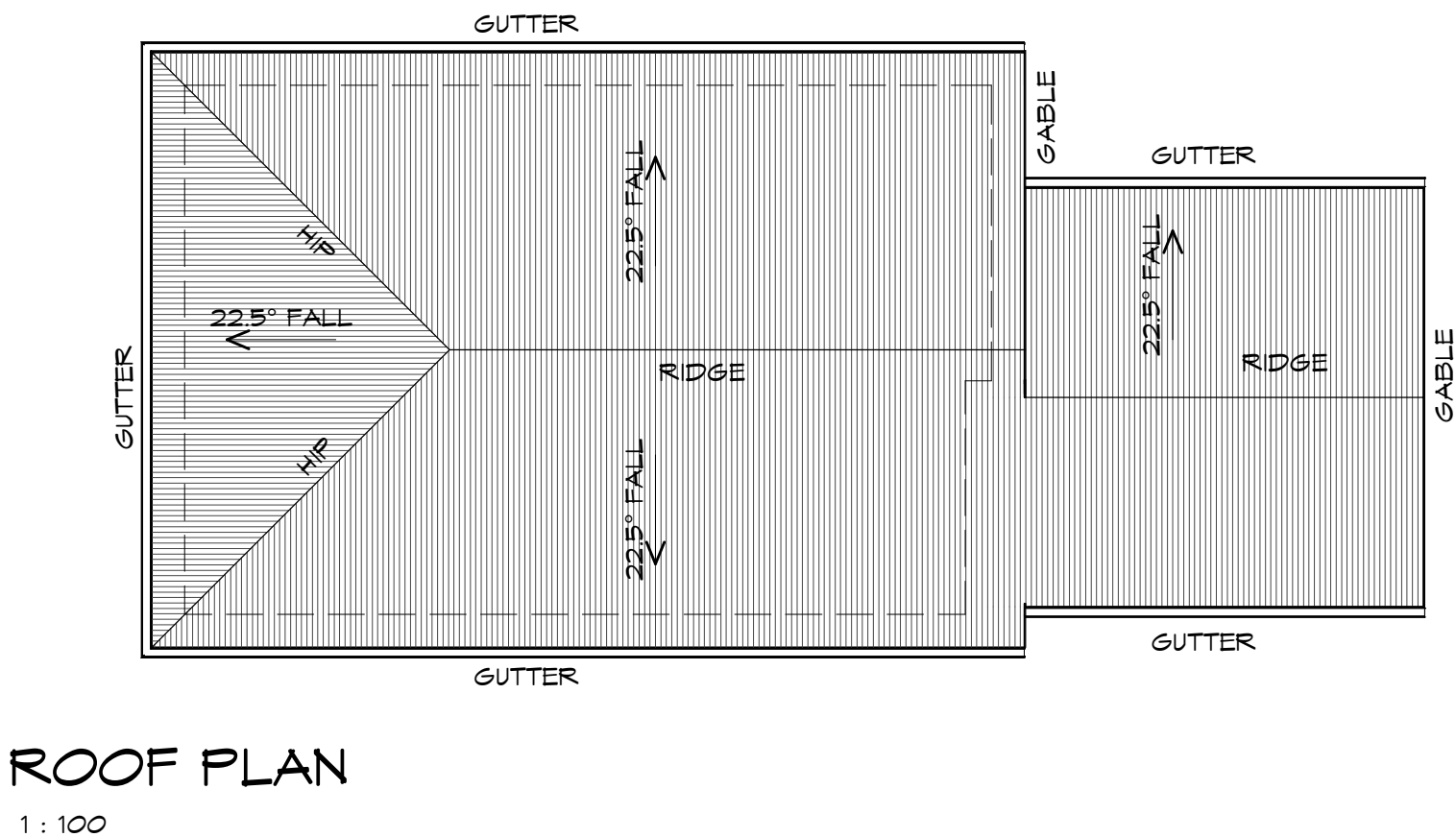
Project:
 PROPOSED RESIDENTIAL
 DEVELOPMENT
 SELWYN STREET,
 TRIABUNNA
 Client name:
 CENTACARE EVOLVE HOUSING

Drawing:
 ELEVATIONS

Drafted by:	Approved by:
Author	Approver
Date:	Scale:
12.01.2021	1 : 100

Project/Drawing no:	Revision:
PD20313 -11-03	01
Accredited building practitioner: Frank Geskus -No CC246A	





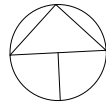
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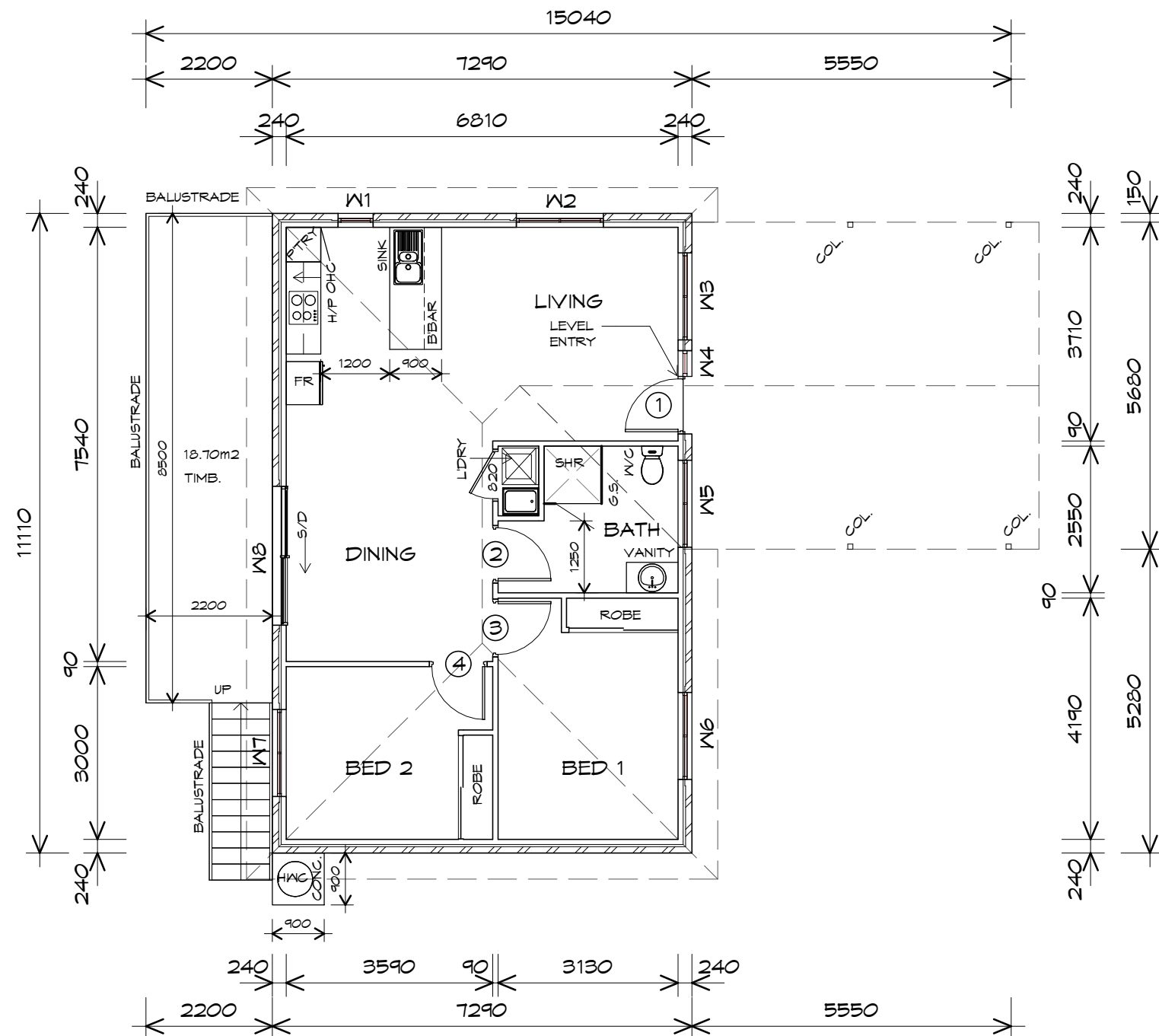
Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -11-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240V SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	79.97	m2	(8.60 SQUARES)
DECK AREA	19.72	m2	(2.12 SQUARES)
	99.69		10.72

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	610	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	1800	1510	AWNING WINDOW	
W4	2100	450	FIXED WINDOW	
W5	900	1510	AWNING WINDOW	
W6	1800	1510	AWNING WINDOW	
W7	1800	1510	AWNING WINDOW	
W8	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no:
PD20313 12-01

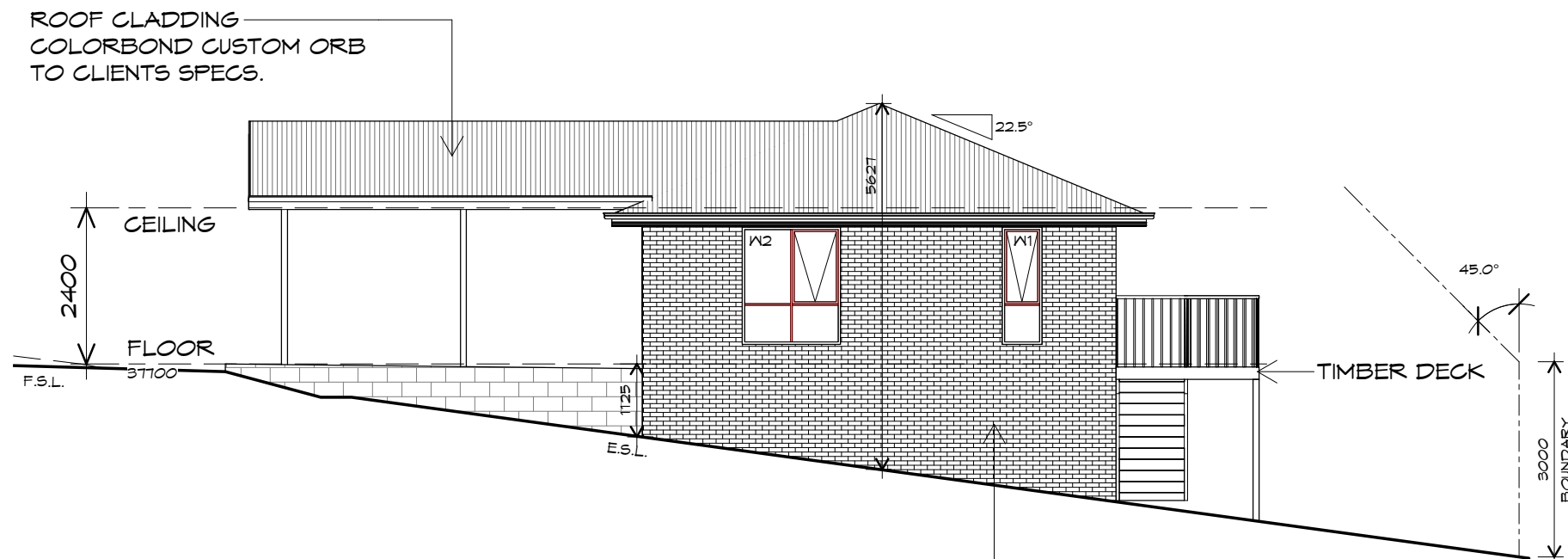
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

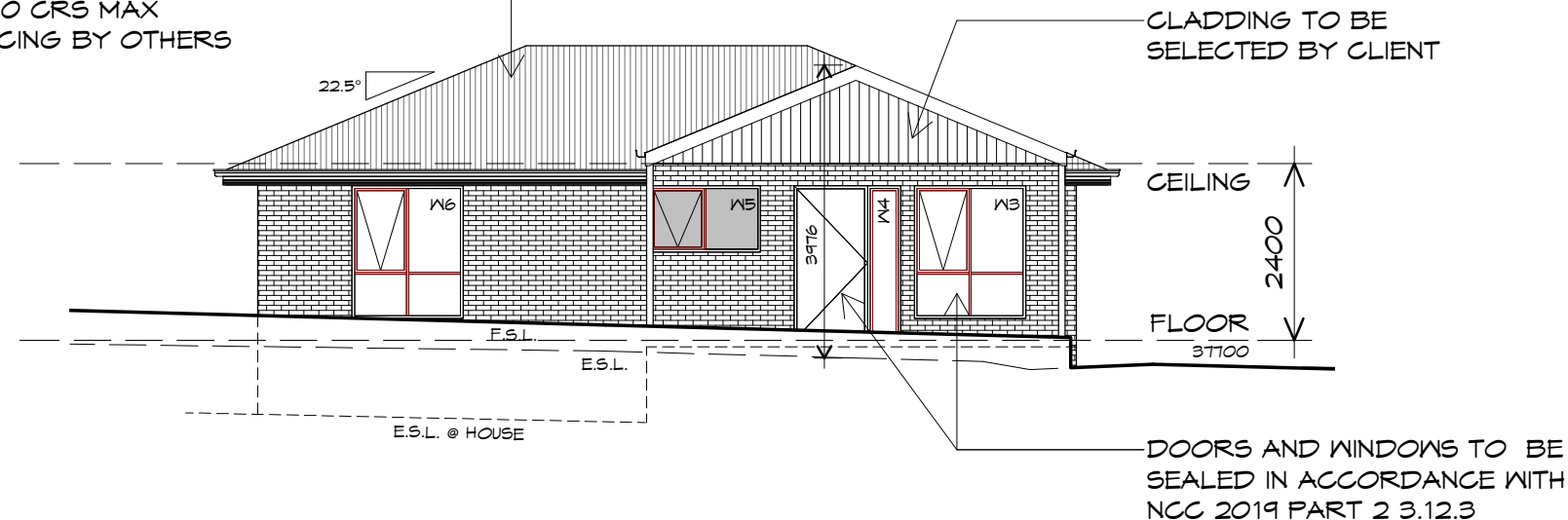




NORTHERN ELEVATION

1 : 100

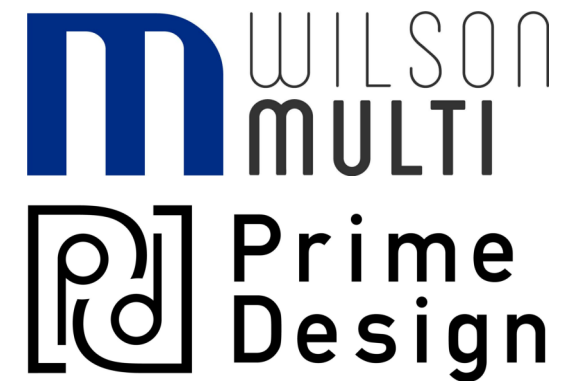
ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS



EASTERN ELEVATION

1 : 100

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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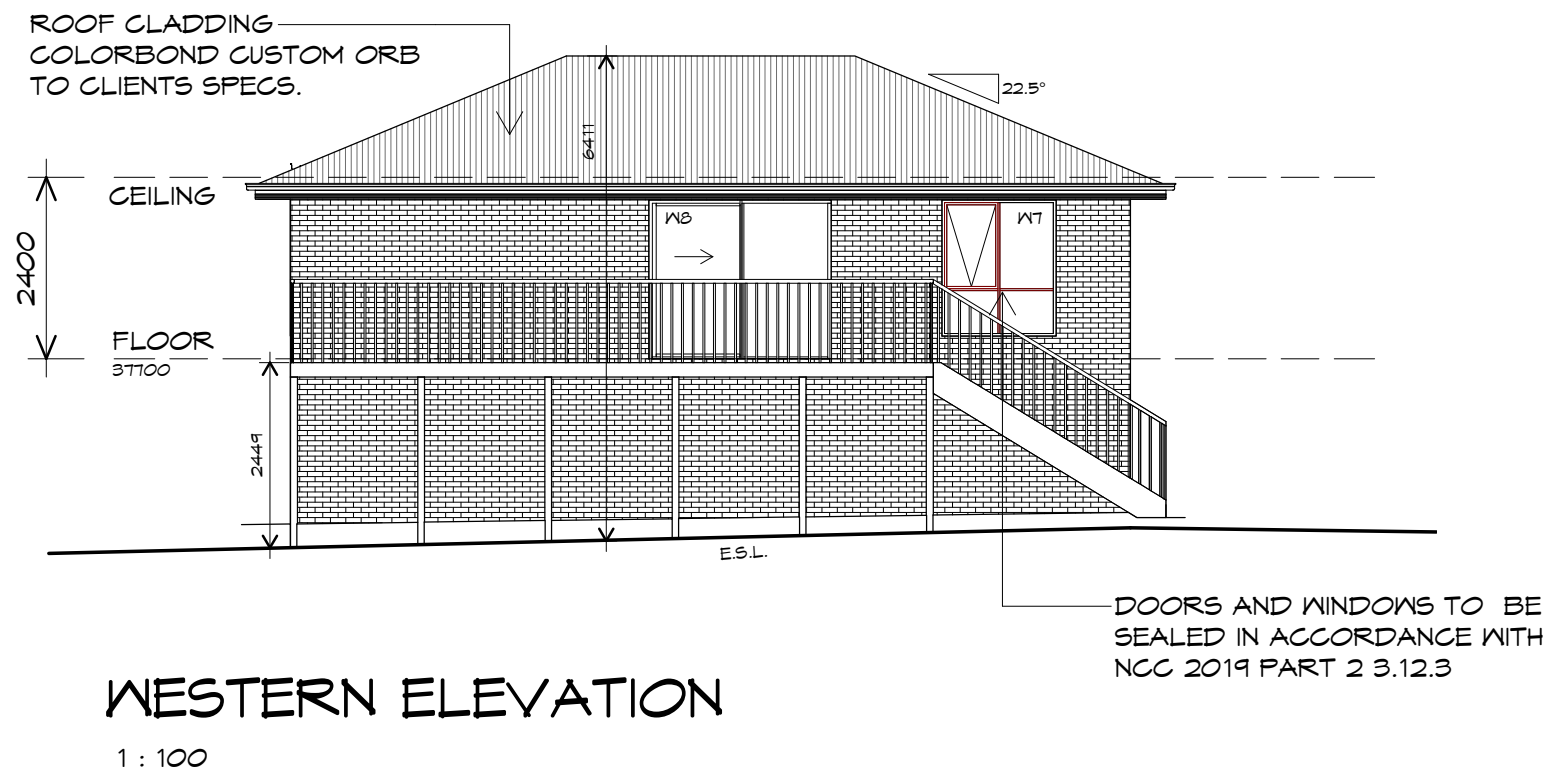
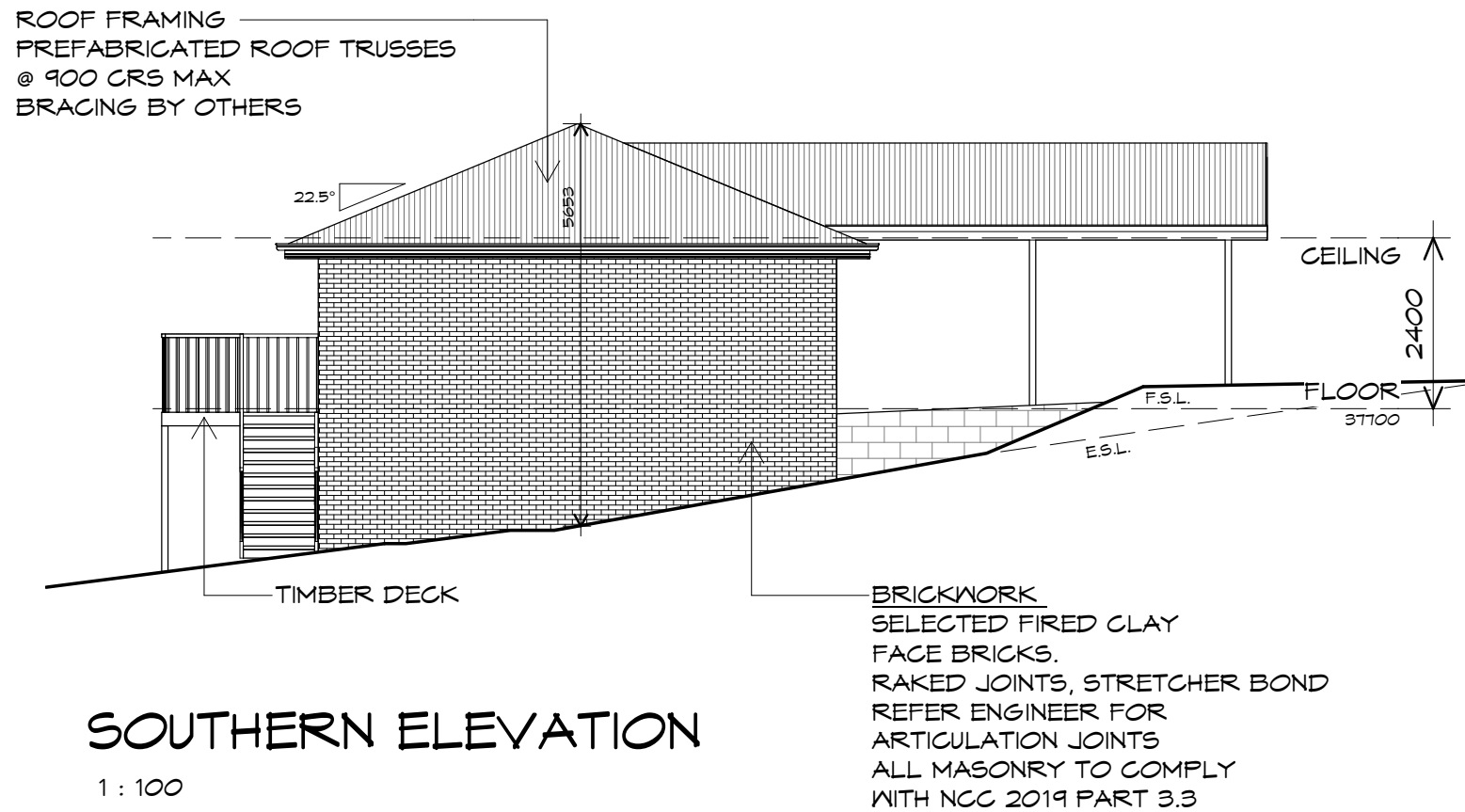
Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

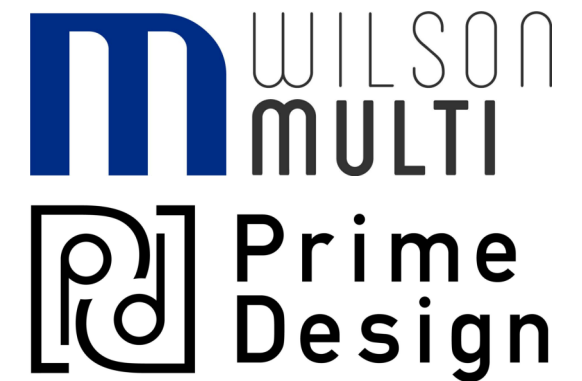
Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -12-02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





PLANNING
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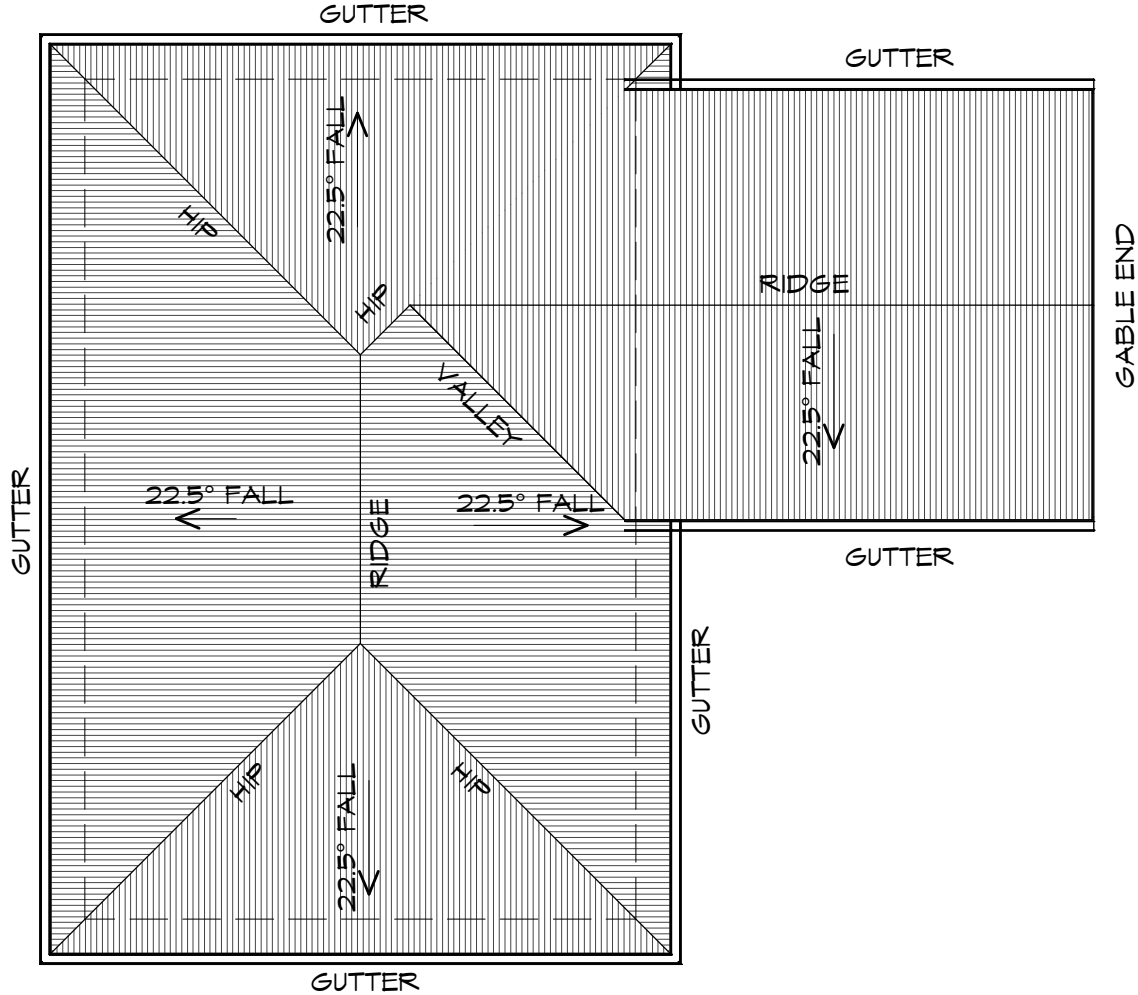
Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -12-03	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	





ROOF PLAN
1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

WILSON

MULTI

Prime

Design

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TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

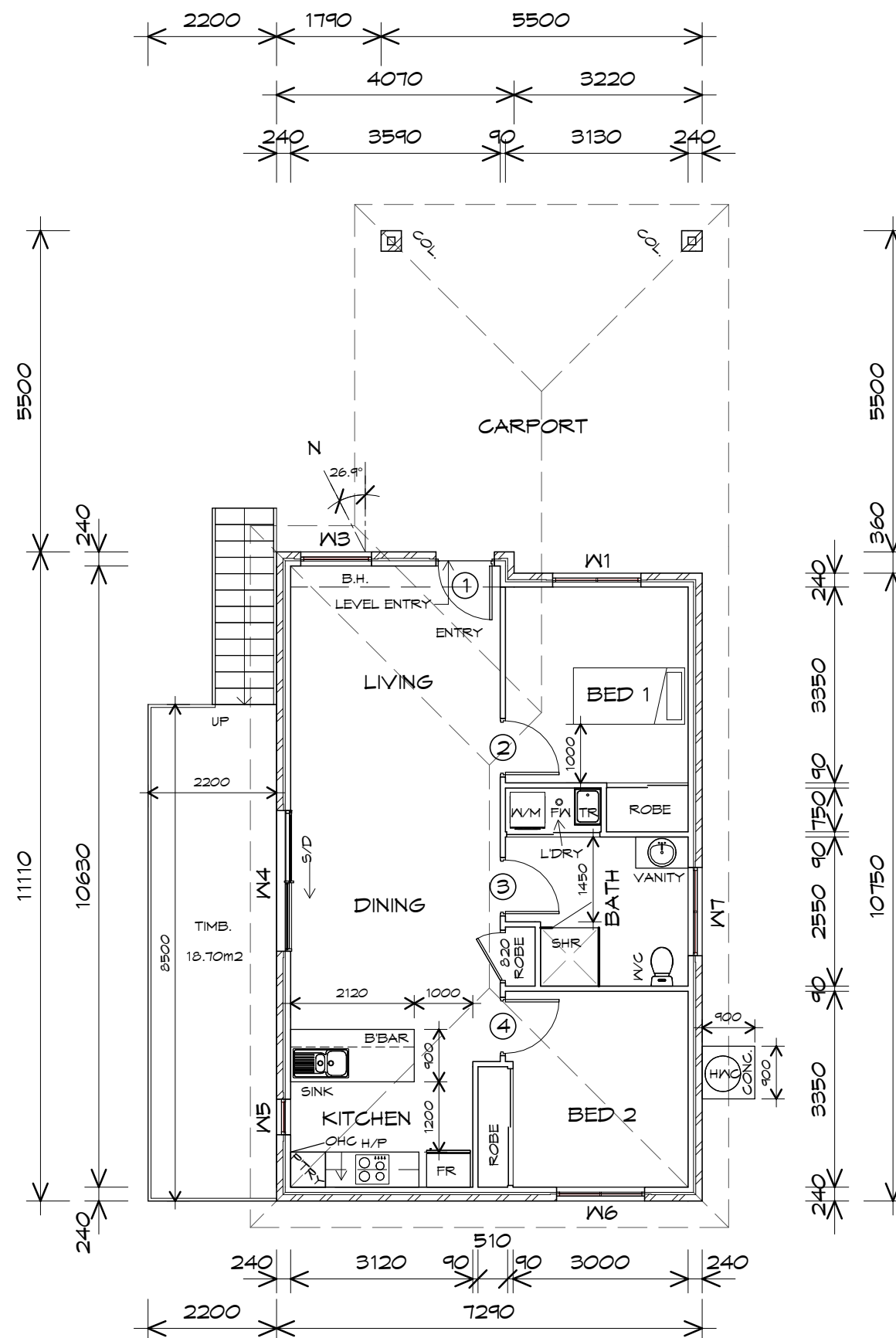
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Date:	Scale:	
12.01.2021	1 : 100	

Project/Drawing no: PD20313 -12-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

FLOOR PLAN

1 : 100



LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240V SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- o FW FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	74.99	m2	(8.06 SQUARES)
CARPORT AREA	32.11	m2	(3.45 SQUARES)
	107.09		11.52

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	ALUMINIUM
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1510	AWNING WINDOW	
W3	1800	1210	AWNING WINDOW	
W4	2100	2410	SLIDING DOOR	
W5	1800	610	AWNING WINDOW	
W6	1800	1510	AWNING WINDOW	
W7	900	1510	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date:
12.01.2021

Scale:
1 : 100

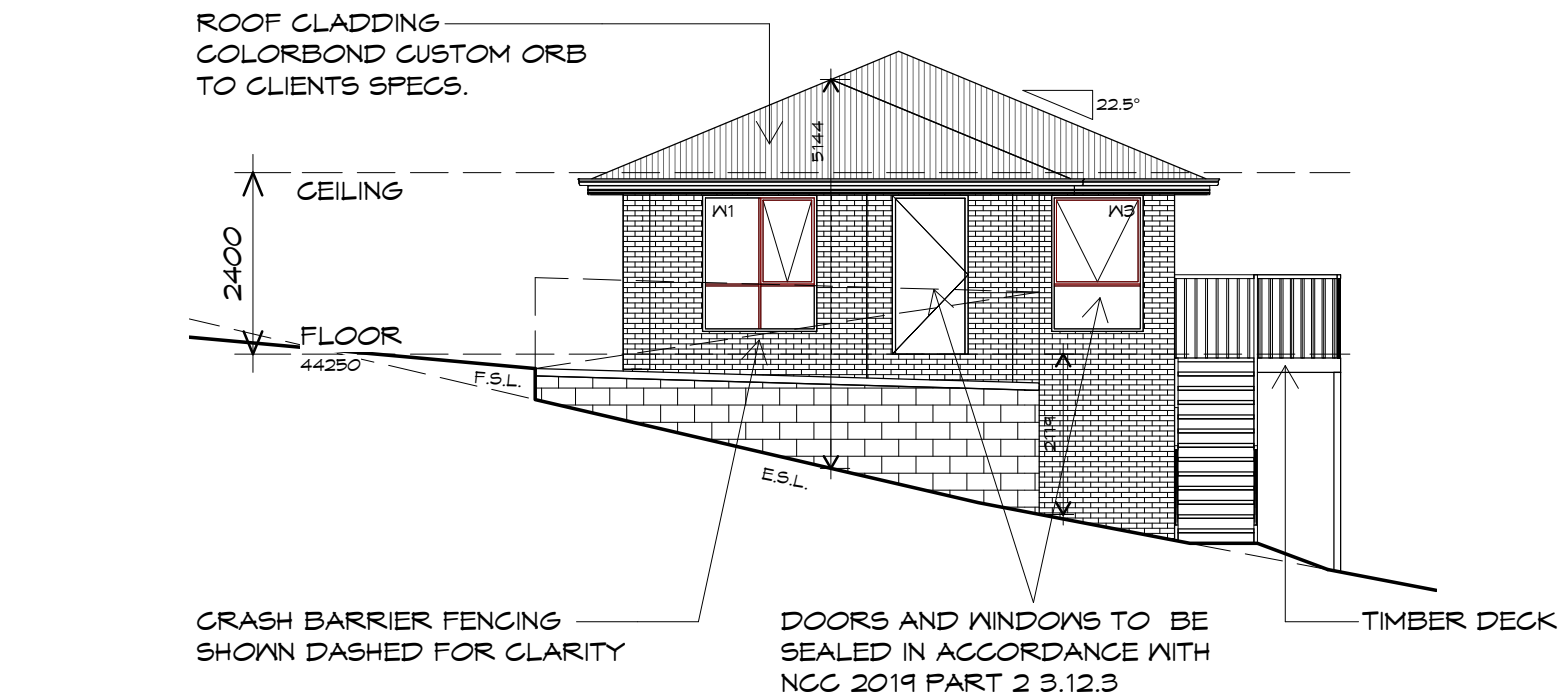
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Revision:
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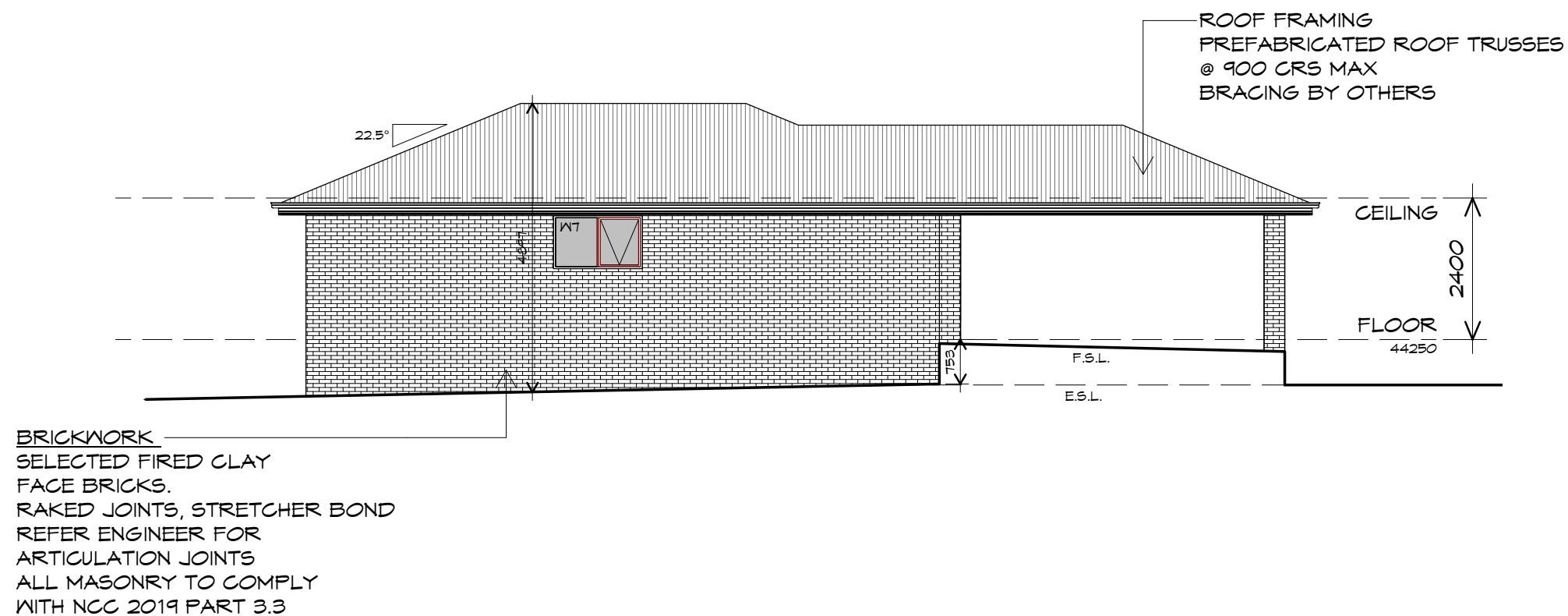
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PLANNING

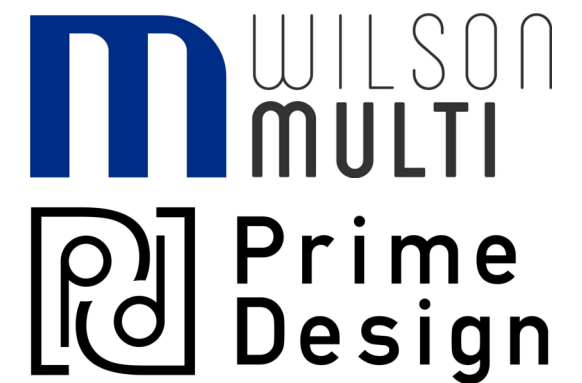
NOTE: DO NOT SCALE OFF DRAWINGS



NORTHERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100



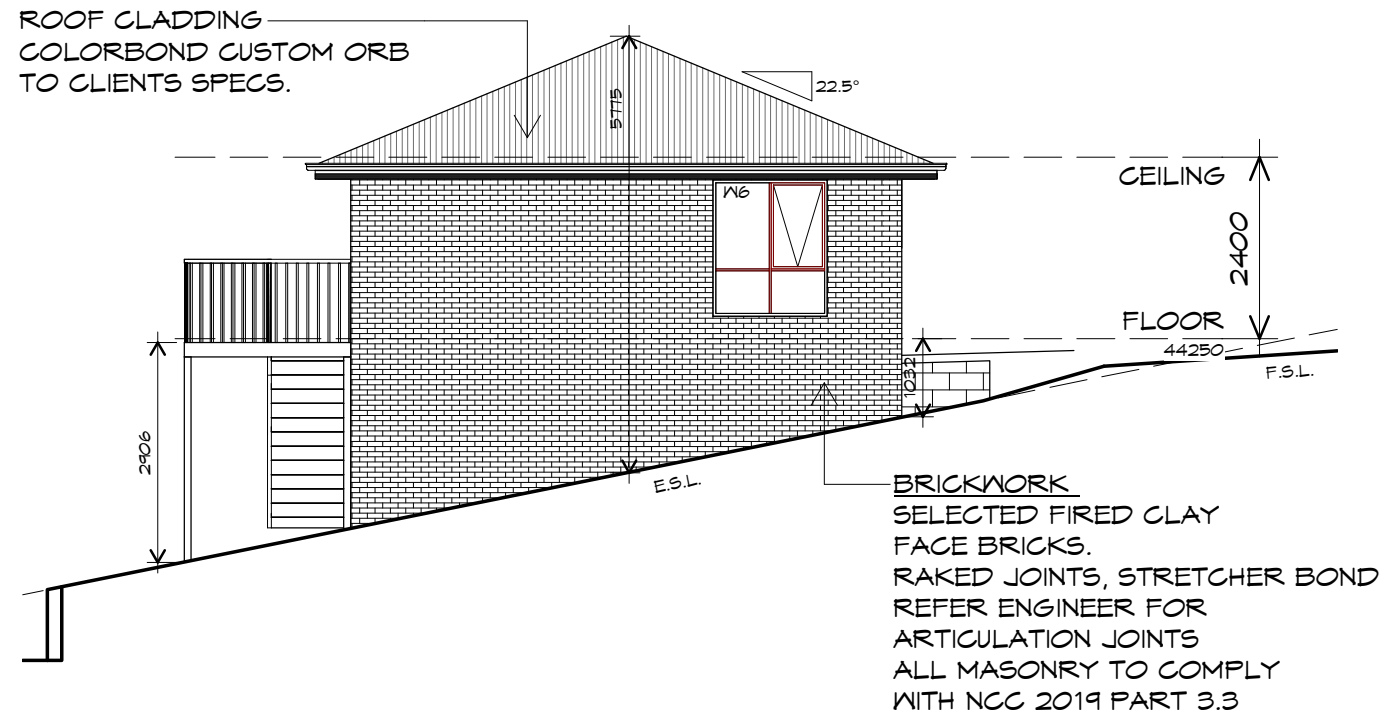
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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED RESIDENTIAL
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TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

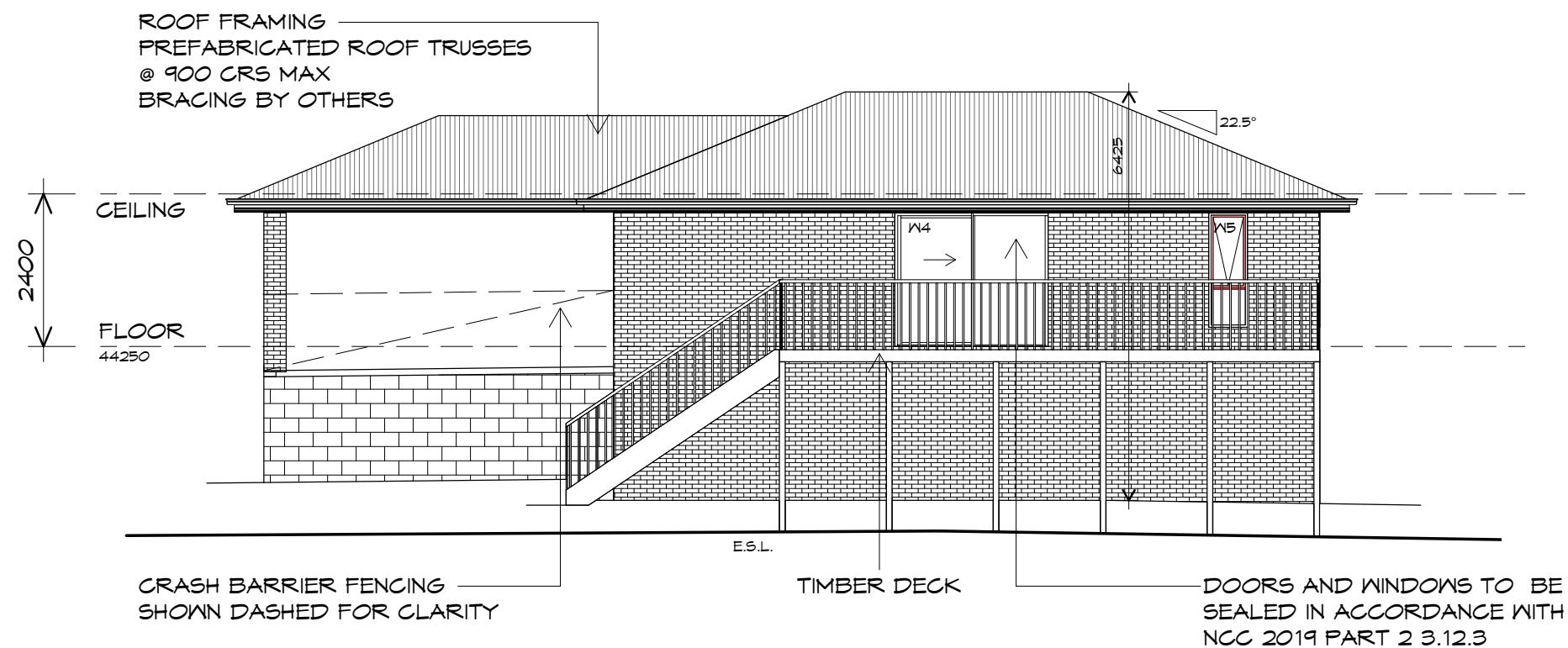
Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -13-02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



SOUTHERN ELEVATION

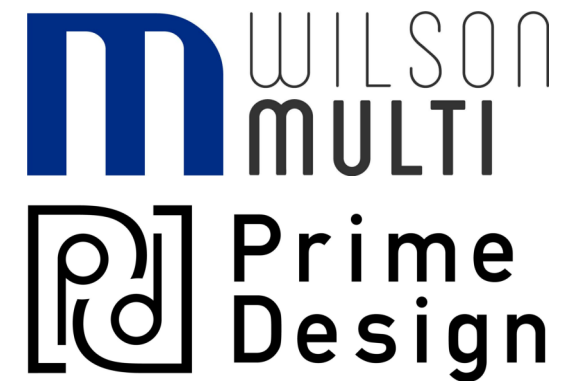
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WESTERN ELVATION

1 : 100

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
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TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

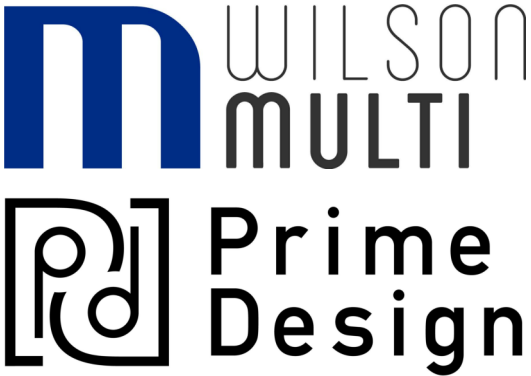
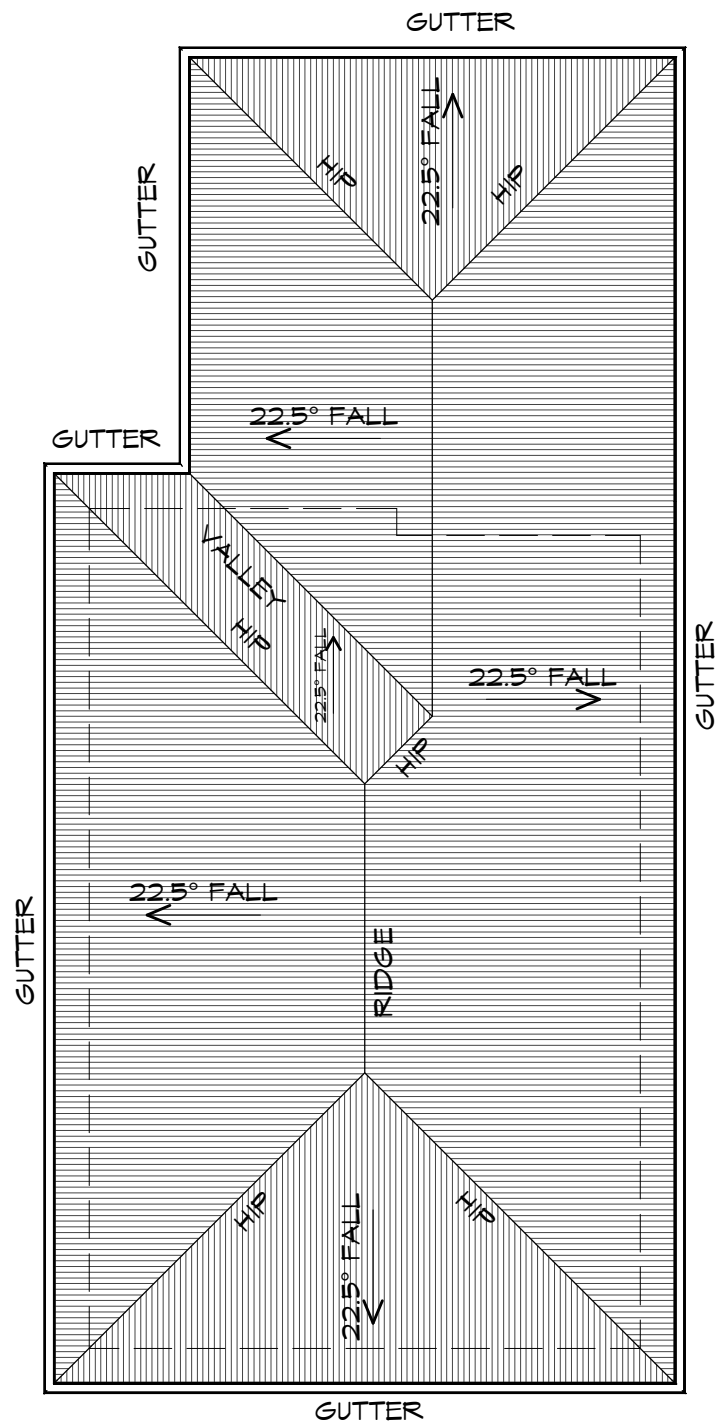
Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -13-03	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF PLAN
1 : 100

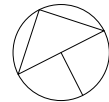


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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ROOF PLAN

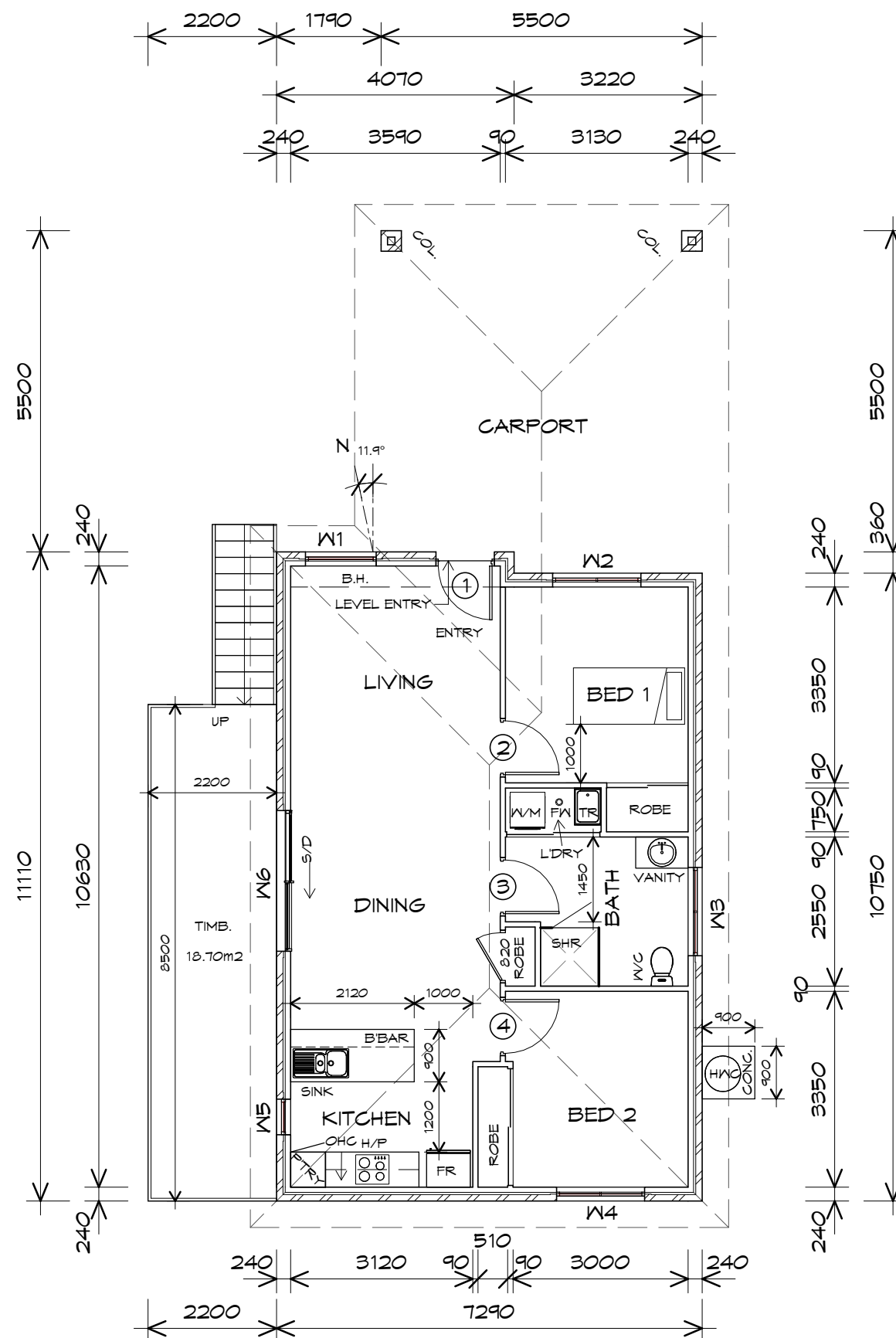
Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100



Project/Drawing no: PD20313 -13-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	

FLOOR PLAN

1 : 100



LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240V SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- (F/W) FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	74.99	m2	(8.06 SQUARES)
CARPORT AREA	32.11	m2	(3.45 SQUARES)
	107.09		11.52

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1210	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	1800	1510	AWNING WINDOW	
W5	1800	610	AWNING WINDOW	
W6	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY WITH LHA SILVER



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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date:
12.01.2021

Scale:
1 : 100

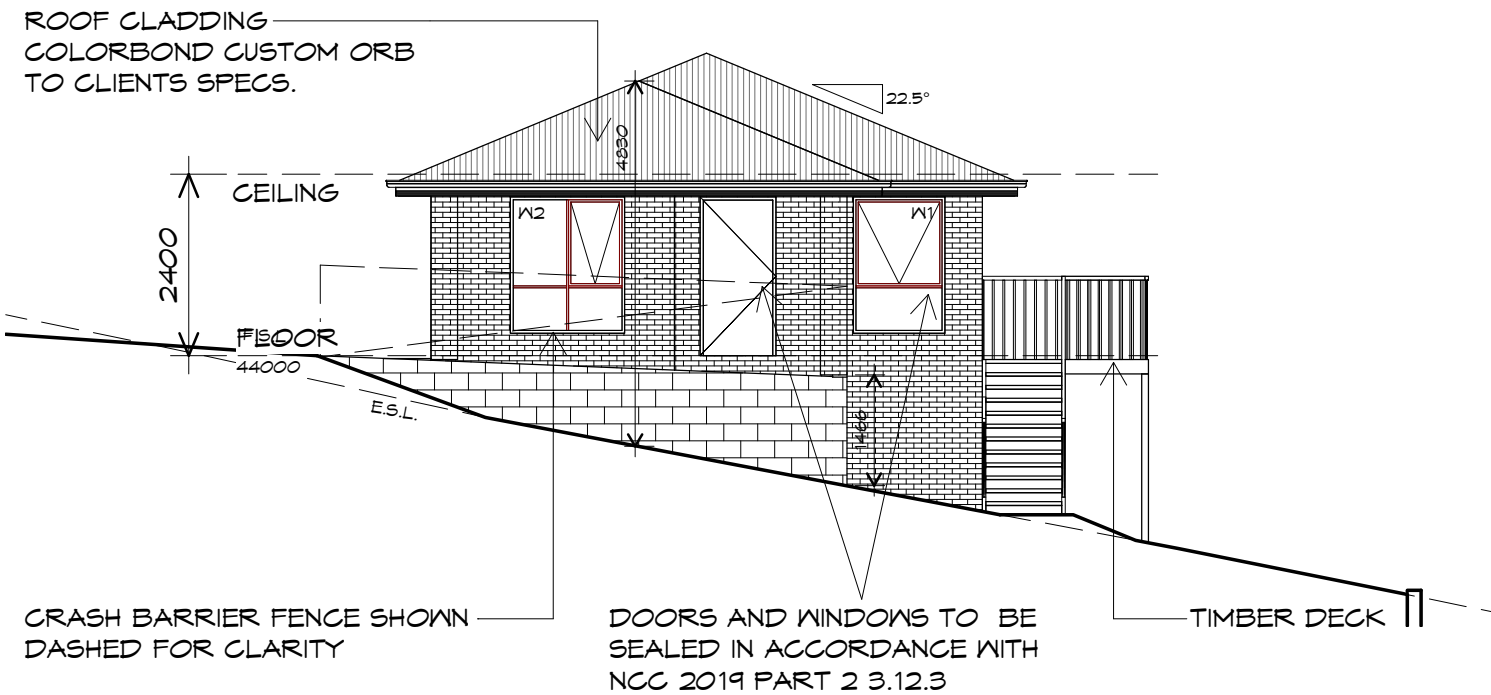
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PD20313 14-01

Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

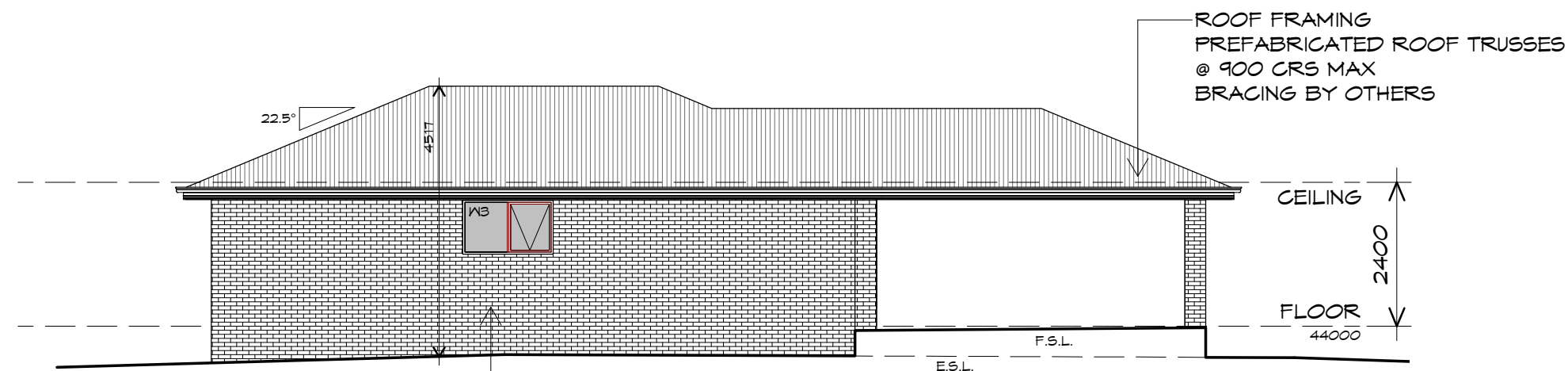
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NORTHERN ELEVATION

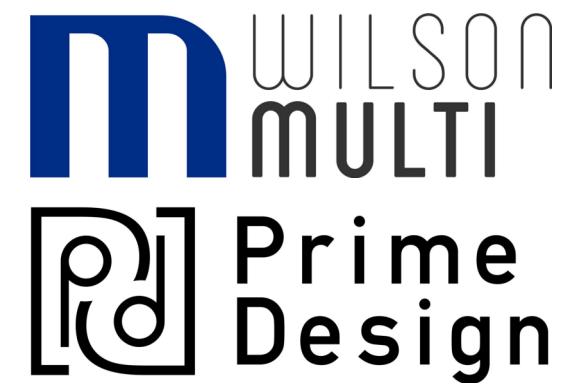
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BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

EASTERN ELEVATION

1 : 100



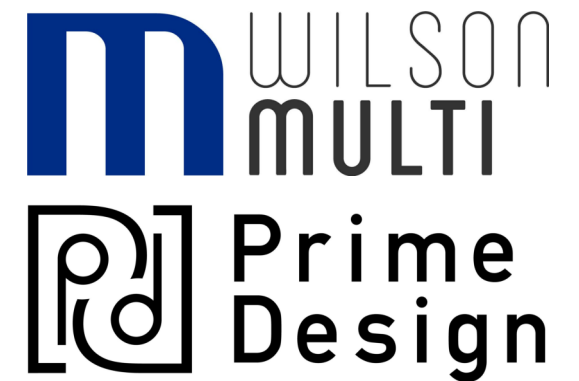
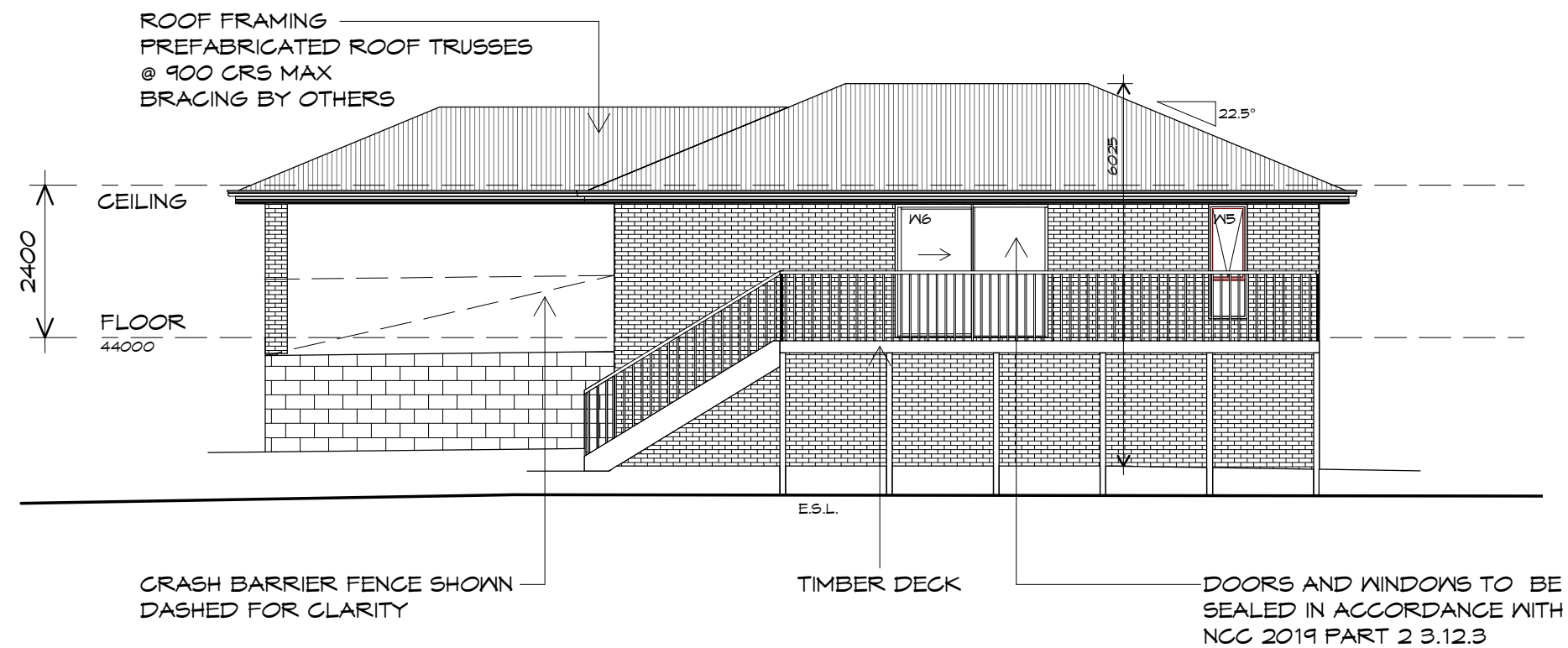
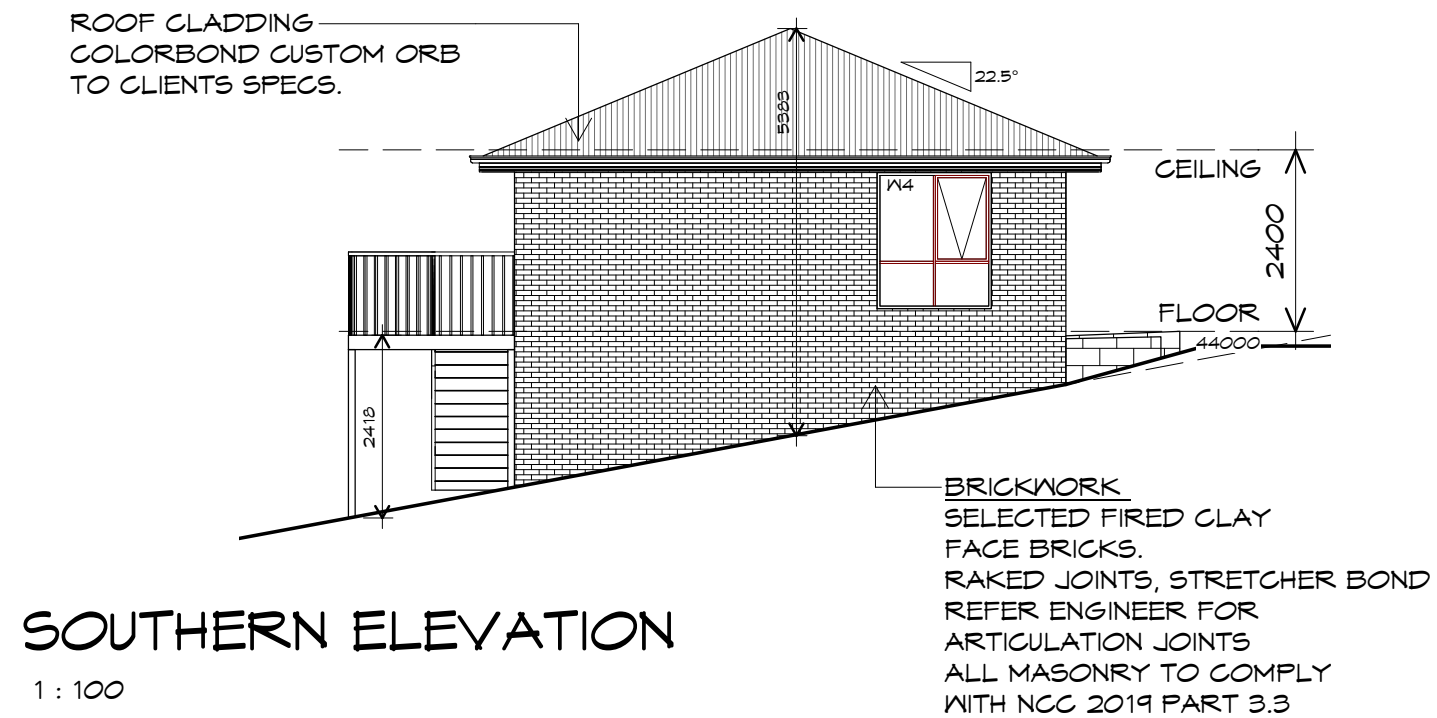
10 Goodman Court, Invermay Tasmania 7248,
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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA**
Client name:
CENTACARE EVOLVE HOUSING

Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -14-02	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



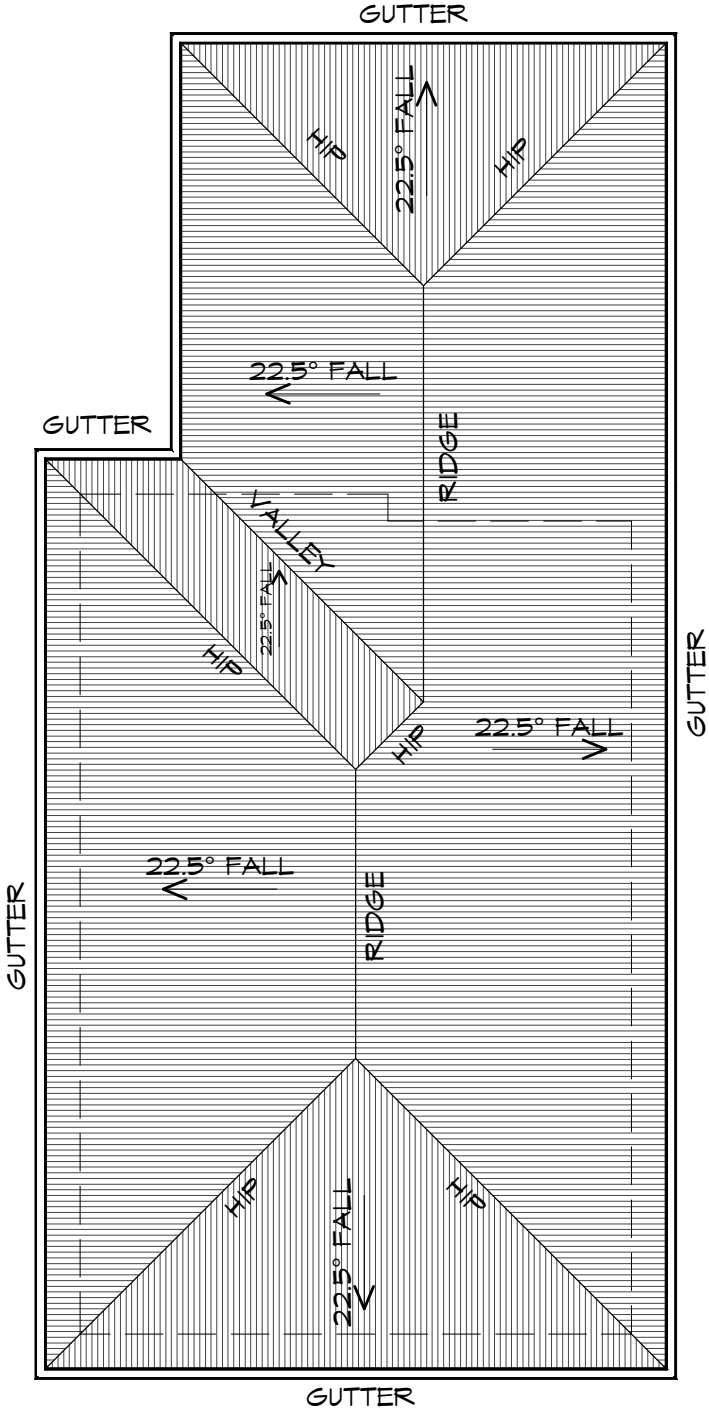
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Project:
**PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
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Client name:
CENTACARE EVOLVE HOUSING

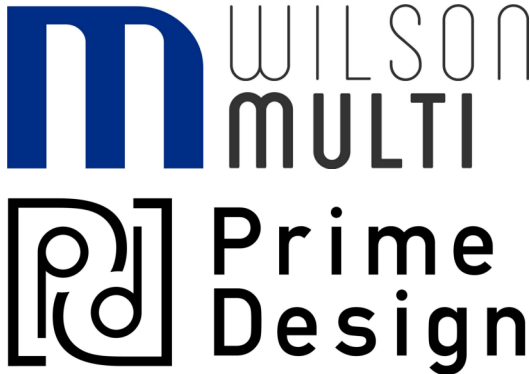
Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -14-03	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF PLAN
1 : 100

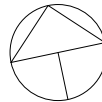


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Project:
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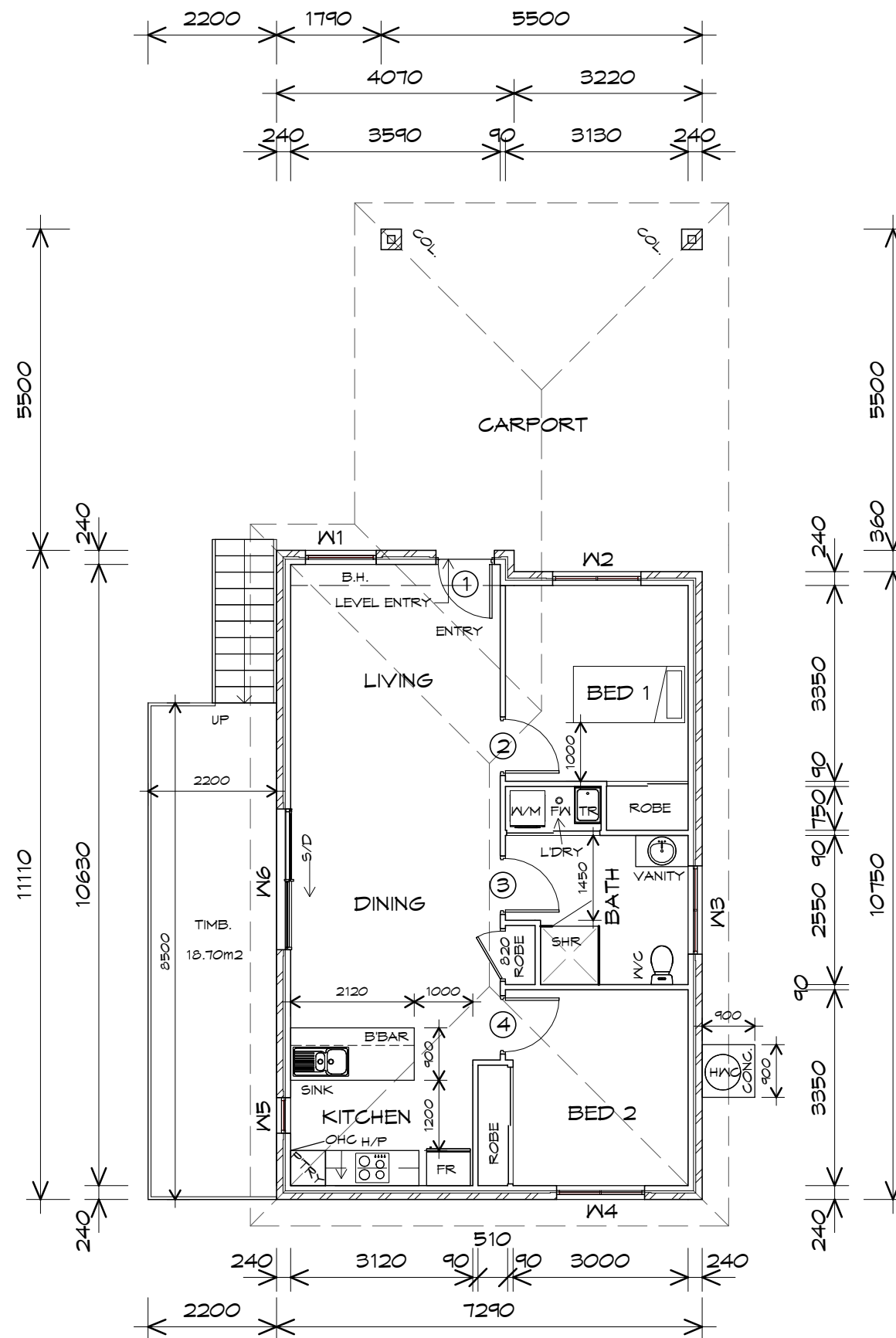
Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100



FLOOR PLAN

1 : 100



LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S/L) 240V SMOKE ALARM
- B.H. BULK HEAD
- S/D SLIDING DOOR
- (F.W) FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- HWC HOT WATER CYLINDER

FLOOR AREA	74.99	m2	(8.06 SQUARES)
CARPORT AREA	32.40	m2	(3.48 SQUARES)
	107.39		11.55

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	920	INTERNAL TIMBER DOOR	
3	920	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1210	AWNING WINDOW	
W2	1800	1510	AWNING WINDOW	
W3	900	1510	AWNING WINDOW	OPAQUE
W4	1800	1510	AWNING WINDOW	
W5	1800	610	AWNING WINDOW	
W6	2100	2410	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: TO COMPLY LHA SILVER



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Project:
PROPOSED RESIDENTIAL
DEVELOPMENT
SELWYN STREET,
TRIABUNNA
Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

Date:
12.01.2021

Scale:
1 : 100

Project/Drawing no:
PD20313 15-01

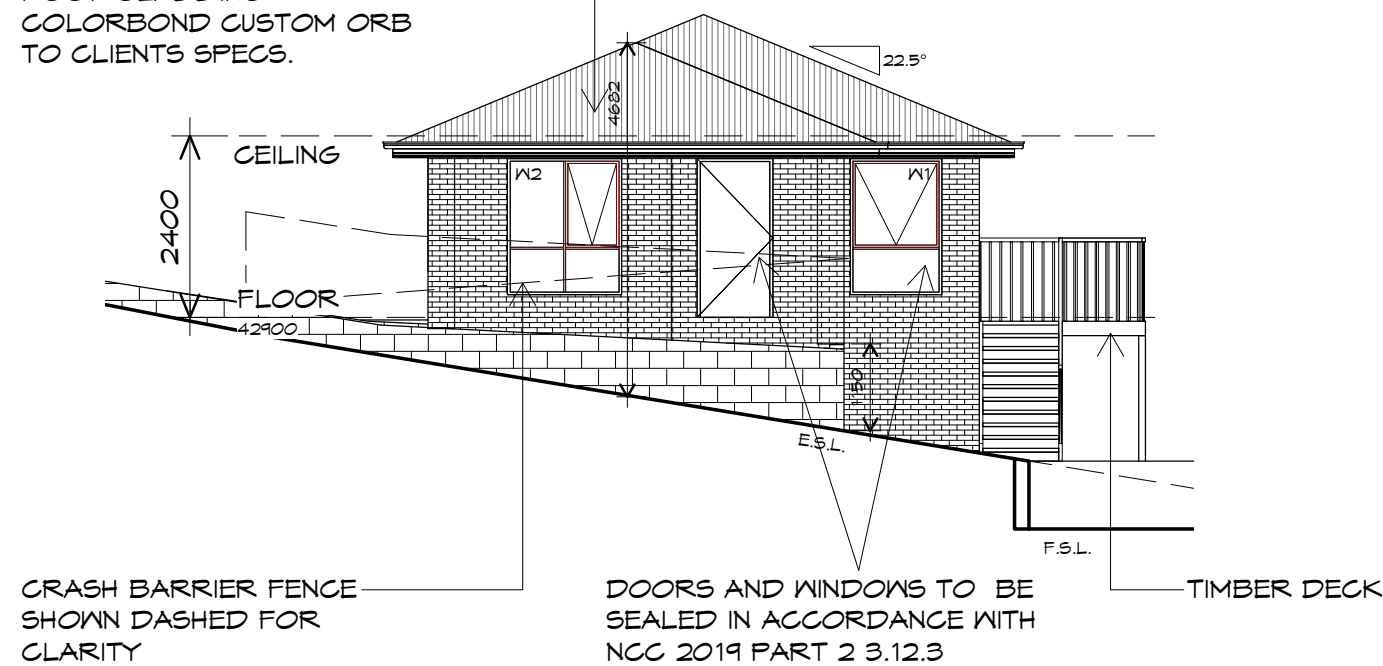
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

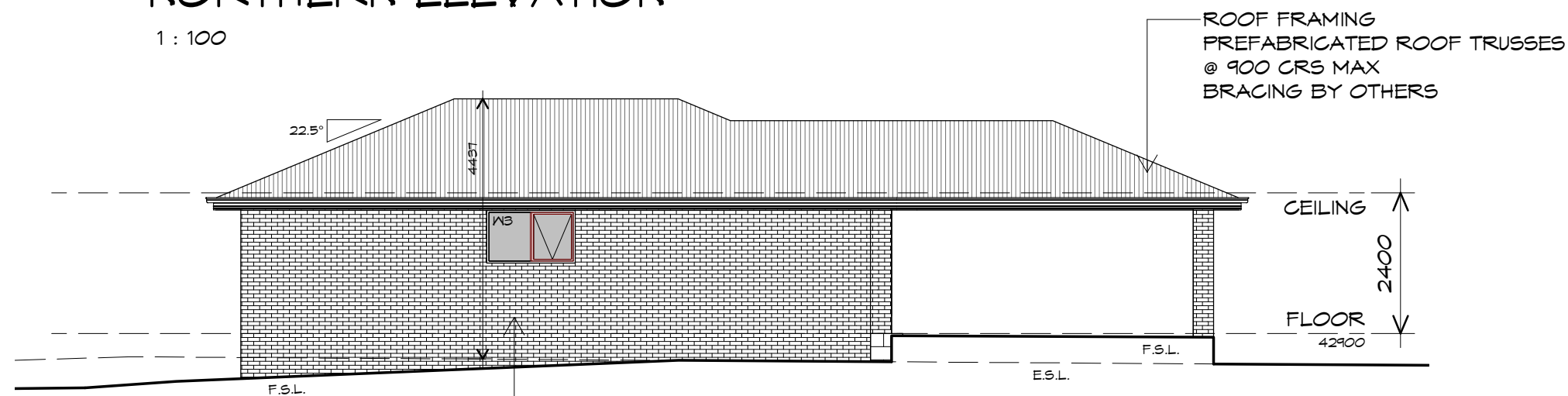
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ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



NORTHERN ELEVATION

1 : 100



BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

EASTERN ELEVATION

1 : 100

WILSON
MULTI
Prime
Design

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info@primedesigntas.com.au primedesigntas.com.au

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Client name:
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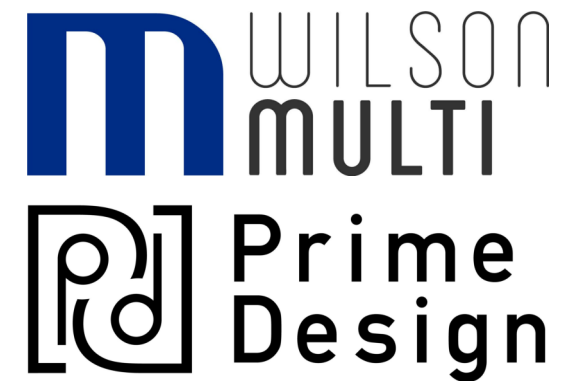
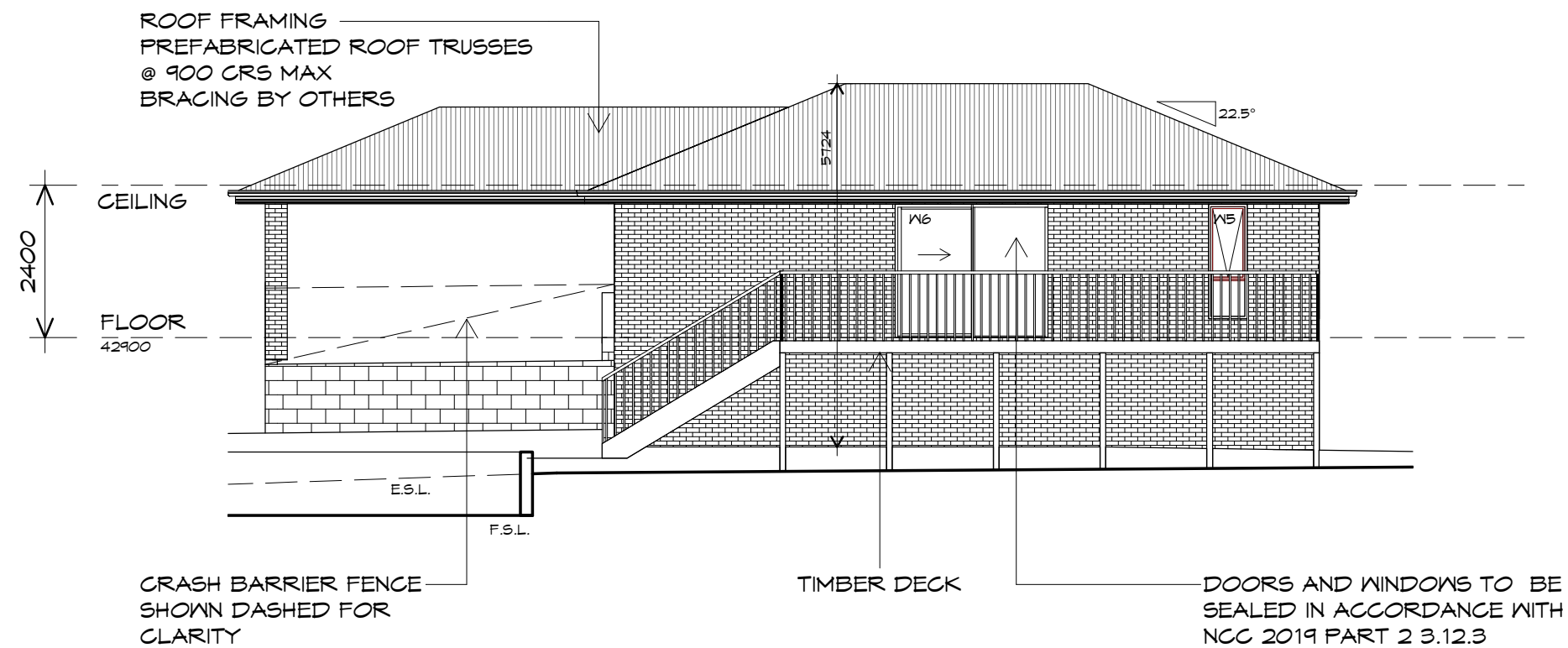
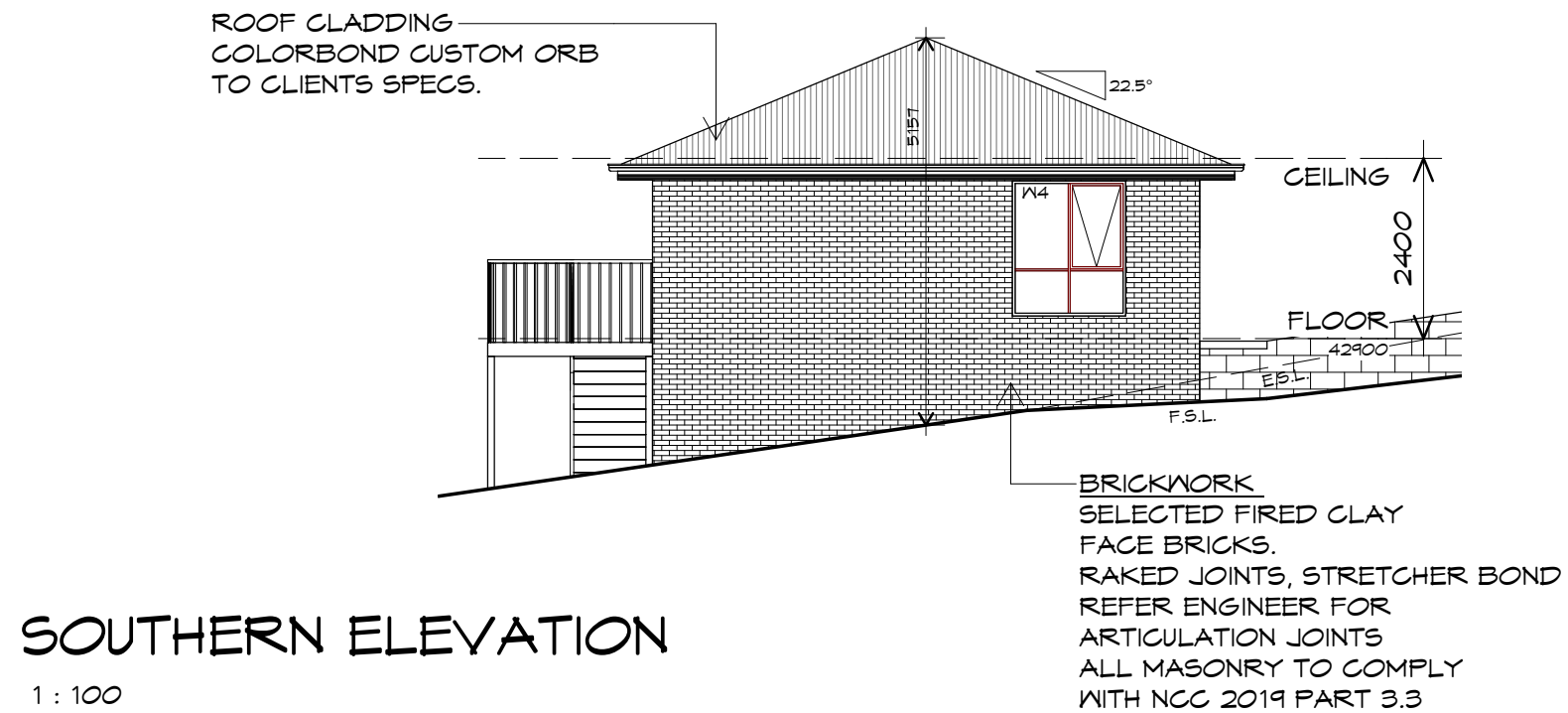
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ELEVATIONS

Drafted by: Author
Approved by: Approver

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 -15-02
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



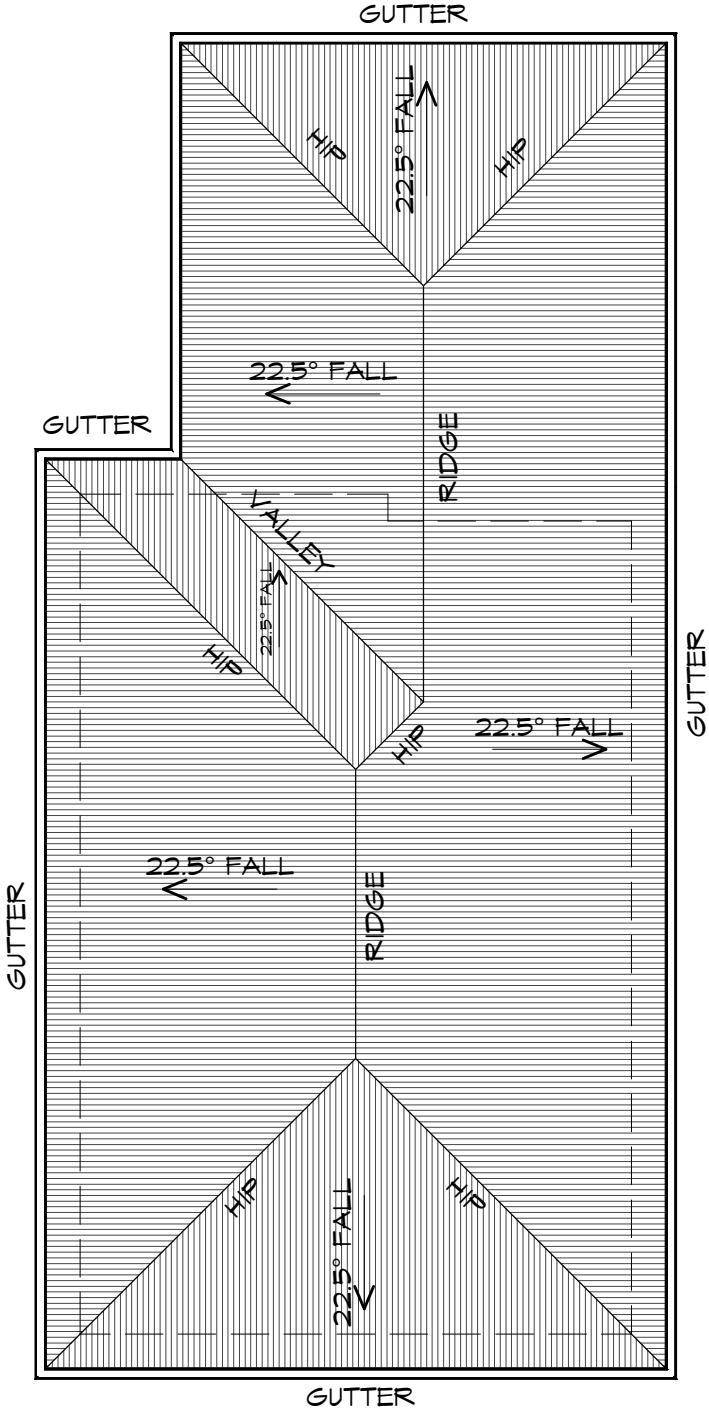
10 Goodman Court, Invermay Tasmania 7248,
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Drawing:
ELEVATIONS

Drafted by: Author	Approved by: Approver
Date: 12.01.2021	Scale: 1 : 100

Project/Drawing no: PD20313 -15-03	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

m

WILSON

MULTI

Prime

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ROOF PLAN

Drafted by:

Author

Approved by:

Approver

Date:

12.01.2021

Scale:

1 : 100

Project/Drawing no:

PD20313 -15-04

Revision:

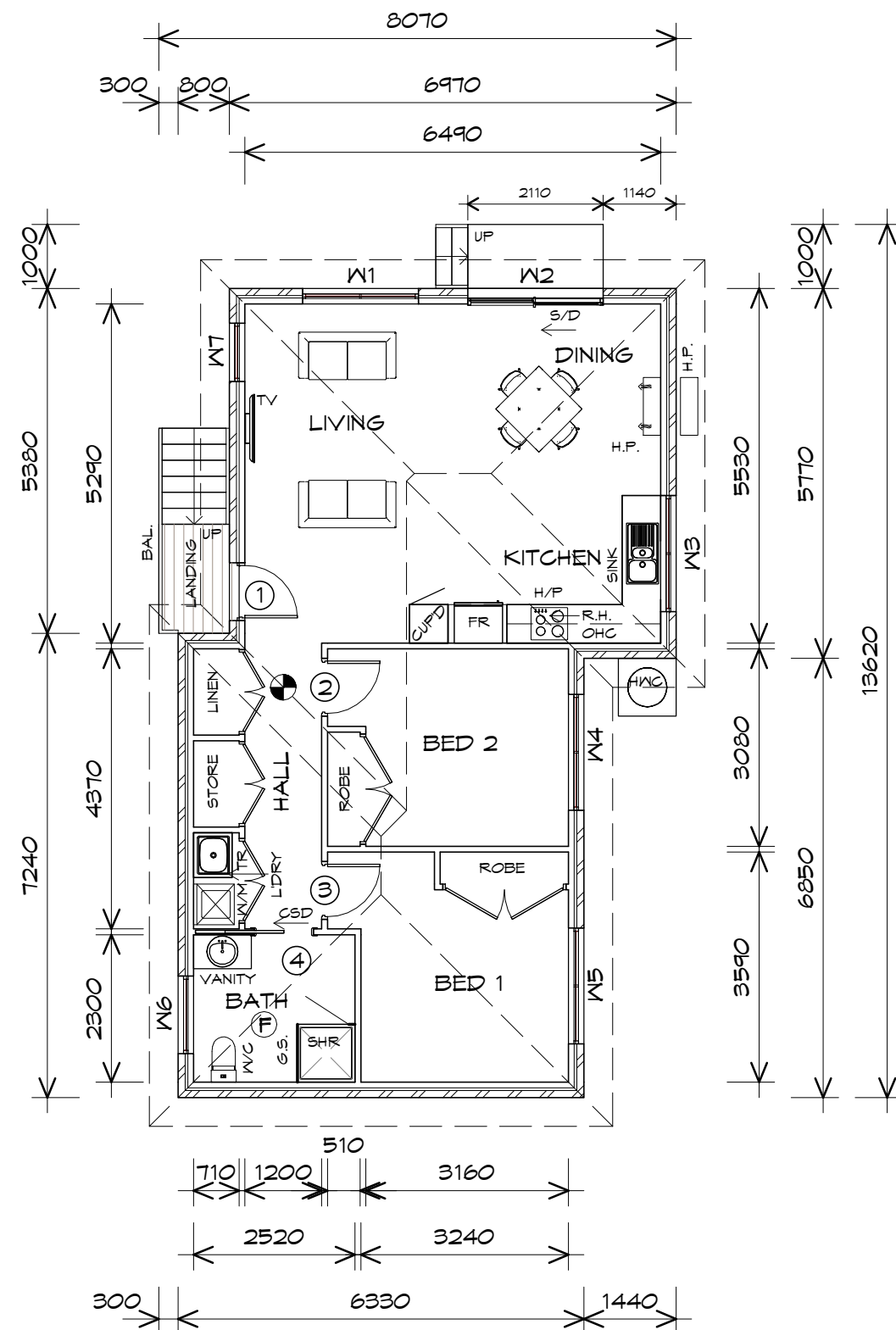
01

Accredited building practitioner: Frank Geskus -No CC246A

bdca

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bdca
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ASSOCIATION OF AUSTRALIA



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m ²	(8.89 SQUARES)
LANDING AREA	2.17	m ²	(0.23 SQUARES)
TOTAL AREA	84.83		9.12

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- Ⓢ FW FLOOR WASTE
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- BAL. BALUSTRADE

DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	920	CAVITY SLIDING DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-12.5 RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Drawing:
FLOOR PLAN

Date:
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Scale:
1 : 100

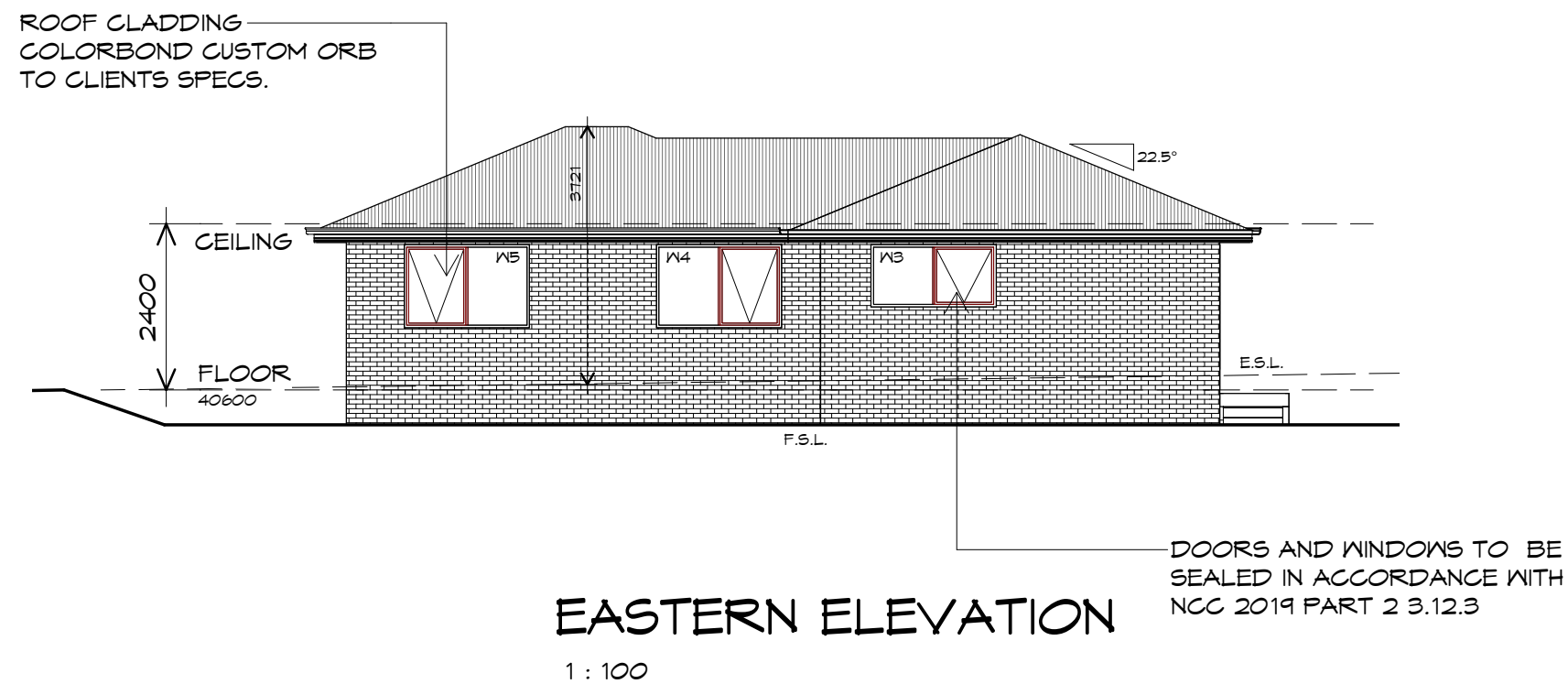
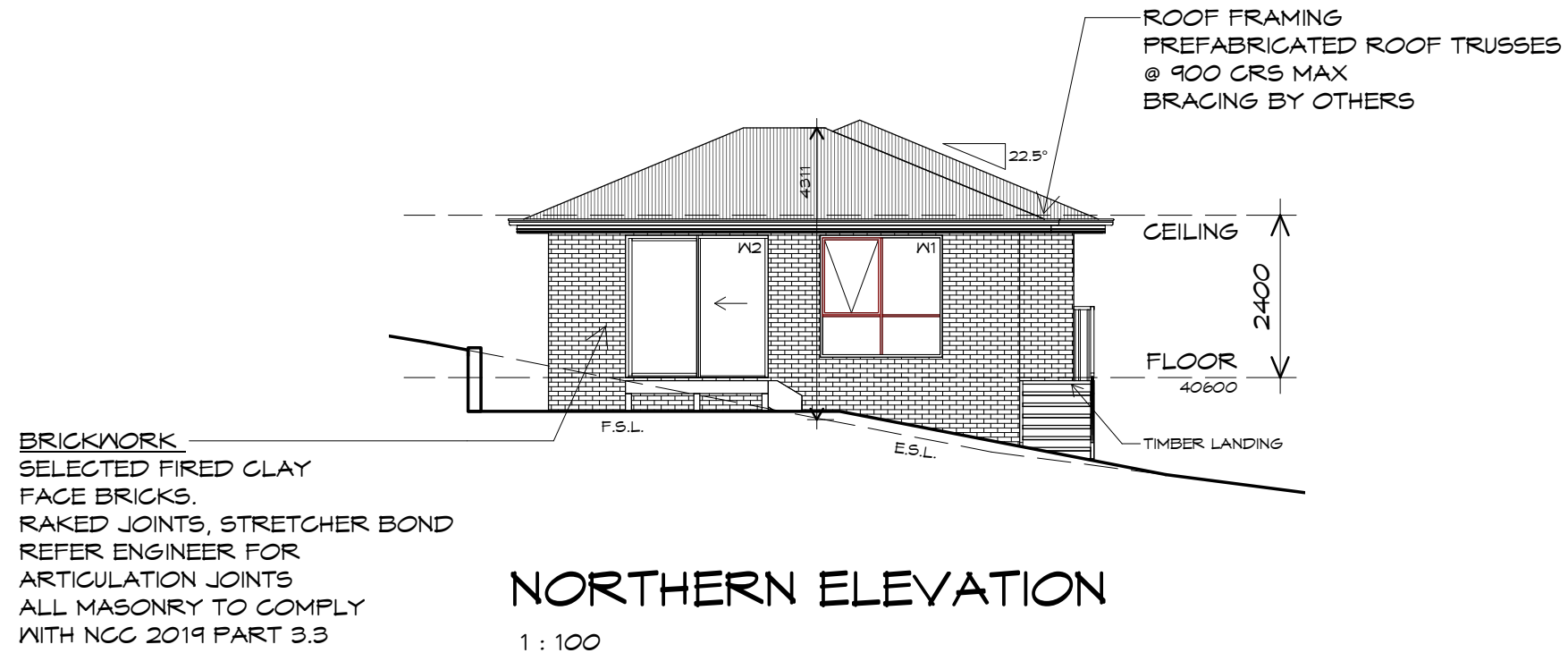
Project/Drawing no:
PD20313 16-01

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Accredited building practitioner: Frank Geskus -No CC246A

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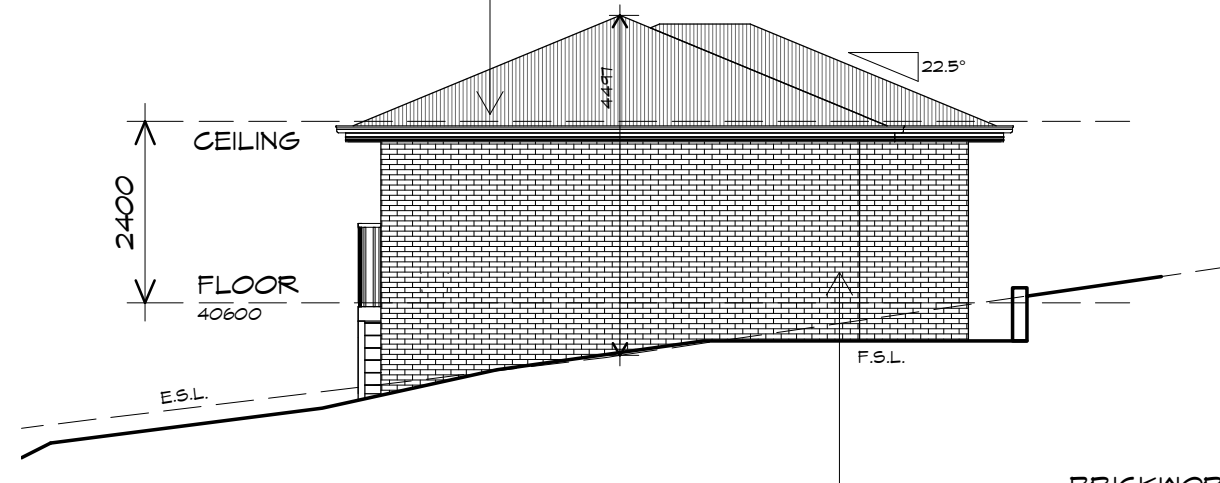
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ELEVATIONS

Date:
12.01.2021
Scale:
1 : 100

Project/Drawing no:
PD20313 16-02
Revision:
01

Accredited building practitioner: Frank Gekus -No CC246A

ROOF FRAMING
PREFABRICATED ROOF TRUSSES
@ 900 CRS MAX
BRACING BY OTHERS

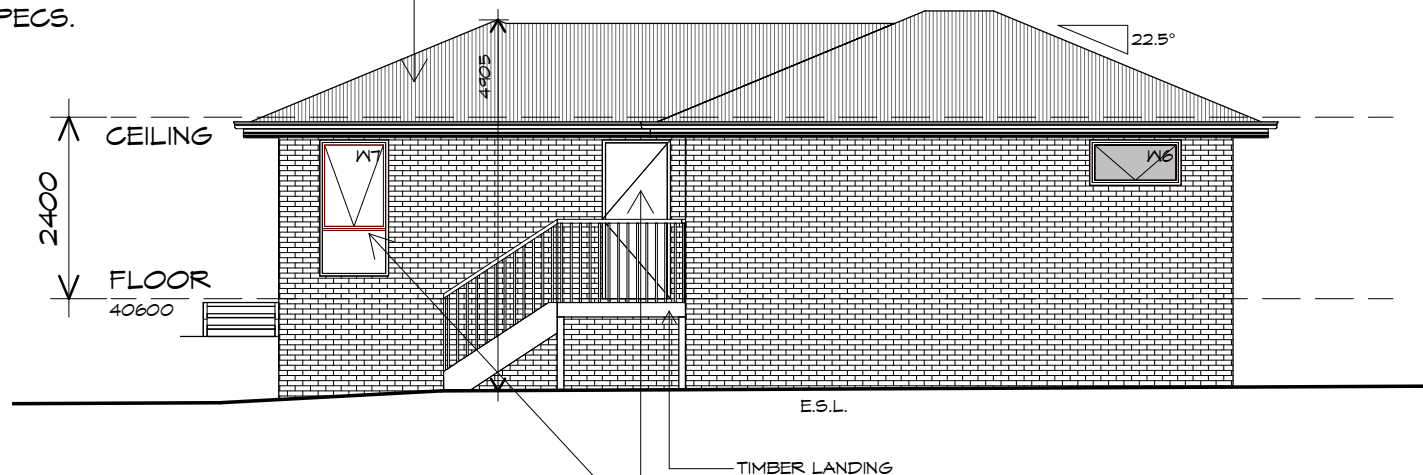


SOUTHERN ELEVATION

1 : 100

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH NCC 2019 PART 3.3

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
SEALED IN ACCORDANCE WITH
NCC 2019 PART 2 3.12.3



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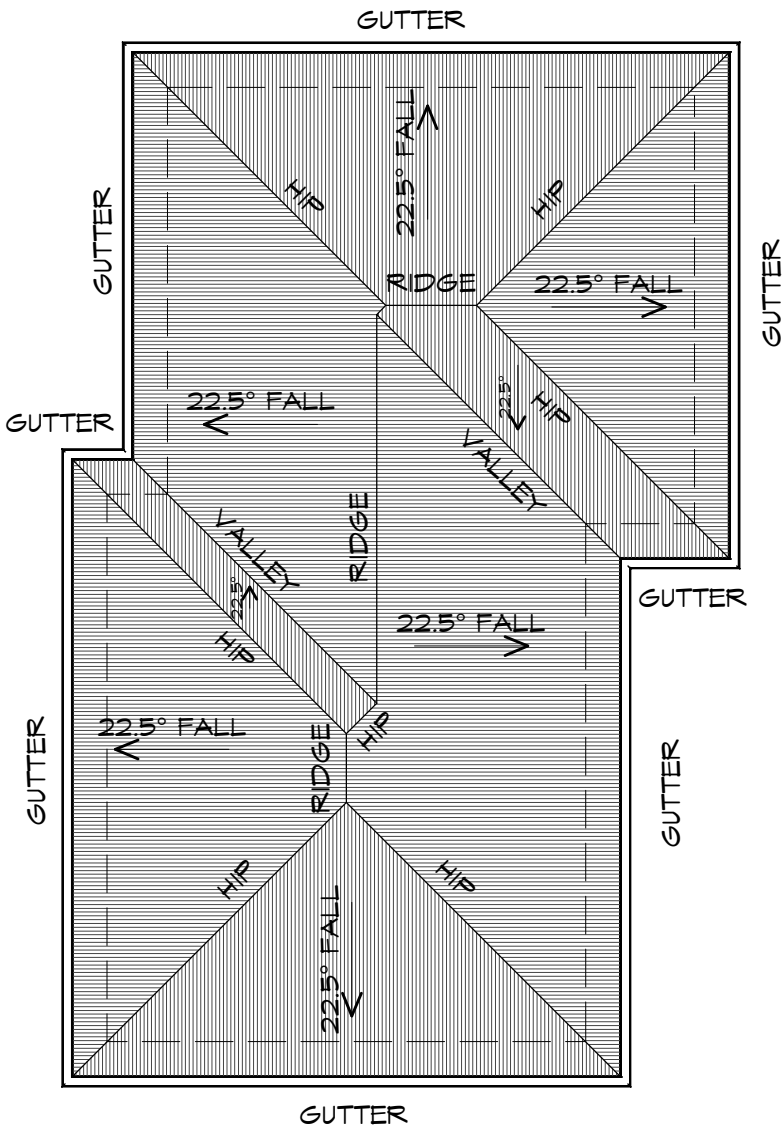


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ELEVATIONS

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Project/Drawing no: PD20313 16-03
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

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MULTI
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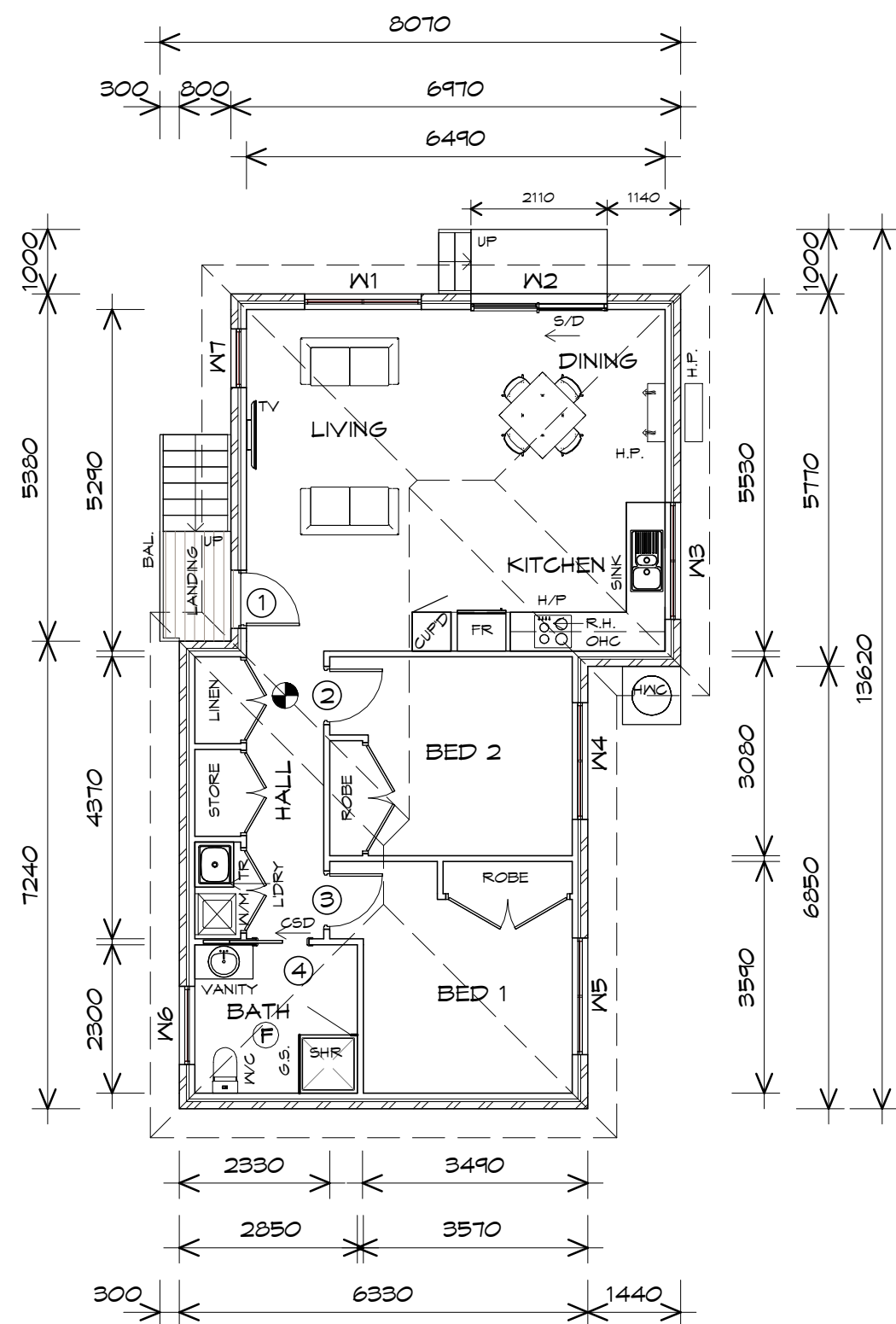
Drawing:
ROOF PLAN

Drafted by: Author
Approved by: Approver

Date: 12.01.2021
Scale: 1 : 100

Project/Drawing no: PD20313 -16-04
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A



FLOOR PLAN

1 : 100

FLOOR AREA	82.66	m2	(	8.89	SQUARES)
LANDING AREA	2.17	m2	(	0.23	SQUARES)
TOTAL AREA	84.83			9.12	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

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CSD CAVITY SLIDING DOOR

S/D SLIDING DOOR

R.H. RANGE HOOD, FAN-VENT TO OUTSIDE AIR.
- (FW) FLOOR WASTE

G.S. GLASS SCREEN

HWC HOT WATER CYLINDER

BAL. BALUSTRADE

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1810	AWNING WINDOW	
W2	2100	2110	SLIDING DOOR	
W3	900	1810	AWNING WINDOW	
W4	1200	1810	AWNING WINDOW	
W5	1200	1810	AWNING WINDOW	
W6	600	1210	AWNING WINDOW	OPAQUE
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-12.5** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Client name:
CENTACARE EVOLVE HOUSING

Drafted by:
Author

Approved by:
Approver



Drawing:
FLOOR PLAN

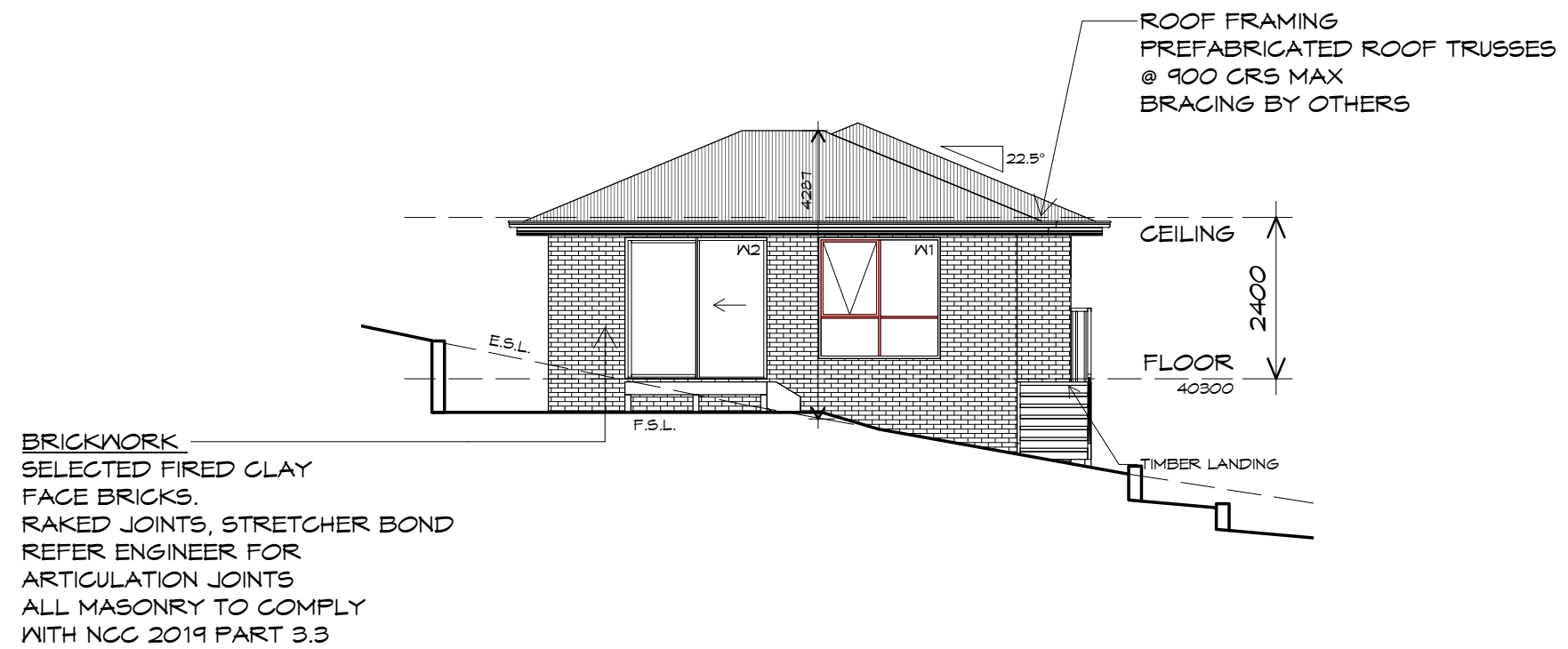
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Project/Drawing no:
PD20313 17-01

Revision:
01

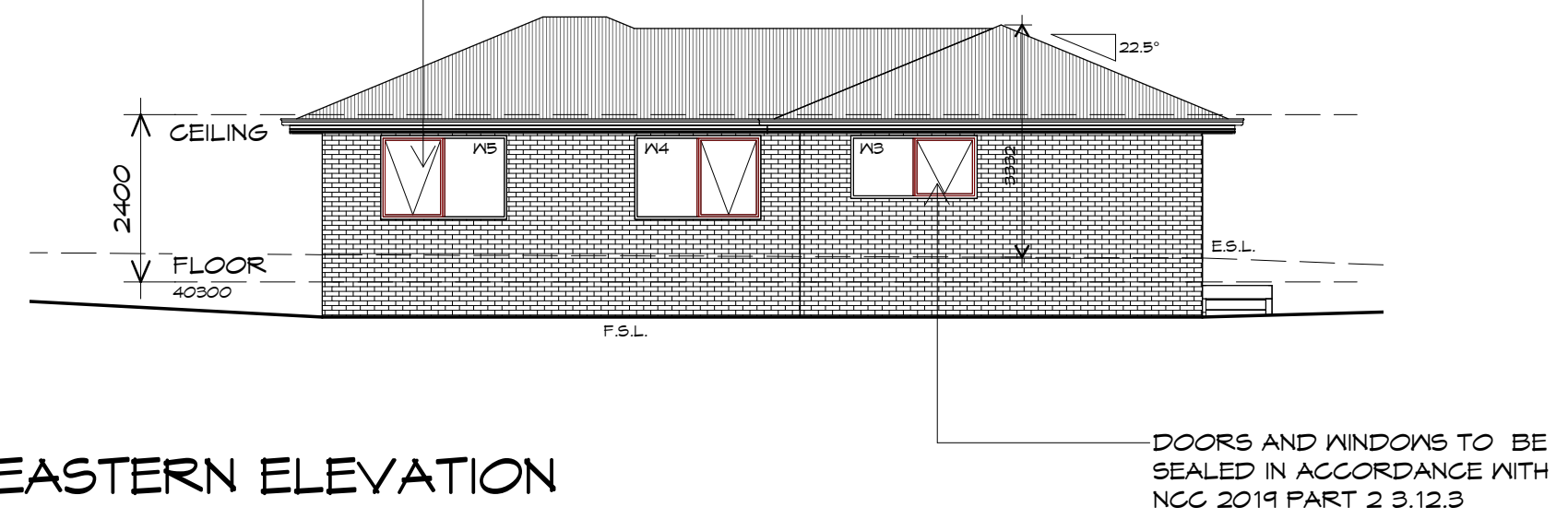
Accredited building practitioner: Frank Geskus -No CC246A



NORTHERN ELEVATION

1 : 100

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.



EASTERN ELEVATION

1 : 100



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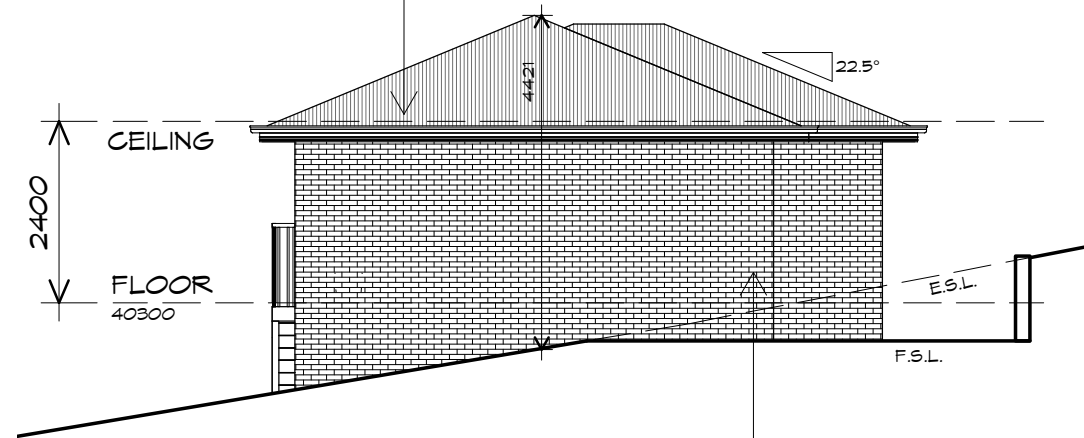
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12.01.2021
Scale:
1 : 100

Project/Drawing no:
PD20313 17-02
Revision:
01

Accredited building practitioner: Frank Geskus -No CC246A

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

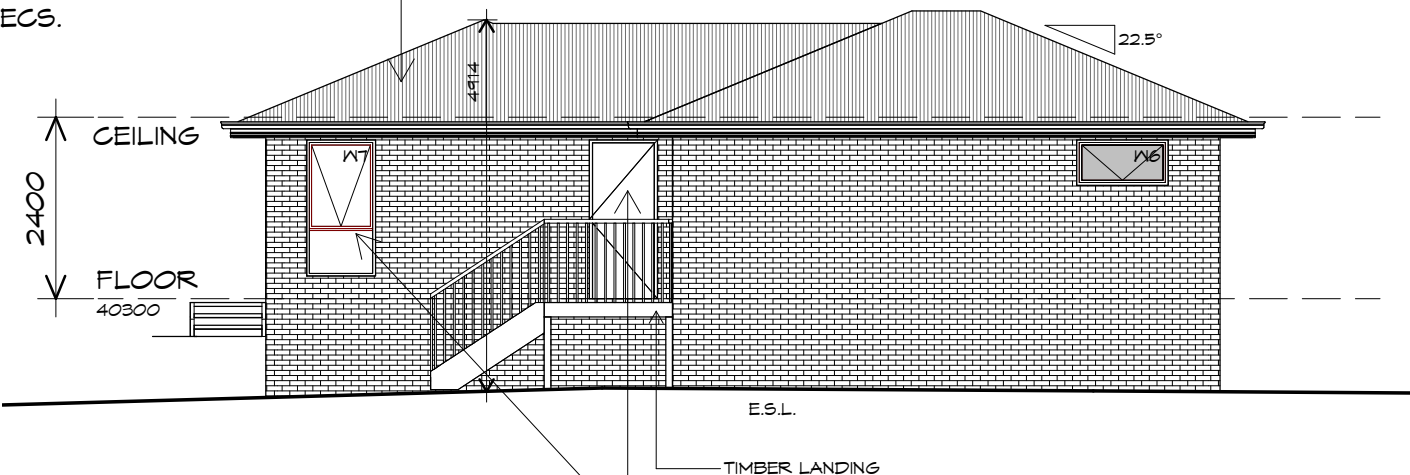


SOUTHERN ELEVATION

1 : 100

BRICKWORK
 SELECTED FIRED CLAY
 FACE BRICKS.
 RAKED JOINTS, STRETCHER BOND
 REFER ENGINEER FOR
 ARTICULATION JOINTS
 ALL MASONRY TO COMPLY
 WITH NCC 2019 PART 3.3

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



WESTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
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 NCC 2019 PART 2 3.12.3



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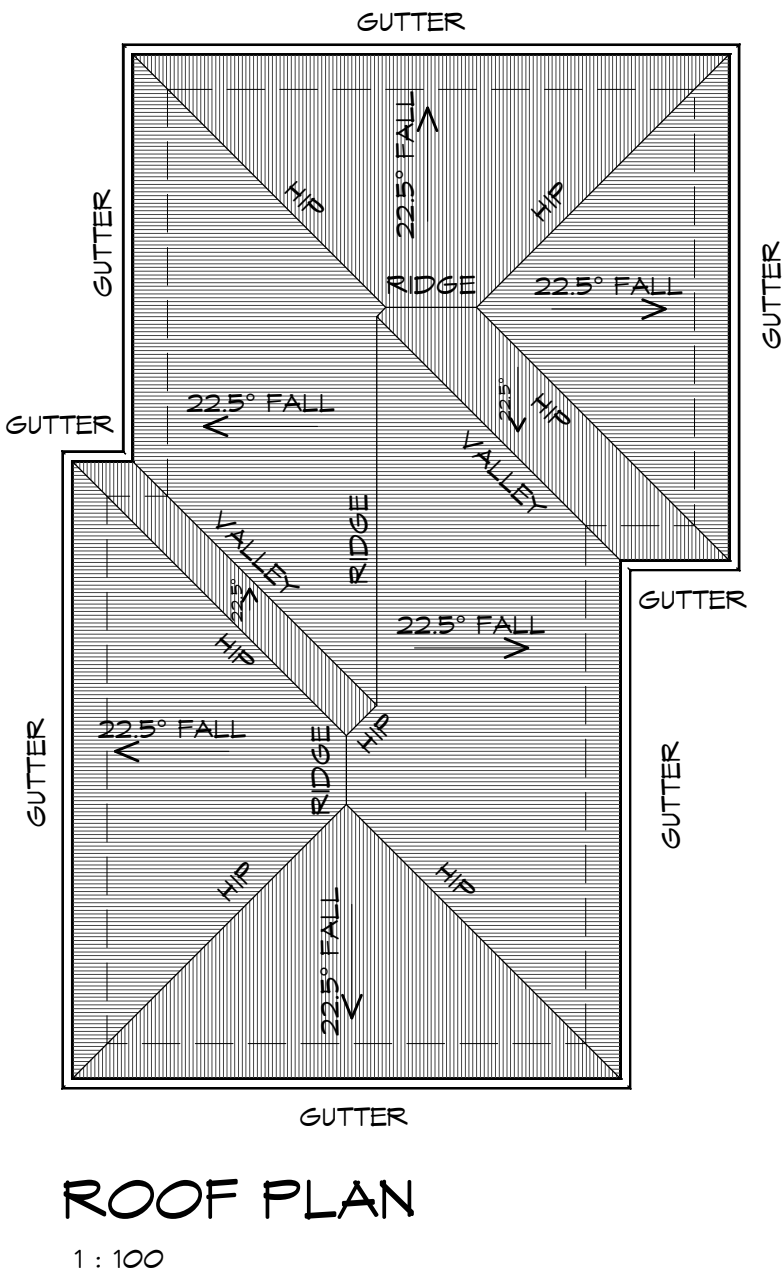


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PLANNING
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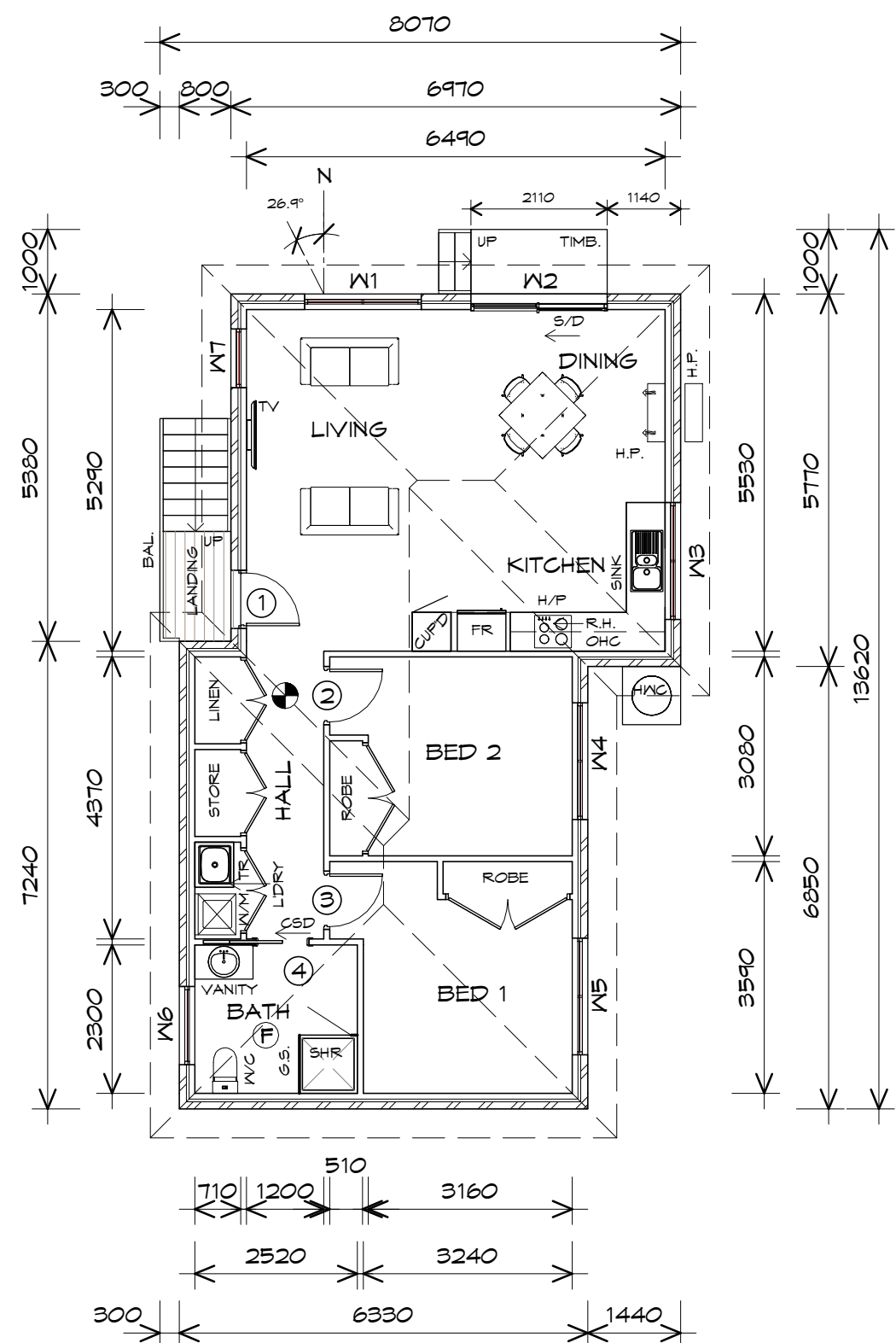
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Drawing:
ROOF PLAN

Drafted by: Author	Approved by: Approver
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Project/Drawing no: PD20313 -17-04	Revision: 01
Accredited building practitioner: Frank Geskus -No CC246A	



FLOOR PLAN

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FLOOR AREA	82.66	m ²	(8.89	SQUARES)
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- CSD CAVITY SLIDING DOOR
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DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL SOLID DOOR	ALUMINIUM
2	820	INTERNAL TIMBER DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
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Drawing:
FLOOR PLAN

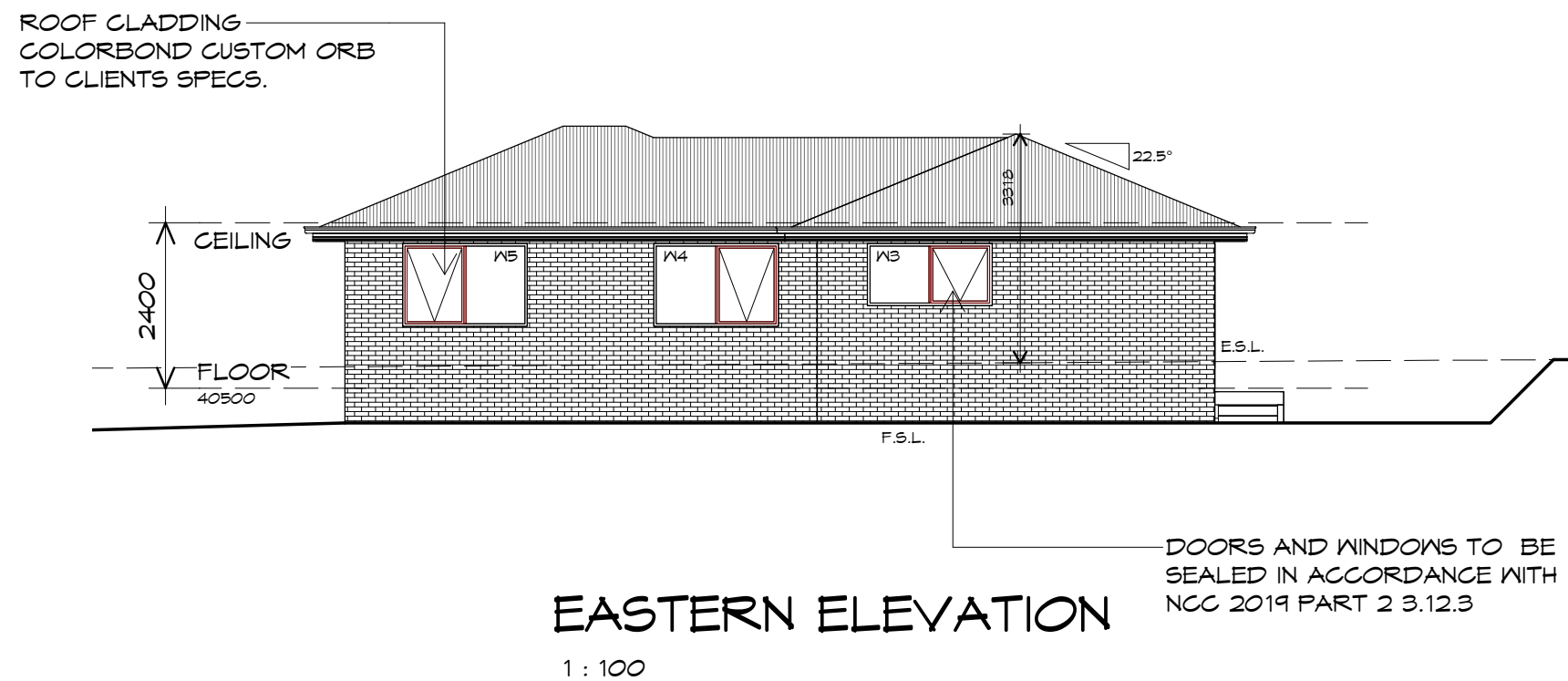
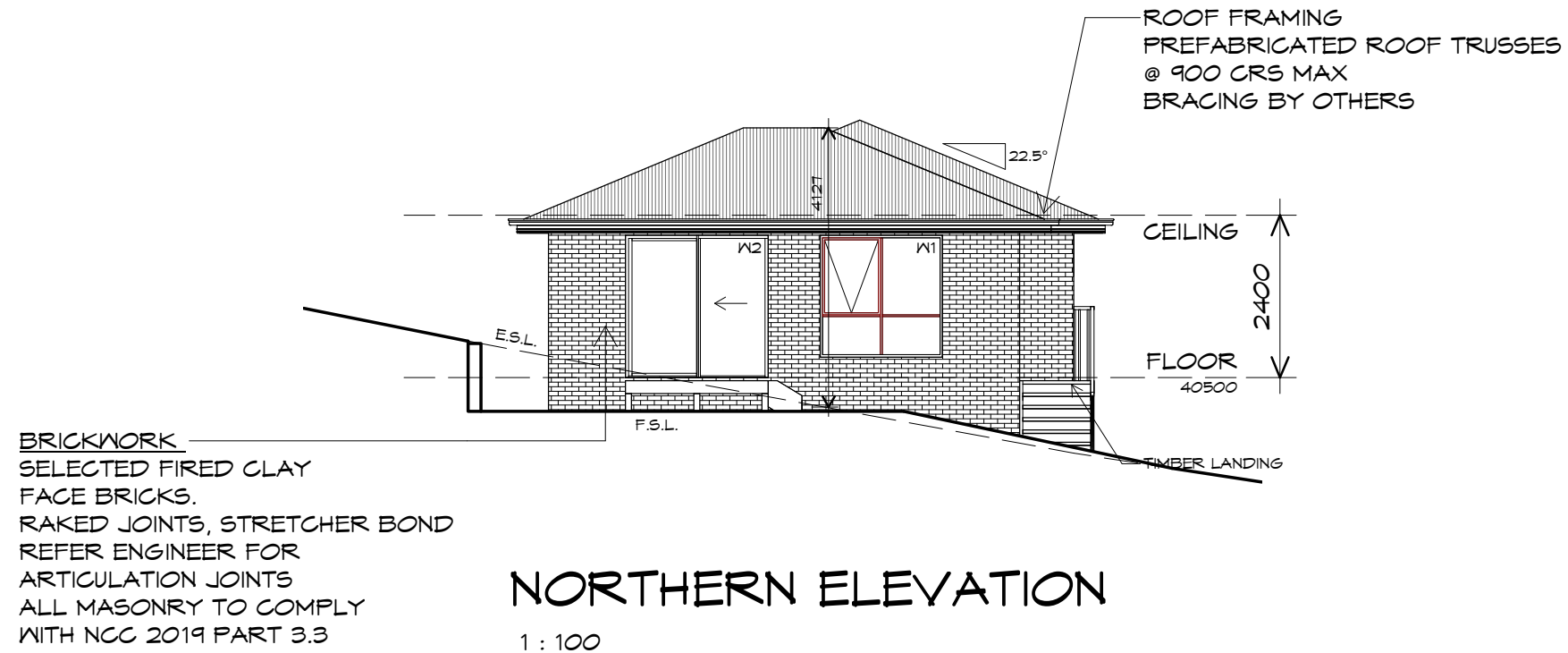
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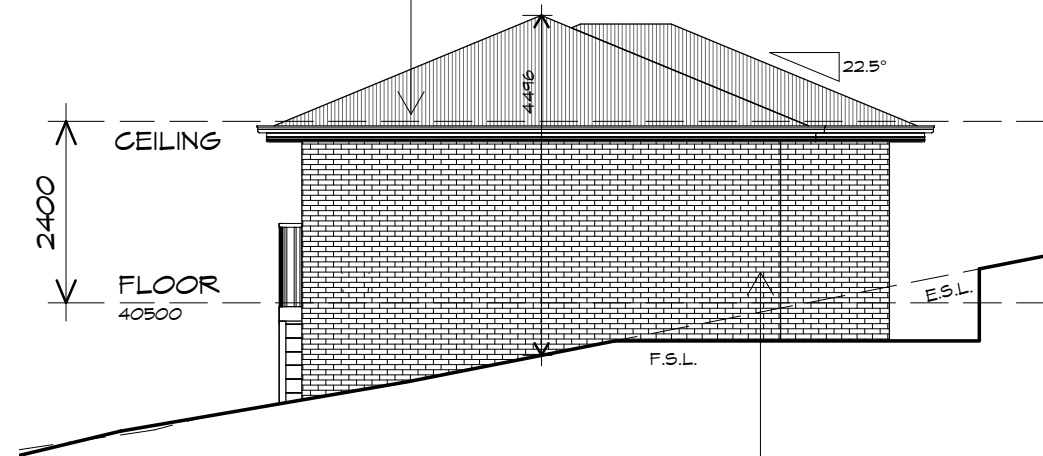
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BRACING BY OTHERS

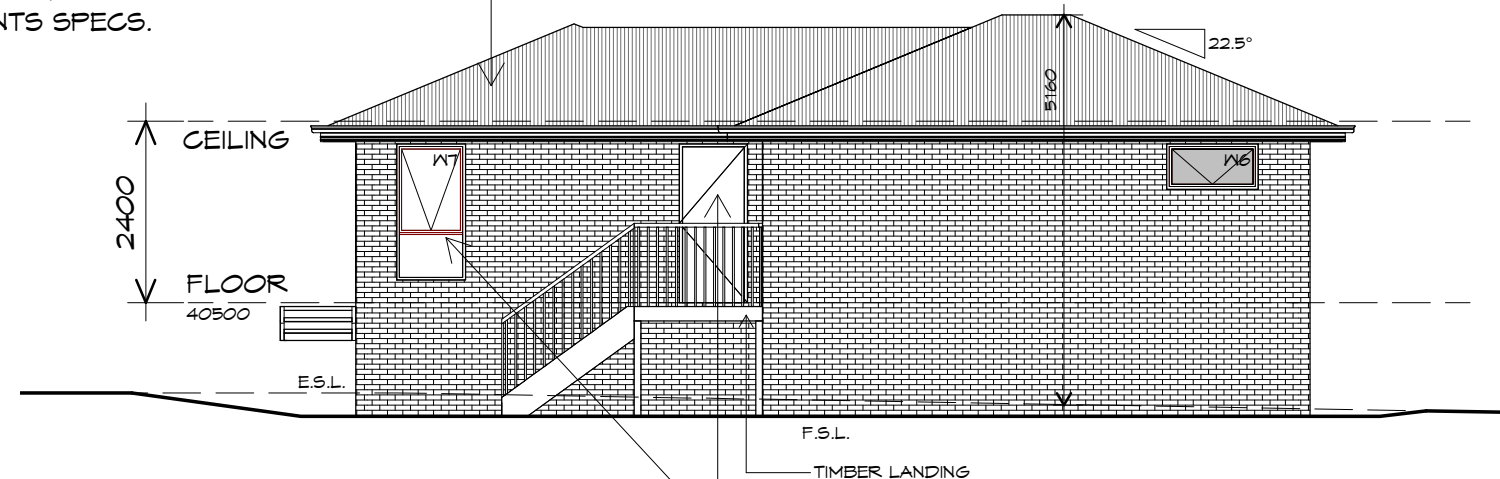


SOUTHERN ELEVATION

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BRICKWORK
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WESTERN ELEVATION

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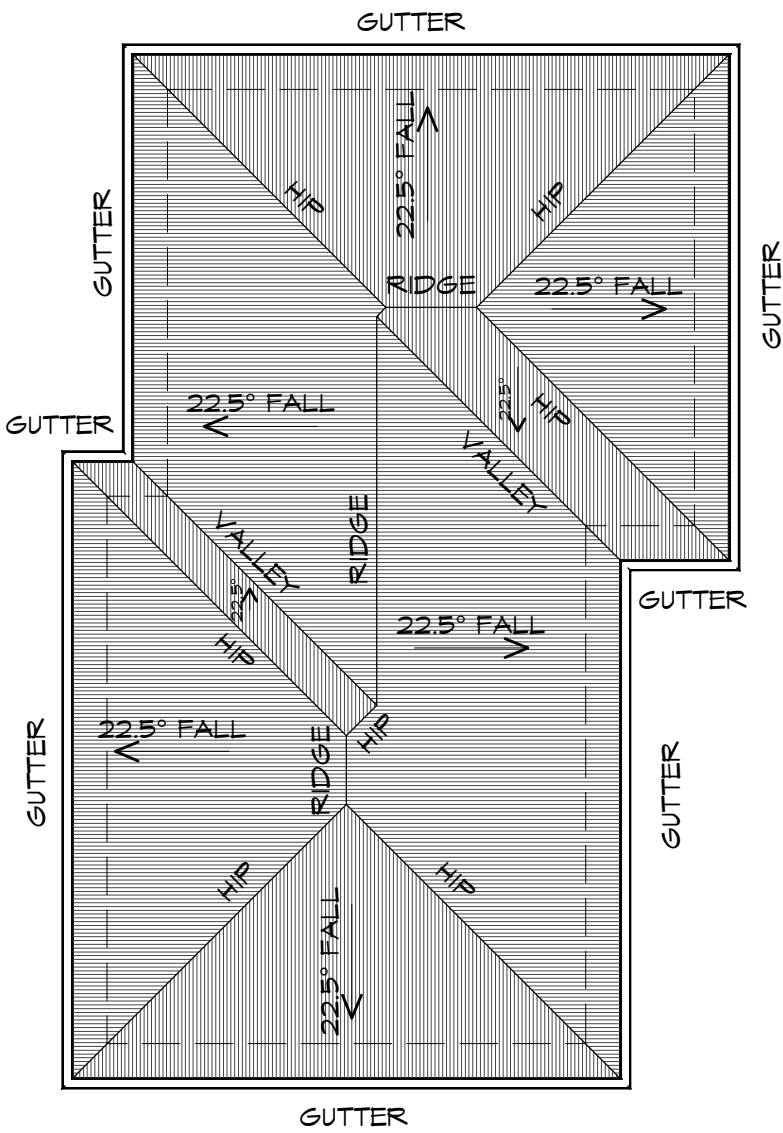


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ROOF PLAN

1 : 100

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

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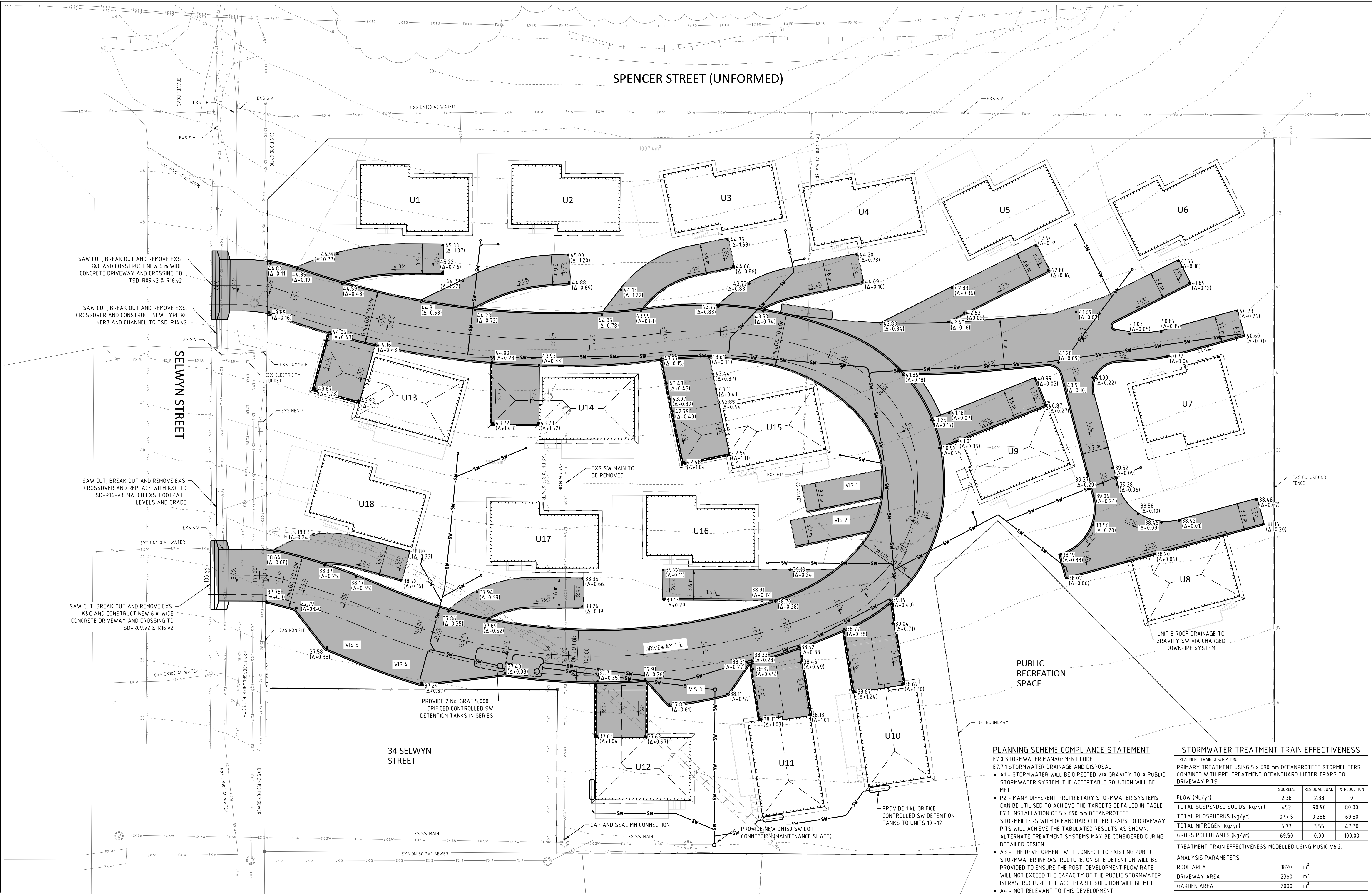
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PLANNING SCHEME COMPLIANCE STATEMENT

E7.0 STORMWATER MANAGEMENT CODE
E7.1 STORMWATER DRAINAGE AND DISPOSAL

- A1 - STORMWATER WILL BE DIRECTED VIA GRAVITY TO A PUBLIC STORMWATER SYSTEM. THE ACCEPTABLE SOLUTION WILL BE MET.
- P2 - MANY DIFFERENT PROPRIETARY STORMWATER SYSTEMS CAN BE UTILISED TO ACHIEVE THE TARGETS DETAILED IN TABLE E7.1. INSTALLATION OF 5 x 690 mm OCEANPROTECT STORMFILTERS WITH OCEANGUARD LITTER TRAPS TO DRIVEWAY PITS WILL ACHIEVE THE TABULATED RESULTS AS SHOWN. ALTERNATE TREATMENT SYSTEMS MAY BE CONSIDERED DURING DETAILED DESIGN.
- A3 - THE DEVELOPMENT WILL CONNECT TO EXISTING PUBLIC STORMWATER INFRASTRUCTURE. ON SITE DETENTION WILL BE PROVIDED TO ENSURE THE POST-DEVELOPMENT FLOW RATE WILL NOT EXCEED THE CAPACITY OF THE PUBLIC STORMWATER INFRASTRUCTURE. THE ACCEPTABLE SOLUTION WILL BE MET.
- A4 - NOT RELEVANT TO THIS DEVELOPMENT.

STORMWATER TREATMENT TRAIN EFFECTIVENESS

TREATMENT TRAIN DESCRIPTION
PRIMARY TREATMENT USING 5 x 690 mm OCEANPROTECT STORMFILTERS COMBINED WITH PRE-TREATMENT OCEANGUARD LITTER TRAPS TO DRIVEWAY PITS

	SOURCES	RESIDUAL LOAD	% REDUCTION
FLOW (ML/yr)	2.38	2.38	0
TOTAL SUSPENDED SOLIDS (kg/yr)	452	90.90	80.00
TOTAL PHOSPHORUS (kg/yr)	0.945	0.286	69.80
TOTAL NITROGEN (kg/yr)	6.73	3.55	47.30
GROSS POLLUTANTS (kg/yr)	69.50	0.00	100.00

TREATMENT TRAIN EFFECTIVENESS MODELLED USING MUSIC V6.2

ANALYSIS PARAMETERS:

ROOF AREA	1820	m ²
DRIVEWAY AREA	2360	m ²
GARDEN AREA	2000	m ²

7/10/2021 4:11:54 PM S:\projects\2020\03\045 Selwyn Street Development - T1200A - GP drawings\GP - mxd\01\045 L1.dwg

B	PLANNING APPROVAL	SP	24.02.2021
A	PLANNING APPROVAL	SP	08.12.2020
REV	DESCRIPTION	APP'D	DATE

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION

GANDY AND ROBERTS

CONSULTING ENGINEERS

159 DAVEY ST, HOBART

TASMANIA, AUSTRALIA 7000

www.gandyandroberts.com.au

mail@gandyandroberts.com.au

ph 03 6223 8877 fx 03 6223 7183

PROPOSED RESIDENTIAL DEVELOPMENT

SELWYN STREET TRIABUNNA

TASMANIA 7190

DRAWING TITLE

DRIVEWAY 1 LONGITUDINAL SECTION

0

50mm

SCALE

1:500H 1:250V@A1

DESIGNED	DRAWN	CHECKED
JF	JF	SP
PROJECT	DRAWING	REVISION
20.0642	C015	B

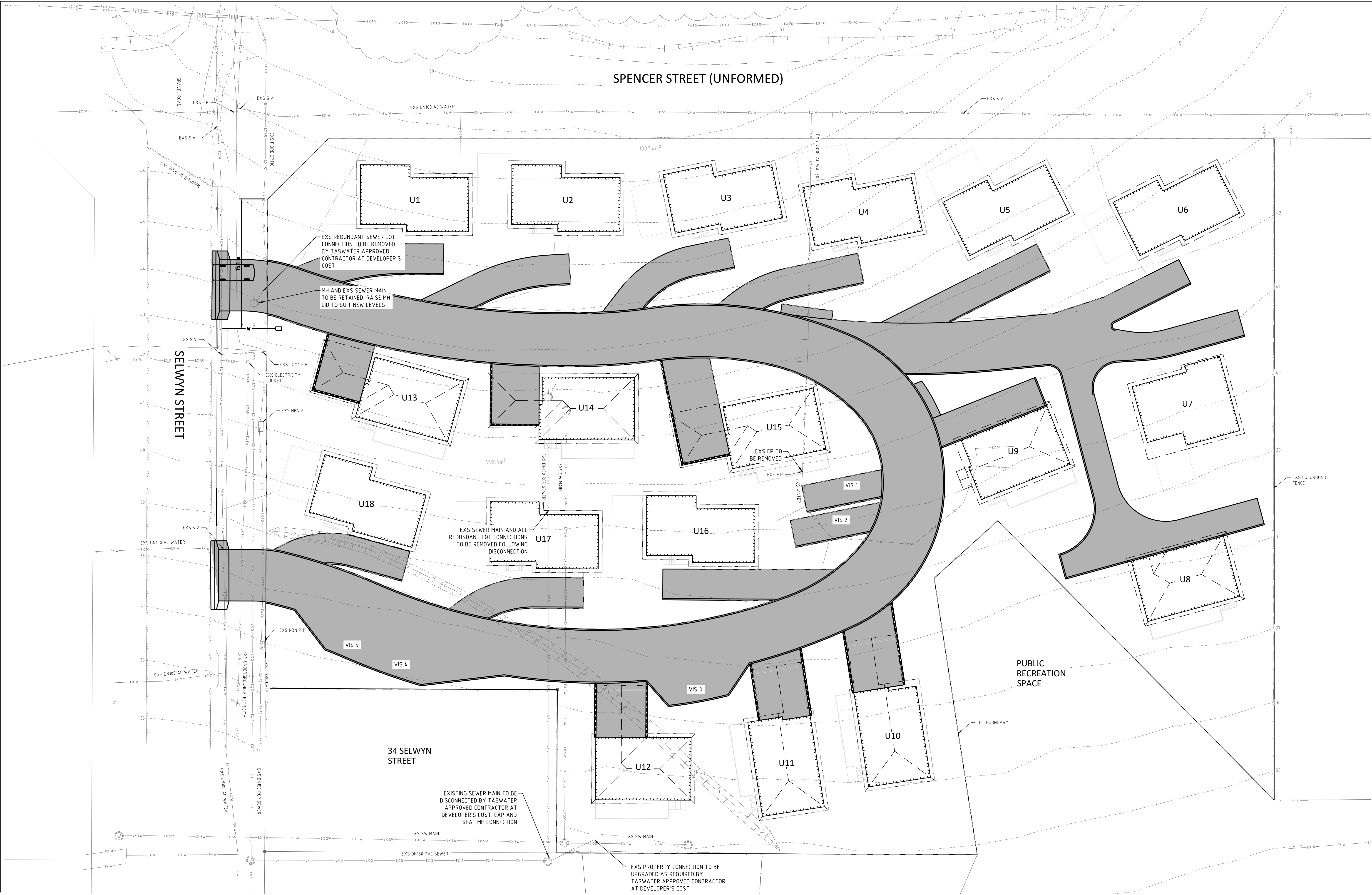
GANDY AND ROBERTS Consulting Engineers

DATUM RL24

VERTICAL ALIGNMENT	5.00mVC 0.54K	-1.20% 43.58mL	20.00mVC 2.04K	-11.00% 23.41mL	20.00mVC 2.67K	-3.50% 28.15mL	10.00mVC 1.62K	2.67% 22.60mL	4.00mVC 0.39K
CUT (-)/FILL	-0.000	-0.051	-0.022	-0.025	-0.113	-0.027	-0.021	-0.012	-0.008
DESIGN CENTRELINE LEVEL	43.939	44.214	44.391	44.387	44.260	44.020	43.995	43.972	43.950
EXISTING SURFACE LEVEL	43.939	44.265	44.413	44.412	44.342	44.265	44.265	44.265	44.265
CHAINAGE	0.00	4.43	8.79	9.43	20.00	40.00	42.13	44.05	51.96
HORIZONTAL CURVE DATA	10.00 R	-95.00 R	-60.00 R	4100 R	15.00 R	15.00 R	67.00 R	67.00 R	67.00 R

LONGITUDINAL SECTION: DRIVEWAY 1
HORIZONTAL SCALE 1:500 VERTICAL SCALE 1:250

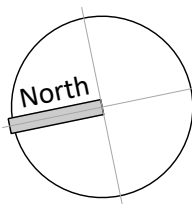
Page 139 of 263



B	PLANNING APPROVAL	SP	24.02.2021
A	PLANNING APPROVAL	SP	08.12.2020
REV	DESCRIPTION	APP'D	DATE

REV	DESCRIPTION	APP'D	DATE

THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION



GANDY AND ROBERTS
CONSULTING ENGINEERS

159 DAVEY ST, HOBART
TASMANIA, AUSTRALIA 7000
www.gandyandroberts.com.au
mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

PROPOSED RESIDENTIAL DEVELOPMENT
SELWYN STREET TRIABUNNA
TASMANIA 7190
DRAWING TITLE
SEWER AND WATER PLAN

0 50mm			SCALE 1:200@A1
DESIGNED JF	DRAWN JF	CHECKED SP	
PROJECT 20.0642	DRAWING C020	REVISION B	



01/08/2021

The General Manager
Glamorgan Spring Bay Council

To the General Manager,

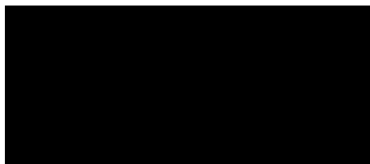
Planning Ref: DA 2021/32 Multiple dwellings X 18 Spencer St, Triabunna

We are writing in regard to the above planning application. Our property is the property referred to in the application as having the existing colourbond fence on the Southern side of the development.

We would like written confirmation before the commencement that the development is not intending on utilising our existing 1.5 metre fence as the boundary fence and that it will be replaced by a new fence at least 1.8 metres high, 2 metres would be preferable.

We would only oppose this application if a fence of 1.8 metres or higher was not erected on the Southern boundary.

Regards



RECEIVED
02 AUG 2021

The General Manager,

Mr. Greg Ingham,

Glamorgan Spring Bay Council.

BY:

Re: Notice of Proposed Development.

Spencer Street Triabunna – DA2021/32.

As the owner of [REDACTED] I formally object to the above development.

1. Again the time for public consultation is too short and should be extended to allow all residents to formally address same.
2. The notice of proposed development is in fact Selwyn Street and not Spencer Street. It was intimated that Spencer Street would be upgraded and used for access but upon reading the DA this is not the case and Spencer Street will remain an unmade street. I would refer to the attached correspondence marked "A" from Geosolutions to the GSBC wherein it is stated that Spencer Street will remain as part of the Councils fire abatement process.
3. The location of the proposed development is totally inappropriate for the ageing or people with disability. The distance of one (1) kilometre from the town centre for access to essential services such as fuel ,shops, medical centre and community health centre, is not acceptable particularly with the steep gradient of Selwyn Street.
4. The DA states the units are for "those already living in the Glamorgan Spring Bay region who are experiencing housing stress." Will the Council and Centacare Evolve disclose to the community who these people are. If aged and or people with a disability from outside the community are tenanted in these units there will be further pressure put on the medical services in the area which at the moment are not sustainable under the current management.

The DA states seven (7) units will be available to people with a disability, will the development fully comply with the gradient under Australian Standards.

Every one of the 18 units have stair access which is totally unacceptable for the ageing or people with a disability.
5. The increase in traffic flow in Selwyn Street is unacceptable. The traffic was to be onto Spencer

Street. The dual access to the units is very close, some twenty (20) metres and presents a danger to both traffic and pedestrians. The gradient on the street also contributes to this particularly with the near proximity to the access of vehicles in units one (1) and (18).

The access to the units does not show the true wheel path of vehicles within the complex. If shown it would disclose how little space is available to manoeuvre vehicles. Please refer to attachment correspondence marked "C" .

6. The collection of waste from the complex beggars belief wherein a waste disposal vehicle (truck) will be expected to reverse for a distance of ten (10) metres after emptying bins. This is totally unacceptable and dangerous in a complex which will be housing ageing and people with a disability.

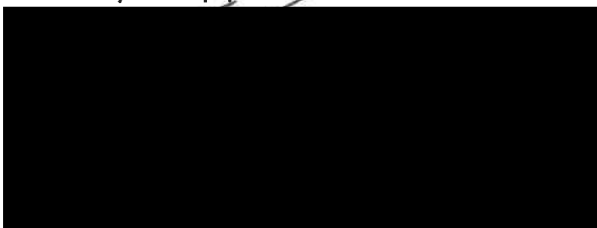
7. The proposed plan takes up "OPEN SPACE" at the end of Howells Place which will deny residents access through the area. This "OPEN SPACE" is used daily by residents and is shown on the attached plan marked "B".

I cannot understand why the Council does not revert to the original "Marina Views" subdivision and sell the twenty one (21) allotments, shown on the attached plan marked "B", allowing people to build and the town develop. This would also allow public access to continue from Ryan Place, Howell Place, Tapner Court, Morley Parade and Davidson Place to continue uninterrupted as "OPEN SPACE". The council would derive income from rates on the 21 allotments. With the current demand for vacant land together with current prices this has to be beneficial to the council.

The current proposal with its location, gradient of site, dangerous access, intended demographic of residents and the denial of access through the area is unacceptable. This complex would be suited to land closer to all facilities within the township on level and more accessible land.

Also the density of the housing needs to be addressed while we are living in a changed environment with the threat of covid ever present.

I await your reply.



RECEIVED
02 AUG 2021

The General Manager,

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Glamorgan Spring Bay Council.

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02 AUG 2021

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7. The proposed plan takes up "OPEN SPACE" at the end of Howells Place which will deny residents access through the area. This "OPEN SPACE" is used daily by residents and is shown on the attached plan marked "B".

8. The Storm Water Management is unacceptable and upon reading same and in particular sections 3.2.1 – 2 and 3 all is based on the assumption that 30% of the land on the previous subdivision is impervious. It is also an assumption for the assessment in the proposed development.

Assumption is not fact and I will be seeking a guarantee from Council for compensation for any storm water damage to my property.

The detention of water with two tanks (5000ltr) at units 10 and 12 is not feasible when 65mm of rain. On a roof area of approx. 75 sq/m will fill them. What has been planned for the overflow.


In summation I would again state I am opposed to this development.

I cannot understand why the Council does not revert to the original "Marina Views" subdivision and sell the twenty one (21) allotments, shown on the attached plan marked "B", allowing people to build and the town develop. This would also allow public access to continue from Ryan Place, Howell Place, Tapner Court, Morley Parade and Davidson Place to continue uninterrupted as "OPEN SPACE".

The council would derive income from rates on the 21 allotments. With the current demand for vacant land together with current prices this has to be beneficial to the council.

The current proposal with its location, density of dwellings, gradient of site, dangerous access , intended demographic of residents and the denial of access through the area is unacceptable. This complex would be suited to land closer to all facilities within the township on level and more accessible land.

I await your reply.



(A) Attachment for Referring to Selwyn Street.

Appendix C – Council correspondence

From: [REDACTED]@freycinet.tas.gov.au>
Sent: Wednesday, 30 September 2020 10:58 AM
To: Mark Van den Berg <mvandenberg@geosolutions.net.au>
Cc: [REDACTED]@freycinet.tas.gov.au>; [REDACTED]@freycinet.tas.gov.au>
Subject: RE: Bushfire management/Abatement Road reserve adjacent to Selwyn Street Triabunna

Morning Mark,

Yes I can confirm this site will be managed either by the fire abatement process or would be mowed / slashed by Council or a contractor.

Kind regards,

[REDACTED]

[REDACTED]
Glamorgan Spring Bay Council

P: 03 6256 4775
M: 0400 715 722
F: 03 6256 4774
E: [REDACTED]@freycinet.tas.gov.au

Privileged/confidential information may be contained in this message. If you are not the addressee indicated in this message (or responsible for delivery of the message to such a person), you may not copy or deliver this message to anyone. In such case, you should destroy this message and kindly notify the sender by reply email. Please advise immediately if you or your employer does not consent to Internet email for messages of this kind. Opinions, conclusions and other information in this message that do not relate to the official business of the Glamorgan Spring Bay Council shall be understood as neither given, or endorsed by it.

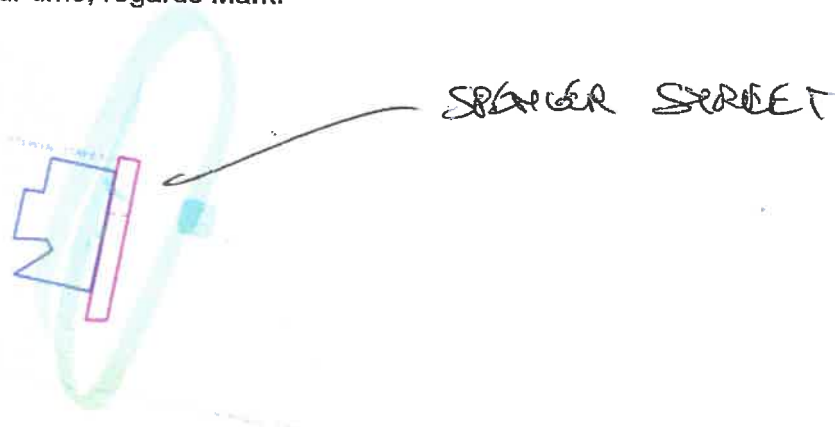
From: Mark Van den Berg [mailto:mvandenberg@geosolutions.net.au]
Sent: Tuesday, 29 September 2020 10:23 AM
To: [REDACTED] <terry@freycinet.tas.gov.au>
Subject: Bushfire management/Abatement Road reserve adjacent to Selwyn Street Triabunna

Hi Terry,

As discussed on the phone I have a proposed unit development for land that is currently owned by council as shown below in blue. Adjacent and to east of this site is a road reserve which would appear, in the past, to have been managed in terms of bushfire risk (shown in pink).

Is council able to confirm that this area is part of councils annual fire abatement process and is effectively managed through this process?

Thanks for your time, regards Mark.

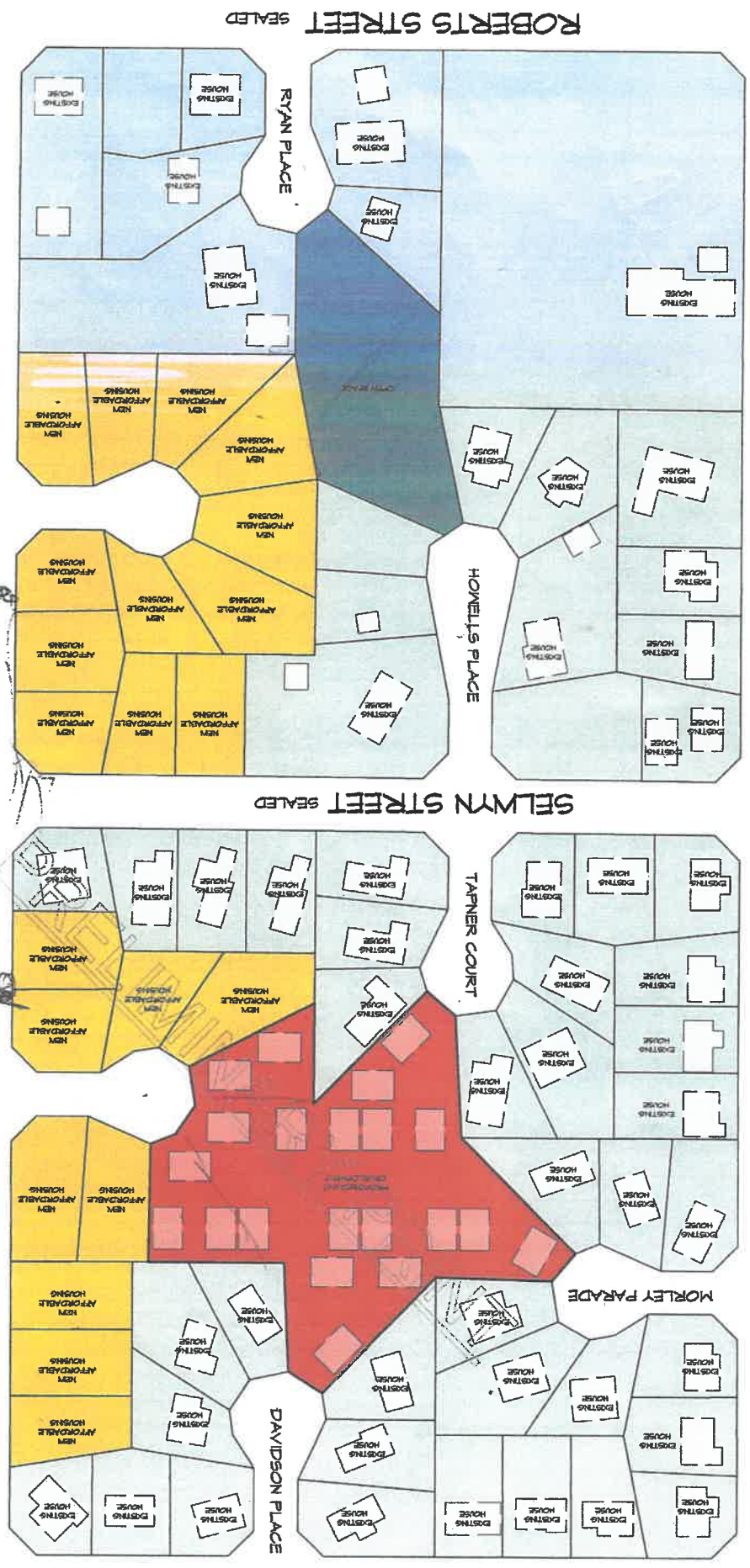


Mark Van den Berg BSc.(Hons). FPO(planning). BFP-108

Attachment for referral to "Open Space"

B

INKERMAN STREET SEALED



NOTE: DO NOT SCALE OFF DRAWINGS

MASTER SITE PLAN

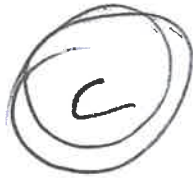


Project: PROPOSED UNIT DEVELOPMENT
 LOTS 30, 31 & 94 SPENCER STREET, TRIABUNNA
 Client name: CATHOLIC CARE
 Drafted by: Author
 Approved by: Approver
 Date: 03/07/2019
 Scale: 1 : 1200
 Project/Drawing no: PD19173 -01
 Revision: 01

10 Goodwin Court, Invermay Tasmania 7248,
 p(0) + 03 6332 3790
 160 New Town Road, New Town, Hobart 7008
 p(0) + 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



Accredited building practitioner Frank Gasparis MIO CC246A

**Response:**

In conversation with the Glamorgan Spring Bay Council, it was advised that the number of crossovers proposed must be addressed. Under the Glamorgan Spring Bay Council Interim Planning Scheme 2015 item E6.7.1 *Number of Vehicular Accesses*, the acceptable solution A1 states:

The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.

The proposed development site is shown in Figure 1. As shown, the development proposes to amalgamate several existing lots into one title. These lots currently have vehicular accessed off Selwyn Street. The development proposes to remove all existing crossovers in Selwyn Street and provide two 6 m wide double crossovers. The proposed number of crossovers does not exceed the existing number of crossovers for the existing road frontage, hence Acceptable Solution A1 of E6.7.1 is satisfied.

Additional Information Required:

- The parking spaces for units 1 and 18 are located very close to the main driveway entrances off Selwyn St and Council is concerned there is a potential conflict between vehicles entering the complex and vehicles reversing out of the parking spaces for those units.

Response:

Swept paths are provided below for driveway manoeuvres for units 1 and 18. The design vehicle shown is a B85 with a 5.8 m radius turn (realistic turning radius). In each swept path diagram below, the reversing manoeuvre of a parked car exiting each driveway is shown, with clearance shown to a potential car entering the site.

It should be noted that the below diagrams present the vehicle clearance envelope for each vehicle in accordance with AS/NZ 2890.1:2004 *Parking Facilities Part 1: Off-street car parking*, and do not illustrate the wheel-path.

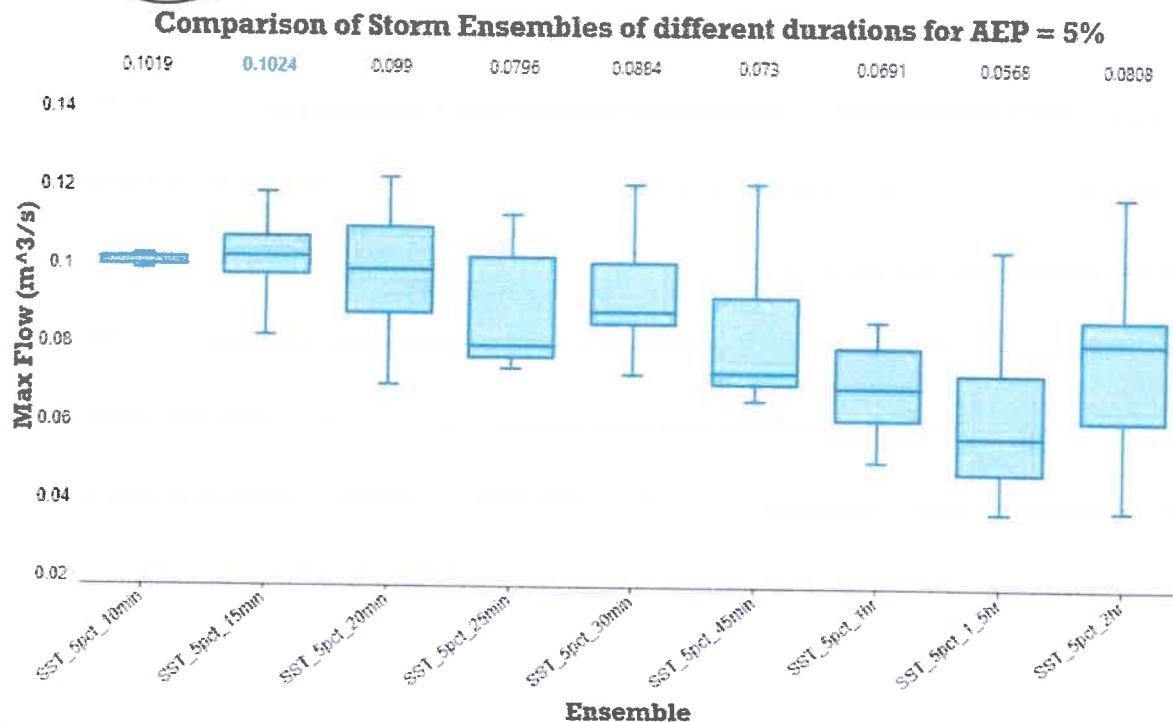


Figure 1 Pre-development box and whisker plot comparison of storm ensembles for 5% AEP. Design flow rate for critical storm duration median pattern = 102.4 L/s (15-minute duration, storm pattern 2).

3.2.3 Runoff Mitigation Proposal

In order to limit site runoff post development to the PSD on-site detention is proposed, with orifice-controlled discharge limiting the site runoff for all storm durations up to the 5% AEP event.

For this assessment, it has been assumed that all impervious areas and 50% of garden areas will be reticulated to on site detention, and 50% of garden areas will discharge from the site undetained. The detention requirements were analysed in XP Storm using the storm pattern producing the median peak runoff for each event duration. Discharge hydrographs for each storm event are shown in Figure 2.

Detention will consist of two 5,000 L Graf underground tanks collecting a majority of the site stormwater with Units 10 to 12 provided with a 1 kL above ground detention tank to each unit.

This analysis has been undertaken for planning purposes. A more thorough analysis will be undertaken during detailed design, which may result in an alternate design solution.

0/FLOW FROM THIS IS
SOUTHERN BOUNDARY

74 sq/m → 5,000 L
67 ML drain

RECEIVED
03 AUG 2021

att. General Manager, GSBC

re proposed development Spencer Street, Triabunna -
DA2021/32
slwyn?

BY:

as a resident close to and overlooked by the proposed development, I would like to make the following observations.

A lot of publicity has been given to the social housing issue and the pitfalls that can accompany building on inappropriate locations.

A prime example is that of McGill Rise, Claremont , which I took the trouble to inspect . Far from being a beat up by the press, this particular disaster was even worse than I could have imagined and Glenorchy Council will rue the day that they ever signed off on it.

I am not opposed to social housing per se but I think that more time needs to be given for discussion on the location of this project .

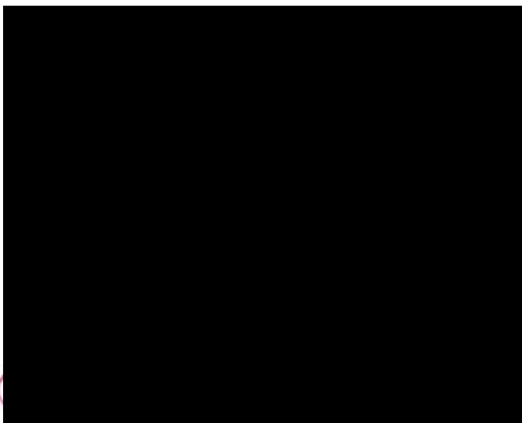
I believe that there should be community involvement and a public meeting - widely advertised- and preferably on site- before approval is granted to proceed.

Also, an independant professional assessment of the site particularly with regard to the stormwater runoff and the effects it would have on residences below.

The council can ill afford to make a mistake here and it is not unreasonable to ask for more time to sort out the many questions that your ratepayers will want answers to.

I am including some photos that I took myself as well as other press cuttings and I hope that you will distribute them to all the councillors for their perusal.

I look forward to your response



faults in new builds

Leaks, cracks and wobbles

They need to last for the next 30 to 50 years and we need them to be built properly

MP JEN BUTLER



CAMERON WHITELEY

LEAKING front doors, unstable stairs, wobbly toilet seats and cracks in the walls are among a range of problems exposed in new housing builds in Hobart's northern suburbs.

Tenants have also revealed other issues, like loose hand rails, doors that whistle when the wind blows and carpet coming up.

After visiting a constituent and discovering an issue with that property, Labor MP for Lyons Jen Butler this month doorknocked 87 newly built homes in Gagebrook and Bridgewater and found 78 per cent of them had faults.

But Centacare Evolve Housing, which had the properties built, has defended the builds, saying they had followed an industry standard process to fix defects. The new builds are part of a government strategy to increase the supply of social and affordable housing.

Ms Butler, who is Labor's building and construction spokeswoman, has called on the government to conduct an audit of the properties in the areas she has sampled.

"I'm concerned about what state those properties are going to be in, in the long term. The properties I went to are all aged between four months and two years," she

said. "They need to last for the next 30 to 50 years and we need them to be built properly."

Ms Butler said she was shocked by the "sheer amount" of faults she found, and said information from tenants was freely given.

"The thing people kept saying was, 'I don't want to make a fuss' and 'I'm grateful to have a roof over my head'," she said.

But she noted some of the homes she visited during her doorknocking blitz were "perfect" and had no problems. Centacare Evolve Housing chief executive Ben Wilson said its building contracts were in accordance with the

relevant Act and new builds had a defects liability period attached to them. "This is industry standard and an expectation that every new house would have work carried out to it after practical completion to rectify defects and carry out general maintenance requirements," he said.

Mr Wilson said it was "extremely common" but "not ideal" for new homes to have defect rectifications.

Mr Wilson said CEH had identified some "problem trends, including the performance of the external front doors used, and that they had been amended in specifications moving forward. He said the organisation

managed about 1200 properties in the Gagebrook and Bridgewater areas and 158 of them had been built in the past 12 months.

"Across our entities last year, we delivered 222 new homes within Tasmania, to a seven-star energy rating and a high standard of finish," Mr Wilson said.

"Many of the issues raised by Ms Butler have been rectified over the past 12 months."

Housing Minister Roger Jaensch said if tenants had concerns they should raise it with their housing provider.

"We expect our community housing providers will deliver houses to the standard required and promptly resolve

any issues that come to light, noting that all homes are only handed over when they have received an occupancy certificate," he said.

Master Builders Tasmania executive director Matthew Pollock said it was not uncommon to see minor defects in new housing construction.

"That is why there is a provision under the building Act and the defects liability period to ensure these defects are rectified through an appropriate mechanism and over an appropriate period of time," he said.

"There shouldn't be defects that are outstanding for extended periods of time."

cameron.whiteley@news.com.au



'We've had all these problems'

CAMERON WHITELEY

TENANTS of newly constructed housing in Gagebrook and Bridgewater have spoken out about defects in their homes, questioning how they can already be happening.

Young couple Ryon Smith and Namaya Pearce moved into a newly built home in Gagebrook last year, the first place they had shared after an extended time couch-surfing.

"We were excited to move into this property but now we've had all these problems," Mr Smith said. The pair said they had issues with the back and front doors, with the front door leaking water into the house when it rained, unstable stairs, and a leaking toilet.

Another Gagebrook resident, Andrew Cantrell, said the toilet bowl in his home "falls off" and he had to hammer in nails that were poking up out of the stairs.

"In 12 months, there shouldn't be this much wrong with it," he said.

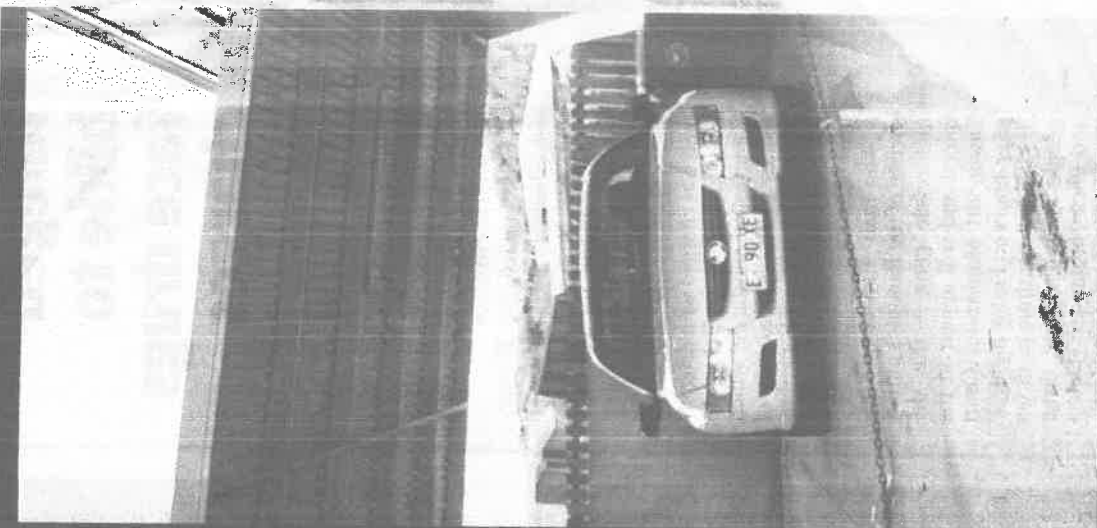
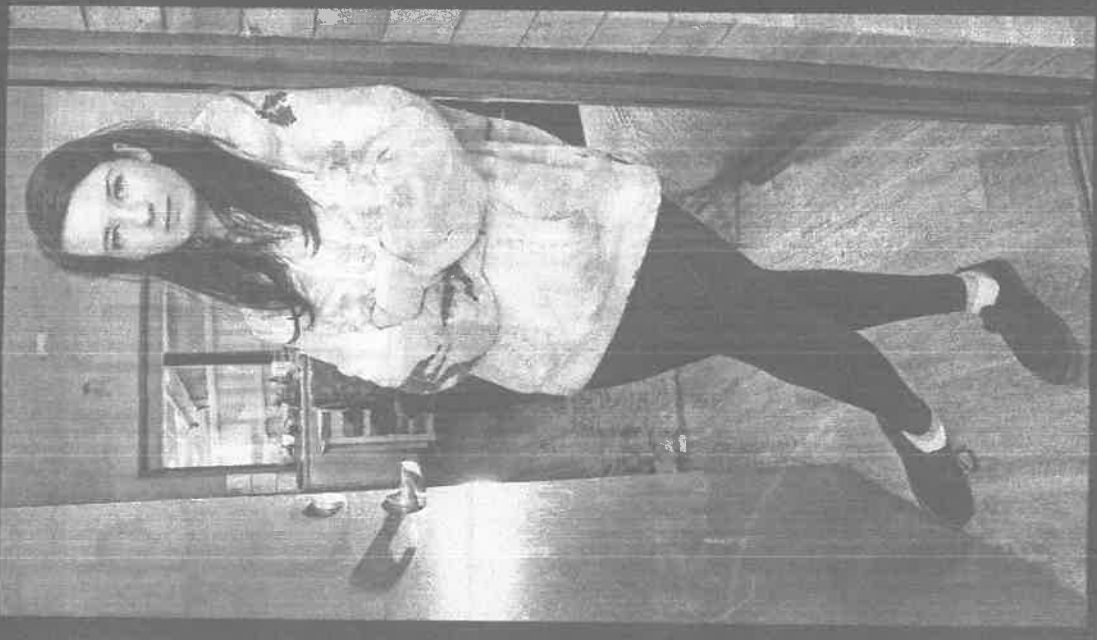
A woman who lives at a newly constructed home in Bridgewater, and who did not want to be identified, said she was mostly happy with her property.

But she said when she first moved in, she had to use up to 10 towels to mop up water that was seeping through the front door.

It was replaced, but the replacement is also imperfect and now she has to use about two or three towels to collect the rainwater which leaks inside.

HOUSING ISSUES: Gagebrook resident Namaya Pearce, left, at her unit's front door, and, right, fellow resident Andrew Cantrell in front of a new unit he is living in that has building defects.

Picture: ZAK SIMMONDS



REVEALED New builds full of faults

A SHOCKING 78 per cent of newly built homes in Gagebrook and Bridgewater have been found to have faults.

Leaking doors, unstable stairs and cracks in the walls are among a range of problems found at the new properties, that were built to increase the supply of social and affordable housing in Tasmania.

FULL REPORT PAGES 6-7

HOME GROOMS

Inside the suburb where neighbours live in fear they will be **KILLED** in their sleep and their homes **CRUSHED** by boulders rolling down from the disastrous development overlooking their houses - as eight properties are evacuated

- Controversial development of 22 homes at McGill Rise, Claremont, Tasmania
- Eight of homes uninhabitable as embankments could collapse in heavy rain
- Authorities admit 'intolerable risk', so residents of the eight homes evacuated
- Neighbours report that boulders regularly tumbled towards houses below
- Previous tenants reported a huge range of issues with 'poor construction'

By **PETER VINCENT FOR DAILY MAIL AUSTRALIA**

PUBLISHED: 23:30 AEST, 15 June 2021 | **UPDATED:** 23:31 AEST, 15 June 2021

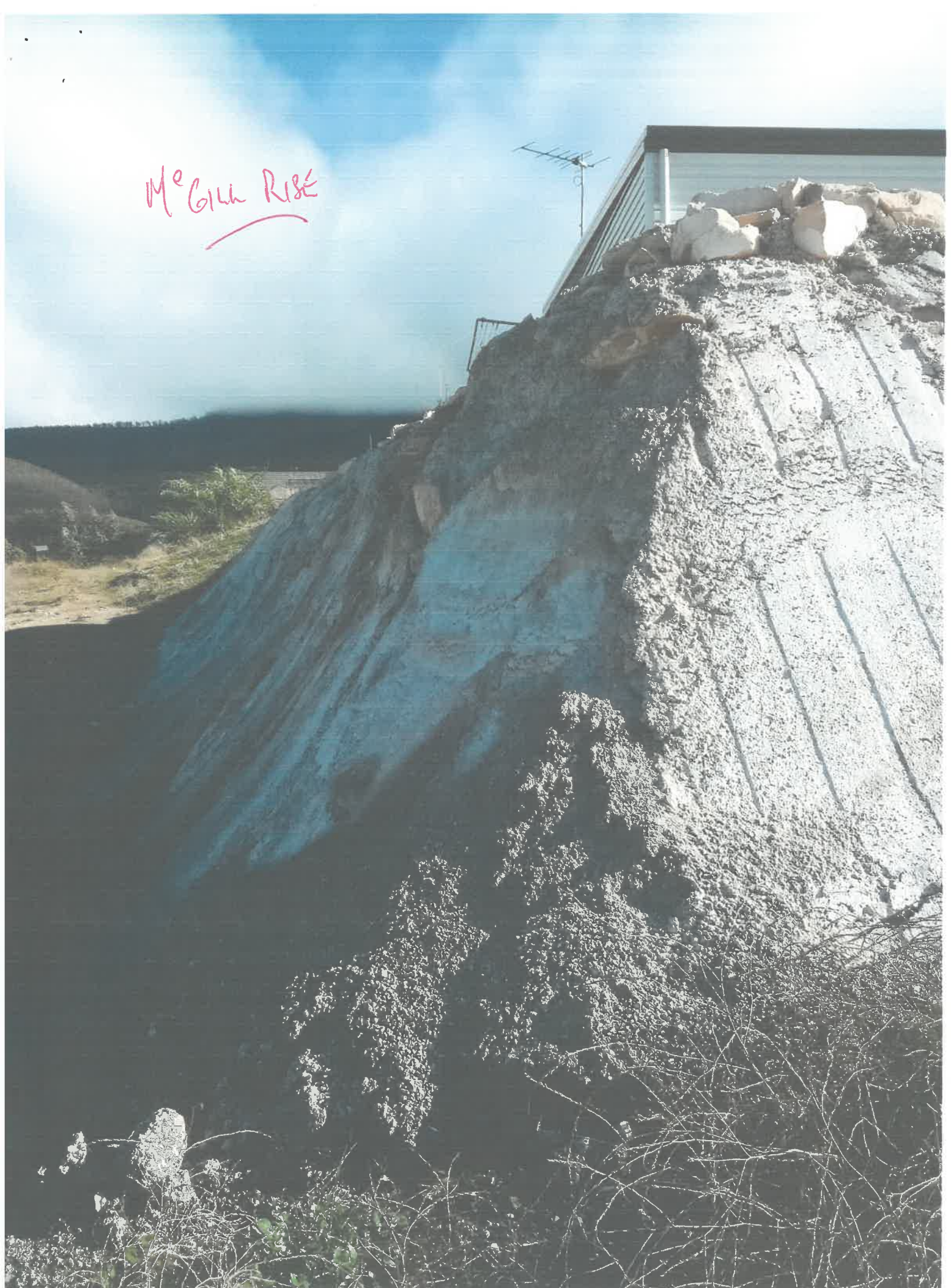
3[View comments](#)

Residents of **Tasmania's worst development** were **electrocuted** by their own kitchen taps, afraid roofs might cave in, and frustrated by mould, plumbing and wiring.

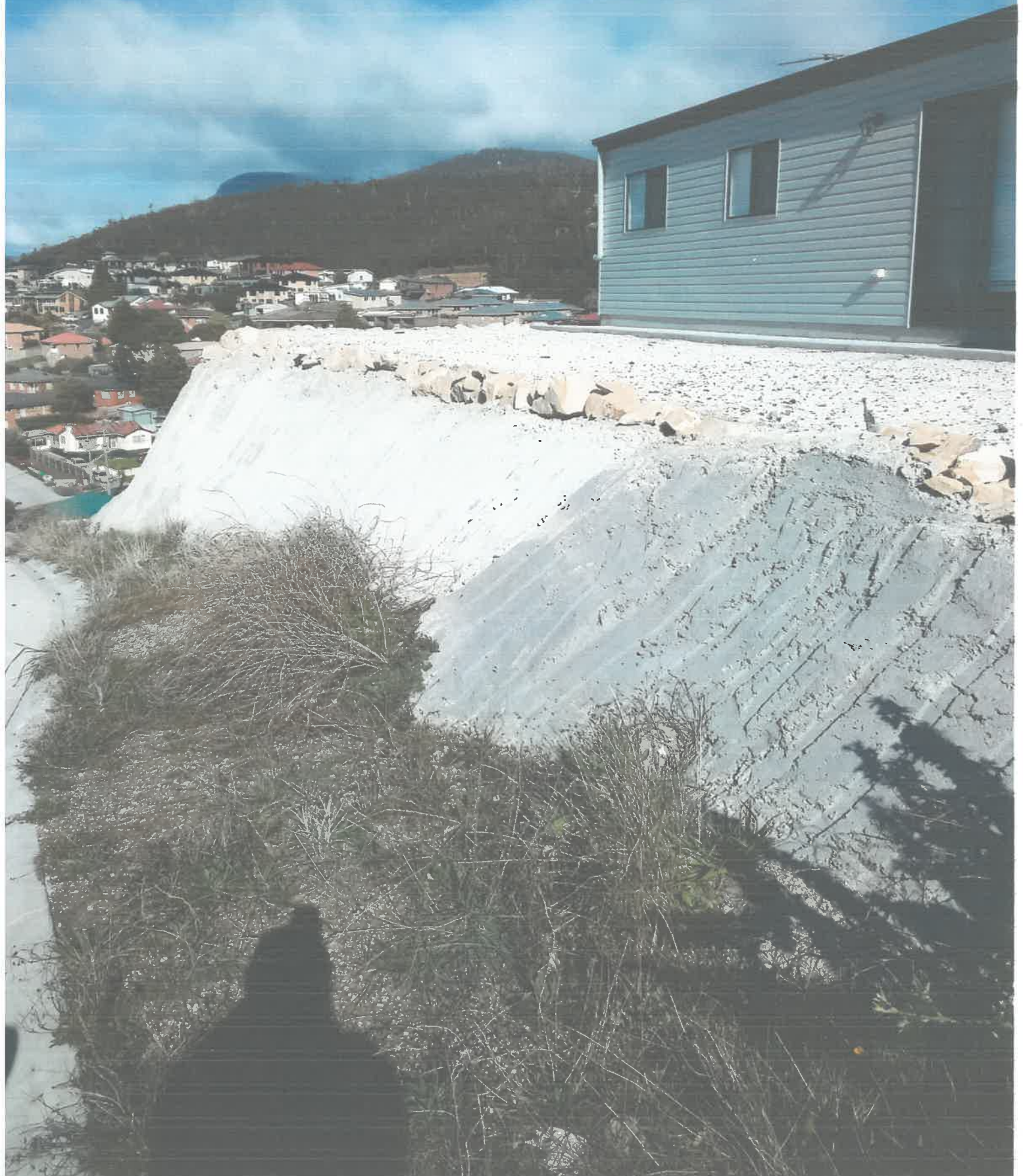
But it was their neighbours living down a huge, steep hill from the development put at the greatest risk by their 'uninhabitable' homes.

Eight unlucky families in the elevated McGill Rise subdivision, in Claremont just north of Hobart, were told to leave in March because the embankments around their homes posed **an intolerable risk** of collapse.

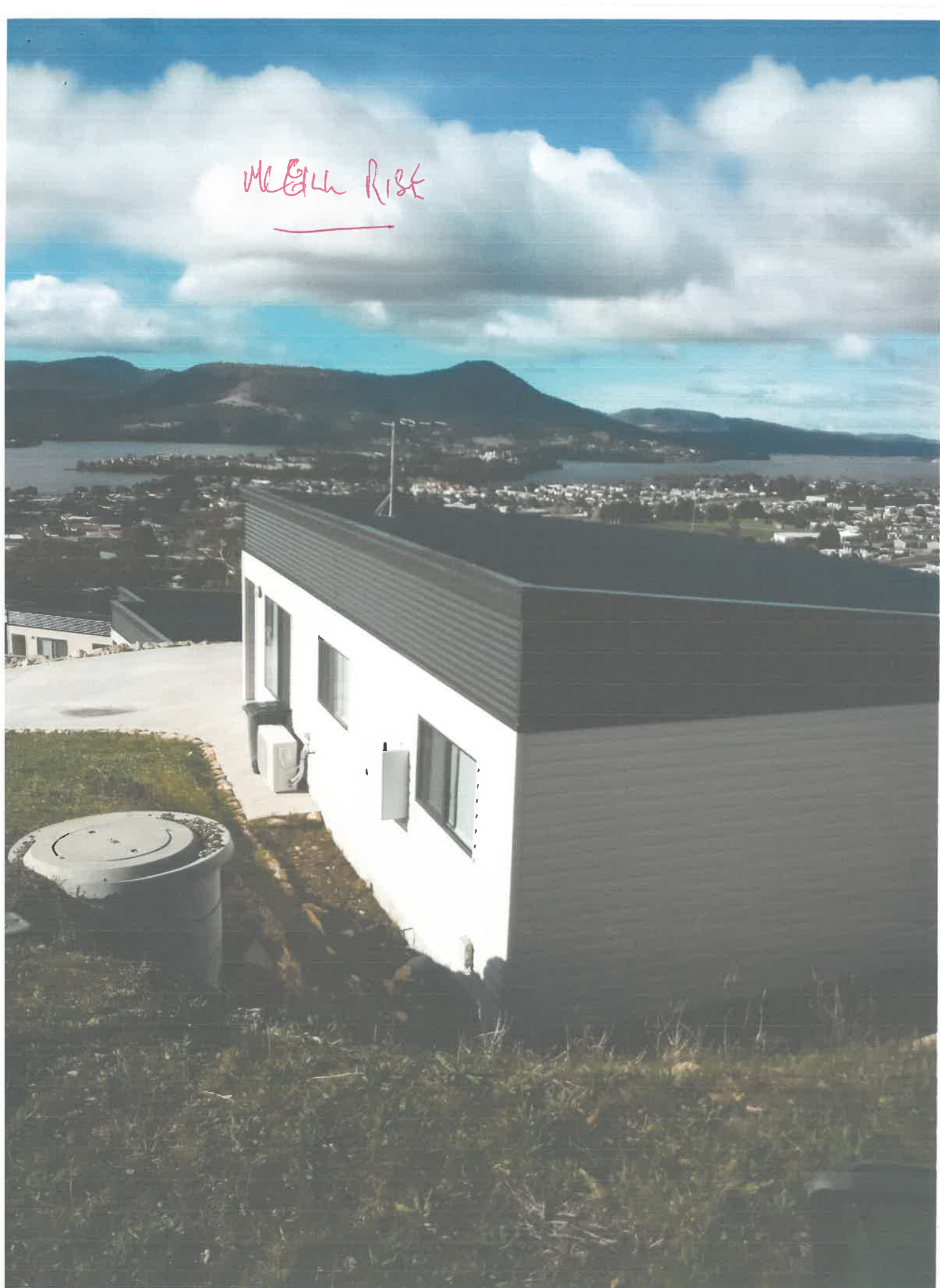
McGill Rise



McGill Rise



McGill Risk

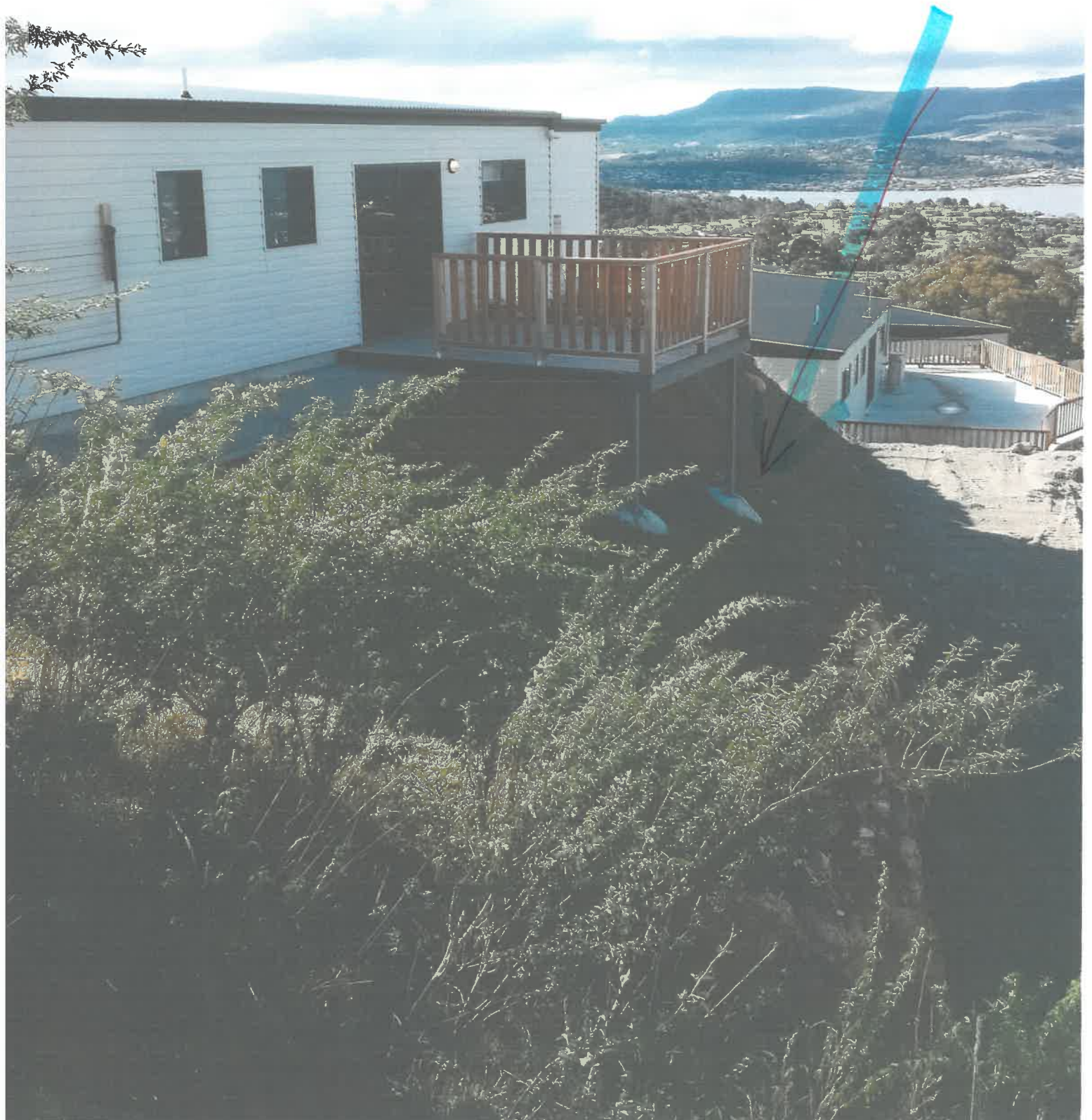


McBIL RISE



McGILL RISE
CLAREMONT

CHECK THIS OUT!



The General Manager
Mr Greg Ingham
Glamorgan Spring Bay Council.
Triabunna

2/8/2021



Dear Mr Ingham,

I am a retired physiotherapist and have a brother in law (architect) and sister who are both in wheelchairs. I have also had 40 + years experience advising and treating handicap people. Consequently I have a very good appreciation for the type of housing and accessibility to all services for people with special needs.

We formally object to the proposed development as stipulated below.:

1. The topography of the proposed development at the top of Selwyn St is extremely steep and the street is very poorly lit.

2. Services :-

No public transport
No taxi service
No proper footpaths
Inadequate Medical service -ie one Dr on duty week days only.

3. Housing design :- Non compliant with liveable housing Silver Level guidelines for handicapped people with varying degrees of mobility.

le -

- step free access.
- all doors should be sliding with minimum opening of 81 cm.
- Hallway width minimum 98cm
- Shower bay 1m X 1.5m

4. The timing for public consultation has been extremely short. We did not receive notification until the 29/7/2021. The residents and the public need more than 7 days to address all proposed developments.

5. I would be happy to discuss this matter further with you at both our convenience.

Yours Sincerely

[Redacted signature]

5th August 2021

The General Manager,
Mr Greg Ingham,
Glamorgan Spring Bay Council.

RE: OBJECTION TO - Notice of Discretionary Development Application.

Spencer Street Triabunna - DA2021/32

Dear Greg Ingham,

I [REDACTED] for the past 15 years sequentially during this time I have rented my property to local family's until my partner [REDACTED] and I decided to relocate from Hobart to live in Triabunna. We formally Object to the above development application made by Wilson Homes to build Multiple Dwellings x 18 units for social housing on Spencer Street Triabunna.

1. As a long-term ratepayer I purchased my property in anticipation of the vacant land on either side of [REDACTED] Selwyn Street would be sub divided for family or holiday homes. The development is prime real estate within Triabunna. We are very concerned that our property valuation would be compromised by this development.
The proposed site would be better developed following the original Marina Views subdivision plan.
In the long term, the Glamorgan Spring Bay Council would greatly benefit financially having families joining our town and community.
2. The location site of the 18 - 2 bedroom dwellings proposed by Wilson Homes would be inappropriate for the Disabled and Ageing community with any mobility concerns. The site of the development is 1 kilometre from the local township and essential services with a very steep gradient.

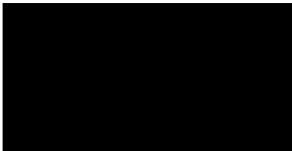
We believe that this type of community housing project would be better suited on a flat location closer to local services. Where the Selwyn Street proposed site will need extensive works to make this site safer for community members with mobility issues.

Generally, people who live in social housing either have limited income or are unemployed. Prospects for employment in Triabunna would be very limited at best.

3. The time for public consultation has been far too short as we only received confirmation in the mail on the 28/7/2021. The public and residents need more time to formally address all the proposed development information.
4. The notice of the proposed development is in fact on Selwyn Street not Spencer Street as the notice described. In the proposal Spencer Street will not be developed as stated.
5. The proposed plan shows that the Open Space on Howells Place will no longer give residents access to adjacent properties.

The development in our opinion is totally unsuitable in the proposed location due to the steep gradient, distance from the main township for people with mobility issues and the future potential of a subdivision for family homes.

Regards,

A black rectangular box redacting the signature of the sender.A black rectangular box redacting the contact information of the sender.

Maree Tyrrell

From: [REDACTED]
Sent: Friday, 6 August 2021 7:24 AM
To: Planning
Subject: Development application Spencer Street

Categories: [REDACTED]

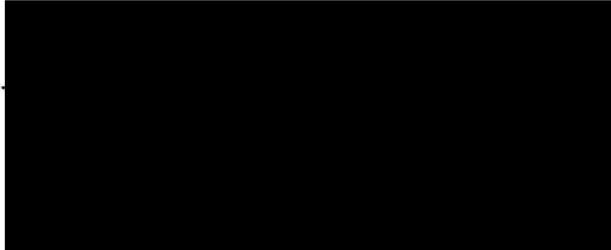
As an adjoining property owner I oppose this development. Thankyou [REDACTED]

TO :General Manager GSBC MR GREG INGHAM 6/8/2021

RE :DA 2021- SPENSER STREET TRIABUNNA 18 UNITS OBJECTION **DA2021-32**

DEAR SIR , As an owner of property in the area of DA I do not wish alteration to property survey and designated Roads , Access and Amenity as per original covenant.

Owner/Ratepayer ...



RECEIVED
06 AUG 2021
BY: 

REP 10

TO :General Manager GSBC MR GREG INGHAM 6/8/2021

RE :DA 2021- SPENSER STREET TRIABUNNA 18 UNITS OBJECTION **DA 2021-32**

DEAR SIR , As an owner of property in the area of DA I do not wish alteration to property survey and designated Roads , Access and Amenity as per original covenant.

Owner/Ratepayer

RECEIVED
06 AUG 2021
BY: 

The General Manager,

Glamorgan Spring Bay Council,

RE: DA 2021/32.

Spencer and Selwyn Streets Triabunna.

Please find attached objections to the above development.

These contain 161 Signatories from the residents of the municipality..

Regards.



Dated 18th August 2021.

The General Manager,
Glamorgan Spring Bay Council,

Re: DA 2021/32 Multiple Dwellings.

Spencer Street and Selwyn Street, Triabunna.

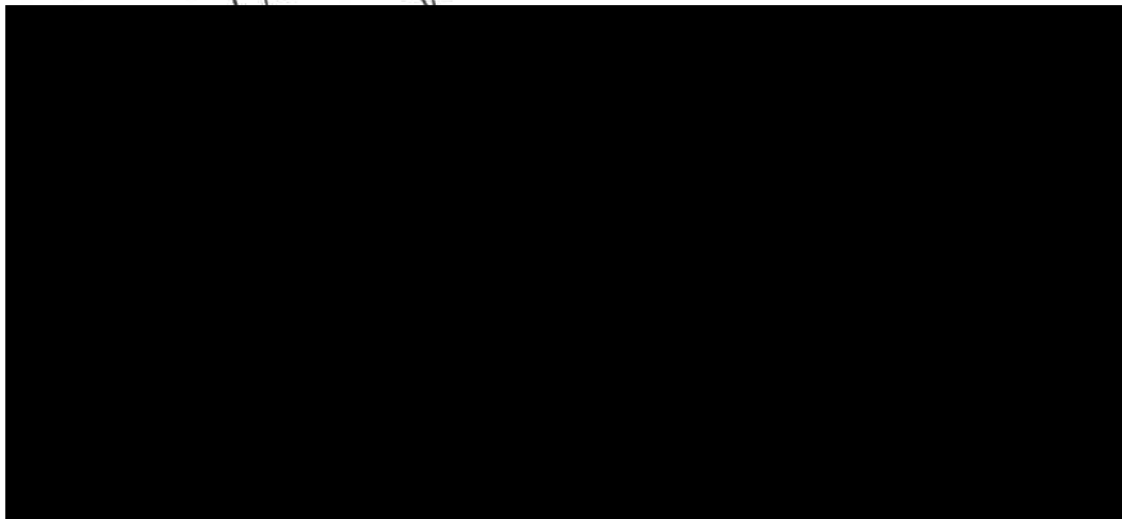
We the undersigned residents are writing with regard the above proposed development.

Whilst we agree in principal with the future need of affordable housing in the municipality we totally oppose this development for the following reasons.

1. The position is totally unacceptable due to the gradient of the land as depicted in page 12 of the application. The development should be on level ground closer to all essential services. The development is for the ageing and people with a disability so the side of a hill is very impractical.
2. The increased traffic flow on Selwyn street has not been addressed at all in the application.
3. The storm water management is all based on assumption as is detailed in submissions already received by council.
4. Has the waste contractor seen and agreed with the proposal. Public liability would be an issue but has not been mentioned. To have a waste disposal truck reversing in an area for the ageing and people with a disability would be too dangerous.
5. The development would compromise the value of surrounding properties whereas the original "marina views" subdivision would enhance it.
6. The time for public consultation has been too short and we would request a public meeting to inform all of the proposal. This was done before and should be again. This proposal affects the whole community not just the adjoining properties.

We await your reply.

~~FOR AND ON BEHALF OF ATTACHED PETITIONERS.~~



DATED THIS 18TH DAY OF AUGUST 2021

TO: Mr Greg Ingham, GENERAL MANAGER Glamorgan Spring Bay Council

20/8/2021

FROM:

RE: Wilson Homes Development Application DA 2021 / 32

DEAR SIR/GREG, I most strongly object to the Development Application put to and assisted by Council without appropriate protection of Ratepayers Assets and suspected contravention of the following Acts and Standards. The proposal is not in the community's interest, residents & business will suffer at the loss of the long intended sites use and as no other site is available why the long "hold up" by successive Council Administrations of a successful Development Application of the said site for the construction of Spencer Street between Robert & Selwyn Streets, Look Out, Car & Tourist Bus Parking and Recreational Open Space/Landscaped Gardens

Contravention &/or Noncompliant of :
Land Use Planning Approvals Act 1993
Local Government Act 1993
Local Government(Building and Miscellaneous Provisions) Act 1993
Glamorgan Spring Bay Interim Planning Scheme
R Livability; Regional Objectives

I commend Centacare Evolved Housing efforts to supply &/or manage Affordable Housing but the proposed Development for the site is wrong and would I fear quickly prove so to the detriment of the neighbourhood and Triabunna. The Proposal introduces unsuitable Higher Density into a General Residential Zone with accommodation for some 30 plus vehicles. The site is well away from the Main Activity Centre without access to Public Transport and most limited Walkability.

Please find enclosed copies of some of our history of Administrations failures to deliver Policy and Ministerial Direction and lost Commercial Opportunity as per copy of correspondence of Mr David Walker. Triabunna is missing out on a minimum of \$1200/week in Tour Bus income not having access to Howell's Hill.

"An integrated open space and recreational system that responds to existing and emerging needs in the community and contributes to social inclusion, community connectivity, community health and wellbeing, amenity, environmental sustainability and the economy."

I do hope your Administration does not fail to deliver the Communities long held desire for the site not the DA 2021 / 32 but should it be necessary for a hearing I hereby request that the petitioners / objectors &/or Legal Representatives who wish to speak be permitted to be heard.

The request for information on Rate Return for the proposed site has not been forthcoming considering the 12 lots are to combined (Adhesion of Titles) and should the Petition for the Return to AAR be I suspect Successful the supposed rate/tax returns on the 18 units are at best suspect. In fact who would be the owner of the proposed new Title, the Catholic Church or another foreign owned entity, I believe to be Japanese, Wilson Multi, Wilson Homes??

Council may hold the Titles to the 12 lots but I dispute Council's right to sell, lease, donate, exchange or otherwise dispose of at least 9 of the 12 blocks/lots. Council appears to have failed to comply as directed by Housing Minister. The lots are presently inappropriately inclusive of another failed commercial venture of a previous General Manager's non core activity and as per inclosed history another I believed ignored flawed Section65 presentation of that Administration. I believe a most sad and dishonest of Our Municipalities Unfortunate Unchecked History.

The additional pressures on basic services will be considerable. GP services cannot be guaranteed & already under pressure. The biological, phycological, social health factors for over 55s and some younger clients of Housing Division are of concern and should only half the units be occupied by clients from outside the Community I doubt East Coast Health will cope.

Housing Division has in the past I believe did use Triabunna as an out of the way location for some of it's problematic clients to the detriment of the Community and Triabunna's Reputation. The proposed D A has the potential to set back Triabunna's Future.

Respectfully Yours, [REDACTED]

20/8/2021

P.S. I BELIEVE SEALED PLAN 127269
APPLIES TO THE SITE OR PART OF.

Triabunna Lookout File Copy

Mrs. K. M. Fergusson OAM
Rostrevor Estate
PO Box 38
TRIABUNNA 7190

Ph. (03) 6257 3122
Fax (03) 6257 3699

4 December 2008

Mr. David Metcalfe
General Manager
Glamorgan/Spring Bay Council
Vicary St.
TRIABUNNA 7190

Dear Mr. Metcalfe

Re: TRIABUNNA LOOKOUT PROJECT

I was disturbed to hear that a recommendation was being put to Council to dispose of all or some of the land set aside for a lookout on Howell's Hill at Triabunna. The land in question was transferred to Council by the state government specifically for public purposes, one of the conditions of transfer being that the subject land was not to be sold or otherwise disposed of for any other purpose.

After a lengthy process with much delay caused mainly by ever changing Council staff, all parties were agreed to proceed with Stage 1 of the project, that is, the formation of the roadway linking Robert and Selwyn Sts along Spencer Street, and a pull off area for tourist coaches near the Selwyn/Spencer Sts. intersection. However Gunns required drawings prepared by Council showing details of alignment, levels, drainage and any existing services before they would proceed. It is some four years later and they are still waiting for the plans!

The joint project between industry and local government would benefit Council and the community financially as both Gunns and Rostrevor Estate *were* willing to contribute plant and equipment at no cost to the ratepayers as long as the works could be effected during a time frame when suitable plant was in the area.

I would be more than willing to meet with you at your convenience to discuss the project in greater detail. I still believe it is a very worthwhile project with an outcome that will only enhance Triabunna's tourism prospects.

Yours sincerely,

Kath Fergusson

Cc: Mayor, councillors and others concerned.

FILE COPY 1

Mrs. K. M. Fergusson OAM
Rostrevor Estate
PO Box 38
TRIABUNNA 7190

Ph. (03) 6257 3122
Fax (03) 6257 3699

19 February 2003

Mr. Alan Daley
General Manager
Glamorgan/Spring Bay Council
Vicary St.
TRIABUNNA 7190

Dear Mr. Daley
Re: TRIABUNNA LOOKOUT

Following a discussion with and advice from Council's relieving Planning Officer, Victoria Maxwell, on Monday of this week, I wish to seek Council's endorsement for the immediate conclusion of the transfer of land in Spencer St. Triabunna from Housing Tasmania for public purposes, namely the establishment of a Lookout site and traffic pull-off/ parking area.

Background:

A proposal to establish a Lookout at Selwyn/Spencer Sts. Triabunna on land under the state government ownership allocated to Housing Tasmania, was mooted by me on Australia Day 1997, discussed with councillors, staff and community and lobbied for at the Government's community forum at Bicheno on 15th August 1999.

The project was looked upon favourably by both state and local governments, seen as affordable, achievable, of benefit to the local community, the travelling public and improved safe navigation of the area by large tourist coaches. It was seen by State politicians as a perfect partnership project between local and state governments and the project was to be progressed forthwith. Council delegated to myself the task of working with Council and state government staff, local businesses and groups to coordinate the projects completion.

The project was to involve firstly the transfer of sufficient number of land lots to enable establishment of the Lookout and suitable parking area for vehicles including tourist buses - Council was willing if necessary to 'swap' designated Reserve land adjacent to the required lots. Secondly, TPFH's community liaison officer, Brett Cusick was to organise the Company's roading plant to form Spencer St. between Selwyn and Roberts Sts. plus pull-off area; Rostrevor Estate was willing to provide base course gravel with Council providing fines and completing works. It was envisaged that community groups would assist in landscaping following completion of construction works.

Following successful negotiations with officers of Housing Tas. on the land (note: they did not wish to 'swap' for Reserve land) all that remained to be done to effect transfer of land to Council was for the Council Planner Ian Stanley to contact Housing staff to finalise documentation. This, despite numerous reminders by myself, failed to happen. Following the appointment of a new Council Planning Officer, I supplied copies of my files to her as Council's file on the subject could not be found. The project was thus re-activated in 2002.

Recent Progress:

I attended the Regional Forum at Swansea on 13 October 2002 and received confirmation from Minister Llewellyn of the Government's continued support of the project. Once again Housing Tasmania staff resurrected the file and have been waiting for completion by Council since October 2002. In October I was contacted by the Strategic Land Manager, Housing Tas., Mr. Paul Gray, trying to ascertain what the problem was, as he had not heard from Council's Planner to conclude the transfer of the 3 blocks of land she had sought (lots 1176, 1177, 1178.) As the original proposal was for more than 3 blocks, he suggested another approach be made for additional blocks required. Liaison was effected with Mr. John Backhouse of the Dept. to ascertain what blocks were still available. I was to submit a list of the blocks required 'for public purposes' following consultation with those community groups who had indicated to Council or myself some desire for land for community projects. Subsequent consultation revealed that Jane Teniswood at this stage did not wish to pursue the works skills/horticulture/ employment project at Spencer St.

Triabunna Lookout File Copy

Mr. John Heck declared continued interest in land for townscape project involving endemic gardens/sandstone/tourism elements - I believe he has submitted the project to Council on behalf of the Lions Club of Spring Bay. The submission apparently included provision for the incorporation of "our" Lookout plus parking.

On 17th February 2003, I went to liaise with Gretje to double check on the required blocks of land only to find she was on leave. I thus had to inform the relieving Planner, Victoria Maxwell, of our project and explain the issues involved. She advised that a new submission be made to Council regarding the extra blocks required over and above those listed by Gretje. However I feel that Council had already expressed its approval for sufficient blocks to establish Lookout and parking in Ian Stanley's time of employment. If the Lions Club is to establish their project in that location also, then Council may need to look at more than the 5 lots originally classed as the minimum required by the past Works Manager Murray Hill and Southern Supervisor Denny Clark.

The Lots in question are:

- a. Original proposal: lots 1175, 1176, 1177, 1178, 1179 (Ian was to find out if 1180 was also available - which it is.)
- b. Gretje's proposal: lots 1176, 1177, 1178.
- c. Lions Club proponent stated lots 1173, 1174 in addition to all those listed in a. above would allow for their current and future needs.
- d. No longer needed for Jane Teniswood's project: lots 1151, 1152, 1153.

I contacted Paul Gray (Ph. (03) 62 334836) again on Monday last, explained the situation to him and he advised that a letter be sent to him under Council's letterhead confirming Council's request for title by way of transfer for the purposes of establishing a public lookout as agreed with past Minister of Health and Human Services Judy Jackson and the current Minister, David Llewellyn. He said the paperwork is ready for lots 1176, 1177, 1178 to be immediately transferred, however if Council wishes to obtain lots 1175, 1179 and 1180 as well they could be transferred as a block. There may soon be a change in policy with regard to this type of transfer so that it may be advantageous for Council to secure the additional land under the existing policy.

I would ask Council to at least secure the first 3 lots, and seek the other three on the basis that the extra land will give greater scope for effecting safety measures for coach access and parking on the steep terrain as well as ensuring privacy to existing residences in the adjoining blocks. It would also ensure that 'Pee Wee's' grave can remain in situ! A request for first offer on lots 1173 and 1174 pending successful funding of the Lions Club project, would allow annotations to that effect to be placed on those titles. The Lions' project would effectively be Stage 2 of the Tourism development.

I would greatly appreciate your assistance in ensuring a successful outcome of what has been a long drawn out procedure. I believe we have been missing a golden opportunity to project a different, enhancing image of the town of Triabunna and the estuary and valley of Spring Bay. If we do not act shortly this opportunity may be lost altogether.

I would appreciate being kept informed on the progress of the subject please.

Yours sincerely

Kath Fergusson

Cc: Mayor, officers and others concerned.

FILE COPY 2

Mrs. K. M. Fergusson OAM
Rostrevor Estate
PO Box 38
TRIABUNNA 7190

Ph. (03) 6257 3122
Fax (03) 6257 3699

22 January 2004

Mr. Darren Davis
General Manager
Gunn's Ltd.
Freestone Point Rd.
TRIABUNNA 7190

Dear Mr. Davis
Re: TRIABUNNA LOOKOUT

For some time I have been involved in the process of establishing a Look-out and parking area to enable members of the public to safely negotiate the unique vantage point located at Spencer St. between Selwyn and Roberts Streets overlooking Triabunna .

The project was looked upon favourably by both state and local governments, seen as affordable, achievable, of benefit to the local community, the travelling public and improved safe navigation of the area by large tourist coaches. It was seen by State politicians as a perfect partnership project between local and state governments and the project was to be progressed forthwith. Council delegated to myself the task of working with Council and state government staff, local businesses and groups to coordinate the project's completion.

I am pleased to be able to report that land previously held under Housing Tasmania's control has now finally been transferred to the Glamorgan/Spring Bay Council 'for public purposes', namely the establishment of the Lookout site and traffic pull-off/ parking area.

Originally North's community liaison officer, Brett Cusick had agreed to organise the Company's roading plant to form Spencer St. between Selwyn and Roberts Sts. plus a pull-off area, and Rostrevor Estate was willing to provide base course gravel with Council providing fines and completing the works. It was envisaged that community groups would assist in landscaping following completion of construction works.

Could you please advise me as to whether Gunn's will honour North's commitment to use its roading plant to form Spencer Street and pull-off area during the seasonal forest roading 'quiet time' or when relocating roading plant through Triabunna?

I would greatly appreciate your Company's assistance in ensuring a successful outcome of what has been a long drawn out procedure. I believe we have been missing a golden opportunity to project a different, enhancing image of the town of Triabunna and the estuary and valley of Spring Bay. If we do not act shortly this opportunity may be lost altogether.

Yours sincerely

Kath Fergusson

PROJECT PROGRESS SHEET:

1. April 2, 2003: Gunns Ltd. (Maree) Darren Davis, Manager.

- will need a proposal in writing to consider

a. What the project is?

b. Gunn's proposed involvement

c. Ask whether Gunn's will still honour the Company's promised involvement under North's ownership. i.e. Use of roading plant to 'cut' road (initial forming of) during period of seasonal 'stand down' or withdrawal from forest roading operations (refer TPFH/North's community Liaison Officer).

2. April 4, 2003: Rotary Club of Spring Bay:

Agree in principle to proposal – to assist where ever possible.

David Walker will discuss coach requirements, etc..

Note: Denny Clark will help when needed also.

3. April 2, 2003: Lions Club of Spring Bay:

Peter Whittaker: support in principle – what is required of them??

4. January 2004: Gunn's

Spoke with Craig Bailey re: roading assistance – need to put request in writing to Darren Davis, General Manager, Gunn's.

5. April 15, 2004: Darren Davis, Gunn's: Telephone call received from D. Davis:

- Gunn's are willing to assist with three days forming road, etc., valued at maximum amount of \$5000 – subject to Council doing survey work, preparing plans, approvals, etc., plus drainage works.

- Rostrevor is to provide base course gravel, Council is to provide fines.

- Need to liaise with Terry Higgs (Gunn's).

- Works to be done at a time to fit in with Gunn's programme of operations.

(NB. Gunn's men usually form about 1 km/wk. \$5000 is their estimate for 600 m. – street only 200m. so \$5000 should be enough.)

- He was to write to Danny Green about the above details.

6. Pee Wee's grave: near northern –most pine tree, was Casey Wrigley's dog. I received his permission to relocate it & re-do 'head stone' if necessary.

DEPARTMENT of PRIMARY INDUSTRIES,
WATER and ENVIRONMENT

Land Information Services



Tasmania

PROPERTY INFORMATION SHEET

VALUER GENERAL, TASMANIA

Issued pursuant to the Land Valuation Act 1971

Property Id: 7586545

Municipality: GLAMORGAN-SPRING
BAYProperty SPENCER STREET,
Address: TRIABUNNA TAS 7190

S.P.127269

Rate HOUSING SERVICES

Payers:

Title THE DIRECTOR OF HOUSING THE DIRECTOR OF HOUSING THE DIRECTOR OF
 Owners: HOUSING THE DIRECTOR OF HOUSING THE DIRECTOR OF HOUSING THE
 DIRECTOR OF HOUSING THE DIRECTOR OF HOUSING THE DIRECTOR OF HOUSING
 THE DIRECTOR OF HOUSING THE DIRECTOR OF HOUSING THE DIRECTOR OF
 HOUSING

Postal GPO BOX 125B.
Address: HOBART TAS 7001

Improvements: FENCING &

Land Area: 0.9947 hectares

Land Use: Vacant-Residential

Title References: 55156 / 72

55156 / 71

55156 / 70

55156 / 69

55156 / 68

55156 / 67

55156 / 66

55156 / 65

55156 / 64

55156 / 63

55156 / 62

UPI References: 3001151

3001152

3001153

3001173

3001174

3001175

3001176

3001177

3001178

3001179

3001180

Last Sales

Contract Date	Real	Chattels	Other
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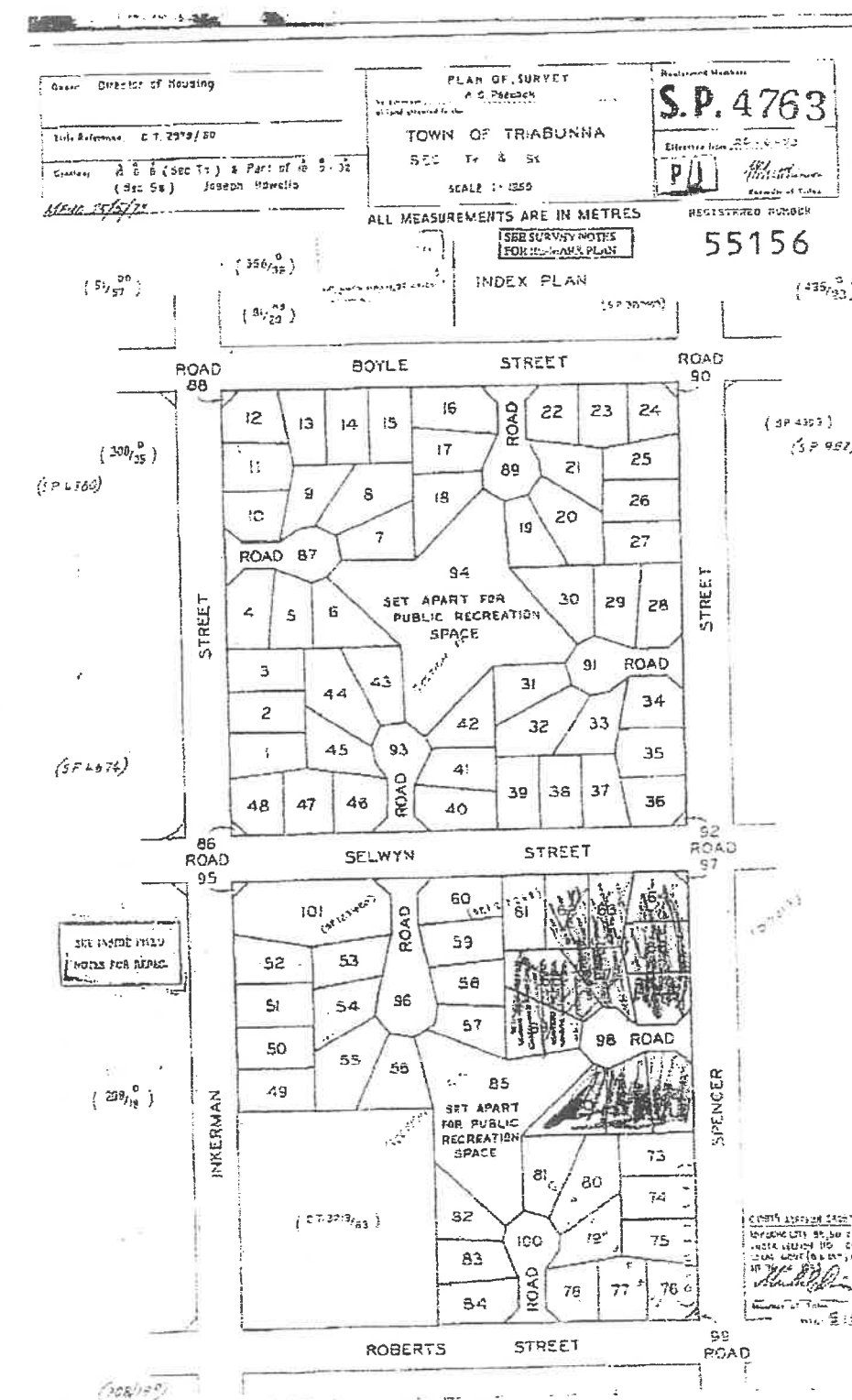
Last Valuations

Date Val	Levels At	Land	Capital	A.A.V.	Reason
01/02/1999	30/09/1998	\$25,000	\$25,000	\$1,000	Revaluation
12/10/1993	01/01/1994	\$25,000	\$25,000	\$1,000	Revaluation

11/10/99

449026790 01

MUNICIPALITY: GLAMORGAN-SPRING BAY 2000-100451





From: [REDACTED]
Sent: Friday, August 20, 2021 2:36 PM
To: Greg Ingham <greg.ingham@freycinet.tas.gov.au>
Subject: Objection for proposed development - Spencer Street DA2021/32

The General Manager,

Mr. Greg Ingham,

Glamorgan Spring Bay Council.

Re: Notice of Proposed Development.

Spencer Street Triabunna - DA2021/32.

As the owners of [REDACTED] we formally object to the above development.

1. The time for public consultation is too short and should be extended to allow residents to formally address same.

2. The notice of proposed development is in fact Selwyn Street and not Spencer Street. It was intimated that Spencer Street would be upgraded and used for access but upon reading the DA this is not the case and Spencer Street will remain an unmade street. We would refer to the attached correspondence marked "A" from Geosolutions to the GSBC wherein it is stated that Spencer Street will remain as part of the Councils fire abatement process.

3.The location of the proposed development is totally inappropriate for the ageing or people with disability. The distance of one (1) kilometre from the town centre for access to essential services such as fuel ,shops, medical centre and community health centre, is not acceptable particularly with the steep gradient of Selwyn Street.

4.The DA states the units are for “those already living in the Glamorgan Spring Bay region who are experiencing housing stress.” Will the Council and CentacareEvolve disclose to the community who these people are. If aged and or people with a disability from outside the community are tenanted in these units there will be further pressure put on the medical services in the area which at the moment are not sustainable under the current management.

The DA states seven (7) units will be available to people with a disability, will the development fully comply with the gradient under Australian Standards.

Every one of the 18 units have stair access which is totally unacceptable for the ageing or people with a disability.

5. The increase in traffic flow in Selwyn Street is unacceptable. The traffic was to be onto Spencer Street. The dual access to the units is very close, some twenty (20) metres and presents a danger to both traffic and pedestrians. The gradient on the street also contributes to this particularly with the near proximity to the access of vehicles in units one (1) and (18).

The access to the units does not show the true wheel path of vehicles within the complex. If shown It would disclose how little space is available to manoeuver vehicles. Please refer to attachment correspondence marked “C” .

6. The collection of waste from the complex beggars belief wherein a waste disposal vehicle (truck)

will be expected to reverse for a distance of ten (10) metres after emptying bins. This is totally unacceptable and dangerous in a complex which will be housing ageing and people with a disability.

7. The proposed plan takes up "OPEN SPACE" at the end of Howells Place which will deny residents access through the area. This "OPEN SPACE" is used daily by residents and is shown on the attached plan marked "B".

8. The Storm Water Management is unacceptable and upon reading same and in particular sections 3.2.1 – 2 and 3 all is based on the assumption that 30% of the land on the previous subdivision is impervious. It is also an assumption for the assessment in the proposed development.

Assumption is not fact and I will be seeking a guarantee from Council for compensation for any storm water damage to my property.

The detention of water with two tanks (5000ltr) at units 10 and 12 is not feasible when 65mm of rain. On a roof area of approx. 75 sq/m will fill them. What has been planned for the overflow.

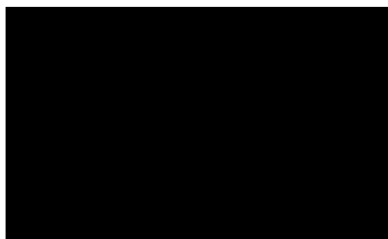
In summation we would again state We are opposed to this development.

we cannot understand why the Council does not revert to the original "Marina Views" subdivision and sell the twenty one (21) allotments, shown on the attached plan marked "B", allowing people to build and the town develop. This would also allow public access to continue from Ryan Place, Howell Place, Tapner Court, Morley Parade and Davidson Place to continue uninterrupted as "OPEN SPACE".

The council would derive income from rates on the 21 allotments. With the current demand for vacant land together with current prices this has to be beneficial to the council.

The current proposal with its location, density of dwellings, gradient of site, dangerous access, intended demographic of residents and the denial of access through the area is unacceptable. This complex would be suited to land closer to all facilities within the township on level and more accessible land.

We await your reply.



Sent from my iPad



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development;

SITE: Unit 2, 460 Courland Bay Road
Bicheno

PROPOSAL: Shed

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager. Representations must be received before midnight on Friday 27 August 2021.

APPLICANT: W G Hunt
DATE: 05 August 2021
APPLICATION NO: DA 2021 / 226



GLAMORGAN SPRING BAY COUNCIL

Application for Planning Approval

OFFICE USE ONLY	
DATE RECEIVED:	PID:
FEE	RECEIPT No:
DA:	PROPERTY FILE:

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including subdivision, planning scheme amendment & minor amendments to permits.

For visitor accommodation in the General Residential, Low Density Residential, Rural Living, Environmental Living or Village Zone in existing buildings you must use the sharing economy standard form. This is available on the Council website.

Completing this form in full will help ensure that the minimum information required to assess your application is provided. The planning scheme provides details of what other information may be required at clause 8.1 and in each applicable Code. If insufficient information is provided you may be requested to provide additional information which will delay your application.

Please provide the relevant details in each applicable section by providing the information or circling Yes or No as appropriate. If details are shown on the proposal plans, or in a separate written document, please refer to the drawing number or other documents as required.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

Details of Applicant & Owner

Applicant:	William G. Hunt			
Contact person: (if different from applicant)				
Address:	135 Harvey's Farm Rd.		Phone	
	Richeno	Tas	Fax:	
Email:				
Do you wish				
Owner: (if different from applicant)				
Address:			Phone:	
			Fax:	
Email:			Mobile:	

Application for Planning Approval

Details of Site and Application

Please note, if your application is discretionary the following will be placed on public exhibition.

Site Details

Address / Location of Proposal: <u>Lot 2, 460 Courland Bay Road</u>			
		Suburb <u>Bicheno</u> Post Code <u>7215</u>	
Size of site	..... m ²	or	..... Ha
Certificate of Title(s):	<u>title reference 169315/2 / Property ID 9273850</u>		
Current use of site:	<u>Visitor Accommodation.</u>		

General Application Details

Complete for All Applications

<input type="checkbox"/>	New Dwelling	<input type="checkbox"/>	Change of use
<input type="checkbox"/>	Additions / Alterations to Dwelling	<input type="checkbox"/>	Intensification or modification of use
<input checked="" type="checkbox"/>	New Outbuilding or Addition	<input type="checkbox"/>	Subdivision or boundary adjustment
<input type="checkbox"/>	New Agricultural Building	<input type="checkbox"/>	Minor amendment to existing permit DA /
<input type="checkbox"/>	Commercial / Industrial Building	<input type="checkbox"/>	Planning Scheme Amendment

Please state the name of any Council officers that you have discussed this proposal with:

Officer's name : James Bonner or n/A

General Background Information

Is the site listed on the Tasmanian Heritage Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Have any potentially contaminating activities ever occurred on the site? <i>If yes, please provide a separate written description of those activities.</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Is the proposal consistent with any restrictive covenants or Part 5 agreements that apply to the site?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Application for Planning Approval

Does the proposal involve any of the following?		
Type of development		Brief written description if not clearly shown on the plans:
Partial or full demolition	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fencing	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New or upgraded vehicle / pedestrian access	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New or modified water, sewer, electrical or telecommunications connection	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Retaining walls	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Cut or fill	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Signage	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New car parking	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Vegetation removal	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Estimated value of works (design & construction)	\$
--	----

Describe the order and timing of any staged works:	<div style="border-bottom: 1px solid black; height: 20px;"></div> <div style="text-align: right;">or N/A</div>
--	--

Existing floor area 0 m ²	Proposed floor area 36 m ²
--	---

Number of existing car parking on site N/A	Number of proposed car parking on site N/A
--	--

Describe existing or proposed vehicular access & car parking width, drainage & surfacing:	<div style="border-bottom: 1px solid black; height: 20px;"></div> <div style="text-align: center;">gravel roading and parking</div>
---	---

Please note, if a gravel driveway is proposed from a sealed public road please address the following clause (E6.7.6 P1):

Parking spaces and vehicle circulation roadways must not unreasonably detract from the amenity of users, adjoining occupiers or the quality of the environment through dust or mud generation or sediment transport, having regard to all of the following:

- (i) *the suitability of the surface treatment;*
- (ii) *the characteristics of the use or development;*
- (iii) *measures to mitigate mud or dust generation or sediment transport.*

Application for Planning Approval

Materials:			
External building material	Walls:	<u>Cement sheeting</u>	Roof: <u>Color bond</u>
External building colours	Walls:	<u>pale eucalypt</u>	Roof: <u>pale eucalypt</u>
Fencing materials	<u>N/A</u>	Retailing wall materials	<u>N/A</u>

For all outbuildings

Describe for what purpose the building is to be used:	<u>Storage</u>
Describe any intended toilet, shower, cooking or heating to be installed:	<u>N/A</u>
If the building is to be used wholly or partly as a domestic workshop, what type of tools and machines will be used?	<u>lawn mower, vacuume cleaner, tools etc.</u>

For all non-residential applications

Hours of Operation

Current hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:	
Proposed hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:	

Number of Employees

Current Employees Total:		Maximum at any one time:	
Proposed Employees Total:		Maximum at any one time:	

Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency:	..... or N/A
Describe current traffic movements into the site, including the type & timing of heavy vehicle movements & any proposed change:	..... or N/A
Describe any hazardous materials to be used or stored on site:	..... or N/A
Describe the type & location of any large plant or machinery used (refrigeration, generators)	..... or N/A
Describe any retail and/or storage of goods or equipment in outdoor areas:	..... or N/A
Describe any external lighting proposed:	..... or N/A

Application for Planning Approval

Personal Information Protection Statement:

The personal information that Council is collecting from you is deemed personal information for the purposes of the *Personal Information Protection Act 2004*. The intended recipients of personal information collected by Council may include its officers, agents or contractors or data service providers. The supply of the information by you is voluntary. If you cannot provide or do not wish to provide the information sought, Council may be unable to process your application. Council is collecting this personal information from you for the purposes of managing, addressing, advising upon and determining the application and other related Council matters.

Declaration:

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that: -

- The information in this application is true and correct.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I/we confirm that I/we are the copyright holder or have the authority to sign on behalf of any person with copyright for documents to this application and authorities Council to provide a copy of this application to any person for assessment or statutory consultation.
- I/we authorise Council to provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.
- I acknowledge that if the application is discretionary that the application will be exhibited in the Council offices and on the Council website.
- I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature:		Date:	30/7/2021
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If application is not the owner

If the applicant is not the owner, please list all persons who were notified of this application pursuant to section 52 of the *Land Use Planning and Approvals Act 1993*.

Name:	Method of notification:	Date of notification:

If application is on or affect Council or Crown owned or administered land

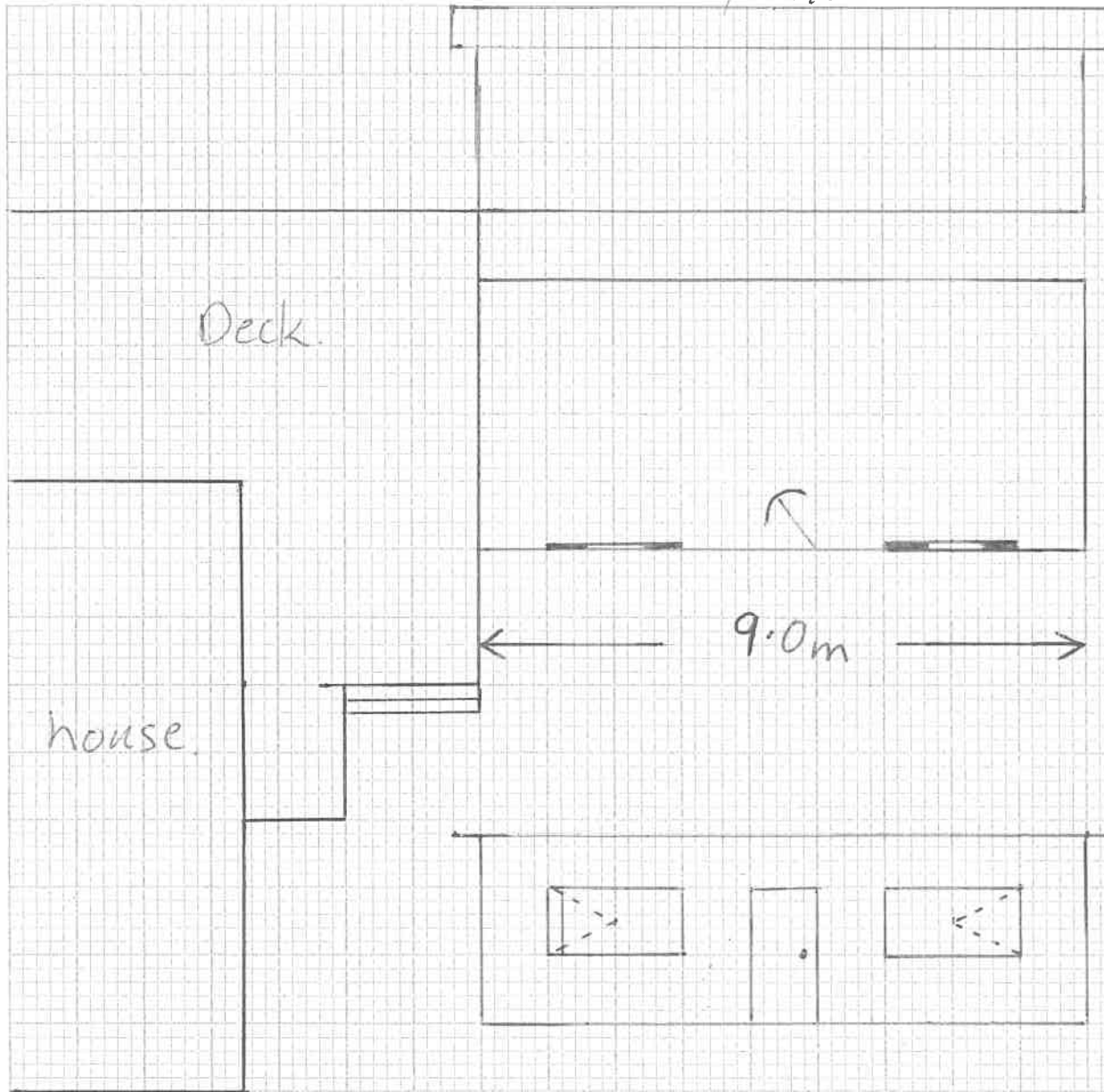
If land affected by this application is owned or administered by the Crown or Council then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided and that person must also sign this application form below:

I being responsible for the administration of land at declare that I have given permission for the making of this application by for use and/or development involving

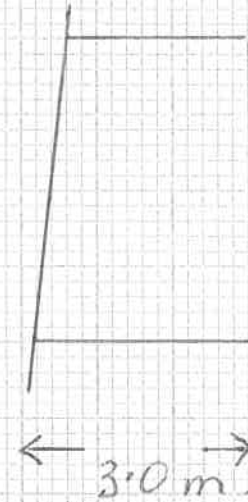
Signature: Date:

It is the applicant's responsibility to obtain any such consent prior to lodgement. Written requests for consent of the Council must be sent to General Manager. Request for Ministerial consent should be directed to the relevant department.

S/E elevation.



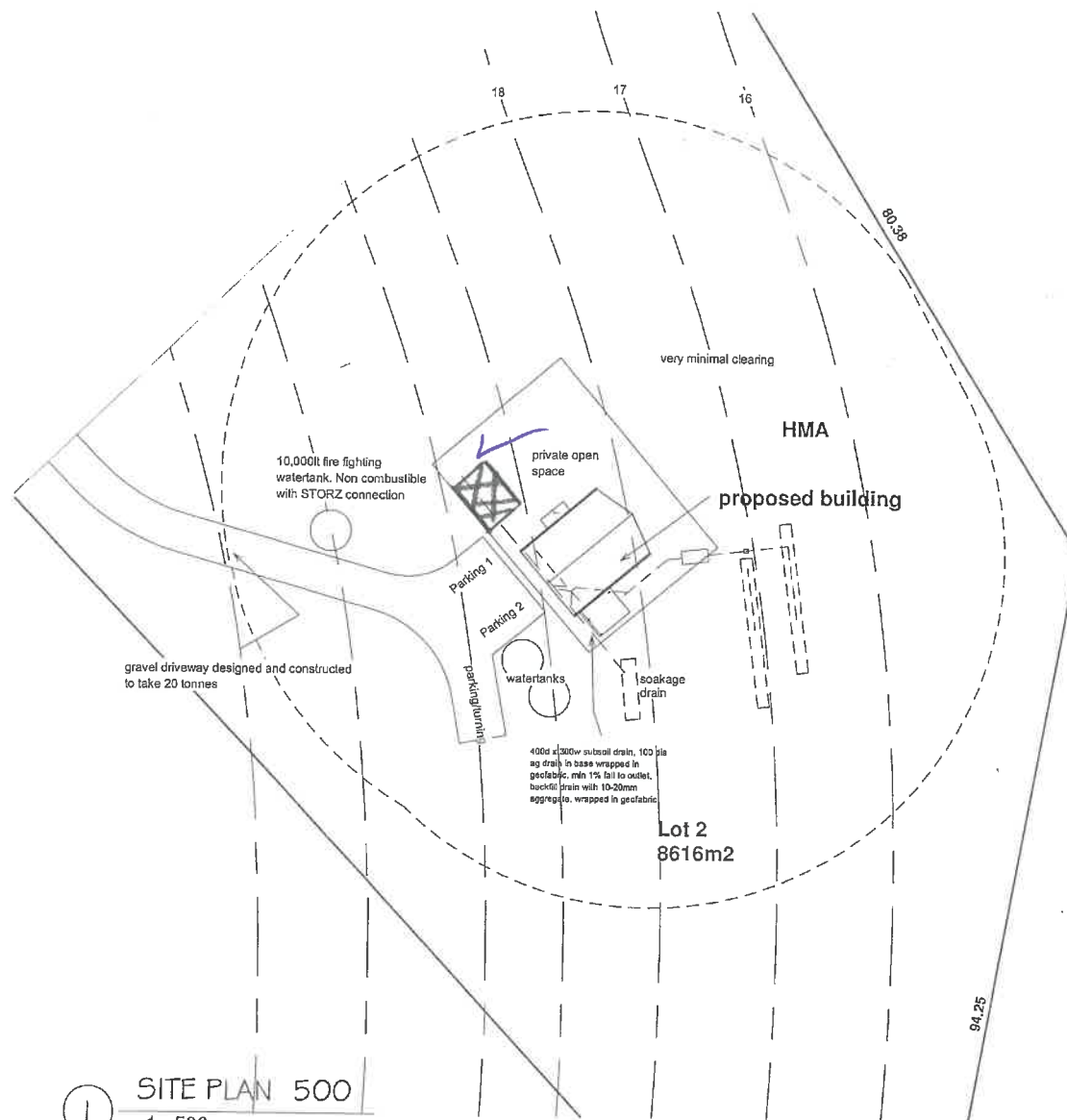
N/E elevation.



N/W & S/E elevation



✓ Location of shed



① SITE PLAN 500
1 : 500

Soakage Drain required size
 $Q = 0.000278CIA$
 Where as $Q =$ Soakage Drain per m2
 $C = 0.90$
 $I = 100\text{mm ph}$
 A catchment area = 103m2
 $Q = 2.57\text{m3}$

Soakage Drain Size
 4*1.2*6 deep equals 2.88m3

Rev.	Date	Description

bda BUILDING DESIGNERS AUSTRALIA LTD

 Printed Date
 28/03/2017 1:28:42 PM

Onshore Designs
 Building Designers
 building design STUDIO
 mail: 10 Reddown Drive, Orago, 7017
 phone: mob 0429901003
 web: www.buildingdesignstudio.com.au
 email: onshoredesigns@bigpond.com

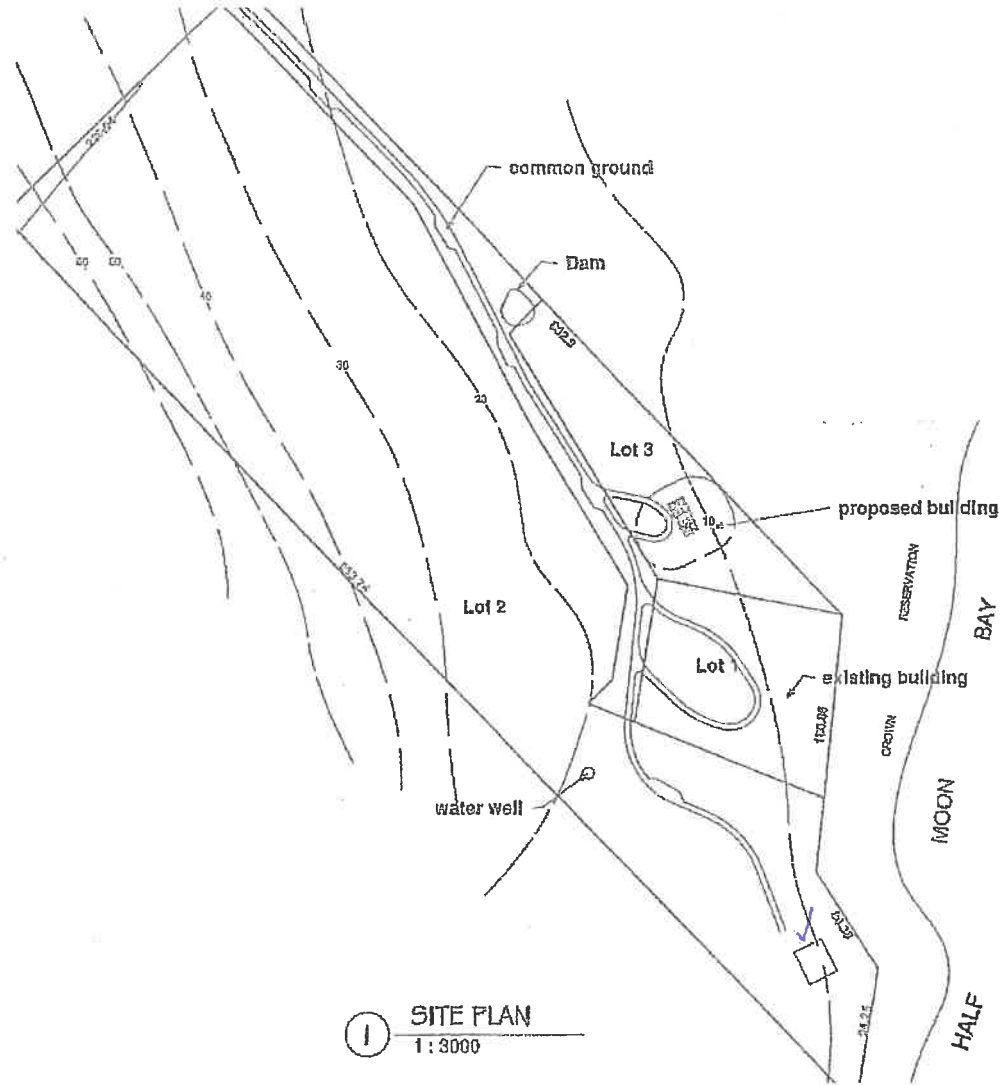
Job Title
 Visitor Accommodation
 at Lot 2 Courland Bay
 Bicheno

for Bill Hunt

Drawing Title
Site Plan 500

Date:
 07/09/16
 Drawn By:
 Michael Eastwood
 Accreditation No.
 CC 1066 S
 Scale:
 1 : 500

Project No:
 OD2075
 Sheet No:
A2



✓ site of shed.

planning@freycinet.tas.gov.au

Ref DA2021/226 Unit2, 460 Courland Bay Road Bicheno – shed application

Dear General Manager,

We would like to comment on the development application DA2021/226 regarding the construction of a shed. Our concern with the application is the significant impact the structure will have when viewed from the beach. The current house /building is highly visible from the entirety of the beach due to its colour, (some recent partial changes) and lack of vegetation in front of the property and associated crown reserve (Fig.1). This is out of step with the other buildings within the Bay that have made attempts to reduce the visual impacts of their buildings. Erecting a shed next to the house will have a further significant visual impact from the entire length of the beach and seems out of step with the visual impacts from other residences in the region and the natural values of the close by national park.

We request that the application be modified so that the shed is moved so it is not visible from the beach. In addition that the owner promotes the natural vegetation in front of the existing property and associated crown reserve to provide a barrier and reduce the visual impact of the existing structure on the natural view scape of the nearby beach and national park.

Kind regards,

Figure 1 Existing building of unit2 460 Courland Bay



Maree Tyrrell

From:
Sent: Thursday, 26 August 2021 2:20 PM
To: Planning
Subject: DA 2021 / 226 Unit 2, 460 Courland Bay Road

Categories:

The General Manager
Glamorgan Spring Bay Council.

Regarding this application for a shed adjacent to the existing house at Lot 2 460 Courland Bay Road, I am concerned that the construction of this substantial shed at this location will add significantly to the already stark impact of the house as viewed from the Courland bay beach and adjacent properties.

The house is already non-compliant with performance criteria for this area in that it:
adversely impact residential amenity and privacy of adjoining properties;
Is not of an intensity that respects the character of use of the area; and
does not have external finishes that are non-reflective and coloured to blend with the rural landscape.

Construction of the shed in this location will add to this impact. There are a number of sites available within Lot2 where this is less likely to occur.

Regards,

Maree Tyrrell

From:
Sent: Thursday, 26 August 2021 9:11 PM
To: Planning
Subject: Unit 2/460 Courland Bay Rd - Shed Proposal-DA 2021/226

Categories:

Dear General Manager

I am writing to express concern about the new development application for Unit 2/460 Courland Bay Rd.

This is a development application by Mr W Hunt, Application number DA 2021/226 dated 5 August.

We are concerned about the placement of the shed on the northern side of the property, the shed will be in addition to the existing house which is highly visible from many parts of Courland Bay but particularly the beach.

Considering the sensitivity of the area, next to a national park, a 36 square metre shed to hold a vacuum cleaner, lawn mower and tools seems to us to be excessive.

We believe the shed will be an additional eyesore from the beach.

Clearing around the site in question means that there is little natural foliage softening the view of the current building and the prospective shed.

We feel there could be a better, less prominent position for a shed.

Kind Regards

Profit and Loss

Glamorgan Spring Bay Council
For the 2 months ended 31 August 2021

Account	YTD Actual	YTD Budget	Budget Var	Var %	2021/22 Budget	Notes
Trading Income						
Rate Revenue	9,793,534	9,803,778	(10,244)	0%	9,867,631	
Statutory Charges	206,915	120,668	86,247	71%	724,013	1
User Charges	271,317	109,362	161,955	148%	656,156	2
Grants	430,215	326,598	103,617	32%	1,465,416	3
Interest & Investment Revenue	1,888	3,736	(1,848)	-49%	229,641	
Contributions	26,158	23,334	2,824	12%	140,000	
Other Revenue	486,020	560,233	(74,213)	-13%	2,275,056	4
Total Trading Income	11,216,046	10,947,709	268,337	2%	15,357,913	
Gross Profit	11,216,046	10,947,709	268,337	2%	15,357,913	
Capital Grants						
Grants Commonwealth Capital - Other	371,428	500,000	(128,572)	-26%	5,462,080	
Grants Commonwealth Capital - Roads to Recovery	262,978	0	262,978	0%	506,087	
Grants State Capital - Other	49,123	450,000	(400,877)	-89%	775,000	
Total Capital Grants	683,529	950,000	(266,471)	-28%	6,743,167	5
Other Income						
Net Gain (Loss) on Disposal of Assets	9,471	0	9,471	0%	0	
Other Income - PPRWS Reimbursement of Principal Loan	0	0	0	0%	102,609	
Total Other Income	9,471	0	9,471	0%	102,609	
Operating Expenses						
Employee Costs	730,506	840,730	(110,224)	-13%	4,975,840	6
Materials & Services	1,463,789	1,684,786	(220,997)	-13%	7,952,266	7
Depreciation	460,782	460,782	0	0%	2,764,692	
Interest	(27,917)	37,850	(65,767)	-174%	227,106	8
Other Expenses	38,203	37,582	621	2%	225,505	
Total Operating Expenses	2,665,363	3,061,730	(396,367)	-13%	16,145,409	
Net Profit	8,550,683	7,885,979	664,704	8%	(787,496)	
Total Comprehensive Result (incl Capital Income)	9,243,683	8,835,979	407,704	5%	6,058,280	
Capital Works Program (Current Year WIP)						
Work in Progress Capital Works - Plant Internal	4,270	0	4,270	0%	0	
Work In Progress Payroll - Salaries and Wages	21,413	0	21,413	0%	0	
Work in Progress Capital Works - On Costs	10,171	0	10,171	0%	0	
Work in Progress Capital Works - Contractor Costs	132,907	0	132,907	0%	0	
Work in Progress Capital Works - Materials	193,368	0	193,368	0%	0	
Work in Progress Capital Works - Consultancy	16,390	0	16,390	0%	0	
Total Capital Works Program (Current Year WIP)	378,520	0	378,520	0%	0	

Notes:

- 1 - Statutory Charges are up 71% (\$86k) on budget YTD due to a higher than forecast level of development applications and s.132 and s.337 certificate requests (re property sales)
- 2 - User Charges are up 148% (\$162k) on budget YTD mainly due to the timing of Marina fees, with a high level paid annually upfront or quarterly.
- 3 - Grants are up 32% (\$104k) on budget YTD due to Unspent Grant Funds carried forward from 2021 FY.
- 4 - Other Revenue is down by 13% (\$74k) on budget YTD primarily due to lower than forecast medical centre
- 5 - Capital Grants are down 28% (\$266k) on budget YTD due the timing of grant payments in line with project milestones.
- 6 - Employee Costs are down 13% (\$110k) on budget YTD due mainly to staff vacancies.
- 7 - Materials and Services are down \$221k (13%) budget YTD due primarily to the seasonality of work.
- 8 - Interest expenses are down by \$66k due to timing issues with the reversal of interest accrued into last financial year.

Statement of Financial Position

Glamorgan Spring Bay Council

As at 31 August 2021

	31 AUG 2021	30 JUN 2021
Assets		
Current Assets		
Cash & Cash Equivalents	5,440,017	3,018,850
Trade & Other Receivables	6,460,656	926,374
Other Assets	123,150	273,191
Total Current Assets	12,023,823	4,218,415
Non-current Assets		
Trade & Other Receivables	3,243	3,243
Investment in Water Corporation	30,419,394	30,419,394
Property, Infrastructure, Plant & Equipment	144,516,793	144,779,771
Total Non-current Assets	174,939,430	175,202,408
Total Assets	186,963,253	179,420,823
Liabilities		
Current Liabilities		
Trade & Other Payables	795,441	1,189,660
Trust Funds & Deposits	260,359	361,562
Provisions	664,932	664,932
Contract Liabilities	-	949,850
Interest bearing Loans & Borrowings	388,593	458,263
Total Current Liabilities	2,109,326	3,624,268
Non-current Liabilities		
Provisions	69,486	69,486
Interest Bearing Loans & Borrowings	7,838,574	7,844,169
Total Non-current Liabilities	7,908,059	7,913,655
Total Liabilities	10,017,385	11,537,922
Net Assets	176,945,867	167,882,901
Equity		
Current Year Earnings	9,062,967	4,576,811
Retained Earnings	82,867,708	78,290,897
Equity - Asset Revaluation Reserve	84,521,426	84,521,426
Equity - Restricted Reserves	493,767	493,767
Total Equity	176,945,867	167,882,901

Statement of Cash Flows

Glamorgan Spring Bay Council

For the 2 months ended 31 August 2021

	AUG 2021	YTD	20/21
Operating Activities			
Receipts from customers	2,839,496	5,090,505	14,781,533
Payments to suppliers and employees	(1,033,047)	(2,413,958)	(13,745,304)
Receipts from operating grants	163,894	430,215	1,343,056
Dividends received	-	-	207,000
Interest received	1,597	1,888	20,989
Cash receipts from other operating activities	69,284	41,702	1,149,744
Net Cash Flows from Operating Activities	2,041,224	3,150,352	3,757,018
Investing Activities			
Proceeds from sale of property, plant and equipment	-	10,340	2,185,951
Payment for property, plant and equipment	(352,393)	(589,176)	(9,803,643)
Receipts from capital grants	250,000	933,529	3,826,281
Other cash items from investing activities	(82,350)	129,641	(212,892)
Net Cash Flows from Investing Activities	(184,743)	484,334	(4,004,303)
Financing Activities			
Trust funds & deposits	(36,163)	(36,163)	(172,910)
Net Proceeds/(Repayment) of Loans	(43,414)	(75,266)	1,066,733
Other cash items from financing activities	-	(1,102,090)	680,171
Net Cash Flows from Financing Activities	(79,577)	(1,213,519)	1,573,994
Net Cash Flows	1,776,904	2,421,167	1,326,709
Cash and Cash Equivalents			
Cash and cash equivalents at beginning of period	3,596,068	2,951,806	1,625,097
Cash and cash equivalents at end of period	5,372,973	5,372,973	2,951,806
Net change in cash for period	1,776,904	2,421,167	1,326,709

Capital Works Detail

Glamorgan Spring Bay Council
as at 31 August 2021

New Capital	Actual YTD	2021/22 Budget	Government Funding	Council Funding	Project Progress	Details	Government Funding
Roads, Footpaths, Kerbs							
Freycinet Drive - Kerb at Kayak Rental to stop flooding	9,878	30,000	30,000		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Strip Rd Little Swanport - concrete overlay to hardstand floodway		30,000	30,000		design progressing	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
R2R - Nugent Rd Seal - Carry forward from 2019/20 + EMF	3,043	50,000	40,775	9,225			
Bicheno walkway	3,048	403,000	403,000		Contract awarded	Carried Forward from 2020/21	Drought Relief
DRG Swanwick Rd Footpath	16,320				complete stage 1		
CDG Dolphin Sands Road shared pathway	12,685				complete		
Triabunna Road Realignment re Cenotaph/RSL corner		115,000	115,000		design progressing	Carried Forward from 2020/21	Drought Relief
Swansea Main Street Paving	9,738	1,000,000	1,000,000		Design progressing		Fed Grant Funding
Total Roads, Footpaths, Kerbs	54,711	1,628,000	1,618,775	9,225			
Parks, Reserves, Walking Tracks, Cemeteries							
Swansea Boat Trailer Parking	152,793	450,000	500,000		complete	Carried Forward from 2020/21	DPIPWE Funds
Bicheno Triangle	4,711	580,000	600,000		design continuing		Fed Grant Fund
Bicheno Gulch	8,736	1,490,000	1,500,000		design continuing		Fed Grant Fund
Coles Bay Foreshore	9,173	950,000	1,000,000		design continuing		Fed Grant Fund
Jetty Rd Bicheno - Beach Access, timber walkway installation		10,500	10,500		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Buckland Walk - rehabilitation		60,000	-	60,000		Carried Forward from 2020/21	
Total Parks, Reserves, Walking Tracks, Cemeteries	175,413	3,540,500	3,610,500	60,000			
Stormwater & Drainage							
Holkham Crt Flood Mitigation	16,390				report progressing		
Triabunna Yacht club main install	9,188				work progressing		
Holkham Court		265,000		265,000			
Total Stormwater & Drainage	25,578	265,000	-	265,000			
Plant & Equipment							
Crane Gantry Swansea - safe water tank removal		20,000		20,000	procurement commenced		
Total Plant & Equipment	0	20,000	-	20,000			
Total New Capital	255,702	5,453,500	5,229,275	354,225			

Renewal of Assets		2021/22 Budget	Government Funding	Council Funding		Details	Government Funding
Roads, Footpaths, Kerbs							
RTR - RSPG Rheban Rd Resheeting / realignment for bridge		100,000	50,000	50,000		Carried Forward from 2020/21	RTR
Resheet - Old Coach Rd 3km		50,000		50,000			
Resheet - Sally Peak Rd 1km	3,941	17,000		17,000	complete		
Resheet - Sand River Rd 1km	13,038	17,000		17,000	complete		
Resheet - Seaford Rd 2km		34,000		34,000			
Resheet - Strip Rd 2km		34,000		34,000			
Resheet - Bresnehans Rd 0.5km		8,500		8,500			
Resheet - Medora St Pontypool 1km		17,000		17,000			
Resheet Nugent Rd	17,216	16,000		16,000	complete		
Reseal		443,300		443,300	tender open		
Community Infrastructure Fund - Round 3 to be allocate		221,174	221,174				Community Infrastructure Fund - Round 3
Redesign and relocation of the Triabunna School crossing		31,000	31,000		Design commenced		Community Infrastructure Fund - Round 3
Design		29,200		29,200			
Contingency		40,000		40,000			
Total Roads, Footpaths, Kerbs	34195	1,058,174	302,174	756,000			
Parks, Reserves, Walking Tracks, Cemeteries							
Bicheno BMX track refurbishment		20,000	20,000		consultation commenced	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Total Parks, Reserves, Walking Tracks, Cemeteries	0	20,000	20,000	-			
Stormwater, Drainage							
Alma Rd and Fieldwick Land - Rockline drain and culvert improvements	150	125,000	125,000		procurement commenced	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Stormwater management planning, investigation & design	19,545	100,000		100,000	continued	Carried Forward from 2020/21	
West Shelley Beach Orford Main Upgrade	11,621				materials procured		
Stomwater and drainage to be allocated		77,000		77,000			
Total Stormwater, Drainage	31316	302,000	125,000	177,000			
Buildings & Facilities							
RSL Cenotapth - new memorial c/fw project		10,000		10,000	waiting on streetworks	Carried Forward from 2020/21	
Triabunna Medical Centre - Car Park reseal and line mark		45,000	45,000		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Bicheno Medical Centre - Car Park reseal and line mark		55,000	55,000		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Triabunna Marina - improve public facilities and shelters	39566	40,863	40,863		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Coles Bay Tennis Courts - Basketball hoop installation		3,000	3,000		complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Buckland Community Hall - ramp access		45,000	45,000		programmed	Carried Forward from 2020/21	Community Infrastructure Fund
Buckland Community Hall - stairs		55,000	55,000		programmed	Carried Forward from 2020/21	Drought Relief
Bicheno Medical Centre - Refurb Treatment Room		25,000	25,000		in progress	Carried Forward from 2020/21	Community Infrastructure Fund
Swansea SES CCTV	1163				complete		Community Infrastructure Fund - Round 2
Swansea Courthouse Drainage Works		10,000	25,000		complete	Carried Forward from 2020/21	Community Infrastructure Fund
Online Access Centre/Swansea Courthouse - refurbish toilet and install disabled/unisex toilet		60,000	60,000		progressing		Community Infrastructure Fund - Round 3
Coles Bay Community Hall - Replacement of Annexe, Medical Room, Kitchen and Library		180,000	180,000		design progressing		Community Infrastructure Fund - Round 3
Swansea Community Hall - Toilet Refurbishment	16119				99% complete	Carried Forward from 2020/21	Community Infrastructure Fund
Spring Beach Toilet Refurbishment		65,000	65,000		programmed		Community Infrastructure Fund - Round 3
Total Buildings & Facilities	56847	593,863	598,863	10,000			

Marine Infrastructure		2021/22 Budget	Government Funding	Council Funding	Details		Government Funding
Pylon Replacement - Marina		100,000		100,000	in design		
Saltworks Toilet & Car park		245,000	245,000		progressing scope		Community Infrastructure Fund - Round 3
Saltworks Boat Ramp Upgrade		100,000	100,000		progressing scope	Carried Forward from 2020/21	State Grant
Total Marine Infrastructure		0	445,000	345,000	100,000		
Bridges, Culverts							
Orford Bridge Replacement		310				Contract Complete. Rehabilitation to finalise project	\$1.02m project started May 2019. Fully Federal Grant funded
Holkham Crt Culvert		50,000	56,087		design progressing	Carried Forward from 2020/21	Community Infrastructure Fund
RTR - EMF Rheban Rd Griffith River Bridge		150	280,000	300,000	tender closed	Carried Forward from 2020/21	RTR 25% EMF75%
Total Bridges, Culverts		460	330,000	356,087	-		
Plant & Equipment							
IT Computer Equipment		30,000		30,000			
Medical Equipment		20,000		20,000			
Replace Ute x 2 (2007/2008)		57,000		57,000	procurement commenced		
Replace Mayor Vehicle (2016)		37,000		37,000	complete		
Replace Tipper Truck (2014)		80,000		80,000	procurement commenced		
Replace Medium Truck (2014)		80,000		80,000	procurement commenced		
Replace Toro Groundmaster (2014)		40,000		40,000	procurement commenced		
Replace Tanderm Trailer		6,000		6,000			
Total Plant & Equipment		0	350,000	-	350,000		
Total Renewal Capital		122818	3,099,037	1,747,124	1,393,000		
Total Capital Works		378520	8,552,537	6,976,399	1,747,225		

Note: carried forward amounts for existing projects from previous financial year will be updated in future reports

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Glamorgan Spring Bay Council

Terms Of Reference – Natural Resource Management Committee

Version [SC2021]

Adopted:
Minute No.:

Document Control

Terms Of Reference – Natural Resource Management Committee	
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1 Purpose and Objectives of the Committee

- 1.1 As an S24 Committee of Glamorgan Spring Bay Council [GSBC], the Natural Resource Management Committee [NRM] provides a means of exchanging information about, participating in and assisting with the progression of Natural Resource Management [NRM] initiatives involving the community (via the committee), stakeholders and GSBC.
- 1.2 To conserve and protect the natural environment and improve natural resource management in the Glamorgan Spring Bay municipal area by providing input into the development, implementation and review of GSBC policies, strategies and initiatives relevant to NRM, specifically
- carrying out, supporting and / or assisting with on-ground works that address priority environmental management and sustainability issues;
 - carrying out, supporting and / or assisting with studies, research and projects to improve our knowledge of the natural environment and natural resources, and facilitate practices of sustainable development and planning;
 - providing support and advice on matters relevant to natural resource management within the municipal area, including, but not limited to, relevant strategies, plans, legislation and other guiding documents;
 - organising and delivering community educational and awareness programmes;
 - providing opportunities, support mechanisms and / or resources to enhance community capacity to participate in natural resource management practices, activities and projects;
 - provide input into the development of grant applications relevant to NRM; and
 - forming positive community, government, business and industry partnerships for the purposes of attracting resources for Natural Resource Management activities within the area.

2 The Committee Structure

- 2.1 It is recommended that the Committee has the following broad stakeholder and community representation with a minimum of 5 members and a maximum of 11.:
- One Councillor;
 - 9 Community members and Industry representatives (broadly spread across the Municipal area);
 - A community representative of the Tasmanian Aboriginal community with local knowledge;

Council employees are not members of the Committee per se and therefore have no voting rights.

2.2 The Committee may invite individuals or representatives of other groups and authorities to undertake an ongoing advisory role. Those acting in this advisory role would need to have skills and knowledge relevant to natural resource management.

2.3 The Committee shall elect or appoint a Chairperson and Vice Chairperson. Council will provide basic administrative support for minute taking and agenda distribution and to act as a secretary. A venue for meetings will also be provided.

2.4 Term of the Committee

Nomination for membership can occur as required. A committee member can be nominated for a term of 4 years with the term beginning following nomination being approved by Council.

2.5 Appointment of Committee Members

All Committee members are appointed by Council following an expression of interest process with responses from individuals representing a geographical area and/or interest group. Expressions of interest (EOI) will be by public advertisement in local newspapers/newsletters, on Council's website, Council noticeboards, via direct contact with those who can provide expertise and by other methods deemed appropriate. An EOI form will be given to prospective committee members to provide, for example, contact details, skills, interests, any potential conflicts of interest and reasons for wanting to join a specific Section 24 Special Committee of Council.

The Council has the final responsibility for determining the membership. If a large number of expressions of interest are received for any given Section 24 Committee that exceeds the recommended number of committee members, the Councillor representative on that committee and the Responsible Council Officer will review the expressions of interest and the terms of reference. This will determine the individuals to be accepted based on skills, interests and expertise relevant to the committee. To achieve the desired balance, specifically within the NRM Committee, the following are listed as a suggested range of skills and knowledge to be considered to guide this process:

- Primary production inc. agriculture, forestry, aquaculture, commercial fishing, viticulture;
- Conservation and environmental management:
- Catchment management;
- Community activities and development, established community groups;
- Cultural heritage;
- Water and irrigation industry;
- Academic disciplines such as ecology, engineering, and biological sciences;
- Tourism and hospitality;
- Education.

2.6 Termination of Appointment

A Committee member may resign by giving written notification to the Chair.

If a member is unable to fulfil their responsibilities, they should resign to allow the Council to appoint a member who can meet the commitment required.

Appointments may also be terminated by the Council for a variety of reasons including misbehaviour, inefficiency or incompetence.

Any action by a member that demonstrates their unwillingness or inability to comply with the obligations and responsibilities of committee membership, as outlined in this document, may be grounds for termination of appointment.

An appointment may also be terminated if:

- i. the member without reasonable excuse fails to disclose a conflict of interest; or
- ii. the member is absent from two (2) consecutive meetings of the Committee without informing the Chair of an official apology.

If there is a dispute between members of the committee or another party which is unresolved, the Chairperson must notify the General Manager.

- i. The General Manager may nominate an independent negotiator or staff member with appropriate skills to help resolve the dispute.
- ii. If the dispute remains unresolved then this matter will be brought to Council to make a decision.

The final decision reached is binding on all parties to the dispute.

2.7 Proxy Vote

The Council will not appoint alternative members. It is important that committees have stable membership to ensure continuity and consistency in decision-making and advice. Members may use other members as a proxy vote in the case they are unable to attend meetings.

2.8 Council Direction

The Council may from time to time direct the committee to consider certain issues, seek submissions from the relevant body or individuals or provide specific recommendations back to Council.

2.9 Co-option of Committee members

The Committee may co-opt individuals with specific expertise to assist with particular issues for a period of no greater than 12 months. Such co-opted members would not have any voting rights, acting solely as advisors.

3 Functions of the Committee

- To have input into the development, implementation and review of GSBC policies, strategies and initiatives relevant to NRM;
- To provide an opportunity for members of the community and other stakeholders to communicate views to GSBC on issues related to NRM;
- To act as a conduit for key stakeholders to have input into the implementation of the NRM South Strategy on behalf of the Glamorgan Spring Bay community;
- To explore and promote opportunities within the municipality consistent with sustainable development or conservation;
- To promote the conservation and protection of the environment;
- To provide input into the annual goals of Council in relation to NRM activities.

4 Extent of Delegated Authority

Nil

5 Committee Meeting Procedure

5.1 Quorum

A quorum will be half the number of members (rounded down if uneven number) plus one. If a quorum is not present a Committee meeting cannot proceed. Given a membership of 11, a quorum is 6.

5.2 Voting

Where there is a split vote, all views should be submitted to Council.

5.3 Records to be kept by Council

The Committee shall keep minutes at each meeting detailing:

- those present;
- an accurate record of any motion indicating the mover and seconder and including the word 'Carried' or 'Lost' after each motion; (and the number of for and against votes be recorded);
- the time, date and place of each meeting.

The minutes of each meeting shall be confirmed and signed by the Chair at the subsequent meeting of that Committee.

5.4 Appointment of Chairperson and Vice Chairperson

The Chairperson and Vice Chairperson are to be nominated at the initial scheduled meeting annually.

If the elected Chairperson is not available for a meeting the Vice Chairperson or in the absence of both, an Acting Chairperson shall be chosen from those present at the meeting.

5.5 Frequency of Meetings

Meetings of the Committee must be held at least four times per year to be scheduled on a regular basis. Dates and possible venues for such meetings will be decided at the last meeting of the calendar year.

5.6 Committee minutes

It is essential to have a correct record of the proceedings of a meeting. The minutes serve as a general record and attendance register; in the case of later doubt or dispute, they are a legally acceptable reference.

Note key points, agreed actions, summary of issues and any decisions made (see Item 5.3 for more detailed guidelines on taking minutes).

Individual recommendations or dissent from recommendations will only be recorded at the specific request of a member.

Where there is a split vote, all views should be submitted to Council.

A copy of the draft Minutes will be distributed to committee members no more than fourteen (14 days) after each meeting. Council is to be provided the approved Minutes from a committee meeting as soon as possible after that meeting to appear on the next Ordinary Meeting of Council Agenda.

It is the responsibility of the Councillor representative to write a short report to Council after each committee meeting for Council's information and to be placed on the next Ordinary Meeting of Council Agenda.

5.7 Meetings open to the Public.

All meetings of the Committee shall be open to the public.

5.8 Notice of Meetings

A minimum of seven (7) days' notice is required to be provided to committee members detailing date, time and location. An agenda will be issued prior to each meeting in conjunction with the notice of meeting.

A notice of meeting is to be advertised in the local newspapers/newsletters and/or Council noticeboards and on the Council web-site at least seven (7) days prior to the meeting.

5.9 Urgent Meetings

If an urgent meeting is necessary, the Committee Chair is required to provide the notice of the meeting and the agenda at least five (5) days prior to the meeting date. Details of the meeting will be advertised in a prominent location on Council's web-site. Where possible, the notice of meeting is to be advertised in the local newspaper/ newsletter and/or Council noticeboards and be open to the public.

6 Insurance

- 6.1 Public liability insurance indemnifies the insured against legal liability resulting from damage to property, loss of use of property and death or bodily injury to members of the general public, where the loss, damage or injury to the property or third party was caused by a negligent act on the part of the insured.

Public liability insurance does not cover breaches of professional duty and is not the same as personal accident injury insurance.

- 6.2 Council is covered by public liability insurance which extends to all Council committees

7 Alteration to Delegation and Terms of Reference

- 7.1 Council may amend this delegation and Terms of Reference at any time.
- 7.2 The Committee may review the Terms of Reference at any time and submit any amendments to Council for consideration and endorsement.

8 Conflict of Interest

- 8.1 Members of Section 24 Special Committees of Council may from time to time have a conflict of interest when discussing matters. This section provides an outline of what constitutes a conflict of interest and the process to be taken when a conflict of interest arises.

- 8.2 A Committee member who has a direct or indirect pecuniary interest in any matter decided or under consideration by the committee must disclose the nature of interest to the Committee and this must be recorded in the Minutes.

Being a member of a Council committee is a position of trust that involves obligations to the community and to the Council. It must be clear to everyone that you are not using your position to serve your own interests or the interests of a close associate. For this reason, the Act requires members of Council committees to disclose conflicts of interest and not participate in a decision (discussion or vote) if they have a conflict of interest.

“At any meeting of a special committee ... a member must not participate in any discussion, or vote on any matter, in respect of which the member –

(a) has an interest; or (b) is aware or ought to be aware that a close associate has an interest.”

Furthermore, the *Local Government Act 1993* states that:

“A member has an interest in a matter if the ... member or close associate would, if the matter were decided in a particular manner, receive, have an expectation of receiving or be likely to receive a pecuniary benefit or pecuniary detriment.”

The Act determines that a close associate of a committee member is:

a) a body corporate of which the member is a director or a member of the governing body; or

b) a proprietary company in which the member is a shareholder; or

- c) a public company in which the member is directly or indirectly a substantial shareholder; or
- d) a beneficiary under a trust or an object of discretionary trust of which the ... member is a trustee; or
- e) a business partner of the member; or
- f) the employer or an employee of the member; or
- g) a person from whom the member has received, or might reasonably be expected to receive a fee, commission or other reward for providing professional or other services in relation to a matter being dealt with or to be dealt with by the Council committee; or
- h) the spouse or partner of the member, member's son or daughter; or
- i) the son, daughter, brother, sister, mother or father of the member or of their spouse or partner.

8.3 Failure to disclose a conflict of interest may be an offence that can be prosecuted in a court of law. It is your responsibility and duty to identify and disclose your conflicts of interest when required to. It is important to note that, while another person may assist you in deciding or determining whether you have a conflict of interest, they cannot make the decision for you. Irrespective of what assistance or advice you receive from someone else, legally you remain responsible for your own actions.

9 Confidentiality

- 9.1 Volunteers working with Council must keep all privileged information in relation to Council, employees and community members confidential. Volunteers are expected to maintain the same standards of confidentiality as Council's paid employees. This includes information held by the Council; information shared between volunteers and the designated managers; and information about particular circumstances.
- 9.2 Volunteers are required to read and sign the Glamorgan Spring Bay Council Confidentiality Agreement. Any breach of this confidentiality requirement will be taken seriously and may lead to:
 - The termination of the volunteer's services.
 - Any other action deemed necessary by the General Manager

10 Attachments (if applicable)

Nil

TERMS OF REFERENCE
Glamorgan Spring Bay
Natural Resource Management
SECTION 24 COMMITTEE OF COUNCIL
(December 2018)

Schedule 1

Clause 1	Glamorgan Spring Bay Natural Resource Management Committee
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Schedule 2

Clause 1	Purpose and Objectives of the Committee
Clause 2	Committee Structure and Term
Clause 3	Functions of the Committee
Clause 4	Restrictions on Committee Powers
Clause 5	Committee Meeting Procedure
Clause 6	Financial Requirements
Clause 7	Insurance
Clause 8	Alteration to Delegation and Terms of Reference
Clause 9	Conflict of Interest
Clause 10	Confidentiality

Pursuant to Section 24 of the *Local Government Act 1993*, Glamorgan Spring Bay Council (GSBC) hereby establishes a Special Committee as detailed in Schedule 1 and 2 below.

Schedule 1

1. The name of the Special Committee shall be:

Glamorgan Spring Bay Natural Resource Management Committee (NRMC)

Schedule 2 – This document shall be read in conjunction with the Guidelines for Section 24 Special Committees of the Glamorgan Spring Bay Council.

1. Purpose

1.1 The NRMC provides a means of exchanging information about, participates in and progresses NRM initiatives involving the community (via the committee), stakeholders and GSBC.

1.2 Objectives of the Committee

To conserve and protect the natural environment and improve natural resource management in the Glamorgan Spring Bay municipal area by:

- carrying out, supporting and / or assisting with on-ground works that address priority environmental management and sustainability issues;
- carrying out, supporting and / or assisting with studies, research and projects to improve our knowledge of the natural environment and natural resources, and facilitate practices of sustainable development and planning;
- provide support and advice on matters relevant to natural resource management within the area;
- organise and deliver community educational and awareness programmes;
- provide opportunities, support mechanisms and / or resources to enhance community capacity to participate in natural resource management practices, activities and projects.

Oversee the development and implementation of the Catchments to Coast program.

Oversee the development and implementation of the Prosser, Little Swanport and Swan Apsley Catchment Plans, and the Glamorgan Spring Bay Weed Management Plan.

Form positive community, government, business and industry partnerships for the purposes of attracting resources for Natural Resource Management activities within the area.

2 The Committee Structure

2.1 It is recommended that the Committee has the following broad stakeholder and community representation with a minimum of 15 members. The following list is a guide:

- Council (one Councillor and Mayor);
- NRM South;
- Agricultural sector ;
- Parks and Wildlife Service;
- Sustainable Timbers Tasmania;
- The forestry industry (public and/or private);
- Community members (broadly spread across the Municipal area);
- Aquaculture industry;
- Cultural heritage;
- Tasmanian Aboriginal community;
- Department of Defence;
- TasWater;
- Established community groups in the Municipality;
- Significant infrastructure and emergency services providers
- Tourism;
- Education;
- Commercial fishing.

This will ensure the following skills / knowledge base:

- Primary production
- Community on-ground expertise
- Conservation management
- Forestry expertise
- Catchment management
- Education and extension
- Environmental projects design and implementation

Members should be broadly spread across the municipal area where possible and/or appropriate.

The Committee will be supported by Council Officers from the NRM Department. Council employees are not members of the Committee per se and therefore have no voting rights.

2.2 The Committee shall elect or appoint a Chairperson, (Secretary and a Treasurer or a Secretary/Treasurer will be the nominated Council Officer).

2.3 Term of the Committee

Nomination for membership can occur as required . Nominees are requested to detail their skills and knowledge base, and the stakeholder / community group they represent. To ensure the relevant skills / knowledge base stakeholder representatives can also be approached.

2.4 A committee member can be nominated for a term of 4 years with the term beginning following nomination being approved by Council.

2.5 Appointment of Committee Members

All Committee members are appointed by Council following an expression of interest process with responses from individuals or interest groups.

Expressions of interest (EOI) will be by public advertisement in local newspapers/newsletters, on Council's website, Council noticeboards, via direct contact with those who can provide expertise and by other methods deemed appropriate. An EOI form will be given to prospective committee members to provide, for example, contact details, skills, interests, any potential conflicts of interest and reasons for wanting to join a specific Section 24 Special Committee of Council.

The Council has the final responsibility for determining the membership. As a general rule committees should abide by minimum and maximum numbers as outlined in Appendix A Special Committees. If a large number of expressions of interest are received for any given Section 24 Committee that exceeds the recommended number of committee members, the Councillor representatives on that committee, the Mayor or Deputy Mayor (if the Mayor is not available) and the Council Officer will review the expressions of interest and the terms of reference. This will determine the individuals to be accepted based on skills, interests and expertise relevant to the committee.

2.6 Termination of Appointment

A Committee member may resign by giving written notification to the Chair.

If a member is unable to fulfil their responsibilities they should resign to allow the Council to appoint a member who can meet the commitment required.

Appointments may also be terminated by the Council for a variety of reasons including misbehaviour, inefficiency or incompetence.

Any action by a member that demonstrates their unwillingness or inability to comply with the obligations and responsibilities of committee membership, as outlined in this document, may be grounds for termination of appointment.

An appointment may also be terminated if:

- (i) the member without reasonable excuse fails to disclose a conflict of interest; or
- (ii) the member is absent from two (2) consecutive meetings of the Committee without informing the Chair of an official apology.

If there is a dispute between members of the committee or another party which is unresolved, the Chairperson must notify the General Manager.

- (i) The General Manager may nominate an independent negotiator or staff member with appropriate skills to help resolve the dispute.
- (ii) If the dispute remains unresolved then this matter will be brought to Council to make a decision.

The final decision reached is binding on all parties to the dispute. 11

2.7 Alternate Member (Proxy)

The Council will not appoint alternative members. It is important that committees have a stable membership to ensure continuity and consistency in decision-making and advice.

2.8 Council Direction

The Council may from time to time direct the committee to consider certain issues, seek submissions from the relevant body or individuals or provide specific recommendations back to Council.

3 Functions of the Committee

- To have input into the development, implementation and review of GSBC policies, strategies and initiatives relevant to NRM;
- To provide oversight, assist with seeking / applying for funding, and develop procedures for NRM projects initiated by community, Council and other relevant stakeholders;
- To continue to develop the Catchments To Coast program in partnership with key stakeholders.
- To provide an opportunity for stakeholder views on issues as required;
- To provide key stakeholder input into the implementation of the Southern Tasmania Regional NRM Strategy on behalf of the Glamorgan Spring Bay community;
- To explore and promote opportunities consistent with sustainable development or conservation;
- To promote the conservation and protection of the environment;
- To develop an annual plan consistent with existing relevant plans and strategies of key stakeholders;
- To develop and manage the budget as determined by Council to support the Objectives of the Committee and Annual Aims of Council's NRM Department.

4 Restrictions on Committee Powers

4.1 The committee does not have the power to:

- impose fees, taxes, rates or charges;
- rebate rates or charges;
- borrow money;
- make a rate;
- make a by-law;
- execute a Deed;
- sign a contract
- institute a legal proceeding;

- call for tenders without prior approval of the Council;
- advertise for and/or appoint an employee or servant unless approval has been given by the General Manager;
- Sell land.

5 Committee Meeting Procedure

5.1 Quorum

A quorum will be half the number of members (rounded down if uneven number) plus one e.g. for a 7 member committee a quorum would be 4. If a quorum is not present a Committee meeting cannot proceed.

5.2 Voting

Where there is a split vote, all views should be submitted to Council.

5.3 Records to be kept by Committee Secretary

The Committee Secretary shall keep minutes at each meeting detailing:

- those present;
- an accurate record of any motion indicating the mover and seconder and including the word 'Carried' or 'Lost' after each motion; (and the number of for and against votes be recorded);
- the time, date and place of each meeting.

The minutes of each meeting shall be confirmed and signed by the Chair at the subsequent meeting of that Committee.

5.4 Records to be kept by Committee Treasurer

It is the responsibility of the Committee Treasurer to maintain up-to-date financial records of income and expenditure and ensure that financial reports are tabled for discussion at each committee meeting.

5.5 Appointment of Chairperson

The Chairperson is to be nominated at the initial scheduled meeting annually.

If the elected Chairperson is not available for a meeting the Vice Chairperson or in the absence of both an Acting Chairperson shall be chosen from those present at the meeting.

5.6 Frequency of Meetings

Meetings of the Committee must be held at least four times per year to be scheduled on a regular quarterly basis.

5.7 Committee minutes

It is essential to have a correct record of the proceedings of a meeting. The minutes serve as a general record and attendance register; in the case of later doubt or dispute, they are a legally acceptable reference. Not everything discussed needs to be recorded. Note key points, agreed actions, summary of issues and any decisions made (see Item 3.3 for more detailed guidelines on taking minutes).

Individual recommendations or dissent from recommendations will only be recorded at the specific request of a member.

Where there is a split vote, all views should be submitted to Council.

A copy of the draft Minutes will be distributed to committee members no more than fourteen (14 days) after each meeting. Council is to be provided the approved Minutes from a committee meeting as soon as possible after that meeting to appear on the next Ordinary Meeting of Council Agenda.

It is the responsibility of the Councillor representative to write a short report to Council after each committee meeting for Council's information and to be placed on the next Ordinary Meeting of Council Agenda.

5.8 Meetings open to the Public.

All meetings of the Committee shall be open to the public.

5.9 Notice of Meetings

A minimum of seven (7) days notice is required to be provided to committee members detailing date, time and location.

A notice of meeting is to be advertised in the local newspapers/newsletters and/or Council noticeboards and on the Council web-site at least seven (7) days prior to the meeting.

5.10 Urgent Meetings

If an urgent meeting is necessary, the Committee Chair is required to provide the notice of the meeting and the agenda at least five (5) days prior to the meeting date. Details of the meeting will be advertised in a prominent location on Council's web-site. Where possible, the notice of meeting is to be advertised in the local newspaper/ newsletter and/or Council noticeboards and be open to the public unless deemed closed by the Chair.

6. Financial Requirements

The Committee shall adhere to all Council audit and financial systems policies and procedures for all its financial transactions. The Committee shall receive an expenditure report at each meeting to show progress on the annual budget.

7 Insurance

Public liability insurance indemnifies the insured against legal liability resulting from damage to property, loss of use of property and death or

bodily injury to members of the general public, where the loss, damage or injury to the property or third party was caused by a negligent act on the part of the insured. Public liability insurance does not cover breaches of professional duty and is not the same as personal accident injury insurance.

Council is covered by public liability insurance which extends to all Council committees.

8 Alteration to Delegation and Terms of Reference

8.1 Council may amend this delegation and Terms of Reference at any time.

8.2 The Committee may review the Terms of Reference at any time and submit any amendments to Council for consideration and endorsement.

9. Conflict of Interest

Members of Section 24 Special Committees of Council may from time to time have a conflict of interest when discussing matters. This section provides an outline of what constitutes a conflict of interest and the process to be taken when a conflict of interest arises.

A Committee member who has a direct or indirect interest in any matter decided or under consideration by the committee must disclose the nature of interest to the Committee and this must be recorded in the Minutes.

Being a member of a Council committee is a position of trust that involves obligations to the community and to the Council. It must be clear to everyone that you are not using your position to serve your own interests or the interests of a close associate. For this reason, the Act requires members of Council committees to disclose conflicts of interest and not participate in a decision (discussion or vote) if they have a conflict of interest.

“At any meeting of a special committee ... a member must not participate in any discussion, or vote on any matter, in respect of which the member –

- (a) has an interest; or (b) is aware or ought to be aware that a close associate has an interest.”

Furthermore, the *Local Government Act 1993* states that:

“A member has an interest in a matter if the ... member or close associate would, if the matter were decided in a particular manner, receive, have an expectation of receiving or be likely to receive a pecuniary benefit or pecuniary detriment.”

The Act determines that a close associate of a committee member is:

- a) a body corporate of which the member is a director or a member of the governing body; or
- b) a proprietary company in which the member is a shareholder; or
- c) a public company in which the member is directly or indirectly a substantial shareholder; or
- d) a beneficiary under a trust or an object of discretionary trust of which the ... member is a trustee; or
- e) a business partner of the member; or
- f) the employer or an employee of the member; or

- g) a person from whom the member has received, or might reasonably be expected to receive a fee, commission or other reward for providing professional or other services in relation to a matter being dealt with or to be dealt with by the Council committee; or
- h) the spouse or partner of the member, member's son or daughter; or
- i) the son, daughter, brother, sister, mother or father of the member or of their spouse or partner.

Failure to disclose a conflict of interest may be an offence that can be prosecuted in a court of law. It is your responsibility and duty to identify and disclose your conflicts of interest when required to. It is important to note that, while another person may assist you in deciding or determining whether you have a conflict of interest, they cannot make the decision for you. Irrespective of what assistance or advice you receive from someone else, legally you remain responsible for your own actions.

10. Confidentiality

10.1 Volunteers working with Council must keep all privileged information in relation to Council, employees and community members confidential. Volunteers are expected to maintain the same standards of confidentiality as Council's paid employees. This includes information held by the Council; information shared between volunteers and the designated managers; and information about particular circumstances.

Volunteers are required to read and sign the Glamorgan Spring Bay Council Confidentiality Agreement. Any breach of this confidentiality requirement will be taken seriously and lead to:

- The termination of the volunteer's services.
- Any other action deemed necessary by the General Manager



Geo-fabric bags already installed Looking North from 90 Swanwick Drive to Beach access



Geo-fabric bags already installed – Looking South from Beach access to 90 Swanwick drive



Erosion in front of 92 Swanwick Drive



Erosion In front of 92 Swanwick Drive Looking South



Foreshore adjacent to 90 Swanwick Drive prior to bags being installed.

CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN FOR THE EROSION CONTROL WORKS AT SWANWICK, TASMANIA



Report to

Burbury Consulting

August 2013



www.marinesolutions.net.au

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Version	Author	Date reviewed	Reviewed by
2 of 2	Mark Jensen	06 August 2013	Sam Ibbott (Marine Solutions) and Laura Smith (Marine Solutions)
1 of 2	Mark Jensen (Marine Solutions)	July 2013	Sam Ibbott (Marine Solutions)

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3 Executive Summary

The shoreline at Swanwick has been eroding at a relatively fast rate for at least the past 5 years. This erosion presents an increasing risk to shore based property and infrastructure. Erosion control works have been proposed, whereby semi-permeable sand-filled Geo-containers ("ELCOROCK") will be used to stabilise the foreshore.

Marine Solutions has been contracted by Burbury Consulting to undertake a preliminary environmental investigation and provide a Construction Environmental Management Plan (CEMP) for works associated with erosion control at Swanwick on reserved land.

The environmental investigations found no major contraventions to dredging at the proposed site to generate fill material, or the installation of Geo-containers and with appropriate risk management strategies in place, the works associated with this development may be undertaken with minimal impact on the surrounding area. Any potential environmental risks will be managed through implementing adequate control measures that will eliminate or reduce the impact to a level where it is not considered a significant threat to the environment.

The sediments in the area are highly mobile, consisting of coarse-grain reworked marine sediments that settle rapidly if re-suspended, therefore dredging does not pose a significant risk of increasing turbidity in the area or smothering seagrass beds. In addition, the high water flows encountered in the area do not allow dinoflagellate cysts to accumulate in the sediments and there is a negligible risk of disturbance of cysts fostering an algal bloom in the area. Mobilisation of sediments in the area is also not considered to pose any significant risk of releasing contaminants in to the water column that may cause environmental disturbance to the local oyster industry.

Despite the likely low impact on the marine environment, there are a number of aspects which should be considered prior to the commencement of works to ensure the project can be regarded best practice. The dredging works and construction period are likely to pose the highest potential risk to the environment. By restricting the timing of dredging and construction works, much of the potential risks can be avoided. Dredging and construction works should be undertaken during calm offshore weather to minimise the effects of waves on a lee shore further disturbing the sediments. Works should be undertaken during neap tides, not spring tides, to capitalise on lower current flows due to smaller tidal ranges.

Management of vessel traffic is necessary during the construction process to allow continued access to the nearby boatramp for commercial and recreational traffic.

To avoid any further disturbances to the shoreline and vegetation, construction may be carried out from a barge or similar. There is a local oyster farmer in the region with access to such a barge, which is in commercial survey, and whom holds the appropriate tickets and qualifications to undertake the operation fully compliant with legislative requirements.

Following the installation of the Geo containers, regular monitoring of the construction site is required to assess the need to rehabilitate the area and replant trees to stabilise the embankment.

Potential impacts and their proposed mitigations are summarised in Table 1 below.

This CEMP addresses Condition #4 of the authority to undertake works associated with the erosion control works at Swanwick, on reserved land, issued to the Glamorgan Spring Bay Council.

Table 1 Potential impacts of the foreshore stabilisation works at Swanwick

	Potential impact	Proposed Mitigation
Water Quality Impacts	Altered hydrodynamics	Part of the rationale for taking the fill material from the far bank is to lessen the scour on the bank being eroded. In this instance altered hydrodynamics are a target of the bank stabilization program.
	Re-suspension of sediments	Not considered a major concern; sediments are coarse and settle rapidly when disturbed. They are not expected to travel further in suspension than would naturally occur during peak current velocities.
	Sedimentary contaminants	Sediments are not contaminated; therefore this is not regarded as a considerable impact.
	Odour of sediments	Move the dredge head to only source sand from oxygenated surface areas. Minimise disturbance of any anoxic sediments.
	Pollution from construction	Waste to be collected and removed from site. Spill kits appropriate to the machinery to be on site.
Biological Impacts	Impacts on intertidal communities	Base construction works primarily from the water (from a barge or similar).
	Increased marine pest numbers	Follow protocol as per existing regulations to minimise risk of marine pest translocation.
	Impacts on seagrasses	Not considered to be a major risk due to fast settling rates of sediments. Dredge at slack or outgoing tides to mitigate against particulates being mobilised upstream.
	Impacts on threatened and protected species	Keep the duration of construction to a minimum. Base construction works primarily from the water. Monitor for marine mammals prior to and during construction. Cease construction activities if any marine mammals are sighted within 300m. Do not recommence works until no marine mammals have been sighted for a minimum of 30 minutes.

4 Introduction

4.1 Purpose and Scope

The purpose of this Construction Management Plan is to provide adequate management control measures, associated with the erosion control works at Swanwick on the east coast of Tasmania.

To provide key mitigation and management methods relevant to the location and construction at the site a preliminary site assessment was undertaken to evaluate potential environmental impacts (refer to sections 5.2 & 5.3)

The scope of this CEMP is based on the preliminary site assessment, and the Swanwick Coastal erosion Assessment undertaken by Burbury Consulting, February 2013.

The CEMP provides the following information:

- A description of the potential environmental risks associated with the proposed works;
- Results of sediment analyses;
- Construction Specifications;
- Commitments during Construction; and
- Recommendations including mitigation strategies.

4.2 Study Area

Swanwick is located on the mid-east coast of Tasmania, at the mouth of Moulting Lagoon (Figure 1). From site assessments, it is evident that sand is eroding from areas along the eastern foreshore at a considerable rate. This erosion is exposing basalt rock boulders which provide superficial protection from wave action and stability to the shoreline in the immediate vicinity.

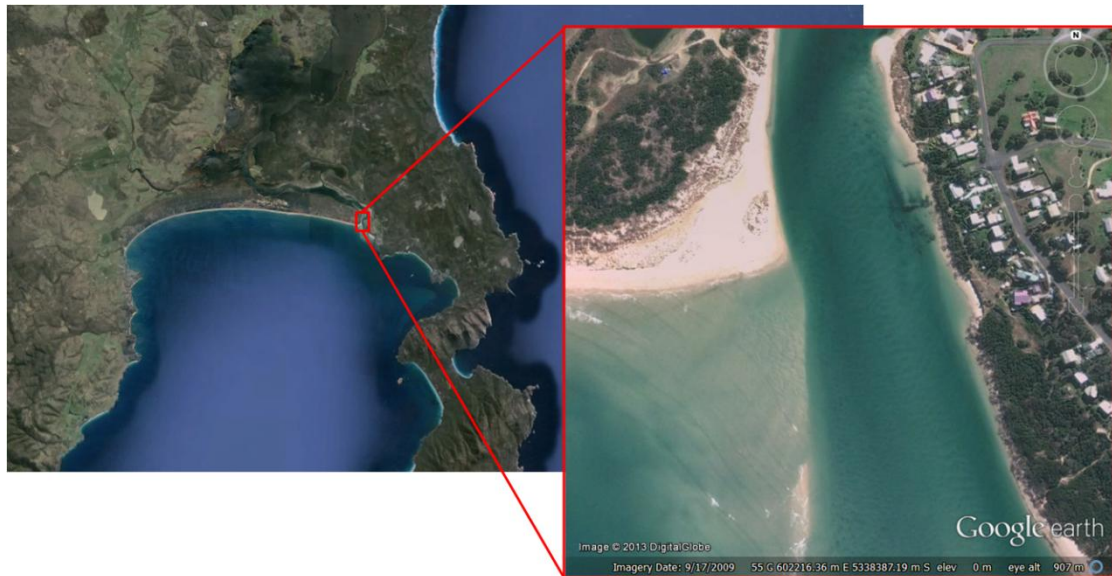


Figure 1 Location of Swanwick.

4.3 Project Background

The installation of semi-permeable sand-filled Geo-containers (known as "ELCOROCK") along the shoreline has been proposed as a method of stabilising the foreshore and preventing further erosion. The required number of Geo-containers will be aligned parallel to the eroding shoreline in a band approximately 10m forward of the erosion front. They will ultimately reach from the existing foreshore level to above the high tide mark. Once the Geo-containers are anchored in place, fluidised sand dredged from an adjacent sandbank (Figure 2) will be delivered by pipeline to fill the bags, and ultimately the area behind the Geo-container barrier in order to stabilise the foreshore. Targeted dredging from the adjacent sandbank may also change the flow dynamics of the system and divert wave action and tidal flow away from the eroded shoreline.

There is an urgent requirement to undertake the works involved for this project as previous site assessments and anecdotal observations from local residents suggests that the extent of erosion has increased considerably in recent months, mainly as a consequence of wave action and a lack of vegetation and rock protection. This erosion presents a significant risk to residents, property and infrastructure (Figure 3B), and Crown Land reserves. Historical aerial photographs (Figure 2) indicate that the extent of erosion within this area is up to 20 m in some places since 2009. If erosion continues at its current rate without any mitigation, this will pose a threat to building foundations and infrastructure potentially including on site

wastewater treatment systems. This will compound the difficulty to restore the shoreline to its original condition. Site investigations revealed that some unknown pipe systems have already been exposed by the erosion (Figure 3C). A localised increase in green algae (Figure 3D) directly to the north and south of the eroded area indicates that the exposed pipe systems may have caused a localised increase in nutrient levels along the shoreline.



Figure 2 Aerial photograph showing the sandbar of the proposed dredge site; location where sediment samples were taken and; extent of erosion that has occurred since 2009.



Figure 3 Photographs of the eroded area showing (A) Failed attempts to stabilise the shore using sandbags; (B) Erosion damage to infrastructure; (C) Exposed pipe system; and (D) Green algae covered boulders.

5 Potential Water Quality Impacts and Mitigations

5.1 Altered Hydrodynamics

The proposed dredge site and surrounding area is dynamic and contains highly mobile re-worked marine sediments that are exposed to rainfall and storm events, tidal flows and wave action of the estuary, offshore sandbar movements, and changes in the channel at the entrance of the estuary. The shoreline in this region is also highly variable and the installation of a fixed structure will provide a barrier to protect against continued change. It is likely that the channel at the entrance of the estuary, along with the shoreline, has changed considerably over time and is subjected to seasonal and event based variations. Due to the high mobility of sediments in this region, it is also important to note that existing sediments at the site where samples were taken for analyses may have shifted considerably by the time the construction phase begins.

Reduced water circulation has the potential to cause decreased dissolved oxygen levels through a reduction in wave action and mixing of surface and sub-surface waters and can result in anoxic environments in extreme cases (Edgar *et al* 1999). Although the construction works is likely to alter hydrodynamics, it is not expected that water circulation will be reduced. Rather, part of the rationale for taking the fill material from the far bank is to lessen the scour on the bank being eroded. In this instance, altered hydrodynamics are a target of the erosion control works.

5.2 Resuspension of Sediments

Physical disturbance of the seabed from dredging processes has the potential to cause increased turbidity around the construction area by re-suspending sediments in the water column. Increased turbidity can lead to a reduction in the amount of light reaching the seabed and is a common direct cause of decline in seagrass beds (refer to *Section 6.4 Impacts on Seagrasses and Seagrass Communities* below).

To assess the threat of sediment resuspension, sediment samples were taken on advice from Burbury Consulting from a point west of the eroded shoreline (Figure 2) (in the vicinity of the proposed dredge site), and analysed for sediment settling time. This involved suspending sediments in seawater by vigorously shaking in a container for approximately one minute and then recording the time taken for sediments to settle to the bottom of the container.

The results of this analysis were consistent with coarse sediments. Over 95% of sediments had settled in less than five seconds and the remaining sediments settled in under twenty seconds (Appendix 1). This indicates that resuspension of sediments is not a major concern for these construction works and any sediments mobilised during construction will rapidly settle, clearing the water column.

Sediments at the proposed dredge site are highly mobile and settle rapidly if suspended. They are well oxygenated and there was no evidence of organic enrichment or anoxia amongst the sites surveyed. Therefore, dredging at this site is not likely to result in a considerable increase in turbidity in the surrounding area from re-suspension of sediments. Installation of a silt screen around the dredge site is considered unnecessary as the high current velocity in the channel would make it difficult to maintain the structural integrity of the screen and sediment particles will settle at fast enough rates to not require a silt screen.

Key mitigations: Minimise the duration of dredging and construction works. Undertake dredging and construction works during calm offshore weather to minimise the effects of waves on a lee shore further disturbing the sediments. Undertake works during neap tides, not spring tides, to capitalise on lower current flows due to smaller tidal ranges.

5.3 Contamination of sediments

Physical disturbance of the seabed at the proposed dredging site may result in re-suspension of contaminants. There is a significant oyster industry in the same estuary system as the proposed dredge site. Oysters are filter feeders and ingest microorganisms and particulates from their surrounding environment. Through this filter feeding process, oysters can accumulate potentially harmful chemical residues that may pose a risk to human health if such chemicals are present in oyster growing areas. These harmful chemical residues are usually related to industrial activity in catchment areas, and include organochlorines, organophosphates and heavy metals. Increased levels of nutrients, organic matter and faecal contamination from stormwater outlets and direct discharge of sewage also pose a significant threat to water quality in oyster growing areas.

In order to assess the risk posed by sedimentary contaminants, duplicate sediment samples were taken in the vicinity of the proposed dredge site (Figure 2) and analysed for potential sediment contaminants.

None of the sediment contaminants tested at the proposed dredge site contained contaminants above the level of laboratory discrimination, and all were well below ANZECC/ARMCANZ – *Interim Sediment Quality Guidelines (ISQG)* low trigger values (Appendix 2), indicating that re-suspension of sediments at the proposed dredge site would not pose a major risk of releasing metals or other contaminants into the surrounding environment. The low concentrations of sediment contaminants at the proposed dredging site are not surprising given the lack of likely contaminant inputs in the area, high water flow and dynamic nature of the area. Given the lack of potential contaminant sources from industry in the immediate area of the proposed dredge site, it is unlikely contaminants have ingressed into this part of the system. On the contrary, if further erosion of the shoreline continues, this may expose residential on site wastewater treatment systems, thus posing a risk not only to the oyster industry but also the general public through faecal contamination of the estuary. Hence, it is likely that dredging works pose less of a risk to the oyster industry than if the shoreline is not stabilised and erodes further.

Key mitigations: (as for *Resuspension of Sediments* above)

5.4 Odour

Through consultations with the local oyster growers, concerns were raised that dredging may release unpleasant odours originating from anoxic sediments which may underlie the mobile oxygenated sands in the area. This will need careful consideration during the dredging process but can be avoided simply by dredging a different section of sand if anoxic or discoloured sediments are encountered.

Key mitigation: Avoid dredging anoxic sediments. Dredge oxygenated surface sediments only by moving the dredge head over a larger area rather than dredging deeper in a single location.

5.5 Underwater Noise

Acoustic disturbance during construction may affect some migratory fish, marine mammals, seabirds and other marine fauna that rely on acoustic cues for social and reproductive behaviours.

Key mitigation: Cease construction works if any marine mammals are sighted within 300m of the construction sites. Do not restart construction until no marine mammals have been sighted for a minimum of 30 minutes. Minimise overall construction time.

6 Potential Biological Impacts and Mitigations

6.1 Impacts on intertidal communities

Increased human utilisation and disturbance of the foreshore during construction may affect the intertidal community. Movement of personnel and equipment over intertidal rocks may cause direct trampling of biota or detrimental habitat modification. Sand shorelines are less vulnerable to this type of disturbance than rocky shorelines, therefore this is not considered a major concern at this location. It is noteworthy that a Ecological Values Assessment has not been conducted for this area. As a precautionary measure, the majority of construction works should be based from the water.

Key mitigation: Avoid disturbing the shoreline by basing the majority of construction from a barge or similar.

6.2 Marine pests

Introduced marine pests including the Pacific Oyster *Crassostreas gigas*, the New Zealand Screw Shell *Maoricolpus roseus* and the Japanese Wakame *Undaria* sp. are known from the proposed development area. Species can be translocated via construction equipment and vessel ballast, resulting in establishment of new pest species or an increase in numbers of already established species.

Translocation of introduced marine pests presents a threat to the existing natural values of the works area. Translocation and establishment of pest species can alter habitats and displace native, threatened and/or protected species. Translocation of pests may occur through numerous vectors, including ballast waters, biofouling, on people/equipment (e.g. footwear), etc. Should marine construction equipment not be sourced from the east coast of Tasmania, or be leaving the east coast to travel elsewhere at the completion of work, a management system for hull cleaning including any ballast tanks and hull fittings should be introduced to mitigate the risk of spreading any introduced species. Existing regulations (prohibiting the translocation of pests or the collection of protected species under the *Living Marine Resources Act 1995*) provide appropriate controls by which to prevent translocation of pest species or removal of protected species. Spreading of marine pests is not thought to be a high priority in relation to this project; it is considered to be a low risk.

Key mitigation: Follow proper protocol (equipment cleaning, withholding high-risk ballast dumps, etc.), as per existing regulations under the *Living Marine Resources Act 1995* to

ensure no marine species are translocated. Source construction equipment from the east coast of Tasmania, preferably locally.

6.3 Mobilisation of Toxic Dinoflagellate Cysts

Toxic dinoflagellates bloom in response to a range of variables including temperature, salinity, light intensity and nutrient concentration. Cell counts in the marine environment can increase rapidly, posing a risk of poisoning people who consume seafood contaminated with biotoxins produced by dinoflagellates. Part of the dinoflagellate lifecycle involves a resting cyst or spore stage which may lay dormant in marine sediments for months or years. There is a risk that disturbance of sediments may re-suspend dinoflagellate cysts which then precipitates a toxic bloom. These cysts are more dense than seawater, but less dense than marine sediments; therefore they tend to only accumulate in areas with very low wave or current action (G Hallegraeff pers. comm.).

The proposed dredging at Swanwick is considered low risk in relation to potential toxic algal blooms as it is primarily not an environment suitable for the deposition of algal cysts. The high velocity of tidal currents along the area of sand at Swanwick mouth causes marine sediments to be re-suspended and reworked during each tidal cycle (personal observation).

This is considered a low risk to industry or the environment.

6.4 Impacts on Seagrasses and Seagrass Communities

Settlement of suspended sediments has the potential to smother seagrass beds. There are extensive seagrass beds inshore of the proposed dredge site, mainly in shallow water, which are important contributors to the productivity and biodiversity of the aquatic ecosystem in the area. Seagrass plays an important role in nutrient cycling through the uptake of nutrients and due to their extensive root structure, seagrass beds are particularly important in maintaining sediment stability. Dredging mobile sands at the mouth of the estuary will not pose a significant risk of smothering seagrass beds further up the channel as sediments settle rapidly and are unlikely to travel far offsite.

Key mitigation: Smothering of seagrasses is not considered a major concern for these works, based on the coarse grain size and fast resettlement rate of sediments (refer *Section Resuspension of Sediments* above). However, as a precautionary measure, it is recommended that dredging be undertaken on a slack outgoing tide where possible, to minimise the potential for transport of sediment upstream towards seagrass beds.

6.5 Impacts on Threatened and Protected Species

No onsite assessment of ecological values for this site has been conducted. A desktop study has identified a number of species listed as threatened or protected that may occur in the vicinity:

6.5.1 Australian Grayling

The Australian Grayling *Prototroctes maraena* is native to Tasmania and southeast mainland Australia. Australian Grayling have a diadromous lifecycle, inhabiting fresh water streams as adults, and migrating to coastal seas as larvae. Spawning takes place in late spring/early summer (Bryant and Jackson 1999). Larvae are transported to sea in stream/river currents, and return as migrating juveniles approximately 4-6 months later (Bryant and Jackson 1999).

This species is not considered under pressure from coastal development, but rather barriers to migration. This construction works is not considered a barrier to migration, and therefore not expected to alter the migration patterns of Australian Grayling.

6.5.2 Marine Mammals

Acoustic disturbance during construction may affect marine mammals that rely on acoustic cues for social and reproductive behaviours. A 300 m diameter exclusion zone should be applied around the construction site; should any marine mammals be sighted within the exclusion zone, construction works should be halted until such time that no marine mammal has been sighted for 30 min. A brief survey of the exclusion zone should be conducted prior to beginning construction on any day. Continued observation in the surrounding area will allow works to be halted if marine mammals come within 300 m.

Key mitigation: The area will be monitored for marine mammals prior to and during construction activities. Should any marine mammals be sighted within 300m of the construction site, construction will cease until such time that no marine mammal has been sighted for 30 minutes.

7 Construction Specifications

7.1 Construction Methods and Materials

All materials will be pre-fabricated offsite to minimise the amount of on-site work required. The majority of construction works and the transportation of materials to and from the site will be conducted from the water, via a barge or similar vessel. This will minimise disturbance to the foreshore and damage to the intertidal environment.

The Geo-containers will be positioned in a band starting approximately 10m seaward of the erosion front (Refer to Appendix 3 for Preliminary General Arrangement). This band will run parallel to the existing shoreline. The Geo-containers will be held in place using temporary anchoring while they are filled with sand from the adjacent sandbank, delivered by a pump-assisted pipeline. Sand will also be delivered to an area immediately behind (eastward) of the Geo-container band to backfill the area and further stabilise the eroded bank.

This combination of Geo-containers and backfilling will provide erosion protection from the Geo-containers in front and subsequent foreshore stabilisation by the sand filling behind the Geo-containers.

7.1.1 Land Based Activities

To support the installation requirements of the Geo-containers, a 3.5T excavator will be used in the site and sub-grade preparation and for deployment of the Geo-containers.

The excavator should minimise tracking along the foreshore, the same course in and out to the work site must be maintained.

The use of an excavator must be in compliance with the *Tasmanian Washdown Guidelines for Weed and Disease Control: Machinery, Vehicles and Equipment, Edition 1*.

Any vegetation that may need to be removed must be approved by Dave Frelak, Ranger in Charge, PWS (ph. 6256 7005).

The operator must be appropriately qualified to operate the excavator.

7.2 Other Considerations

Contractors on site should be made aware of their environmental obligations and provided facilities for adequate disposal of waste, which should be removed from site.

Given machinery will be involved in the construction phase, spill kits, appropriate for hydrocarbons found in the machinery should be available on site. This may include but is not be limited to, Petrol, Diesel, Hydraulic Fluid and Oils.

Dredging and construction works should be undertaken during calm offshore weather to minimise the effects of waves on a lee shore further disturbing the sediments. Works should be undertaken during neap tides, not spring tides, to capitalise on lower current flows due to smaller tidal ranges.

Management of vessel traffic is necessary during the construction process to prevent increased wave action, disruptions to works and safety.

The vessel used in the works must be in survey and the operator must be appropriately qualified to operate the vessel.

7.2.1 Monitoring

Installation of the Geo-containers may alter the patterns of scour and erosion of embankments on either end of the barrier accordingly it is recommended this is monitored over time. Previous attempts to stabilise the embankment with sandbags have failed due to the bags degrading over time (Figure 3A). Geo-containers, however, are UV stabilised and offer excellent durability, robustness and useability, consequently they are expected to provide a more robust solution for halting erosion and providing foreshore stabilisation.

7.2.2 Aboriginal Heritage

When conducting works and a suspected Aboriginal heritage relic is encountered, work should stop immediately. A buffer protection zone should be established and contact made with Aboriginal Heritage Tasmania (ph. 6233 6613) and PWS Parks and Reserves Manager, Dona Stanley (ph. 6336 5286).

8 Commitments during Construction

- All workers will receive a site induction into the requirements of this CEMP, prior to starting work on this Project;
- The Authority to undertake works will be on site at all times during the works;
- Construction machinery sourced from the east coast of Tasmania;
- Site access primarily from the water;
- Waste management and spill response capability to be on site;
- Construction will cease if marine mammals are observed within 500m.

9 References

ANZECC/ARMCANZ (2000a) Interim Sediment Quality Guidelines.

Bryant S., Jackson J. (1999) Tasmania's threatened fauna handbook: what, where and how to protect Tasmania's threatened animals, Threatened Species Unit, Parks and Wildlife Service, Tasmania 1999.

Edgar G.J., Barrett N.S., Graddon D.J. (1999) A Classification of Tasmanian Estuaries and Assessment of their Conservation Significance using Ecological and Physical Attributes, Population and Land Use. Technical Report Series. Number 2. Tasmanian Aquaculture and Fisheries Institute, Hobart, Tasmania. 231 pp.

Appendix 1. Settling time of sediments from the proposed dredge site.



5 seconds



15 seconds



10 seconds



20 seconds

Appendix 2. Results of sediment analyte concentrations from the proposed dredge site.

				Sample 1	Sample 2
	<i>Sampling date/time</i>			10-Jul-13	10-Jul-13
	<i>LOR</i>	<i>Unit</i>	<i>ISQG Low Trigger Value</i>		
Moisture Content					
Moisture Content (dried at 103°C)	1.0	%	-	19.3	22.2
Total metals by ICP-AES					
Arsenic	5	mg/kg	20	<5	<5
Cadmium	1	mg/kg	1.5	<1	<1
Chromium	2	mg/kg	80	4	5
Copper	5	mg/kg	65	<5	<5
Lead	5	mg/kg	50	<5	<5
Nickel	2	mg/kg	21	<2	<2
Zinc	5	mg/kg	200	<5	<5
Total Recoverable Mercury by FIMS					
Mercury	0.1	mg/kg	0.15	<0.1	<0.1
Organic Matter					
Organic Matter	0.5	%	-	<0.5	<0.5
Total Organic Carbon	0.5	%	-	<0.5	<0.5
Organochlorine Pesticides (OC)					
Aplha-BHC	0.5	mg/kg	-	<0.5	-
Hexachlorobenzene (HCB)	0.5	mg/kg	-	<0.5	-
Beta-BHC	0.5	mg/kg	-	<0.5	-
Gamma-BHC	0.5	mg/kg	-	<0.5	-
Delta-BHC	0.5	mg/kg	-	<0.5	-
Heptachlor	0.5	mg/kg	-	<0.5	-
Aldrin	0.5	mg/kg	-	<0.5	-
Heptachlor epoxide	0.5	mg/kg	-	<0.5	-
Total-Chlordane (sum)	0.5	mg/kg	-	<0.5	-
Trans-Chlordane	0.5	mg/kg	-	<0.5	-
Alpha-Endosulfan	0.5	mg/kg	-	<0.5	-
Cis-Chlordane	0.5	mg/kg	-	<0.5	-
Dieldrin	0.5	mg/kg	0.0002	<0.5	-
4,4'-DDE	0.5	mg/kg	0.0020	<0.5	-
Endrin	0.5	mg/kg	0.0008	<0.5	-
Beta-Endosulfan	0.5	mg/kg	-	<0.5	-
Endosulfan (sum)	0.5	mg/kg	-	<0.5	-
4,4'-DDD	0.5	mg/kg	-	<0.5	-
Endrin aldehyde	0.5	mg/kg	-	<0.5	-
Endosulfan sulfate	0.5	mg/kg	-	<0.5	-
4,4'-DDT	0.5	mg/kg	0.0016	<0.5	-
Endrin ketone	0.5	mg/kg	-	<0.5	-

Methoxychlor	0.5	mg/kg	-	<0.5	-
Sum of Aldrin + Dieldrin	0.5	mg/kg	-	<0.5	-
Sum of DDD + DDE + DDT	0.5	mg/kg	-	<0.5	-
Organophosphorus Pesticides (OP)					
Dichlorvos	0.5	mg/kg	-	<0.5	-
Demeton-S-methyl	0.5	mg/kg	-	<0.5	-
Monocrotophos	0.5	mg/kg	-	<0.5	-
Dimethoate	0.5	mg/kg	-	<0.5	-
Diazinon	0.5	mg/kg	0.0002	<0.5	-
Chlorpyrifos-methyl	0.5	mg/kg	-	<0.5	-
Parathion-methyl	0.5	mg/kg	-	<0.5	-
Malathion	0.5	mg/kg	-	<0.5	-
Fenthion	0.5	mg/kg	-	<0.5	-
Chlorpyrifos	0.5	mg/kg	-	<0.5	-
Parathion	0.5	mg/kg	-	<0.5	-
Pirimphos-ethyl	0.5	mg/kg	-	<0.5	-
Chlorfenvinphos	0.5	mg/kg	-	<0.5	-
Bromophos-ethyl	0.5	mg/kg	-	<0.5	-
Fenamiphos	0.5	mg/kg	-	<0.5	-
Prothiofos	0.5	mg/kg	-	<0.5	-
Ethion	0.5	mg/kg	-	<0.5	-
Carbophenothion	0.5	mg/kg	-	<0.5	-
Azinphos Methyl	0.5	mg/kg	-	<0.5	-
Total Petroleum Hydrocarbons (TPH)					
C6-C9 Fraction	10	mg/kg	-	<10	<10
C10-C14 Fraction	50	mg/kg	-	<50	<50
C15-C28 Fraction	100	mg/kg	-	<100	<100
C29-C36 Fraction	100	mg/kg	-	<100	<100
C10-C36 Fraction (sum)	50	mg/kg	-	<50	<50
Total Recoverable Hydrocarbons - NEPM 2010 Draft					
C6-C10 Fraction	10	mg/kg	-	<10	<10
>C10-C16 Fraction	50	mg/kg	-	<50	<50
>C16-C34 Fraction	100	mg/kg	-	<100	<100
>C34-C40 Fraction	100	mg/kg	-	<100	<100
>C10-C40 Fraction (sum)	50	mg/kg	-	<50	<50
Organochlorine Pesticide Surrogate					
Dibromo-DDE	0.1	%	-	73.5	-
Organophosphorus Pesticide Surrogate					
DEF	0.1	%	-	63.6	-
TPH(V)/BTEX Surrogates					
1,2-Dichloroethane-D4	0.1	%	-	79.8	94.3
Toluene-D8	0.1	%	-	73.3	88.1
4-Bromofluorobenzene	0.1	%	-	72.8	88.8

Note: LOR = Limit of Reporting

Appendix 3. Preliminary General Arrangement of Geo-containers

GRADCO

17th August 2021

ABN 57 009 537 393

PO Box 290
Newstead TAS 7250

79-81 St Leonards Rd
St Leonards TAS 7250

T (03) 6337 0200

F (03) 6339 2028

E office@gradco.com.au

GRADCO.COM.AU

Adrian O'Leary
Glamorgan Spring Bay Council
9 Melbourne Street
Triabunna TAS 7190

Dear Adrian,

RE: Quotation for the installation of Sand Bags at Swanwick

Gradco are pleased to present for your consideration our quotation to supply and install 2 x 20m C10 Geofabric Mega Containers (Sand Bags) on the beach at Swanwick as per emails sent on 13/8/2021.

The price to undertake the works is \$47,250.00.

This price includes the following:

- Mobilisation of all plant (20t Excavator, 15t Excavator, Dredge Pump and Pipes) and 2 x Sand Bags
- Supply and delivery of 2 x 20m C10 Geofabric Mega containers (Approx. - 20m long – 1.8m high and 4m wide)
- All plant and labour to install the Sand Bags
- This price is valid for 90 days

Qualifications and assumptions

- Gradco has assumed that there is sufficient access to the beach suitable for a 20t Excavator
- Gradco has made no allowances for any relocation of underground or overhead services
- Gradco has assumed that any permits to undertake the works are done by others
- At least 2 months' notice will be required to order and deliver bags

Should you wish to discuss any element of this quotation, please call me on 6337 0200 or 0408 326 867.

Yours sincerely,



Tom Diprose
Director



17/09/2021

Mr Greg Ingham
General Manager
Glamorgan Spring Bay Council
PO Box 6, Triabunna 7190

PO Box 93
Bicheno
Tasmania 7215
bichenofestivals.com.au

Dear Greg,

I am writing to you today on behalf of the Bicheno Festival Committee, regarding support for the 2021 Bicheno Food & Wine Festival, taking place on the 20th of November.

In previous years the Glamorgan Spring Bay Council has generously provided a range of support for our immensely popular community event, including infrastructure hire, personnel hours and financial assistance. We hope that once again in 2021, the Council will be able to continue their support.

For the previous event held in 2019, the Festival received the following support from Council:

- Hire of 2 x waste trucks for the transport of rubbish off-site, including a driver
- Hire of 20 x wheelie bins and supply of bin liners, toilet paper
- Hire of "road closed" and "detour" signs, bollards and witches hats
- \$2000 cash contribution toward portable toilet hire and cleaning contractors

We would be extremely grateful if a similar level of support could be offered for this year's event. The festival is facing a number of additional costs due to COVID-19 safety requirements, including increased cleaning and security personnel and face masks for over 3000 patrons. Despite already reaching capacity with ticket sales, these additional costs are placing strain upon our modest event budget – financial support will help ensure this valuable community event continues into the future.

Please do not hesitate to contact me if you wish to discuss any aspects of this request, or indeed our event.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'M Woodham', followed by a long horizontal line.

Matt Woodham – Event Manager





2021 Road Closure & Detour

Last updated 01 September 2021



ROAD CLOSED
DETOUR →




ROAD CLOSED
← DETOUR

← SILVER SANDS /
WATERFRONT ACCESS

↑ SILVER SANDS /
WATERFRONT ACCESS

Road closure / detours in place from **6am to 11pm on Saturday 20/11/18**. Detour will be clearly marked and signposted.

Access to Silver Sands site / waterfront via detour - through school oval. Oval is attended and used for parking during event.









-  Event Boundary
-  Closed road barriers
-  Detour

Site Map
Last updated 19 August

Site Map
Last updated 19 August

Entrance
/ Exit

Key

-  Stall
 -  Stage
 -  Service
 -  Toilet Facility
 -  Road block
 -  Temporary Fence
 -  Seating Benches
 -  Sanitiser Station

Scale = 1:750



9 Melbourne Street (PO Box 6)
Triabunna TAS 7190
☎ 03 6256 4777
☎ 03 6256 4774
✉ admin@freycinet.tas.gov.au
🌐 www.gsbc.tas.gov.au

COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	John Bilac (Accessible Island Meditation)
Postal address	[REDACTED]
Contact person	John Bilac
Role if group applying	[REDACTED]
Contact number	[REDACTED]
Email address	[REDACTED]
Is your organisation an incorporated body?	No
Project title and brief description (If insufficient space, please attach additional sheet)	
Regular local Meditation classes held here on the East Coast of Tasmania, initially in the Triabunna/Orford area, but extending North to other coastal towns if interest is high. Building a community of meditation practitioners, extending from Meditation classes, maybe to include some social events that incorporate Mindfulness Meditation in action. All with the aim of improving the wellbeing, health, and quality of life of local residents.	
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations.)	
To increase the health and wellbeing of members of the local community through Mindfulness Meditation, other forms of Meditation and some Buddhist teachings. Meditation practices are beneficial for people of all ages, increasing comfort, performance and resilience in peoples' personal/professional/academic/inner lives. Meditation is known to reduce stress, improve attention span, increase concentration & clarity, reduce memory loss, promote emotional health, improve mood, self image & physical health, and help control pain. It can help anxiety & depression, enhance self-awareness and improve sleep. Modern scientific research continues to validate the anecdotal experience of practitioners across thousands of years of meditation practice.	
Funding sought from Council	\$ 1000 Note#1 below
Funding to be contributed by you or your organisation	\$
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	\$
Total Project Expenses	\$
Signed	
Name (Please print)	John Bilac
Date	16/9/2021
Note#1 Funding request based on est. annual costs of \$1256, composed of \$256 insurance, \$800 facilities fees, \$100 printing, \$100 community social event	



● Allied Health <au.alliedhealth@aon.com>
To: accessible.island@gmail.com



Empowering economic and human possibility.™

Dear John,

Protecting over 45,000 Allied Health Practitioners in Australia, you can be assured that you are putting your trust in the right Insurance Cover to meet your individual insurance needs.

We negotiate strongly with insurers to offer Professional Indemnity Insurance with competitive features at a competitive price, with cover starting from as little as \$222.20.

Plus, in a few simple steps you can [get a quote](#) at any time of the day.

Combined Malpractice, Public and Products Liability Insurance

Professional Indemnity - Select cover from \$1 Million to \$20 Million to help protect against legal costs and claims for damages to third parties arising from an act, omission or breach of professional duty in the course of your business.

Public & Products Liability - \$20 Million [Public Liability](#) & [Products Liability](#) is automatically included at no additional cost.

	\$1 Million	\$2 Million	\$5 Million	\$10 Million	\$20 Million
TAS	\$222.20	\$256.08	\$315.37	\$369.82	\$483.56

Note: The premium payable for each practitioner includes GST, stamp duty, commission and an Aon administration fee of \$92 per practitioner.

Policy features:

- **Unlimited retroactive date** - Our policy covers you for incidents that occurred before you were insured with us – but only for unknown circumstances.
- **Run-off cover** - If you retire or leave the profession, our policy will still cover you for claims relating to incidents that occurred when you were working.
- **Legal advice** - Need legal advice on a matter related to your profession or business? With Aon, you can access 2 hours of complimentary instant legal advice from industry experts.
- **Automatic Public and Products Liability Insurance** - Covers you for claims made against you by a third party arising from injury or property damage from any premises you work from, as well as claims made against you by a third party arising from the sale or supply of a product that causes financial loss or injury.

How do I apply?

[Click here to buy online and receive 16 months for the price of 12](#)

9 Melbourne Street (PO Box 6)
Triabunna TAS 7190

☎ 03 6256 4777

☎ 03 6256 4774

✉ admin@frevcinet.tas.gov.au

🌐 www.gsbc.tas.gov.au

COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	SWANSEA COMMUNITY CHRISTMAS	
Postal address	[REDACTED]	
Contact person	KELVIN JONES	
Role if group applying	COMMITTEE MEMBER	
Contact number	[REDACTED]	
Email address	[REDACTED]	
Is your organisation an incorporated body? (Please circle)	Yes / <input checked="" type="radio"/> No	
Project title and brief description (If insufficient space, please attach additional sheet)		
<p>Swansea Community Christmas Parade & Festivities provide Swansea & surrounds with annual Christmas street decorations, parade & festivities. For many years a dedicated group of community members have provided Swansea with Christmas cheer by placing decorations throughout the town, organising our local Christmas parade & ensuing festivities after the parade including BBQ, music & kids activities.</p> <p><i>we are seeking Councils support in assisting us with annual insurance & application fees</i></p> <p>Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations.)</p> <p>Christmas Spirit / community pride / bringing the community together helping to showcase our community & area</p> <p><i>we will be seeking support from other sources to assist as well as community donations / fundraisers</i></p> <p>Previously it has cost approx \$3500 to put on Swansea Community Christmas which includes insurance / application - Licence fees decoration costs, prizes activities etc</p>		
Funding sought from Council		\$ 1000
Funding to be contributed by you or your organisation		\$ any outstanding amounts
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions*)		\$ unknown at this time
Total Project Expenses		\$ 1000
Signed	[Signature]	
Name (Please print)	KELVIN JONES	
Date	3/8/21	
*Details of other contributors:	donations from community / fundraising	



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✉ admin@freycinet.tas.gov.au
🌐 www.gsbc.tas.gov.au

COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	SPRING BAY CLAY TARGET CLUB INC
Postal address	[REDACTED]
Contact person	CHRIS CHAPMAN
Role if group applying	PRESIDENT
Contact number	[REDACTED]
Email address	[REDACTED]
Is your organisation an incorporated body?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Project title and brief description (If insufficient space, please attach additional sheet)	
PURCHASE SOLAR PANEL, BATTERIES AND REGULATORS TO POWER OUR NEW CLAY TARGET THROWERS (TRAPS)	
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations.)	
OUR NEW CLAY TARGET TRAPS ARE BATTERY POWERED WHICH WILL ALLOW US TO ELIMINATE THE USE OF A PETROL GENERATOR. THE CLUB DOES NOT HAVE THE CAPACITY TO INSTALL MAINS POWER. IT IS OUR INTENTION TO TRANSITION TO SOLAR POWER FOR THE OPERATION OF OUR TRAPS THAT WILL SEE A REDUCTION IN OUR CARBON EMISSIONS.	
Funding sought from Council	\$ 1,000.00
Funding to be contributed by you or your organisation	\$ 517.00
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	\$ 0
Total Project Expenses	\$ 1,517.00
Signed	
Name (Please print)	Chris Chapman
Date	16 October 2021
*Details of other contributors:	

ARB HOBART9 FLORENCE STREET
MOONAH, TAS 7009T: (03) 6232 2333
F: (03) 6278 1175
E: arb@arbhobart.com.au
arb.com.au

ABN 23851852283

SPRI06
Valid for 30 daysBill To
Spring Bay Clay Target**Estimate**
Estimate Date**29602**
16/09/2021
MB

Job No	Terms	Order No	Registration SPRI06
	C.O.D.		

Make	Model	Engine	Chassis	Colour
GENERAL WORK				
Stock Code	Description-Text	Qty	Unit Price	Amount
Solar				
SMSP1180	REDARC 180W SOLAR PANEL MONOCRYSTALLINE	1.00	399.00 EA	399.00
SRPA0360	30A PWM ANDERSON REGULATOR	1.00	204.00 EA	204.00
SRC0019	10M 10AWG AND. TO AND. CABLE	1.00	121.00 EA	121.00
SRC0010	1.5M AND. TO BATT TERM CABLE	2.00	53.00 EA	106.00
SRC0012	0.3M PARALLEL CABLE	1.00	42.00 EA	42.00
SMI9001	ABS PLASTIC CORNER MNT 4 PCS	1.00	62.00 EA	62.00
SMI9002	ABS PLASTIC SIDE MOUNT 2PCS	1.00	37.00 EA	37.00
HCM-27	Bosch Battery	2.00	273.00 EACH	546.00
Subtotal =				\$1,517.00

EFT Banking Details Name King Trailer Industries
BSB / Account 037-005 550529

Subtotal	1,379.08
Rounding Amount	
GST	137.92
Total	1,517.00
Payment	
Balance	1,517.00



COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	Jody Sargison - Perfect Fit 4 Life.	
Postal address	[REDACTED]	
Contact person	Jody Sargison	
Role if group applying		
Contact number	[REDACTED]	
Email address	[REDACTED]	
Is your organisation an incorporated body?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Project title and brief description (If insufficient space, please attach additional sheet)		
See attached.		
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations).		
See attached.		
Funding sought from Council	\$	1000
Funding to be contributed by you or your organisation	\$	
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	Not sure, possibly 2022? Bendigo Bank.	\$ 600 Hoped for tank tops for children
Total Project Expenses	\$	
Signed	[Signature]	
Name (Please print)	Jody Sargison	
Date	16.9.21	
*Details of other contributors:	We may seek funding from Bendigo Bank for Tank tops for children in 2022 if the project continues.	

Community Health & Wellbeing Proposal

Project Title & Description

Program Name: *Warrior Kids*

Program Purpose:

- Connect, inspire and bring confidence to Primary School age children of local community. We will meet, move and strengthen budding young leaders for health and wellbeing that ripples into every home.

Why

- To enhance confidence of children moving toward high school years.
- To offer an afterschool activity in a community with limited opportunities.
- Empower children to try new things.
- Bring the opportunity for children to lead and support program planning ideas.
- To encourage physical activity amidst an increasingly sedentary population.
- Motivate children with simple, practical things to take home for improving the health of the whole family.
- To expand mindset on what physical activity can be and the fun available in movement.
- To strengthen relationships within community and support anti-bullying.
- To bring opportunity for families to connect and become more active.
 - ✦ We hope to expand this project extend the opportunity to parents to meet and move via a weekly fitness session on the same day just before the end of the school day on the school oval or in the community hall?

***Jody** - Upon moving to Bicheno, I heard a high number of children share their fear of school sporting events such as the athletics carnival and cross country. I was privileged to facilitate afterschool fitness opportunities for children to meet, move and train for the school cross country. The level of participation was fantastic and the elder students stepped strongly into leadership. It was a great blessing to see confidence improve and gain feedback from parents of the messages that I'd explained, were taken home to share with parent's word for word. When we move and learn, messages manifest.*

Pilot Project Outcomes – School Term 3

Local Community Health Group loved the concept of Warrior Kids and Subsequently offered seed funding to pilot the project for 7 weeks of school term 3. The results of the pilot project spoke for themselves with weekly attendance being an average of 21 children of ages 4 to 11. By week four of the project, the elder students met with Warrior tribe leader, Jody and designed the program they wished to facilitate in the coming week. The younger children received the leadership of the older students better than when Jody lead the sessions and invariably requested the games be played again and again.

Feedback was gained from parents and children after week four of the program to be reported back to the Community Health Group. See attached video and photo images.

- The more senior students reported enjoyment of leadership opportunity and personal gains in confidence.
- A number of younger students requested the program be available every day of the week.
- All students and parents reported their hopes to have requested the program available again in school term 4 and requested opportunity to a weekly holiday session.

- Bicheno Primary School Principal, Tom Spykers has been a fabulous support throughout the pilot project and is highly in favour of the program continuation and expansion in term 4
* Tom is interested in meeting to discuss how we can expand on the program.

How was the program facilitated during the pilot sessions?

- Certified and insured, Exercise Professional Jody Sargison, designed and lead each session. Jody holds specific exercise certification for working with children and has previously worked at Lauderdale Primary School for afterschool family fitness and been employed by Bayview Secondary College to improve student engagement in physical activity.
- Parent or nominated responsible guardian, signed children in each week and remained on site to ensure safety to and from sessions.
- Each week a warrior kid was nominated and received a warrior stripe. This prestigious recognition was awarded to a warrior kid who displayed exceptional listening, encouragement to others, courage and kindness. Each week the participant with who earned the warrior stripe was be offered opportunity to support program plan for the next week.
- Warrior stripes were earned via leader nomination and recorded each week.
- At the end of the term, one participant will receive the Warrior Rock of Courage which will be hand painted by a wonderful Tasmanian Artist (Jody's mum) – photo's to be sent

When will the proposed program commence?

- The program will run weekly, for 8 weeks during school term 4.
- The program will commence week 2 of term 4, being Wednesday 20th October 2021
- The group will meet at Bicheno Primary School oval each Wednesday 3pm for 8 weeks.
- The school gymnasium is utilised in poor weather.

Hopes for program funding via Glamorgan Spring Bay Council:

- \$70 Subsidy for Jody's service to enable sessions to be provided at gold coin donation to participants.
(Pilot Project outcome – a handful of parents/families paid a gold coin donation)
* Each week Jody spent 2+ hours preparing programs, chopping fruit, setting up, packing up and liaising with students.
- Weekly allowance of \$30 for
Fruit, vegetable and healthy snacks. Crackers and sultanas etc
- \$100 in total for
weekly spot prizes (stickers, motivational fitness and wellbeing items) – Jody purchased some this term and used mystery spies (older students) to present these awards with an encouragement message of 'why' the warrior kid was chosen.
- \$100 in total for
Camouflage wrist bands with the word "Warrior" printed on them

Please note: *If there were to be any surplus funds, these would be utilised for the end of term session and Warrior Rock of Courage presentation.*

Further information about Jody Sargison

Level 3 - Exercise Professional

Training & Certifications

- Making Space for Learning – *Australian Childhood Foundation*
- Mental Health First Aid Australia
- Level Three Exercise Professional - *Fitness Australia*
- Current First Aid & yearly updated CPR
- Working with Vulnerable People Card
- Circle of Security for Parenting
- Safe Sleep Space – Parenting
- Cert III & Cert IV in Fitness
- Certificate of Nutrition
- Certificate of Psychology, Behavior Change & Wellbeing Management
- PFF Core Foundations
- Trainer for older adults certified
- Trainer for younger population certified
- APRA licensed for use of music
- 2017 Workplace level II First Aid & current CPR
- Metafit Trainer Certified
- Meno Fitness Trainer Certified – Fitness for Menopause
- Exercise & Pregnancy Certified Trainer
- Kettlebells Level 1 Certified
- Proactive Programming for the Pelvic Floor
- Online Marketing for the Fitness Industry
- Lift for Life Certified
- Les Mills RPM & PUMP fully certified
- Punchfit Trainer Certifies
- ViPR Trainer Certified
- Indorow Trainer Certified