



## ORDINARY COUNCIL MEETING - 23 NOVEMBER 2021

### ATTACHMENTS

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General Rate Only - 2021.22

General Rate Type	Apslawn	Bicheno	Buckland	Coles Bay	Cranbrook	Dolphin Sands	Douglas River	Friendly Beaches	Lake Leake	Levendale	Little Swanport	Nugent	Orford	Pontypool	Rheban	Rocky Hills	Spring Beach	Swansea	Triabunna	Grand Total
Commercial		316,536	8,371	366,557	1,028		5,150		2,394		6,099		111,606	5,275				218,722	154,069	1,195,806
Industrial		11,723	3,136	19,944													1,309	2,079	52,062	90,253
Primary Production	45,825	40,023	91,917	24,322	63,996	10,158			49,290	13,262	69,726	2,041	16,117	526	29,198	3,194	3,353	184,452	66,879	714,277
Residential - Apslawn	5,780																			5,780
Residential - Bicheno		999,112					849													999,962
Residential - Buckland			53,364																	53,364
Residential - Coles Bay				768,707																768,707
Residential - Cranbrook					20,346															20,346
Residential - Dolphin Sands						275,025												1,804		276,830
Residential - Douglas River							22,867													22,867
Residential - Friendly Beaches								2,693												2,693
Residential - Lake Leake									844											844
Residential - Levendale										3,567										3,567
Residential - Little Swanport											93,219									93,219
Residential - Nugent												1,988								1,988
Residential - Orford													1,048,002							1,048,002
Residential - Pontypool														36,554						36,554
Residential - Rheban															37,022					37,022
Residential - Rocky Hills																14,681				14,681
Residential - Spring Beach																	221,534			221,534
Residential - Swansea																		747,316		747,316
Residential - Triabunna																			469,426	469,426
Sport & Recreation		7,146	811	4,705							1,609		23,735	2,283	496		655	2,916	6,481	50,838
Vacant Commercial		3,452		1,736									630					4,159	2,120	12,096
Vacant Residential - Bicheno		156,552					2,330													158,882
Vacant Residential - Buckland			9,445																	9,445
Vacant Residential - Coles Bay				151,745																151,745
Vacant Residential - Dolphin Sands						74,421														74,421
Vacant Residential - Little Swanport											10,808									10,808
Vacant Residential - Orford													147,531				544			148,075
Vacant Residential - Pontypool														10,243						10,243
Vacant Residential - Rheban															2,140					2,140
Vacant Residential - Rocky Hills																5,345				5,345
Vacant Residential - Spring Beach													2,182				57,444			59,626
Vacant Residential - Swansea	1,159																	132,910		134,068
Vacant Residential - Triabunna																			53,989	53,989
Grand Total	52,763	1,534,595	167,144	1,338,316	85,369	359,605	31,196	2,693	52,528	16,828	181,462	4,029	1,349,802	54,881	68,856	23,220	284,838	1,294,709	805,224	7,708,059

**General Rates - Residential**

	2020/21	2021/22	2020/21	2021/22	2020/21	2021/22	2020/21	2021/22	2020/21	2021/22
	AAV \$10,000	AAV \$10,000	AAV \$20,000	AAV \$20,000	AAV \$30,000	AAV \$30,000	AAV \$40,000	AAV \$40,000	AAV \$50,000	AAV \$50,000
<b>Orford</b>	1014	845	1014	1390	1014	1935	1014	2480	1014	3025
<b>Triabunna</b>	825	845	825	1390	n/a	n/a	n/a	n/a	n/a	n/a
<b>Swansea</b>	1014	845	1014	1390	1014	1935	1014	2480	1014	3025
<b>Coles Bay</b>	1014	845	1014	1390	1014	1935	1014	2480	n/a	n/a
<b>Bicheno</b>	1014	845	1014	1390	1014	1935	1014	2480	n/a	n/a

We cannot compare with future years as the rates for next 5 years are unknown at this stage. There are many variables that will impact the actual rates charges such as, natural growth, Valuer General property valuations and how Council determines and sets the rates annually each year. The Long Term Financial Management Plan includes a forecast of total rate revenue required only, not actual rates charges that will apply to individual properties. This is only a guide and is also reviewed every year to take into account movement in internal and external factors that impact the budget and long term forecast. Council will provide more information to the community in relation to the Long Term Financial Management Plan review and likely impact on rates forecast in due course.



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development;

**SITE:** RA1130 Dolphin Sands Road Dolphin Sands

**PROPOSAL:** Dwelling - used for visitor accommodation

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the General Manager.

Representations must be received before midnight on Friday 22 October 2021.

**APPLICANT:** Honed Architecture & Design  
**DATE:** 24 September 2021  
**APPLICATION NO:** DA 2021 / 282





# Application for Planning Approval

OFFICE USE ONLY	
DATE RECEIVED:	PID:
FEE	RECEIPT No:
DA:	PROPERTY FILE:

## Advice:

Use this form for all no permit required, permitted and discretionary planning applications including subdivision as well as for planning scheme amendment & minor amendments to permits.

If you are applying for a change of use to visitor accommodation in the General Residential, Low Density Residential, Rural Living, Environmental Living or Village Zone, the *Visitor Accommodation Use in Existing Habitable Buildings Standard Application Package* must be used. This is available on the Council website.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme provides details of what other information may be required at clause 8.1 and in each applicable Code.

Please provide the relevant details in each applicable section by providing the information or circling Yes or No as appropriate. If relevant details are provided on plans or documents please refer to the drawing number or other documents in this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required please contact the office.

## Details of Applicant & Owner

Applicant:	HONED ARCHITECTURE + DESIGN				
Contact person: (if different from applicant)	MICHAEL BERNACKI				
Address:	PO BOX 147			Phone	/
	LAWNLESTON	TAS	7250	Fax:	/
Email:	mbernacki@honedarchitecture.com			Mobile:	0417541646
Do you wish for all correspondence to be sent solely by email?				Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

Owner: (if different fr	TESSICA HEEMAN & ANNAN CRES-MORRIS
Address:	
Email:	



## Application for Planning Approval

### Details of Site and Application

Please note, if your application is discretionary the following will be placed on public exhibition.

### Site Details

Address / Location of Proposal: 1130 DOLPHIN SANDS ROAD,			
Suburb DOLPHIN SANDS		Post Code 7190	
Size of site	m <sup>2</sup> 20232	or	Ha
Certificate of Title(s):	54666 / 175		
Current use of site:	SINGLE DWELLING		

### General Application Details

Complete for All Applications

<input checked="" type="checkbox"/>	New Dwelling	<input checked="" type="checkbox"/>	Change of use VISITOR ACCOMMODATION
<input type="checkbox"/>	Additions / Alterations to Dwelling	<input type="checkbox"/>	Intensification or modification of use
<input type="checkbox"/>	New Outbuilding or Addition	<input type="checkbox"/>	Subdivision or boundary adjustment
<input type="checkbox"/>	New Agricultural Building	<input type="checkbox"/>	Minor amendment to existing permit DA ..... / .....
<input type="checkbox"/>	Commercial / Industrial Building	<input type="checkbox"/>	Planning Scheme Amendment

Estimated value of works (design & construction) \$	
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Describe the order and timing of any staged works:	or <span style="border: 1px solid black; border-radius: 50%; padding: 2px 5px;">N/A</span>
--	--

### General Background Information

Please state the name of any Council officers that you have discussed this proposal with:	Officer's name : PETER CONEY or N/A	
Is the site listed on the Tasmanian Heritage Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Have any potentially contaminating activities ever occurred on the site? <i>If yes, please provide a separate written description of those activities.</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Is the proposal consistent with any restrictive covenants or Part 5 agreements that apply to the site?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>



## Application for Planning Approval

Does the proposal involve any of the following?		
Type of development		Brief written description if not clearly shown on the plans:
Partial or full demolition	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FIRSTLY DEMOLITION OF ALL BUILDINGS ON SITE.
Fencing	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New or upgraded vehicle / pedestrian access	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New or modified water, sewer, electrical or telecommunications connection	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NEW SEPTIC / STORM SYSTEMS
Retaining walls	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Cut or fill	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Signage	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
New car parking	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TYPICAL FOR RESIDENCE
Vegetation removal	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Existing floor area 0 . m <sup>2</sup> N/A	Proposed floor area 371 . m <sup>2</sup>
--	--

Number of existing car parking on site N/A	Number of proposed car parking on site 2
--	--

Describe the width & surfacing of vehicular access (existing or proposed) and how drainage/runoff is collected and discharged:	EXISTING GRAVEL
If vehicular access is from a road sign-posted at more than 60 km/hr, please state the sight distance in both directions:	or N/A 100m+

Please note, if a gravel driveway is proposed from a sealed public road please address the following clause (E6.7.6 P1): EXISTING GRAVEL DRIVEWAY

*Parking spaces and vehicle circulation roadways must not unreasonably detract from the amenity of users, adjoining occupiers or the quality of the environment through dust or mud generation or sediment transport, having regard to all of the following:*

- (i) the suitability of the surface treatment;
- (ii) the characteristics of the use or development;
- (iii) measures to mitigate mud or dust generation or sediment transport.

Will stormwater from buildings and hardstand areas be managed by: ON SITE TRENCHES  (details should be clearly shown / noted on plans)	Discharge to a main: .....	Yes <input type="checkbox"/>
	Discharge to kerb & gutter: .....	Yes <input type="checkbox"/>
	Discharge to roadside table drain:...	Yes <input type="checkbox"/>
	Discharge to natural watercourse: ..	Yes <input type="checkbox"/>
	Retained on site: .....	Yes <input checked="" type="checkbox"/>



## Application for Planning Approval

<b>Materials</b>			
External building material	Walls:	STONE / TIMBER / CORRUGATED	Roof: COLORBOND
External building colours	Walls:	BROWN / GREY	Roof: GREY
Fencing materials:	N/A	Retailing wall materials:	N/A.

### For all outbuildings

Describe for what purpose the building is to be used:	
Describe any intended toilet, shower, cooking or heating to be installed:	
If the building is to be used wholly or partly as a domestic workshop, what type of tools and machines will be used?	

### For all non-residential applications

Hours of Operation					
Current hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:
Proposed hours of operation	Monday to Friday:		Saturday:		Sunday & Public holidays:
Number of Employees					
Current Employees Total:		Maximum at any one time:			
Proposed Employees Total:		Maximum at any one time:			

Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency:	or N/A
Describe current traffic movements into the site, including the type & timing of heavy vehicle movements & any proposed change:	or N/A RESIDENTIAL ONLY.
Describe any hazardous materials to be used or stored on site:	or N/A
Describe the type & location of any large plant or machinery used (refrigeration, generators)	or N/A
Describe any retail and/or storage of goods or equipment in outdoor areas:	or N/A
Describe any external lighting proposed:	or N/A RESIDENTIAL ONLY.



## Application for Planning Approval

### Personal Information Protection Statement:

The personal information requested is personal information for the purposes of the *Personal Information Protection Act 2004* and will be managed in accordance with that Act. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993* (LUPPA) and other related purposes, including for the purpose of data collection.

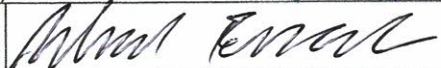
The intended recipients of personal information collected by Council may include its officers, agents or contractors or data service providers and contractors engaged by the Council from time to time.

The information may also be made publically available on the Council's website and available for any person to inspect in accordance with LUPAA. The supply of this information is voluntary. However, if you cannot or do not provide the information sought, the Council will be unable to accept and/or process your application.

### Declaration:

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that: -

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site in order to assess the application.
- I/we have obtained all copy licences and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on and determining the application.
- I/we authorise the Council to:
  - Make available the application and any and all information, reports, plans and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
  - Make such copies of the application and any and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application; and
  - Publish and or reproduce the application and any and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application.
- You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and any and all information, report, plan and material provided with or as part of the application.
- I/we authorise Council to provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.
- I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature:		Date:	23.9.21
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### If applicant is not the owner

If the applicant is not the owner, please list all persons who were notified of this application pursuant to section 52 of the *Land Use Planning and Approvals Act 1993*.

Name:	Method of notification:	Date of notification:
ADYAN CREE-MOOLS	PHONE	23.9.21

### If application is on or affect Council or Crown owned or administered land

If land affected by this application is owned or administered by the Crown or Council then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided and that person must also sign this application form below:

I \_\_\_\_\_ being responsible for the administration of land at \_\_\_\_\_  
declare that I have given permission for the making of this application by \_\_\_\_\_ for use  
and/or development involving \_\_\_\_\_

Signature:

Date:

***It is the applicant's responsibility to obtain any consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent should be directed to the relevant department.***



Glamorgan Spring Bay Council  
9 Melbourne Street  
Triabunna  
Tasmania, 7190

Michael Bernacki  
Registered Architect

PO Box 147  
Launceston  
Tasmania  
Australia 7250

Attention: Planning Department

Mobile: 0417541646

Email: mbernacki@honedarchitecture.com

Subject:

Development Application for a single dwelling located at 1130 Dolphin Sands Road, Dolphin Sands.  
This letter outlines and addresses the relevant / applicable codes for this development.

To whom it May Concern:

Overview:

This residence is located in the Particular Purpose Zone 3 - Dolphin Sands. It must be noted my clients have purchased this property as is and we wish to make right the current non approved site works by the previous owner. We are proposing the demolition of all building structures and the proposal for a new single dwelling on this lot. The previous owner of the land flattened / destroyed the beautiful landscape and the natural dune habitat. My clients wish to right the wrongs of the past and re-establish the coastal vegetation, wildlife and landscape amenity of the amazing location for there family to enjoy for many years to come.

We wish this residence to have minimal disturbance to the natural environment and visual amenity of the area once completed.

This new residence has been designed to take full advantage of its location, site parameters, view opportunities, natural light, site conditions, minimal site excavations and being considerate of its neighbours. Having studied the surrounding neighboring residence we strongly believe there will be no loss of amenity to neighbors. All will still maintain their view opportunity's to the water front as well as to 'The Hazards' we wish this residence to be a position contribution to this amazing coastal location.

In doing so my clients wish to share their amazing opportunity and would love to invite unknown guests to enjoy also, thus we also seek to make an application for visitor accommodation. We believe this should be acceptable given neighboring property's current share also.

It should be noted this residence is also designed as a Passive Home, following the thermal design principles and working with our energy consultants to achieve a low carbon footprint and to run carbon neutral / zero once completed.

This document outlines and addresses the relevant planning standards and should be cross referenced with Honed Architecture + Design drawings attached.

#### 34.4 Development Standards for Buildings and Works

##### 34.4.1 Building Height

A1 - Building height must be no more than 5m. In theory we believe we comply. The average top of dune is on site is AHD5.000m and with a allowable building height of 5.0m means a total allowable AHD is AHD10.000m Our proposed residence height is AHD9.5000m in height. Unfortunately the previous owner of the property bulldozed a component of the site flat down to AHD 1.3m . We now wish to utilise this space as we do not want to touch and build upon any other natural dunes on site. We wish these to be as natural as possible. Locations originally selected for the location of the residence we believed in the end were too close to the neighbors property and we wished to maintain their amenity and have no overlooking concerns thus we wish to position the residence in its proposed location.

P1 Building height must:

- (a) be unobtrusive within the surrounding landscape; Please refer to the attached montage study, we believe we are unobtrusive.
- (b) be consistent with the surrounding pattern of development; Having walked the coastline many times and through photographic studies from the beachfront of the surrounding neighbors, we believe we are consistent with the surrounding pattern.
- (c) not unreasonably impact on the amenity of adjoining lots from overshadowing, overlooking or visual bulk. We believe we do not over shadow any neighbours, We believe we do not overlook any neighbouring property's. Our architectural facade is broken down into many elements on purpose, which also reduces the visual bulk but means of materiality selections, building overhangs, scales and proportions and building depths. The lower levels are transparent via the columns with only the garaging being solid.



#### 34.4.2 Setback

A1 - Building setback from frontage must be no less than 30m from a primary frontage with Dolphin Sands Road or Cambria Drive and not less than 20m from a secondary frontage. **We comply.**

A2 - Building setback from side or rear boundaries must no less than 10m. **We comply.**

A3 - Building setback to the Nine Mile Beach Crown Reservation must be no less 20m. **We comply.**

A4 - All buildings are to be located in existing areas clear of native vegetation or within a building envelope shown on the title. **We comply.**

#### 34.4.3 Design

A1 - Exterior building surfaces must be coloured using colours with a light reflectance value not greater than 40 percent. **We Comply. The lower levels of the residence will be clad in natural stone of earthy colours. The upper levels of the residence is to be clad in Structuur Timber and Shale Grey Colorbond.**

A2 - Colours of outer walls and roofs must be natural colours such as black, grey, brown and green and of a hue that is unobtrusive. **We Comply. The lower levels of the residence will be clad in natural stone of earthy colours to belend in with the surround dunes. The upper levels of the residence is to be clad in Structuur Timber and Shale Grey Colorbond. The colours have been selected from the natural timbers found on site, from the driftwoods washed ashore. The colour and material palettes are carming, coastal and soft.**

#### 34.4.4 Fencing

A1 - Fencing must comply with all of the following:

- (a) fences along a frontage must be of post and wire construction - **All fence is existing and complys**
- (b) height of fences along a frontage must be no more than 1.2 m - **All fence is existing and complys**

#### Applicable Codes

##### E1.0 Bushfire Prone Area Code

A bushfire hazard assessment is currently being undertaken by our consultant and it will be provided as part of the Building Application.

In undertaking this assessment we will:

- Construction for the proposed dwelling to BAL requirements,
- A bushfire hazard management area around the proposed dwelling will be established,
- A Vehicle access of 4.0 metres wide with an additional 2.0 metres cleared either side already exists and will be maintained
- Provision of a dedicated water supply on site for fire fighting purposes will be installed and provided.

##### E10.0 Biodiversity Code

A1 - Clearance and conversion or disturbance must comply with one of the following:

- (a) be within a Building Area on a plan of subdivision approved under this planning scheme. **Noted.**
- (b) the development is for a single dwelling on an existing lot within the Low Density Residential Zone, Rural Living Zone or Environmental Living Zone and: **Noted.**
  - (i) clearance and conversion or disturbance is confined to Low Priority Biodiversity Values; **Noted.**
  - (ii) the area of clearance and conversion is no more than 3,000 m<sup>2</sup>; **Noted.**
  - (iii) the area of disturbance is no more than 6,000 m<sup>2</sup>; **Noted.**
- (c) the development is other than for a single dwelling on an existing lot within the Low Density Residential Zone, Rural Living Zone or Environmental Living Zone and: **Noted.**
  - (i) clearance and conversion or disturbance is confined to Low Priority Biodiversity Values; **Noted.**
  - (ii) the area of clearance and conversion is no more than 1,500 m<sup>2</sup>; **Noted.**
  - (iii) the area of disturbance is no more than 3,000 m<sup>2</sup>; **Noted.**

As our proposed site has already been cleared wrongly by the previous land owner, we wish to rights the wrongs of the past and re created the natural habitat and re establish the beautiful landscape around our proposed residence.

##### E23.0 On-Site Wastewater Management Code

A wastewater and stormwater system has been designed by Geoton, please refer to their included report. The system has been designed with adequate provision for the construction of this proposed residence

I trust that the contents of this letter and the attached Development Application is satisfactory and does address the Glamorgan Spring Bay Council requirements for 1130 Dolphin Sands Road, Dolphin Sands.

If you require any further information or clarification, please do not hesitate to contact myself.

Thank you once again.

Kind Regards



Michael Bernacki / Honed Architecture + Design.

REVISION

No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:  
- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE.  
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047  
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740  
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684  
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:  
  
ALL ERRORS OR ANOMALIES ARE TO BE REPORTED TO HONED ARCHITECTURE + DESIGN

DO NOT SCALE OF DRAWINGS.

CONFIRM ALL SIZES AND HEIGHTS ON SITE.

ALL CONSTRUCTION IS TO COMPLY WITH BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS.

DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON,  
TASMANIA 7250 Ph: 0417541646

DIMENSIONS ARE SUBJECT TO SITE MEASUREMENT & VERIFICATION DO NOT SCALE OFF THIS DRAWING ALL DESIGNS ARE COPYRIGHT AND REMAIN PROPERTY OF HONED ARCHITECTURE + DESIGN.

PROJECT NAME:  
  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
  
COVER SHEET

DRAWN: MB  
CHECKED: MB

SCALE: NTS @ A3  
DATE: JUNE\_2020  
PROJECT NO. 2020  
DRAWING NO. A-DA-01 A

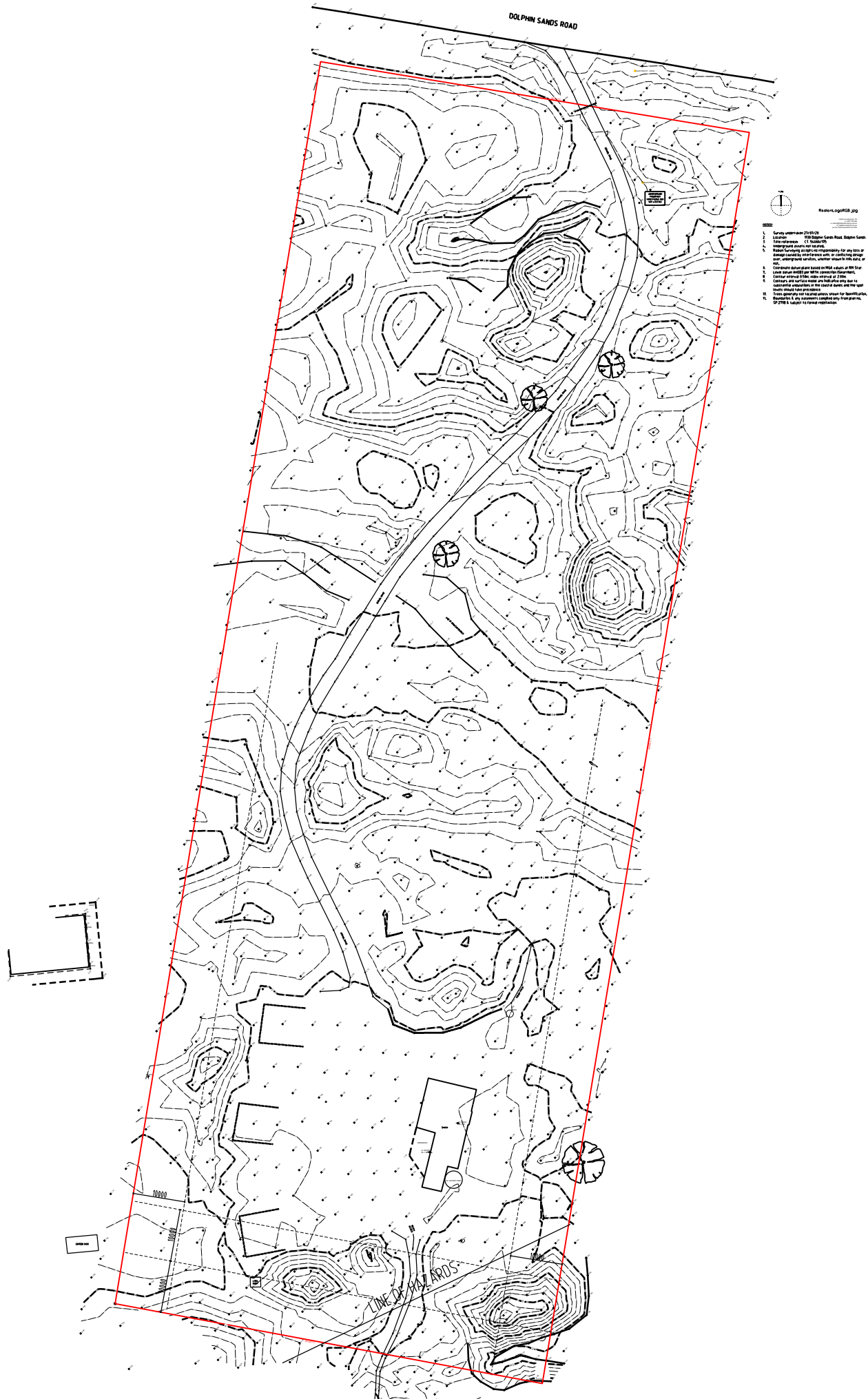
DEVELOPMENT APPLICATION  
FOR  
PROPOSED RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

NOTE:  
ARCHITECT: MICHAEL BERNACKI (929)  
ACCREDITATION NUMBER: CC6490  
LAND TITLE REF NUMBER: 54666 / 175  
FLOOR AREA: SEE BELOW  
SOIL CLASSIFICATION: REFER TO REPORT  
CLIMATE ZONE: 7  
BAL: REFER TO REPORT  
ALPINE AREA: N/A  
CORROSION ENVIRONMENT: N/A  
FLOODING: NO  
LANDSLIP: NO  
DISPERSIVE SOILS: UNKNOWN  
SALINE SOILS: UNKNOWN  
SAND DUNES: NO  
MINE SUBSIDENCE: NO  
LANDFILL: NO  
GROUND LEVELS: REFER PLAN

LEVEL 1 HOUSE AREA	- 19M2 = 2.0SQ
LEVEL 1 GARAGE AREA	- 57M2 = 6.1SQ
LEVEL 2 HOUSE AREA	- 238M2 = 25.6SQ
LEVEL 2 BALC / ALFESCO AREA	- 57M2 = 6.1SQ
TOTAL	- 371M2 = 39.9SQ
SITE AREA	- 20234M2
SITE COVERAGE	- 15%

DRAWING No.	DRAWING TITLE
A-DA-01	Cover Sheet
A-DA-02	Land Survey
A-DA-03	Level 1 Plan
A-DA-04	Level 2 Plan
A-DA-05	Roof Plan
A-DA-06	Site Plan 1:1000
A-DA-07	Site Plan 1:500
A-DA-08	Northern Elevation
A-DA-09	Eastern Elevation
A-DA-10	Southern Elevation
A-DA-11	Western Elevation
A-DA-12	3D Montage Sheet 1
A-DA-13	3D Montage Sheet 2
A-DA-14	3D Montage Sheet 3
A-DA-15	3D Montage Sheet 4
A-DA-16	3D Montage Sheet 5
A-DA-17	3D Montage Sheet 6





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:

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DEVELOPMENT APPLICATION



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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

LAND SURVEY PLAN

DRAWN: MB

CHECKED: MB

SCALE: 1:1000 @ A3

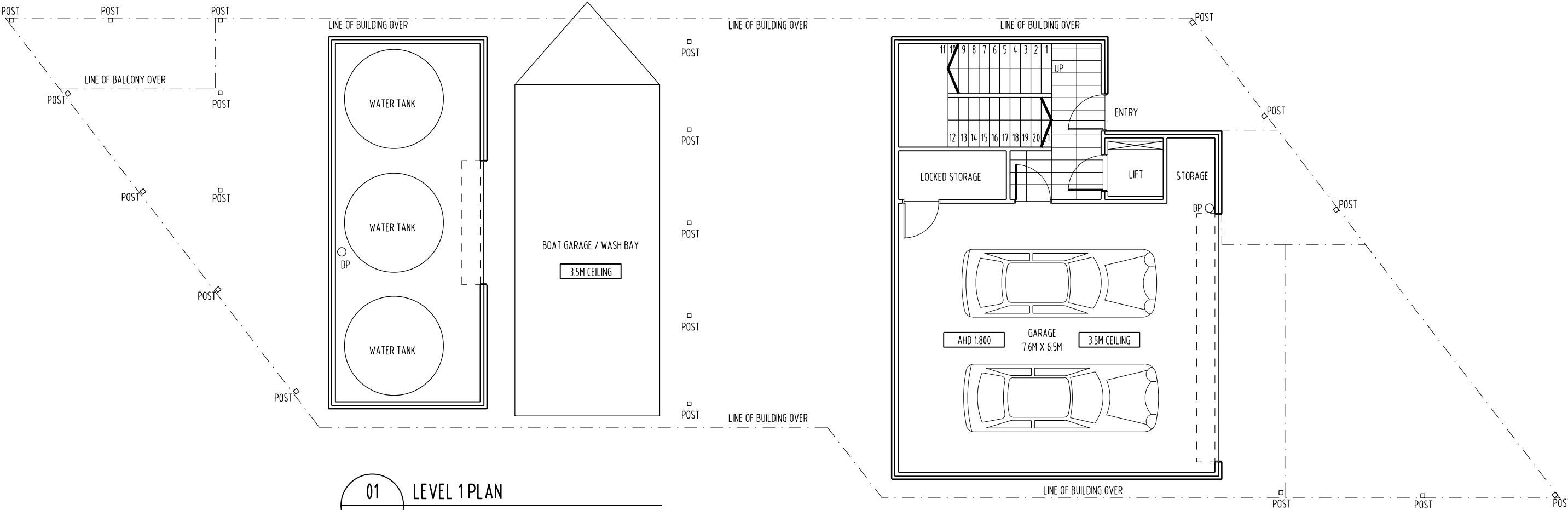
DATE: JUNE\_2020

PROJECT NO. 2020

DRAWING NO. A-DA-02 A



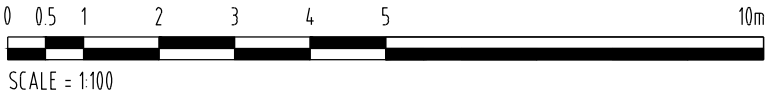
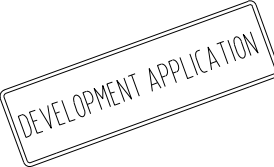
REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb



01 LEVEL 1 PLAN  
- 1:100

NOTE:  
- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE.  
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047  
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740  
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684  
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:  
  
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PROJECT NAME:  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

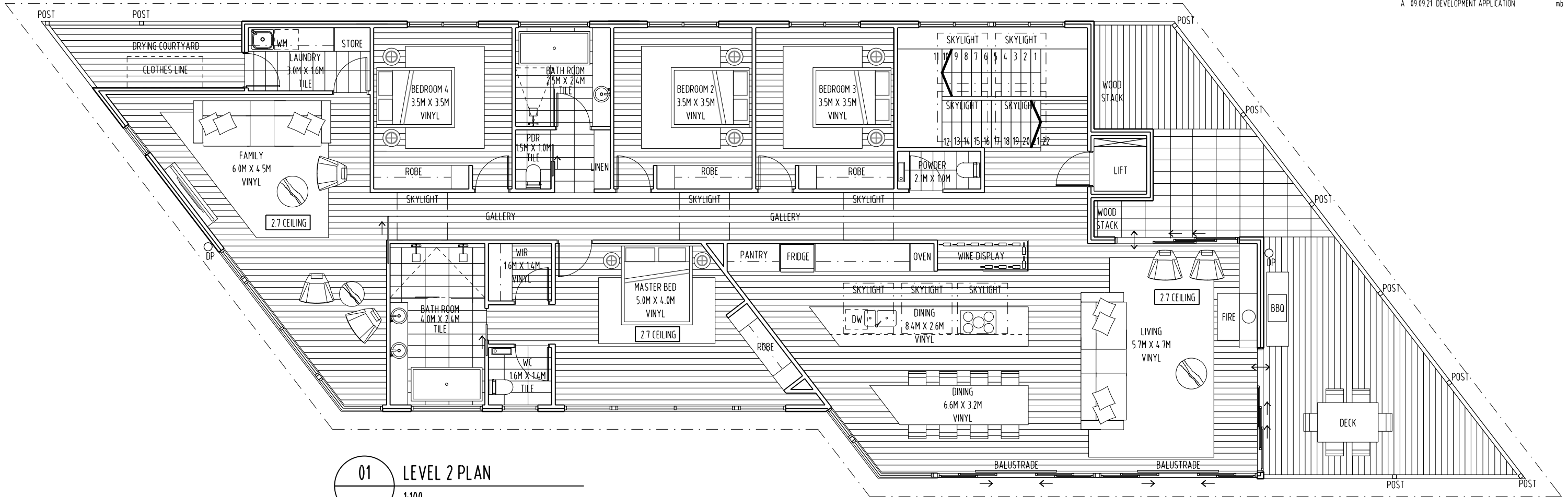
DRAWING TITLE:  
LEVEL 1 PLAN

DRAWN: MB  
CHECKED: MB  
SCALE: 1:100 @ A3  
DATE: JUNE\_2020  
PROJECT NO. 2020  
DRAWING NO. A-DA-03 A



REVISION

No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb



01 LEVEL 2 PLAN  
- 1:100

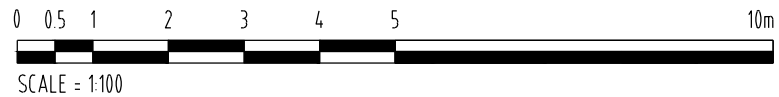
NOTE:  
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- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:  
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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

LEVEL 2 PLAN

DRAWN: MB

CHECKED: MB

SCALE: 1:100 @ A3

DATE: JUNE\_2020

PROJECT NO. 2020

DRAWING NO. A-DA-04 A



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb



01 ROOF PLAN  
- 1:100

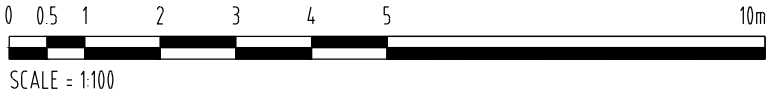
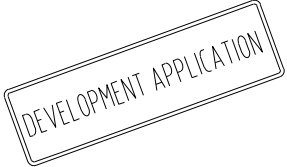
NOTE:  
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- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684  
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PROJECT NAME:  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
ROOF PLAN

DRAWN: MB  
CHECKED: MB  
SCALE: 1:100 @ A3  
DATE: JUNE 2020  
PROJECT NO. 2020  
DRAWING NO. A-DA-05 A

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

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DEVELOPMENT APPLICATION



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PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

SITE PLAN  
1:1000

DRAWN: MB

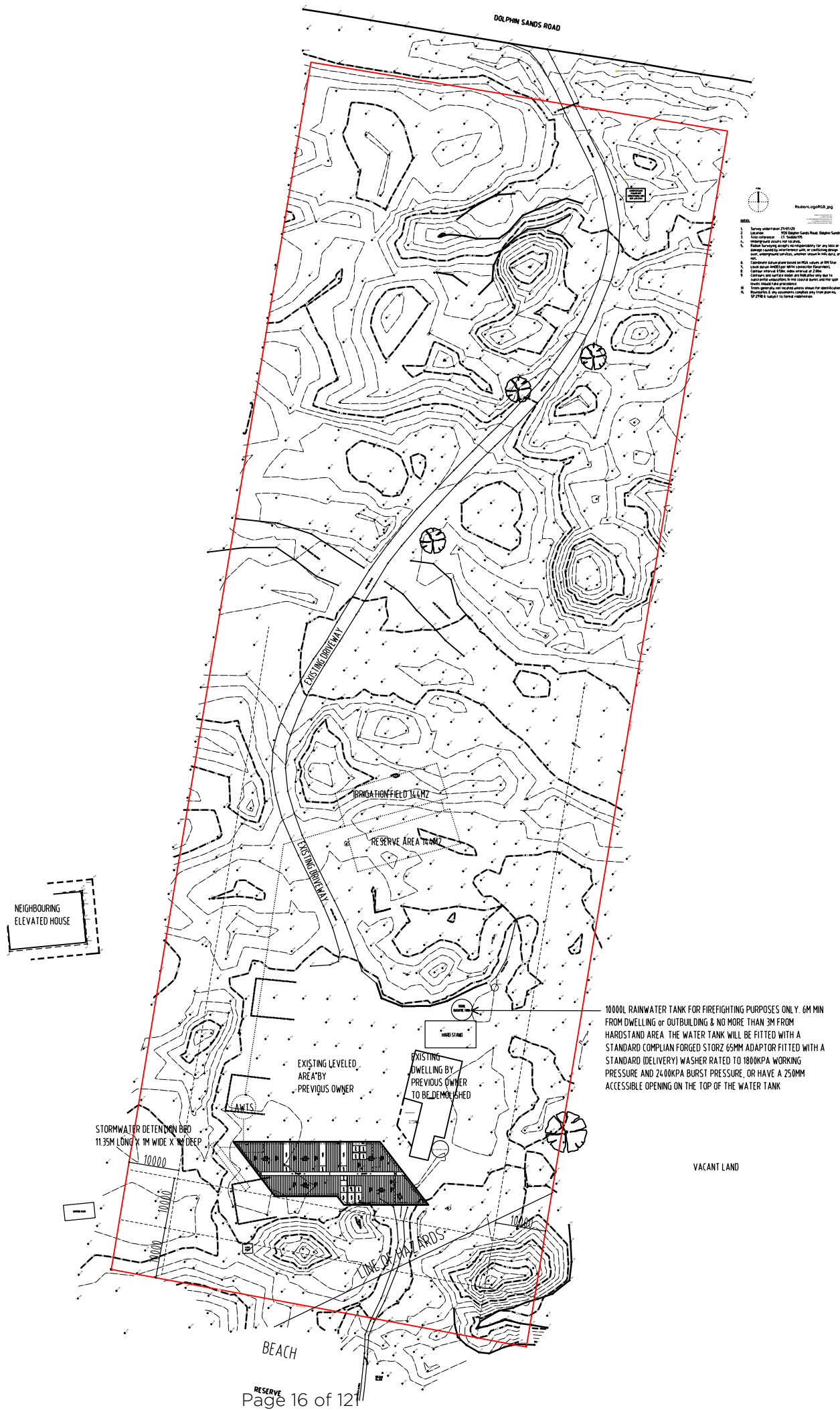
CHECKED: MB

SCALE: 1:1000 @ A3

DATE: JUNE\_2020

PROJECT NO. 2020

DRAWING NO. A-DA-06 A







10000L RAINWATER TANK FOR FIREFIGHTING PURPOSES ONLY. 6M MIN FROM DWELLING or OUTBUILDING & NO MORE THAN 3M FROM HARDSTAND AREA. THE WATER TANK WILL BE FITTED WITH A STANDARD COMPLIAN FORGED STORZ 65MM ADAPTOR FITTED WITH A STANDARD (DELIVERY) WASHER RATED TO 1800KPA WORKING PRESSURE AND 2400KPA BURST PRESSURE, OR HAVE A 250MM ACCESSIBLE OPENING ON THE TOP OF THE WATER TANK

VACANT LAND

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09/09/21	DEVELOPMENT APPLICATION	mb	mb

NOTE:  
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DEVELOPMENT APPLICATION



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PROJECT NAME:  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
SITE PLAN  
1:500

DRAWN: MB  
CHECKED: MB

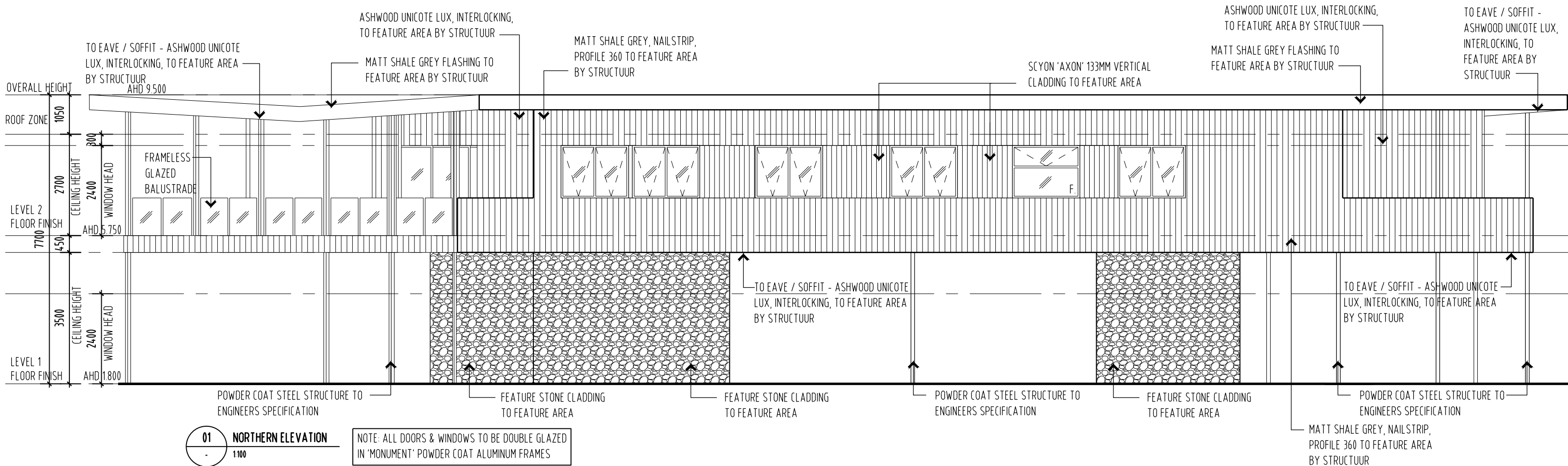
SCALE: 1:500 @ A3

DATE: JUNE 2020

PROJECT NO. 2020

DRAWING NO. A-DA-07 A

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09/09/21	DEVELOPMENT APPLICATION	mb	mb



NOTE:

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- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

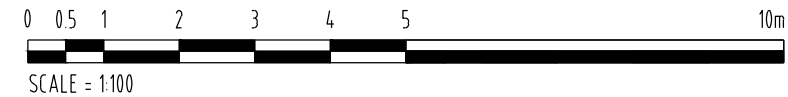
NOTE:

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ALL CONSTRUCTION IS TO COMPLY WITH BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS.



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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

NORTHERN ELEVATION

DRAWN: MB

CHECKED: MB

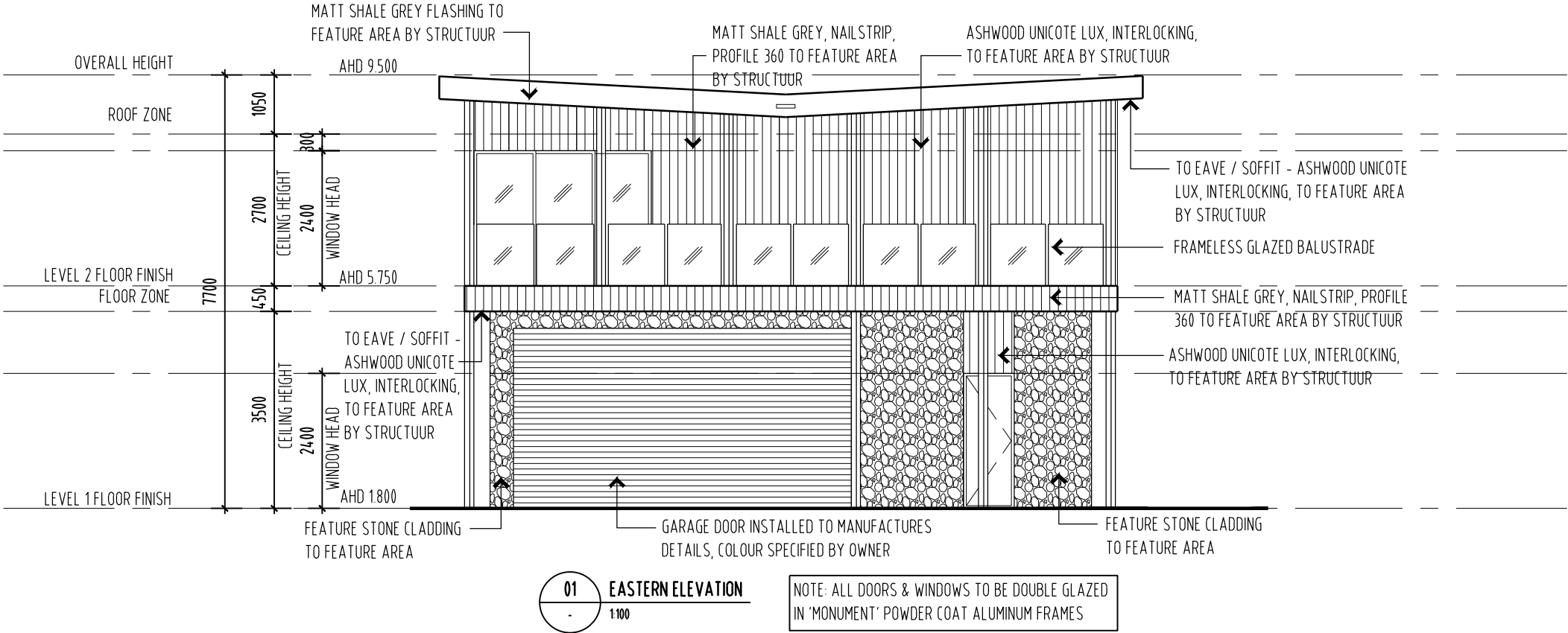
SCALE: 1:100 @ A3

DATE: JUNE\_2020

PROJECT NO. 2020

DRAWING NO. A-DA-08 A

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09/09/21	DEVELOPMENT APPLICATION	mb	mb



NOTE:

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DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON, TASMANIA 7250 Ph: 0417541646

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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

EASTERN ELEVATION

DRAWN: MB

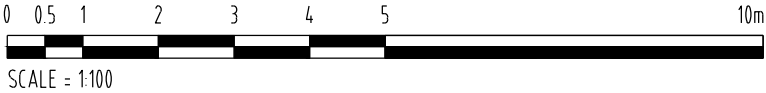
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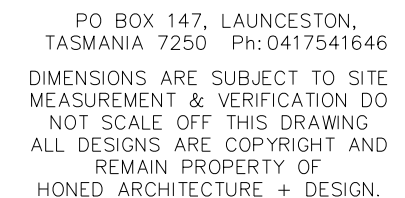
DATE: JUNE 2020

PROJECT NO. 2020

DRAWING NO. A-DA-09







DRAWING TITLE:  
OPTION 7  
SOUTHERN  
ELEVATION

ARCHITECTS • INTERIORS • LANDSCAPE • PLANNING

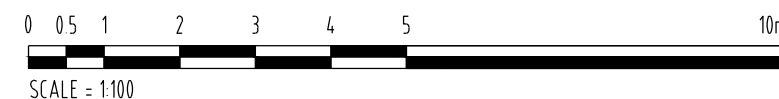
NOTE:

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ARCHITECTURE + DESIGN

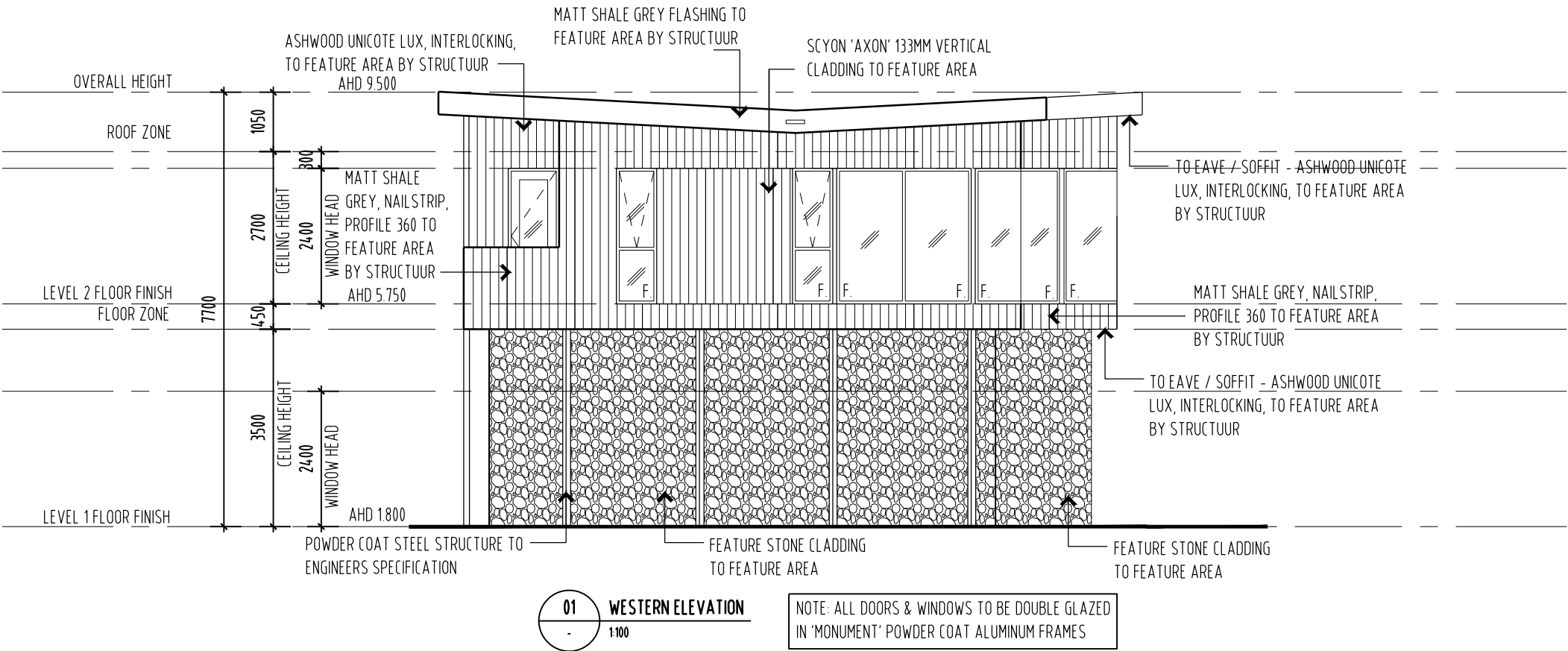
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REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb



NOTE:

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DEVELOPMENT APPLICATION



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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

WESTERN ELEVATION

DRAWN: MB

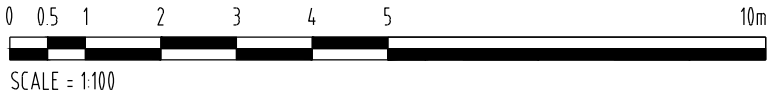
CHECKED: MB

SCALE: 1:100 @ A3

DATE: JUNE 2020

PROJECT NO. 2020

DRAWING NO. A-DA-11 A







NOTE: Due to the Vegetation, terrain and positioning, we do not believe the dwelling will be seen from Dolphin Sands Road



ANGLE OF PERSPECTIVE

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

- NOTE:
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DEVELOPMENT APPLICATION



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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

3D MONTAGE  
SHEET 1

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	JUNE 2020
PROJECT NO.	2020
DRAWING NO.	A-DA-12





NOTE: Due to the Vegetation, terrain and positioning, we do not believe the dwelling will be seen from Dolphin Sands Road



✓ ANGLE OF PERSPECTIVE

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

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DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON,  
TASMANIA 7250 Ph: 0417541646

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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

3D MONTAGE  
SHEET 2

DRAWN: MB

CHECKED: MB

SCALE: NTS @ A3

DATE: JUNE\_2020

PROJECT NO. 2020

DRAWING NO. A-DA-13 A





NOTE: Due to the Vegetation, terrain and positioning, we do not believe the dwelling will be seen from upon entry to the site



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

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CONFIRM ALL SIZES AND HEIGHTS ON SITE

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DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON,  
TASMANIA 7250 Ph:0417541646

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PROJECT NAME:

PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:

3D MONTAGE  
SHEET 3

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	JUNE_2020
PROJECT NO.	2020
DRAWING NO.	A-DA-14





NOTE: Arrival view from the driveway

NEIGHBOURING  
ELEVATED HOUSE



1. Survey conducted on 27/07/20  
2. Contours shown at 1m intervals  
3. All heights are in meters above sea level  
4. All dimensions are in meters unless otherwise stated  
5. All areas are in square meters unless otherwise stated  
6. All areas are in square meters unless otherwise stated  
7. All areas are in square meters unless otherwise stated  
8. All areas are in square meters unless otherwise stated  
9. All areas are in square meters unless otherwise stated  
10. All areas are in square meters unless otherwise stated

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:  
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- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740  
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DEVELOPMENT APPLICATION




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TASMANIA 7250 Ph: 0417541646  
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HONED ARCHITECTURE + DESIGN.

PROJECT NAME:  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
3D MONTAGE  
SHEET 4

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	JUNE_2020
PROJECT NO.	2020
DRAWING NO.	A-DA-15





NEIGHBOURING  
ELEVATED HOUSE



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE.
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD

FRAME WORK

NOTE:  
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DEVELOPMENT APPLICATION

**HONED**  
ARCHITECTURE  
+ DESIGN

PO BOX 147, LAUNCESTON,  
TASMANIA 7250 Ph: 0417541646

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PROJECT NAME:  
PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
3D MONTAGE  
SHEET 5

DRAWN: MB

CHECKED: MB

SCALE: NTS @ A3

DATE: JUNE 2020

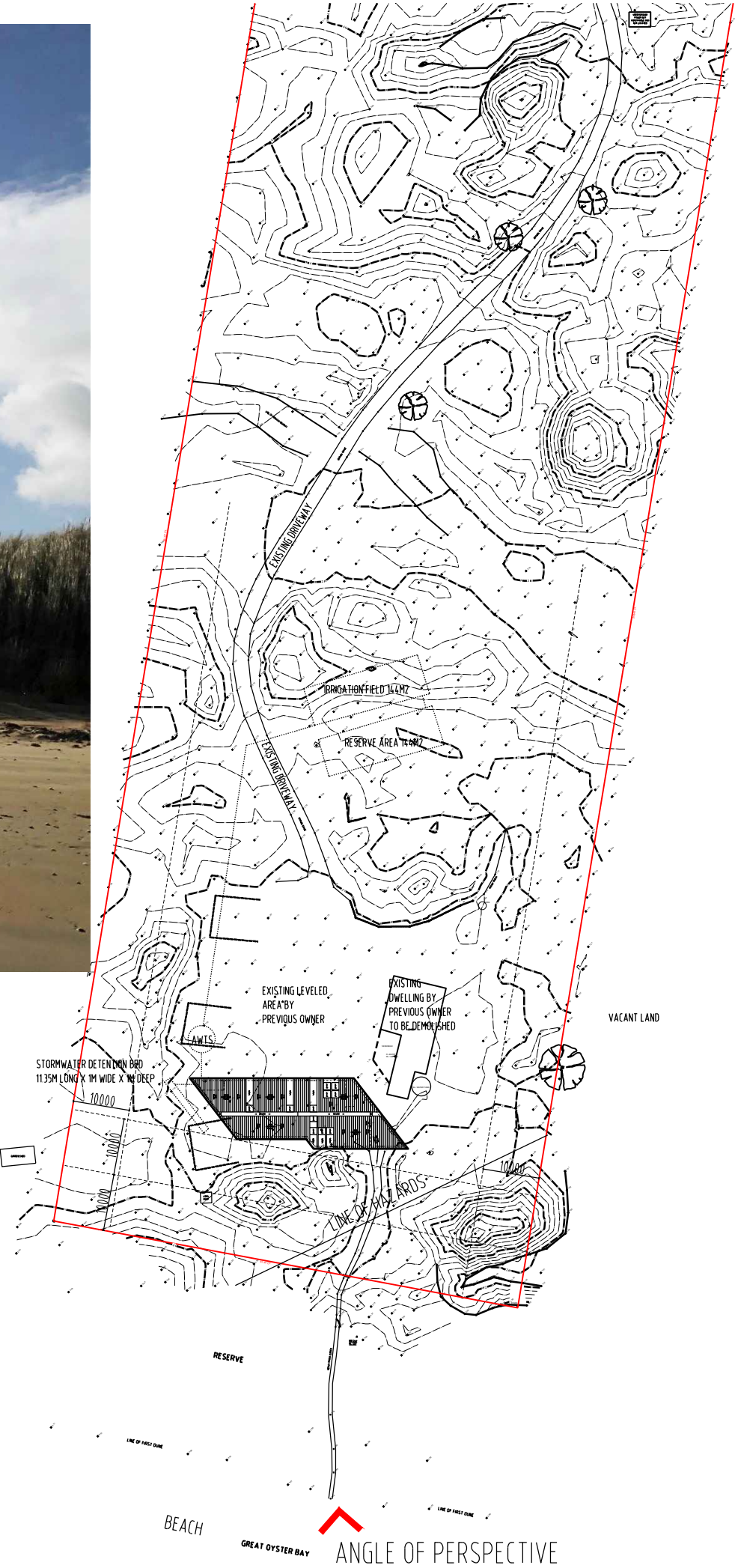
PROJECT NO. 2020

DRAWING NO. A-DA-16 A





NOTE: Due to the Vegetation, terrain and positioning, we do not believe the dwelling will be seen from the beach



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	09.09.21	DEVELOPMENT APPLICATION	mb	mb

NOTE:

- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE
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- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUDY

FRAME WORK

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PRIVATE RESIDENCE  
1130 DOLPHIN SANDS ROAD,  
DOLPHIN SANDS, TASMANIA

DRAWING TITLE:  
3D MONTAGE  
SHEET 6

DRAWN:	MB
CHECKED:	MB

SCALE:	NTS @ A3	
DATE:	JUNE_2020	
PROJECT NO.	2020	
DRAWING NO.	A-DA-17	A

ARCHITECTS • INTERIORS • LANDSCAPE • PLANNING



26 July 2021

Reference No. GL20403Ab

Mr Adnan & Mrs Jessica Crees-Morris  
6 Ashby Street  
EAST LAUNCESTON TAS 7250

Dear Sir and Madam

**RE: Coastal Erosion Hazards Assessment, Site Classification, On-site  
Wastewater Disposal Assessment and Design & On-site Stormwater  
Disposal Assessment and Design  
1130 Dolphin Sands Road, Dolphin Sands**

We have pleasure in submitting herein our report detailing the results of the geotechnical investigation conducted at the above site.

Should you require clarification of any aspect of this report, please contact Anne Foster or the undersigned on (03) 6326 5001.

For and on behalf of Geoton Pty Ltd



**Tony Barriera**

Director – Principal Geotechnical Engineer

## 1 INTRODUCTION

A limited scope investigation has been conducted for Mr Adnan & Mrs Jessica Crees-Morris at the site of a proposed residential development at 1130 Dolphin Sands Road, Dolphin Sands.

The purpose of the investigation was to assess the following:

- The risk posed by coastal erosion and inundation to the site of the proposed development in accordance with the Glamorgan-Spring Bay Interim Planning Scheme 2015 Clause E16;
- The general subsurface conditions at the site and consequently assign a Site Classification in accordance with AS 2870 – 2011 “Residential Slabs and Footings”;
- The surrounding topography and provide a Wind Classification in accordance with AS 4055 – 2012 “Wind Loads for Housing”;
- The suitability of the site for disposal of domestic wastewater and the design of an on-site wastewater disposal system in accordance with AS/NZS 1547:2012 “On-site domestic wastewater management”; and
- The suitability of the site for disposal of stormwater and the design of an on-site stormwater disposal system in accordance with AS/NZS 3500.3 “Stormwater drainage”.

### 1.1 Proposed Development

Plans of the proposed development were provided, prepared by Honed Architecture + Design, Project No. 2020, Drawing Nos. A-CD-32A, A-CD-33A and A-DA-36AK, Revision A, dated 15 July 2021.

We understand the development will be a four-bedroom dwelling located in the southern portion of the site approximately 65m from the beach.

## 2 FIELD INVESTIGATION

The field investigation was conducted on 23 July 2020 and involved the drilling of 4 boreholes by 4WD mounted auger rig to the depths of 2.0m to 3.0m.

Dynamic Cone Penetration (DCP) tests were conducted in the granular soils encountered in the investigation. In addition, the permeability of the site was tested using a constant head permeameter.

The results of the field tests are shown on the borehole logs.

The logs of the boreholes are included in Appendix A and their locations are shown on Figure 1 attached.

### **3 SITE CONDITIONS**

The site is located to the north of Nine Mile Beach on Great Oyster Bay and is currently developed with an existing shack within the south-eastern portion of the site. The ground surface over the site comprises steep hummocky sand dunes up to approximately 5m high, with a near level area to the west of the existing shack (Plate 1). Vegetation comprises moderate to tall grasses with scattered small trees, becoming sparse low scrub adjacent to the beach (Plate 2).

The beach just beyond the southern boundary of the site is characterized by sand dunes up to approximately 4m high without any signs of active erosion above a sandy beach (Plates 3 & 4).

The MRT Digital Geological Atlas 1:250,000 Series, indicates that the site is located on Quaternary Period sediments comprising sand, gravel and mud of alluvial, lacustrine and littoral origin. This was generally confirmed by our field investigation.

Examination of the LIST Landslide Planning Map – Hazard Bands Overlay, indicates that the site is not located within a mapped landslide hazard band.

The investigation indicated that the soil profile is relatively uniform across the site. The boreholes generally encountered sand topsoil and fill to depths of 0.1m, underlain by sand to the investigated depths of 2.0m and 3.0m.

The boreholes encountered groundwater at depths of 0.9m to 1.5m. The water table was measured in Borehole BH1 at a depth of 0.9m, at which depth the borehole collapsed, however the water table was unable to be measured in Boreholes BH2 to BH4 as the boreholes collapsed at depths of 1.0m to 1.5m.

Full details of soil conditions encountered are presented on the borehole logs.

### **4 COASTAL INUNDATION ASSESSMENT**

Permanent Inundation as a result of progressive shoreline erosion and sea-level rise, is predicted on the basis of the geomorphic description of the adjacent shoreline.

#### **4.1 Climate Change Susceptibility**

To assist communities to plan for climate change and adapt to its impact, the Tasmanian Government has developed sea level rise planning allowances and coastal hazards maps. The maps have been produced by the Department of Premier and Cabinet (DPAC) and are available as map layers online via the Land Information Systems Tasmania (the LIST) site.

#### **4.1 Permanent Inundation**

Permanent inundation will result from sea level rise and as shoreline erosion events occur from which the original extent of the foreshore never recovers.

Examination of the DPAC Projected Sea Level Rise mapping for the 2050 and 2100 scenarios (0.22m and 0.82m sea level rises respectively) indicates that the proposed development is within an area of potential permanent inundation by sea level rise by 2100.

Examination of the LISTMap Coastal Vulnerability – Projected Sea Level Rise, indicates that the site is located outside the predicted sea level rise for 2050, but is located within the 2100 hazard band (Figure 2).

## **4.2 Temporary Inundation**

Temporary inundation from storm tide events are infrequent events, but the effects on life and property can be dramatic. Unlike coastal erosion and permanent loss of land from sea level rise, storm tides inundate areas over a period of hours or days. Rising sea levels will be most noticeable during extreme sea level events such as king tides.

People and developments located on land that is flooded to a depth of a metre or more during a defined storm-tide event are at significant risk. This is due to the water depth being sufficient to generate damaging waves and the strength of the tidal flows.

Examination of the LISTMap Coastal Vulnerability – Projected Storm Surge, indicates that a very small area within the central southern portion of the site is located within the predicted Storm Tide 1% Average Exceedance Probability (AEP) for 2010. Portions of the proposed dwelling are located within the Storm Tide 1% AEP for 2050, with the remainder located within the Storm Tide 1% AEP for 2100 (Figure 3).

## **4.3 Coastal Inundation Hazard Bands**

Examination of the LISTMap Coastal Vulnerability - Coastal Inundation Hazard Bands indicates that the site is mapped outside any coastal inundation hazard band (Figure 4).

# **5 COASTAL EROSION ASSESSMENT**

## **5.1 Coastal Vulnerability**

The Coastal Vulnerability mapping series provides a general geomorphic description of the shoreline type around Tasmania's coast, together with an indicative ('first pass') assessment of the vulnerability of each coastal segment to erosion and recession due to sea level rise.

Examination of the LISTMap Coastal Vulnerability - Soft Shores mapping indicates that the beach adjacent to the site is an open sandy shore backed by soft sediment plain with potential erosion and shoreline recession vulnerability.

Examination of the LISTMap Coastal Vulnerability - Coastal Erosion Component indicates that the beach frontage from the southern site boundary to the shoreline is within a mapped high hazard band. The southernmost 30m of the site, including the location of the proposed dwelling, is within mapped medium hazard bands. The remainder of the site is within a mapped acceptable hazard band (Figure 5).

Examination of the LISTMap Coastal Vulnerability - Coastal Erosion Hazard Bands indicates that the southernmost 30m of the site is mapped within a medium hazard band, i.e. the area is vulnerable to a coastal recession by 2050 based on the elevation, soil, or rock type of the area and current sea level rise models. The beach frontage between the southern site boundary and the shoreline is mapped within a high erosion

hazard band, i.e. the area is vulnerable to storm-based erosion from two back to back 1% AEP storm events.

## 5.2 Coastal Erosion

Coastal erosion is defined as the removal of land by water, wind and general weather conditions. There are three aspects of coastal erosion defined by DPAC in the *Coastal Hazards in Tasmania: Summary report of Coastal Hazard Technical Report* (DPAC, 2016):

- Hazardous Erosion of the coastline occurs on open, soft and sandy coasts;
- Coastal recession is the long-term movement of land due to sea level rise and typically occurs on both soft sandy and Tertiary Period sediment coasts; and
- Landslide is the downslope movement of land; on the coast, landslide is typically caused by the removal of material at the foot of the landslide by wave or storm action.

From the coastal erosion hazard planning matrix (Section 6.3 from DPAC Coastal Hazards Technical Report – Mitigating Natural Hazards through Land Use Planning and Building Control) for high Hazard Bands, planning and building controls are necessary for all use and development to ensure that risks are managed. For low Hazard Bands, planning and building controls are not necessary for most uses. Controls may be necessary to reduce risks associated with vulnerable, hazardous or critical uses to ensure the residual risk is tolerable.

From the identified hazard zones, based on the defined coastal substrate categories (open sandy shore), a single hazard susceptibility scheme has been developed which incorporates an assessment of the relative hazards posed by the various hazard zones within each substrate type.

The proposed development is to be located within the southern portion of the site in which the substrate is mapped within a medium coastal erosion hazard component.

The existing foreshore adjacent to the site has sand dunes up to 4m high that do not show signs of significant active erosion. A review of available historical imagery from 2008 to 2019 showed no significant erosion of the foreshore over this period.

## 6 DISCUSSION AND RECOMMENDATIONS

Based on the findings of the recent investigation and the above Coastal Erosion and Inundation Risk Assessment, and the required development controls, we consider that the proposed residential development within the southern portion of the site may be adversely impacted by Coastal Erosion and Inundation.

The proposed development is located within a medium erosional hazard zone and is to be located at approximately 1.6m AHD (Australian Height Datum) and set back approximately 65m from the beach.

**Considering these factors (i.e. the development's horizontal and vertical setbacks from the coastline, the existing state of the coastline and inferred**

**erosion action) it is deemed that the corresponding qualitative risks presented by coastal erosion on the proposed development are MODERATE.**

Therefore, the following development controls are required for the site:

- The foundations of the proposed development are to be founded 2m below the Australian Height Datum (AHD); and
- The floor level of habitable rooms is to be above Reduced Level (RL) 2.5m from the AHD.

**If the above development controls are put in place, the corresponding qualitative risk presented by coastal erosion to the proposed development is assessed to be LOW.**

*Note: Coastal protection works are deemed inappropriate due to the scale and cost they would incur relative to the proposed development. To be effective, remedial measures would need to encompass the entire foreshore of Nine Mile Beach so as not to focus the effects of sea level rise and extreme weather events in other localities.*

As the habitable rooms are to be above RL 2.5m AHD, with footings founded 2m below the AHD, the proposed development satisfies the inundation criteria defined by DPAC and the requirements of the Glamorgan-Spring Bay Interim Planning Scheme 2015.

As such, in accordance with the Glamorgan-Spring Bay Interim Planning Scheme 2015, the likelihood of the proposed development being affected by projected shoreline recession and inundation to 2071 (50-year design life) is considered **ACCEPTABLE**.

## **7 SITE CLASSIFICATION**

After allowing due consideration of the site geology, drainage, soil conditions and the threat of shoreline regression, the site has been classified as follows:

### **CLASS P (AS 2870)**

However, if all footings are founded to a depth of 2m below the AHD to found uniformly on the natural sand, footings may be proportioned to a **CLASS A**.

Foundation designs in accordance with this classification are to be subject to the overriding conditions of Foundations section below.

This Classification is applicable only for ground conditions encountered at the time of this investigation. If cut or fill earthworks are carried out, then the Site Classification will need to be re-assessed, and possibly changed.

## **8 FOUNDATIONS**

Particular attention should be paid to the design of footings as required by AS 2870 – 2011.

In addition to normal founding requirements arising from the above classification, particular conditions at this site dictate that the founding medium for all footings would be as follows:

**SAND – fine grained, grey or light brown**

**encountered below 3.0m from the existing ground surface or 2m below the AHD, whichever is greater**

An allowable bearing pressure of **100 kPa** is available for displacement piles or bored piers founded as above. Bored piers will require the use of temporary or permanent liners due to the presence of groundwater and the boreholes collapsing.

Although the borehole data provides an indication of subsurface conditions at the site, variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footing or beam excavations should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

The boreholes were backfilled shortly after being drilled, not allowing time for groundwater seepage flows to develop. Groundwater seepages or higher groundwater levels can occur during and/or after a prolonged period of wet weather or a heavy rainfall event.

## 9 WIND CLASSIFICATION

After allowing due consideration of the region, terrain, shielding and topography, the site has been classified as follows:

### WIND CLASSIFICATION N2 (AS 4055)

REGION	TERRAIN CATEGORY	SHIELDING	TOPOGRAPHY
A	TC1.5	NS	T0

## 10 EFFLUENT DISPOSAL

The AS/NZS 1547:2012 standard and the *Building Act 2016*: Director's Guidelines for On-site Wastewater Management Systems provide guidelines for typical wastewater flow allowances under a range of circumstances. The documents recommend a typical wastewater flow of 120 litres/person/day for households on tank water. As the dwelling will have 4 bedrooms with a population equivalent of 6 persons, a daily wastewater flow value of 720L/day has been adopted.

### 10.1 Permeability of Soil and Soil Category

The soil has been classified as follows:

- Texture – Sand (Table E1 from AS1547-2012);
- Structure – Single Grained (Table E4 from AS/NZS1547-2012); and
- Category – 1 (Table E1 from AS/NZS1547:2012).

For Category 1 soils the indicative permeability from AS/NZS 1547 Table 5.1 is >3.0m/day.

- Measured Permeability – 4.7m/day; and
- Adopted Permeability – 4.7m/day.

Therefore, the measured permeability is consistent with Category 1 soils.

## 10.2 Disposal and Treatment Method

**Due to the environmental limitations (being close to Great Oyster Bay and shallow groundwater) the site is not suitable for a primary treated system as the setback distances are not acceptable and there is insufficient depth and clay content to provide an adequate attenuation period for the breakdown of pathogens within the treated effluent.**

As such, the site is considered suitable for the disposal of domestic wastewater by way of an Aerated Wastewater Treatment System (AWTS) and sub-surface (near surface) irrigation.

## 10.3 Tank Installation

As the site may be subject to high groundwater levels, care **must** be taken when installing the AWTS unit. 'AS/NZS 1546:2008 3.2.2 Anchorage' and the specific AWTS unit manufacturer's installation instructions shall be adhered to.

## 10.4 Design Irrigation Rate

According to AS/NZS 1547 Table M1, the recommended design irrigation rate (DIR) for sub-surface irrigation (drip irrigation) on Category 1 soils is 5mm/day.

## 10.5 AWTS and Sub-Surface Irrigation

The disposal area is calculated using the following equation:

$$A = Q / DIR,$$

where      A is area in m<sup>2</sup>;  
              Q is design daily flow in L/day; and  
              DIR is design irrigation rate in mm/day.

As the DIR has been set at 5mm/day and the Q at 720L/day, the area required for the effluent disposal field is **144m<sup>2</sup>** as per the equation above.

There is adequate area for effluent disposal on site.

A reserve (back-up) area of 144m<sup>2</sup> is available if required.

The sub-surface irrigation is to be constructed as per the cross sections detailed in Figure WW-05 attached. The design details for the irrigation area are as follows:

- The irrigation lines are generally installed at a depth of 100mm into a minimum depth of 250mm of good quality topsoil. We consider the topsoil encountered as suitable for sub-surface irrigation. However, as an alternative, installing the irrigation lines on the surface and covering them with thick covers of mulch (at least 150mm thick) is considered acceptable;



- The irrigation lines are required to have a typical line spacing of 1m; and
- The irrigation area is not to be located through any poorly drained depressions. As such, minor filling/mounding of the irrigation area may be required to ensure there is no localised saturated area. The wastewater disposal field may need to be levelled.

Guidelines for the design of sub-surface irrigation are outlined in AS/NZS 1547 Appendix M.

The area of the disposal field shall be vegetated with grasses or other suitable vegetation. A list of Tasmanian plants suitable for treated wastewater from AWTs units is attached as Appendix B.

The risk management process is an inherent part of the on-site wastewater disposal design. The on-site wastewater disposal system has been designed by considering the site characteristics and with risk identification in accordance with AS1547:2012. The risk reduction measures are detailed in the report and form the basis of the system selection and design.

**As part of the Building Act, the client must specify the AWTs model and provide the Certificate of Accreditation for that particular model before the proposed development gets approval. A list of accredited AWTs models can be found on the Tasmanian Consumer, Building and Occupational Services website.**

<https://www.cbos.tas.gov.au/topics/technical-regulation/plumbing-standards/wastewater/aerated-wastewater-treatment-systems>

## 10.6 Setbacks

The minimum separation distance between the disposal area and downslope features is based on Appendix R from AS/NZS 1547:2012 "Recommended Setback Distances for Land Application Systems" and Section 3.1 from the *Building Act 2016*: Director's Guidelines for On-site Wastewater Management Systems. The following setbacks are required:

- 50m from downslope watercourses and sensitive features including Great Oyster Bay;
- 1.5m from property boundaries; and
- 3m from buildings.

## 10.7 Wastewater Recommendations

It is recommended that the following actions are undertaken in looking after your system:

- Minimise domestic water use;
- Minimise the use of non-biodegradable detergents;
- Minimise the use of detergents containing phosphorous (e.g. Calgon or similar);
- Avoid discharging polluting chemicals into wastewater systems; and

- Monitor quality of groundwater.

## 11 ON-SITE STORMWATER DETENTION DESIGN

### 11.1 General

On-site detention storage must be provided to limit the peak rate of piped stormwater discharge and overland flows from the site to that generated by a 5% Annual Exceedance Probabilities (AEP) storm event.

### 11.2 Rainfall and Runoff

The Intensity-Frequency-Design (IFD) rainfall curve and table for the site was generated from the Bureau of Meteorology IFD data website (BOM 2016).

In accordance with AS/NZS 3500.3 – Stormwater Drainage, Section 3.3.5, the design rainfall depth/intensity for anywhere in Australia shall be for a five-minute duration.

The five-minute duration design rainfall depth for the design AEP event is as follows:

- **5% AEP = 9.46mm**

The storage quantity is calculated using the following formula:

$$Q = CDA$$

where Q is quantity in m<sup>3</sup>;

C is coefficient of runoff (taken as unity 1.0);

D is depth of the Storm in m; and

A is the area of the catchment (roof area) that rainfall will runoff in m<sup>2</sup>.

The proposed dwelling has a roof area totalling approximately **300m<sup>2</sup>** (inclusive of a 10% safety factor). Therefore, the stormwater quantity and flowrate for a design event are calculated as follows:

The stormwater quantity:

$$Q_5 = 1.0 \times 9.46 / 1000 \times 300 = \mathbf{2.84m^3}.$$

The event flowrate ( $q_5$ ) is calculated by dividing storage quantity by the storm duration of 5 minutes, i.e. 300 seconds, and thus

$$q_5 = 2.84 / 300 = 0.00946 \text{ m}^3/\text{s} = \mathbf{9.46L/s}$$

### 11.3 Detention Method

Suitable on-site detention will be provided through a gravel-filled detention bed with the capacity to hold a 5% AEP event before overflowing via sheet flow across the property.

The stormwater quantity for a 5% AEP event from the roof area is calculated as 2.84m<sup>3</sup>. Therefore, the detention bed will require a volume of approximately 11.35m<sup>3</sup> to store a 5% AEP event taking into consideration a porosity of 0.25 for the 20mm to 40mm nominal size gravel.

- Bed length = 11.35m
- Bed width = 1.0m
- Bed depth = 1.0m

The trench is to be constructed as per the cross section provided on Figure 7 attached.

These dimensions may be modified to fit the site conditions provided the total storage volume is maintained.

## 12 REFERENCES

AS 1726 - 2017 Geotechnical Site Investigations

AS 2870 - 2011 Residential Slabs and Footings Construction

AS 4055 - 2012 Wind Loads for Housing

AS/NZS 1547- 2012 On-site domestic-wastewater management

*Building Act 2016*: Director's Guidelines for On-site Wastewater Management Systems

IFD Data System: <http://www.bom.gov.au/water/designRainfalls/ifd/>

AS/NZS 3500.3 – Stormwater Drainage

Tasmanian Climate Change Office (August 2012) – Derivation of the Tasmanian Sea Level Rise Planning Allowances – Technical Paper

DPAC Coastal Erosion Hazard Bands Layer (The LIST)

DPAC Coastal Inundation Hazard Bands Layer (The LIST)

Sharples.C, Walford.H and Roberts.L (October 2013) – Coastal Erosion Susceptibility Zone Mapping for Hazard Band Definition in Tasmania, Report to DPAC.

DPAC Coastal Hazards Technical Report – Mitigating Natural Hazards through Land Use Planning and Building Control – 1<sup>st</sup> December 2016

DPAC Coastal Hazards in Tasmania Summary Report – Consultation Draft released 1st of March 2016

Glamorgan-Spring Bay Interim Planning Scheme 2015

**Attachments:**

Limitations of report

Figure 1 – Locality Plan

Figure 2 – Projected Sea Level Rise

Figure 3 – Projected Storm Surge

Figure 4 – Coastal Inundation Hazard Bands

Figure 5 – Coastal Erosion Components

Figure 6 – Site Plan

Figure 7 – Stormwater Detention Trench Cross Section

Site Photographs

Appendix A: Borehole Logs & Explanation Sheets

Appendix B: List of AWTs Example Plants

Appendix C: Certificate Forms

## **Geotechnical Consultants - Limitations of report**

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

### **Project specific criteria**

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

### **Subsurface variations with time**

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

### **Interpretation of factual data**

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

### **Report Recommendations**

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

### **Specific purposes**

This report should not be applied to any project other than that originally specified at the time the report was issued.

### **Interpretation by others**

Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

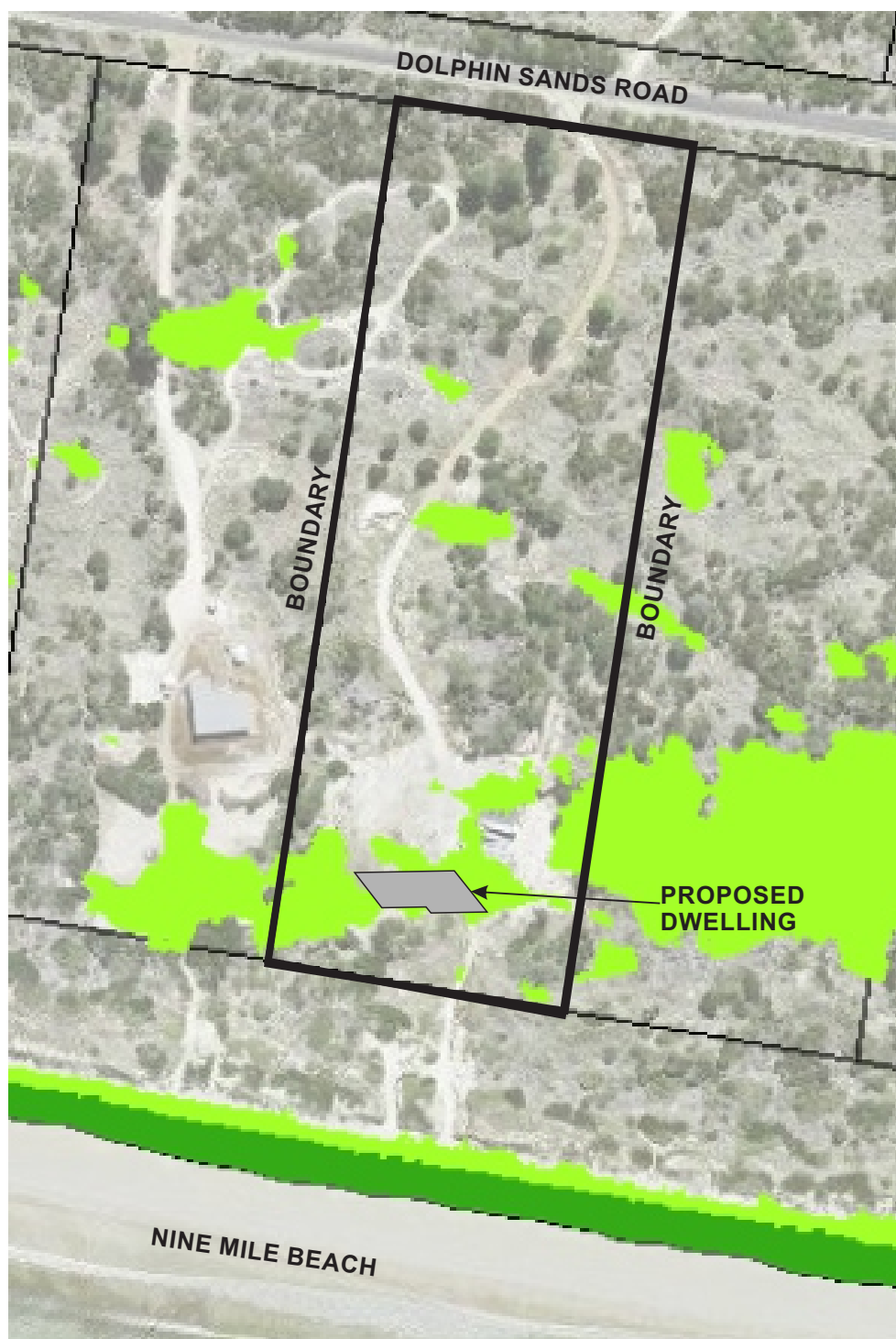
### **Report integrity**

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

### **Geoenvironmental issues**

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.





## Legend



Projected Sea Level Rise 2050



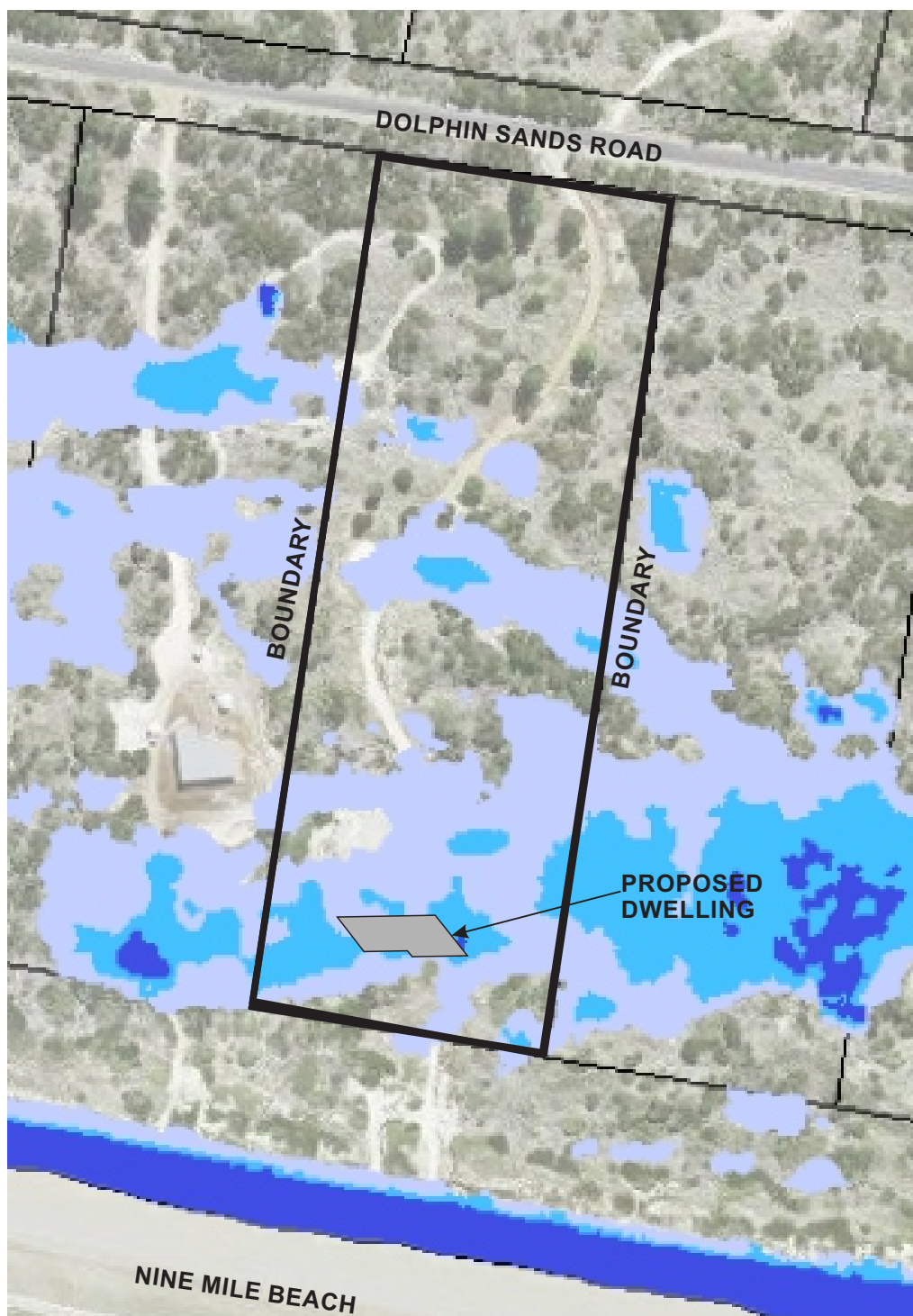
Projected Sea Level Rise 2100

Approximate Scale (m)



<b>GEOTON</b> Pty Ltd				client: <b>MR ADNAN &amp; MRS JESSICA CREES-MORRIS</b>	
				project: <b>1130 DOLPHIN SANDS ROAD DOLPHIN SANDS</b>	
date	<b>26/07/2021</b>	drawn	<b>AF</b>		
scale	<b>As Shown</b>	approved	<b>TB</b>	title: <b>PROJECTED SEA LEVEL RISE</b>	
original size	<b>A4</b>	rev		project no: <b>GL20403A</b>	figure no. <b>2</b>





## Legend

- Projected Storm Surge 2010
- Projected Storm Surge 2050
- Projected Storm Surge 2100

Approximate Scale (m)



<b>GEOTON</b> Pty Ltd				client: <b>MR ADNAN &amp; MRS JESSICA CREES-MORRIS</b>	
				project: <b>1130 DOLPHIN SANDS ROAD DOLPHIN SANDS</b>	
date	<b>26/07/2021</b>	drawn	<b>AF</b>	title: <b>PROJECTED STORM SURGE</b>	
scale	<b>As Shown</b>	approved	<b>TB</b>		
original size	<b>A4</b>	rev		project no: <b>GL20403A</b>	figure no. <b>3</b>





## Legend

- High Hazard Band
- Medium Hazard Band
- Low Hazard Band

Approximate Scale (m)



**GEOTON** Pty Ltd

client: **MR ADNAN & MRS JESSICA CREES-MORRIS**

project: **1130 DOLPHIN SANDS ROAD  
DOLPHIN SANDS**

date: **26/07/2021** drawn: **AF**

scale: **As Shown** approved: **TB**

title: **COASTAL INUNDATION HAZARD BANDS**

original size: **A4** rev:

project no: **GL20403A**

figure no. **4**



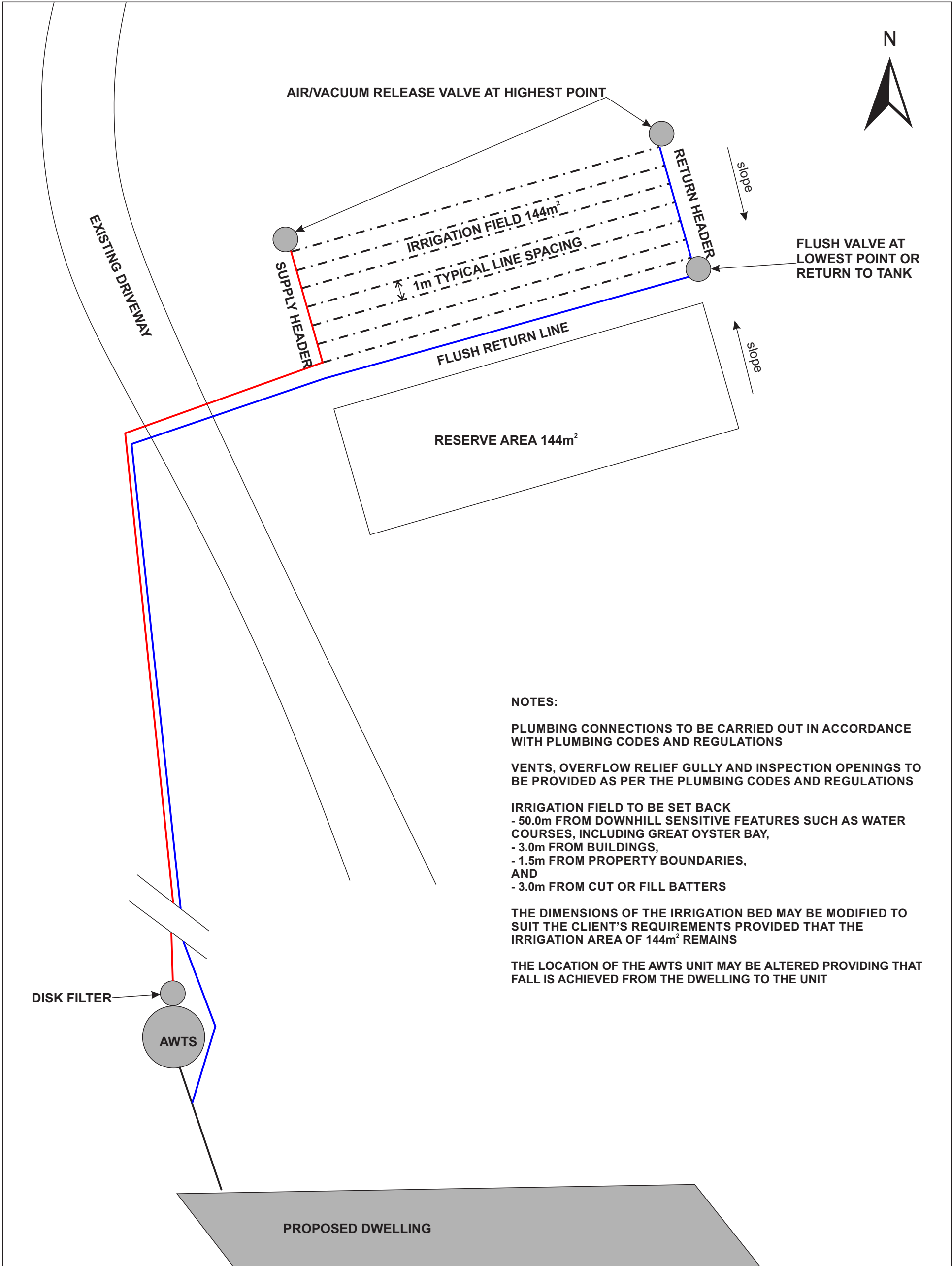
## Legend

- Acceptable Hazard Band
- Medium Hazard Band
- Medium Hazard Band
- High Hazard Band

Approximate Scale (m)



<b>GEOTON</b> Pty Ltd				client: <b>MR ADNAN &amp; MRS JESSICA CREES-MORRIS</b>	
				project: <b>1130 DOLPHIN SANDS ROAD DOLPHIN SANDS</b>	
date	<b>26/07/2021</b>	drawn	<b>AF</b>		
scale	<b>As Shown</b>	approved	<b>TB</b>	title: <b>COASTAL EROSION COMPONENTS</b>	
original size	<b>A4</b>	rev		project no: <b>GL20403A</b>	figure no. <b>5</b>



**NOTES:**

PLUMBING CONNECTIONS TO BE CARRIED OUT IN ACCORDANCE WITH PLUMBING CODES AND REGULATIONS

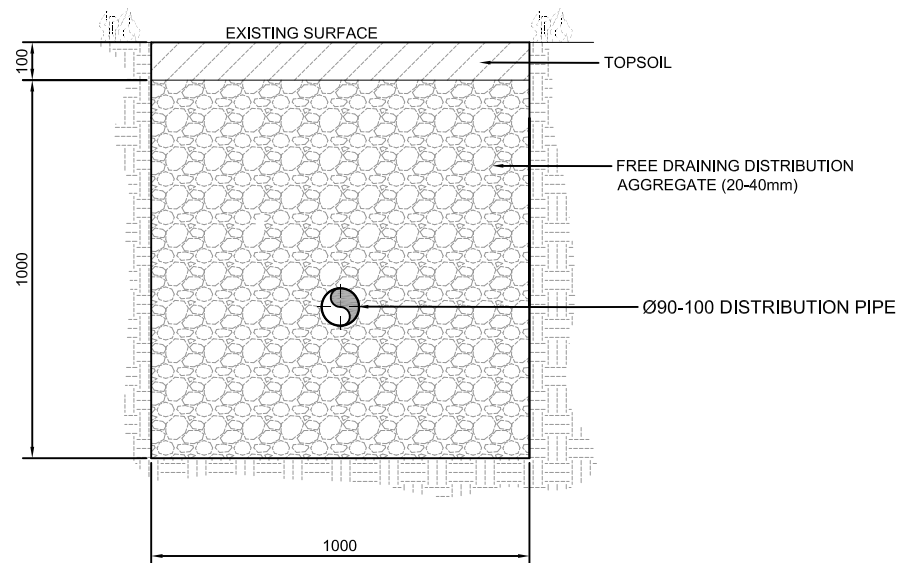
VENTS, OVERFLOW RELIEF GULLY AND INSPECTION OPENINGS TO BE PROVIDED AS PER THE PLUMBING CODES AND REGULATIONS

IRRIGATION FIELD TO BE SET BACK  
- 50.0m FROM DOWNHILL SENSITIVE FEATURES SUCH AS WATER COURSES, INCLUDING GREAT OYSTER BAY,  
- 3.0m FROM BUILDINGS,  
- 1.5m FROM PROPERTY BOUNDARIES,  
AND  
- 3.0m FROM CUT OR FILL BATTERS

THE DIMENSIONS OF THE IRRIGATION BED MAY BE MODIFIED TO SUIT THE CLIENT'S REQUIREMENTS PROVIDED THAT THE IRRIGATION AREA OF 144m<sup>2</sup> REMAINS

THE LOCATION OF THE AWTS UNIT MAY BE ALTERED PROVIDING THAT FALL IS ACHIEVED FROM THE DWELLING TO THE UNIT

<div>GEOTON</div> <div>Pty Ltd</div>				client: MR ADNAN & MRS JESSICA CREES-MORRIS	
				project: 1130 DOLPHIN SANDS ROAD DOLPHIN SANDS	
date	26/07/2021	drawn	AF	title: SITE PLAN	
scale	1:200	approved	TB		
original size	A3	rev		project no: GL20403A	figure no. 6



### STORM WATER DISCHARGE TRENCH

SCALE 1:20

<div>GEOTON Pty Ltd</div>				client: MR ADNAN & MRS JESSICA CREES-MORRIS	
				project: 1130 DOLPHIN SANDS ROAD DOLPHIN SANDS	
date	26/07/2021	drawn	AF	title: STORMWATER DISCHARGE TRENCH	
scale	1:20	approved	TB		
original size	A4	rev		project no: GL20403A	figure no. 7





**PLATE 1 - View of the proposed dwelling site looking to the south**



**PLATE 2 - View of the northern portion of the site looking to the north**

<b>GEOTON</b> Pty Ltd				client:	MR ADNAN & MRS JESSICA CREES-MORRIS	
				project:	1130 DOLPHIN SANDS ROAD DOLPHIN SANDS	
title: PHOTOGRAPH				project no:	GL20403A	figure no. PLATES 1 & 2
date:	23/07/2020	original size	A4			





**PLATE 3 - Nine Mile Beach frontage looking east**



**PLATE 4 - Nine Mile Beach frontage looking west**

<b>GEOTON</b> Pty Ltd				client: <b>MR ADNAN &amp; MRS JESSICA CREES-MORRIS</b>	
				project: <b>1130 DOLPHIN SANDS ROAD DOLPHIN SANDS</b>	
title: <b>PHOTOGRAPH</b>					
date:	<b>23/07/2020</b>	original size	<b>A4</b>	project no: <b>GL20403A</b>	figure no. <b>PLATES 3 &amp; 4</b>

# Appendix A

## **Borehole Logs**

## Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001

Borehole no. BH1

Sheet no. 1 of 1

Job no. GL20403A

Client : Mr Adnan & Mrs Jessica Crees-Morris Date : 23/07/20  
 Project : Coastal Hazards Assessment, Site Classification & Wastewater Assessment Logged By : AF  
 Location : 1130 Dolphin Sands Road, Dolphin Sands

Drill model : Easting: 599 474 Slope: 90° RL Surface :  
 Hole diameter : Northing: 5339 095 Bearing: - Datum :

Method	Support	Penetration	Water	DCP (Blow/ 100mm)	Depth (m)	Graphic log	Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
ADV	N			5				FILL - SAND, fine grained, grey, trace fine gravel	M	MD	FILL
				4							NATURAL
				3			SP	SAND - fine grained, light brown	M	MD	
				2						L	
				4	0.50					MD	
				3							
				3							
				3							
				9							Groundwater & borehole collapsed @ 0.9m Increasing moisture
				5	1.00						
				10							
				12							
				15+							
					1.50				W	D	Slightly harder drilling
					2.00						
					2.50			Becoming grey			
					3.00						
								Borehole BH1 terminated @ 3.0m			
					3.50						
					4.00						
					4.50						

### Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001

Borehole no. BH2

Sheet no. 1 of 1

Job no. GL20403A

Client : Mr Adnan & Mrs Jessica Crees-Morris Date : 23/07/20  
Project : Coastal Hazards Assessment, Site Classification & Wastewater Assessment Logged By : AF  
Location : 1130 Dolphin Sands Road, Dolphin Sands

Drill model : Easting: 599 474 Slope: 90° RL Surface :  
Hole diameter : Northing: 5339 116 Bearing: - Datum :

Method	Support	Penetration	Water	DCP (Blow/ 100mm)	Depth (m)	Graphic log	Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
ADV	N				0.50		SP	FILL - SAND, fine grained, grey, trace fine gravel	M	MD	FILL
					1.00			SAND - fine grained, light brown, shell fragments	M	MD	NATURAL
					1.50				W	D	Increasing moisture Borehole collapsed @1m
					2.00						Slightly harder drilling
					2.50						
					3.00						
					3.50			Borehole BH2 terminated @ 2.0m			
					4.00						
					4.50						

### Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001

Borehole no. BH3

Sheet no. 1 of 1

Job no. GL20403A

Client : Mr Adnan & Mrs Jessica Crees-Morris Date : 23/07/20

Project : Coastal Hazards Assessment, Site Classification & Wastewater Assessment Logged By : AF

Location : 1130 Dolphin Sands Road, Dolphin Sands

Drill model : Easting: 599 461 Slope: 90° RL Surface :

Hole diameter : Northing: 5339 145 Bearing: - Datum :

Method	Support	Penetration	Water	DCP (Blow/ 100mm)	Depth (m)	Graphic log	Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
ADV	N				0.50		SP	TOPSOIL - SAND, fine grained, light brown, root fibres SAND - fine grained, light brown	D M	L MD	
					1.00						
					1.50				W	D	Slightly harder drilling Borehole collapsed 1.4m
					2.00						Slightly softer drilling
					2.50						
					3.00						
					3.50						
					4.00						
					4.50						



### Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001

Borehole no. BH4

Sheet no. 1 of 1

Job no. GL20403A

Client :		Mr Adnan & Mrs Jessica Crees-Morris					Date :		23/07/20		
Project :		Coastal Hazards Assessment, Site Classification & Wastewater Assessment					Logged By :		AF		
Location :		1130 Dolphin Sands Road, Dolphin Sands									
Drill model :		Easting: 599 482		Slope: 90°		RL Surface :					
Hole diameter :		Northing: 5339 149		Bearing: -		Datum :					
Method	Support	Penetration	Water	DCP (Blow/ 100mm)	Depth (m)	Graphic log	Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
ADV	N				0.50		SP	TOPSOIL - SAND, fine grained, light brown, root fibres	D	L	
					1.00			SAND - fine grained, light brown	M	MD	
					1.50				W		Borehole collapsed @ 1.5m
					2.00						
					2.50						
					3.00						
					3.50						
					4.00						
					4.50						

## Investigation Log Explanation Sheet

### METHOD – BOREHOLE

TERM	Description
AS	Auger Screwing*
AD	Auger Drilling*
RR	Roller / Tricone
W	Washbore
CT	Cable Tool
HA	Hand Auger
DT	Diatube
B	Blank Bit
V	V Bit
T	TC Bit

\* Bit shown by suffix e.g. ADT





### METHOD – EXCAVATION

TERM	Description
N	Natural exposure
X	Existing excavation
H	Backhoe bucket
B	Bulldozer blade
R	Ripper
E	Excavator




### SUPPORT

TERM	Description
M	Mud
N	Nil
C	Casing
S	Shoring

### PENETRATION

1	2	3	4	
				No resistance ranging to Refusal

### WATER

Symbol	Description
	Water inflow
	Water outflow
	17/3/08 water on date shown

### NOTES, SAMPLES, TESTS

TERM	Description
U <sub>50</sub>	Undisturbed sample 50 mm diameter
U <sub>63</sub>	Undisturbed sample 63 mm diameter
D	Disturbed sample
N	Standard Penetration Test (SPT)
N*	SPT – sample recovered
N <sub>c</sub>	SPT with solid cone
V	Vane Shear
PP	Pocket Penetrometer
P	Pressumeter
B <sub>s</sub>	Bulk sample
E	Environmental Sample
R	Refusal
DCP	Dynamic Cone Penetrometer (blows/100mm)
PL	Plastic Limit
LL	Liquid Limit
LS	Linear Shrinkage

### CLASSIFICATION SYMBOLS AND SOIL DESCRIPTION

Based on AS 1726:2017

### MOISTURE

TERM	Description
D	Dry
M	Moist
W	Wet

### CONSISTENCY/DENSITY INDEX

TERM	Description
VS	very soft
S	soft
F	firm
St	stiff
VSt	very stiff
H	hard
Fr	friable
VL	very loose
L	loose
MD	medium dense
D	dense
VD	Very dense

## Soil Description Explanation Sheet (1 of 2)

### DEFINITION

In engineering terms, soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

### CLASSIFICATION SYMBOL AND SOIL NAME

Soils are described in accordance with the AS 1726: 2017 as shown in the table on Sheet 2.

### PARTICLE SIZE DEFINITIONS

NAME	SUBDIVISION	SIZE (mm)
BOULDERS		>200
COBBLES		63 to 200
GRAVEL	Coarse	19 to 63
	Medium	6.7 to 19
	Fine	2.36 to 6.7
SAND	Coarse	0.6 to 2.36
	Medium	0.21 to 0.6
	Fine	0.075 to 0.21
SILT		0.002 to 0.075
CLAY		<0.002

### MOISTURE CONDITION

#### Coarse Grained Soils

**Dry** Non-cohesive and free running.

**Moist** Soil feels cool, darkened in colour.  
Soil tends to stick together.

**Wet** As for moist but with free water forming when handling.

#### Fine Grained Soils

**Moist, dry of Plastic Limited –  $w < PL$**

Hard and friable or powdery.

**Moist, near Plastic Limit –  $w \approx PL$**

Soils can be moulded at a moisture content approximately equal to the plastic limit.

**Moist, wet of Plastic Limit –  $w > PL$**

Soils usually weakened and free water forms on hands when handling.

**Wet, near Liquid Limit –  $w \approx LL$**

**Wet, wet of Liquid Limit –  $w > LL$**

### CONSISTENCY TERMS FOR COHESIVE SOILS

TERM	UNDRAINED STRENGTH $s_u$ (kPa)	FIELD GUIDE
Very Soft	$\leq 12$	Exudes between the fingers when squeezed in hand
Soft	12 to 25	Can be moulded by light finger pressure
Firm	25 to 50	Can be moulded by strong finger pressure
Stiff	50 to 100	Cannot be moulded by fingers
Very Stiff	100 to 200	Can be indented by thumb nail
Hard	>200	Can be indented with difficulty by thumb nail
Friable	–	Can be easily crumbled or broken into small pieces by hand

### RELATIVE DENSITY OF NON-COHESIVE SOILS

TERM	DENSITY INDEX (%)
Very Loose	$\leq 15$
Loose	15 to 35
Medium Dense	35 to 65
Dense	65 to 85
Very Dense	> 85

### DESCRIPTIVE TERMS FOR ACCESSORY SOIL COMPONENTS

DESIGNATION OF COMPONENT	IN COARSE GRAINED SOILS		IN FINE GRAINED SOILS	TERM
	% Fines	% Accessory coarse fraction	% Sand/gravel	
Minor	$\leq 5$	$\leq 15$	$\leq 15$	Trace
	>5, $\leq 12$	>15, $\leq 30$	>15, $\leq 30$	With
Secondary	>12	>30	>30	Prefix

### SOIL STRUCTURE

ZONING		CEMENTING	
Layer	Continuous across the exposure or sample.	Weakly cemented	Easily disaggregated by hand in air or water.
Lens	Discontinuous layer of different material, with lenticular shape.	Moderately cemented	Effort is required to disaggregate the soil by hand in air or water.
Pocket	An irregular inclusion of different material.		

### GEOLOGICAL ORIGIN

#### WEATHERED IN PLACE SOILS

Extremely weathered material	Structure and/or fabric of parent rock material retained and visible.
Residual soil	Structure and/or fabric of parent rock material not retained and visible.

#### TRANSPORTED SOILS

Aeolian soil	Carried and deposited by wind.
Alluvial soil	Deposited by streams and rivers.
Colluvial soil	Soil and rock debris transported downslope by gravity.
Estuarine soil	Deposited in coastal estuaries, and including sediments carried by inflowing rivers and streams, and tidal currents.
Fill	Man-made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils.
Lacustrine soil	Deposited in freshwater lakes.
Marine soil	Deposited in a marine environment.

## Soil Description Explanation Sheet (2 of 2)

### SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 63 mm and basing fractions on estimated mass)					GROUP SYMBOL	PRIMARY NAME	
COARSE GRAINED SOIL More than 65% of soil excluding oversize fraction is larger than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to naked eyes)	GRAVEL More than half of coarse fraction is larger than 2.36 mm	CLEAN GRAVEL (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate particle sizes	GW	GRAVEL	
				Predominantly one size or a range of sizes with some intermediate sizes missing	GP	GRAVEL	
			GRAVEL WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	GM	Silty GRAVEL	
				Plastic fines (for identification procedures see CL, CI and CH below)	GC	Clayey GRAVEL	
		SAND More than half of coarse fraction is smaller than 2.36 mm	CLEAN SAND (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate sizes	SW	SAND	
				Predominantly one size or a range of sizes with some intermediate sizes missing	SP	SAND	
			SAND WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML and MH below)	SM	Silty SAND	
				Plastic fines (for identification procedures see CL, CI and CH below)	SC	Clayey SAND	
FINE GRAINED SOIL More than 35% of soil excluding oversize fraction is smaller than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to naked eyes)	IDENTIFICATION PROCEDURES ON FRACTIONS <0.075 mm					
			DRY STRENGTH	DILATANCY	TOUGHNESS		
		SILT & CLAY (low to medium plasticity, LL ≤ 50)	None to Low	Slow to Rapid	Low	ML	SILT
			Medium to High	None to Slow	Medium	CL, CI	CLAY
			Low to Medium	Slow	Low	OL	ORGANIC SILT
		SILT & CLAY (high plasticity, LL > 50)	Low to Medium	None to Slow	Low to Medium	MH	SILT
			High to Very High	None	High	CH	CLAY
			Medium to High	None to Very Slow	Low to Medium	OH	ORGANIC CLAY
		Highly Organic Soil	Readily identified by colour, odour, spongy feel and frequently by fibrous texture.			Pt	PEAT
		• LL – Liquid Limit.					

• LL – Liquid Limit.

### COMMON DEFECTS IN SOILS

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub parallel to layering (e.g. bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
FISSURE	A surface or crack across which the soil has little or no tensile strength, but which is not parallel or sub parallel to layering. May be open or closed. May include desiccation cracks.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter.	
SHEARED SEAM	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting fissures which divide the mass into lenticular or wedge-shaped blocks.		TUBE CAST	An infilled tube. The infill may be uncemented or weakly cemented soil or have rock properties.	
SHEARED SURFACE	A near planar curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along the defect.		INFILLED SEAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open defects.	

# Appendix B

## Example Plants



## **Taz Wild Plants**

Phone: (03) 6384 2165  
Fax: (03) 6384 2165  
Web site: [www.tazwild.com](http://www.tazwild.com)

### **Wastewater Treatment Units**

#### **Tasmanian Plants suitable for Water from Wastewater Treatment Units**

Water from septic tanks and aerated wastewater treatment units such as Biocycle, Envirocycle or other may contain salts, boron and disease bearing microbes. The major ingredients of most cleaning fluids are various salts, of which common kitchen salt (sodium chloride) is the least common. These salts may have large concentrations in wastewater, which can have a detrimental effect on plants. The survival of plants will depend on the concentrations of salts. Long-term build up of chemicals and salts in the soil will adversely affect any plantings.

We can't guarantee these plants will survive but they are tolerant to reasonable amounts of the main offenders and will tolerate wet conditions.

Below is a list of plants to help make an attractive garden bed for your wastewater treatment area.

#### **PLANTS 1 – 6m**

##### **Acacia mucronata**

*Variable willow wattle, Narrow leaf wattle*

An upright or spreading, medium to tall shrub 3-4m X 2-3m. Quick growing. Profuse cream to yellow flowers in spring, showy. Attracts seed eating birds. Drought tolerant.

##### **Acacia verticillata**

*Prickly Moses*

Prickly shrub to 2m. Useful habitat plant and very attractive in flower.

##### **Banksia marginata**

*Honeysuckle, Silver banksia*

Evergreen shrub or small tree with attractive narrow, smooth edged leaves which are square or notched at the end and silvery beneath. Greenish yellow cones of flowers that last as cut flowers. Grows well in sandy soil. Strong upright growth.

##### **Bauera rubioides**

*Dog Rose*

Hardy small to medium dense shrub. 1-2m X 1-2m wide with masses of dainty pink flowers, flowering most of year, attracting butterflies. Grows well in wet or moist soils, prefers acid soils. Likes full or filtered sun. Good coastal plant. Frost tolerant. Prune regularly. Good erosion control.

##### **Callistemon pallidus**

*Lemon Bottlebrush*

Evergreen medium shrub, very upright with silky leaves that become smooth with age. Lovely lemon yellow bottlebrushes in spring and summer. Likes a dry or moist position. Tolerates full or filtered sunlight. Attracts nectar eating birds.

##### **Callitris oblonga**

*Cypress pine, South esk pine*

This is one of Australia's native conifers. It has an attractive shrubby shape and is suitable for use in the garden as a fast growing hedge, since it can be pruned to shape. It is also useful for gardens where the soil is rocky and sandy but will tolerate a range of soils, providing the drainage is good.

##### **Correa backhousiana**

*Velvet correa*

A dense, bushy, spreading shrub to 1.5m high by 2m wide. Leaves are glossy green on top, rusty coloured underneath. Greenish cream bell flowers in winter. Spring bird attracting. Tolerates lime and coastal plantings. Usually frost resistant.

##### **Leptospermum lanigerum**

*Woolley tea-tree*

Hardy medium to large shrub 2.5 to 5m high x 1.2-3m wide, massed with white flowers during spring. Soft grey foliage. Prefers moist to wet soils with good drainage and will grow well in full or filtered sun. Attracts butterflies and seed eating birds. Tolerates light snow, smog and frost.

### **Melaleuca ericifolia**

A very hard, fast growing small evergreen tree suited to most soils and aspects. Suitable for poorly drained or saline soils and withstands coastal exposure. Needle-like leaves and 2-3cm long cream flower spikes, in spring and early summer. Ideal for planting as a screen.

### **Melaleuca gibbosa**

*Fine leafed paperbark, Slender honey-myrtle*

Evergreen small shrub with mauve/purple ball shaped flowers in late spring and summer. Suitable for most soils, tolerating lime and salt soil. Frost resistant.

### **Melaleuca squarrosa**

Tall, bushy shrub, good foliage. Scented, yellow brush flowers, in spring-summer. Suitable for most soils, tolerating very wet conditions, lime, saline and frost.

### **Micrantheum hexandrum**

*River box*

Attractive foliage plant with new growth showing red stems. Cream flowers in spring. Grows up to 2m high. Prune to form a dense screen plant.

### **Notelaea ligustrina**

*Native Olive, Mock olive, Privet mock olive*

Tall shrub with smooth, dark green leaves. Small yellow flowers and purple fruit. Prefers a moist, semi-shaded position but grows well in a wide range of conditions.

### **Pomaderris apetala**

*Dogwood*

Medium to tall shrub 3 to 15 m. This shrub grows in a wide variety of sites from very dry to very wet but will grow larger with moisture. Looks good planted in copses.

## **SHRUBS TO 1m**

### **Amperea xiphioclada**

Upright or arching stems. Attractive foliage sculptural in appearance to 60cm. Useful for basket weaving. Dry to moist sites.

### **Blechnum penna-marina**

*Alpine Water Fern*

Attractive, low growing, matted ground cover. Leathery dark green fronds to 15cm long, tinged pink when young. Ideal hanging baskets. Rockeries and moist positions in the open ground.

### **Blechnum wattsii**

*Hard Water Fern*

Hardy and vigorous fern with dark green leathery fronds to 1m tall. Very easily grown in large pot or a moist, shady position in the ground.

### **Callistemon viridiflorus**

*Green Bottlebrush*

Erect shrub with pale green bottlebrushes. Good in damp conditions. 1-2m X 1m. Frost resistant.

### **Carex appressa**

*Tall sedge, Tussock sedge*

A tall perennial to 1.8m high. Stems acutely 3 angled and leaves 3-6mm broad. Occurs in winter wet depressions that can dry out completely in summer. Flowers in spring.

### **Carex inyx**

*Tassel Sedge*

Evergreen clump forming sedge with green foliage and gorgeous golden brown pendulous tassels 1m x 1m.

### **Carex tasmanica**

*Curley Sedge*

An upright sedge to 30cm. Attractive tight curls on tips of leaves. Wet sites but will tolerate long dry spells.

### **Dianella tasmanica**

*Flax Lily*

An evergreen perennial plant with arching, strap-like leaves which can be up to 1.2m long. During spring and summer this plant bears clusters of nodding, star shaped, bright blue to purple flowers which are followed by glossy deep blue berries. Thrives in a sunny to partly shaded position in humus rich, well drained soil. Ideal for rockeries, poolside planting and containers.

### **Ficinea nodosa (syn isolepis nodosa)**

*Knobby club rush*

Dense tufted native rush with stiff stems. Rounded brown flower knobs in summer. Suit damp or moist sandy soil. 60cm X 1m wide.

### **Ficinea nodosa (syn isolepis nodosa)**

*Knobby club rush* (syn. *Isolepis nodosa*)

Ideal for planting around pond margins, this fast growing perennial plant forms clumps of upright, often arching, dark green stems. Brownish, globular flower heads are produced throughout the year. A tough hardy plant which thrives in full sun in a range of soils. Tolerates salt spray, waterlogged and saline soils. Adds texture and colour to seaside gardens and water features, useful for general garden planting.

### **Goodenia elongata**

*Lanky Goodenia*

Suckering ground cover 10cm tall X 50cm. Glossy green leaves, rich yellow flowers on tall stems spring-summer, prefers moist soils in full sun or part shade.

### **Isolepis inundata**

*Knobby club rush, Swamp club rush*

Handy aquatic for waters edge or general planting (eg. shrub beds, dry creek beds).

### **Lomandra longifolia**

*Long leaf mat bush, Sagg*

A popular plant for use as accent in gardens, where the rush like foliage contrasts well with broad leafed plants. Use it next to ponds or as a boarder plant. Flowers in spring, bearing clusters of cream, strongly perfumed flowers - great for use in flora arrangements. A very adaptable plant that will grow well in a range of soils but does best in a moist position.

### **Mazus pumilio**

*Mauve carpet*

Low growing creeping plant. Ideal ground cover, with mauve flowers, spring and summer. Semi shade or sun.

### **Melaleuca squamea**

A bushy shrub to 1m with stunning mauve flowers in spring-summer. Grows well in a damp spot. Frost hardy.

### **Poa labillardieri**

A popular native grass grown for its soft blue foliage. In the warmer months this clumping plant produces an attractive flower head with a purple tint. Thrives in a sunny to partly shaded position and grows in a range of soils. Suitable for planting under trees, embankments and mass plantings. Cut to just above ground level in late winter for fresh new spring growth.

### **Polystichum proliferum**

*Mother Shield Fern*

An easy to grow fern with attractive green fronds. New fronds are covered with eye catching brownish scales. An ideal plant for ferneries and shaded garden positions but will perform equally well when planted in a container. Plant in humus rich, moist, well drained soil in part shade. Fertilise with a good organic fertilizer. When planting in containers use a premium potting mix.

### **Polystichum proliferum**

*Mother Shield Fern*

Attractive native fern with arching fronds to 1m long forming plantlets near the tip. Very easily grown in a moist position in morning or filtered sun. Suitable for tubs.

### **Pratia pedunculata**

*Blue pratia, Common pratia, White pratia*

This dainty, spreading plant forms a carpet of tiny green leaves which from spring to early summer is smothered in a mass of tiny, white flowers. This carpeting plant is ideal for filling in spaces near rocks and sleepers and makes an attractive groundcover. Thrives in a sunny to semi-shaded position in moist soil. Keep moist at all times.

### **Pratia pedunculata**

*Blue pratia, Common pratia, White pratia*

This dainty, spreading plant forms a carpet of tiny, green leaves, which from spring to early summer is smothered in a mass of tiny blue flowers. This carpeting plant is ideal for filling in spaces near rocks and sleepers, and makes an attractive groundcover, thrives in a sunny to semi-shaded position in moist soil. Keep moist at all times.

### **Scaevola hookeri**

*Creeping fan flower, Mat fan flower*

A very densely matting, evergreen groundcover with glossy, dark green leaves and small, white fan-shaped flowers in flushes, during spring, summer and autumn. An excellent soil binding plant for average to moist positions. Frost hardy.

**Velleia paradoxa**

*Spur velleia*

Wild flower 20cm X 20cm with large yellow flowers spring and summer. Prefers moist soils which are well drained and part shade to full sun.

**Viola fuscoviolacea**

A spreading, matting violet with attractive dense foliage and tiny deep purple-blue flowers in spring and summer. Prefers a moist position. Withstands frosts and snow.

**Viola hederacea**

*Native violet*

An attractive creeping evergreen perennial with fan shaped leaves. This plant produces beautiful mauve flowers over a long flowering period. An ideal ground cover for full sun to part shade in well drained soils.

**TREES****Acacia dealbata**

*Silver Wattle*

A tall tree with a smooth trunk, often decorated with silvery, mottled patches contrasting with the greyish-green leaves. In spring, clusters of golden-yellow, fluffy ball like flowers almost cover the whole tree.

**Acacia melanoxylon**

*Blackwood*

A beautiful formal tree that produces one of Australia's most sought after woods for cabinet making. Light yellow flowers occur in winter and early spring. A useful tree for a windbreak or screen as it grows densely. It is also tolerant of a wide range of positions, however its height and width will be greatest if the soil is moist and fertile.

**Eucalyptus ovata**

*Black gum, Swamp gum*

Evergreen medium to tall moisture loving tree, good for poorly drained soils. Smooth white trunk. Masses of white flowers in autumn which attract birds. Frost hardy. Good tree for cool districts. Water absorber. Drought tolerant. Excellent shade and windbreak tree.

**Eucalyptus rodwayi**

*Swamp Peppermint*

This tree is suitable for a wide range of conditions, from very dry sandy soils to river banks. Grows 15 to 20m.

**Eucalyptus viminalis**

*White Gum*

A magnificent tree with a lovely white trunk. This tree is suitable for very dry to very wet sites. Its height is 20 to 40m depending on availability of moisture.

**Pomaderris apetala**

*Dogwood*

Medium to tall shrub 3 to 15 m. This shrub grows in a wide variety of sites from very dry to very wet but will grow larger with moisture. Looks good planted in copses.

**Prostanthera lasianthos**

*Christmas bush, Tasmanian Christmas bush*

The Tasmanian Christmas bush comes into flower around Christmas with masses of mint scented foliage. A rapid growth in a range of soils but for best results grow in a well drained soil and mulch to retain moisture in the drier months. An attractive plant that will grow in a range of positions in the garden.

**Tasmania lanceolata**

*Mountain pepper, Native pepper*

Small leafed mountain form. Handsome foliage shrub with bright green leaves and red stems. Creamy-yellow flowers in spring. Slow growing to 1.5m, hardy in a cool moist well drained position in sun or shade.

# Appendix C

## **Certificate Forms**



# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: **Mr Adnan & Mrs Jessica Crees-Morris** Owner /Agent  
**6 Ashby Street** Address  
**East Launceston Tas** **7250** Suburb/postcode

## Qualified person details:

Qualified person: **Tony Barriera - Geoton Pty. Ltd.**  
Address: **PO Box 522** Phone No: **03 6326 5001**  
**Prospect Tas** **7250** Fax No:  
Licence No: **CC6220 P** Email address: **tbarriera@geoton.com.au**

Qualifications and Insurance details: **Tony Barriera – BEng, MSc  
CPEng, NER – IEAust 471929  
Civil, Geotechnical  
Certain Underwriters at Lloyd's-  
ENG 19 000330** (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: **Geotechnical Engineering** (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address: **1130 Dolphin Sands Road** Lot No: **175**  
**Dolphin Sands Tas** **7190** Certificate of title No: **54666/175**  
The assessable item related to this certificate: **Classification of foundation conditions according to AS2870 - 2011** (description of the assessable item being certified)  
Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type: **Foundation Site Classification – AS2870** (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

☐☒

In issuing this certificate the following matters are relevant –

Documents:	Geoton Pty Ltd, Report Reference No. GL20403Ab, dated 26/07/2021
Relevant calculations:	Refer to report
References:	AS 2870 – 2011 Residential Slabs and Footings Construction AS 4055 – 2012 Wind Loads for Housing CSIRO Building Technical File 18

*Substance of Certificate: (what it is that is being certified)*

Site Classification in accordance to AS2870 - 2011  
Wind Loading in accordance to AS 4055 - 2012  
Findings and recommendations of report

*Scope and/or Limitations*

The classification applies to the site as investigated at the time and does not account for any future alteration to foundation conditions resulting from earthworks, drainage condition changes or site maintenance variations.

**I certify the matters described in this certificate.**

	<i>Signed:</i>	<i>Certificate No:</i>	<i>Date:</i>
Qualified person:		GL20403Ab	26/07/2021

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

To: **Mr Adnan & Mrs Jessica Crees-Morris** *Owner name*  
**6 Ashby Street** *Address*  
**East Launceston Tas** **7250** *Suburb/postcode*

Form **35**

## Designer details:

Name: **Tony Barrieria** Category: **Civil Engineer**  
Hydraulic - Domestic  
Business name: **Geoton Pty Ltd** Phone No: **03 6326 5001**  
Business address: **P O Box 522**  
**Prospect TAS** **7250** Fax No:   
Licence No: **IEAust 471929, CC6220 P** Email address: **tbarriera@geoton.com.au**

## Details of the proposed work:

Owner/Applicant **Mr Adnan & Mrs Jessica Crees-Morris** Designer's project reference No. **GL20403Ab**  
Address: **1130 Dolphin Sands Road** Lot No: **54666/175**  
**Dolphin Sands Tas** **7190**  
Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

## Description of work:

New building  
on-site wastewater management system

(new building / alteration /  
addition / repair / removal /  
re-erection  
water / sewerage /  
stormwater /  
on-site wastewater  
management system /  
backflow prevention / other)

## Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input checked="" type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

**All design documents provided in Report GL20403Ab, dated 26/07/2021**

**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers:	Prepared by:	Date:
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**


All design documents are contained within report  
AS/NZS1547:2012 On-site domestic-wastewater management

**Any other relevant documentation:****Attribution as designer:**

I Tony Barriera of Geoton Pty Ltd am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Tony Barriera		26/07/2021
Licence No:	CC6220P		

<b>Assessment of Certifiable Works: (TasWater)</b>	
--	--

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**


**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

<b>Certification:</b>	
-----------------------	--

I Tony Barriera of Geoton Pty Ltd being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Tony Barriera		26/07/2021



## LOADING CERTIFICATE

To: **Mr Adnan & Mrs Jessica Crees-Morris**

Owner /Agent

Certificate Ref:  
AS/NZS 1547:2012  
Section 7.4.2

**6 Ashby Street**

Address

**East Launceston Tas**

**7250**

Suburb/postcode

### Details of work:

Address:

**1130 Dolphin Sands Road**

Lot No: **175**

**Dolphin Sands Tas**

**7190**

Certificate of title No: **54666/175**

The work  
related to this  
certificate:

**On-site domestic-wastewater  
management**

(description of the work or part work being  
certified )

### Certificate details:

In issuing this certificate the following matters are relevant –

Documents:

Report GL20403Ab dated 26/07/2021

Figure 1 – Locality Plan

Figure 2 – Projected Sea Level Rise

Figure 3 – Projected Storm Surge

Figure 4 – Coastal Inundation Hazard Bands

Figure 5 – Coastal Erosion Components

Figure 6 – Site Plan

Figure 7 – Stormwater Detention Trench Cross Section

Figure WW-05 – Typical AWTs Section

Relevant  
calculations:

Contained in the above

References:

AS/NZS1547:2012 On-site domestic-wastewater management

**Substance of Certificate:**

This certificate sets out the design criteria and the limitations associated with use of the system.

### **Wastewater Characteristics**

*Population equivalent used for this assessment* = 6 (4 bedroom dwelling)  
*Wastewater volume (L/day) used for this assessment* = 720 (120 Litres per person)  
*Approximate blackwater volume (L/day)* = 288  
*Approximate greywater volume (L/day)* = 432

### **Soil Characteristics/Design Criteria**

*Texture (Table E4 from AS/NZS 1547)* = Sand  
*Soil category (Table E1 from AS/NZS 1547)* = 1  
*Soil structure (Table E4 from AS/NZS 1547)* = Single Grained  
*Indicative permeability (Table 5.1 from AS/NZS 1547)* = >3.0m/day  
*Adopted permeability* = 4.7m/day  
*Adopted Design Irrigation Rate* = 5m/day  
*Soil thickness for disposal* = >2.0m  
*Minimum depth (m) to water* = 0.9m

### **Dimensions for On-Site Treatment System**

*Disposal and treatment methods* = Aerated Wastewater Treatment System (AWTS) and sub-surface irrigation  
*Site modification and specific design* = Not required  
*Primary disposal area required* = 144m<sup>2</sup>  
*Reserve disposal area required* = 144m<sup>2</sup>  
*Location and use of Reserve area* = Reserve area located to the south of the proposed wastewater disposal field. Currently vacant with a medium to tall cover of grass scattered shrubs.  
*Is there sufficient area available on site for disposal (including reserve)* = Yes

### **Notes**

*The purpose of the reserve area is to allow for future extension of the land application system to allow a factor of safety against unforeseen malfunction or failure, perhaps following increased household occupancy or inadvertent misuse of the system.*

*The land application area may be reduced to account for flow reductions by water-saving devices, provided the organic loading rate is not higher than it would have been without the flow reduction.*

### **Allowable Variation from Design Flow**

Based on an approved AWTS 10 EP system (10 equivalent persons) rated at 1500 litres per day and a wastewater design volume of 720L/day the allowable variation from design flow (peak loading events) would be an additional 780L/day.

### **System Limitations**

*Consequences of overloading the system:*

- (A) Adverse effects on soil properties and plant growth through excess salt accumulation in the root zone during extended dry periods
- (B) Harmful long-term environmental effects to the soil of land application system or the adjacent surface water and groundwater; or
- (C) Increased risk to public health from surface ponding in the land application area or channelling or seepage beyond the land application area.

*Consequences of underloading the system:*  
Not applicable to this type of system.

**Operation Requirements**

Refer to operation manual of preferred aerated wastewater treatment system.

Adverse effects of not operating the system correctly may include:

- (A) Odour; and
- (B) Disease.


**Maintenance Requirements**

Refer to operation manual of preferred aerated wastewater treatment system.

Adverse effects of not maintaining and monitoring the system correctly may include:

- (A) Odour;
- (B) Pump failure;
- (C) Air blower failure or filter blockage;
- (D) Alarm failure;
- (E) Irrigation field failure; and
- (F) Poor water quality, lack of disinfection.

**I certify the matters described in this certificate.**

	<i>Signed:</i>	<i>Date:</i>	<i>Certificate No.</i>
Certifier:		26/07/2021	GL20403Ab



## Maree Tyrrell

**From:**  
**Sent:** Thursday, 14 October 2021 10:43 AM  
**To:** Planning  
**Cc:**  
**Subject:** Planning Objection - RA1130 Dolphin Sands Road - Application number DA2021 / 282

### Categories:

Dear General Manager

would like to formally make objections to the proposed building development – Dwelling used for visitor accommodation application number DA2021 / 282 at RA1130 Dolphin Sands Road, applicant Honed Architecture & Design and owned by Jessica Heenan and Adnan Crees-Morris.

The application to build a 7.7 meter high 371m squared building is in breach of the conditions as per Glamorgan Spring Bay Planning Scheme, 34.0 Particular Purpose Zone 3 – Dolphin Sands.

## Background / Overview

In 2009 we purchase \_\_\_\_\_ at this point of time RA1130 was also for sale, the decision to purchase \_\_\_\_\_ was purely due to the fact that RA1130 did not have any natural elevated areas suitable for building that allowed for views to the Hazards and Great Oyster Bay, clearing the natural seaside dune structure that runs the length of the Nine Mile Beach. So the purchase of RA1120 was done based on building height restrictions in force for Dolphin Sands to afford the ability to build a structure with a view. This was also reflected in the sale price for the adjoining property, RA1120 sold for \$265000 Oct 2009 and RA 1130 sold for \$210000 Aug 2010.

In 2011-12 (I think) the Brooke's (owners) of RA1130 levelled the flattish undulating ground behind the seaside dunes at the front of the property and built the current structure on the property (non-approved). At the same time they bulldozed two substantial entrances through the large sand dunes that run along the beach, on the Nine Mile Crown Reservation. I believe they were fined at the time for this also all residents along the beach side of Dolphin Sands Road were sent a letter at the time from Parks and Wildlife (please forgive me if they are not the correct department that covers the reserve) with pictures of the destruction of the dunes stating it was illegal to undertake such works through the reserve. This obviously caused a section of the seaside dune structure now to be way lower than existing dunes either side of the entrance to the property from the beach (gladly over the years since it is very slowly repairing itself).

The positioning of the proposed illegal 7.7m high building will be taking advantage of the illegally lowered dunes in the reserve to attain a view.

### 34.4 Development Standards for Buildings and Works

### 34.4.1

A1 – Building height must not be no more than 5m. There is no allowance for an average height of the ground/dunes on the property in this condition, it is quite obvious that the 5m is intended to be above the useable existing ground level. No exemption for a 7.7m high building (that in reality will creep to 8m during the building process). The applicant's opening statement of "In Theory" implies the applicant is aware they are in breach and looking for a way to circumvent the regulation of a maximum height of 5m.

The applicant has stated the area which they are requesting to build was bulldozed down to a level that is substantially lower than the natural condition of the land would have been. This is totally incorrect, the bulldozing was used to produce a level environment/area. In this process there was no substantial lowering of the existing ground/dune level within the cleared area, this is substantiated by surrounding properties and area surrounding the

levelled area which have not been touched which is basically at the same level as the cleared area. Generally behind the seaside dune base there is a natural flat area that extends back from the dunes for approximately 50m to 150m before any real raise in ground/dune elevation. There are areas of elevation set further back from the beach side of the property on RA1130, but these obviously do not provide the desired views.

The applicant is positioning the 7.7m building in the identified position to take advantage of the bulldozed entrance to the beach to obtain a view, not stated reason in application.

**P1 Building Height:**

- (a) be unobtrusive within the surrounding landscape; Not sure how a 7.7m high, 371 square meter building cannot be unobtrusive.
- (b) be consistent with the surrounding pattern of development; Buildings in the surrounding area are not of a height 7.7m, also buildings in the surrounding area have a set back from the seaside boundary of at least 75m + to obtain views on the secondary dune system.
- (c) not unreasonably impact on the amenity of adjoining lots from overshadowing, overlooking or visual bulk. A 7.7m high, 371 square meter building at the minimum set back from beach side boundary will certainly have an impact visually to the adjoining lot.

**Conclusion**

The allowance of a 7.7m high building, which is in breach of the conditions as per Glamorgan Spring Bay Planning Scheme, 34.0 Particular Purpose Zone 3 – Dolphin Sands as previously stated, would not only be a travesty, but it would be setting a dangerous precedent for future development in the area given that the proposed 7.7m building has been designed to take advantage of illegal entrances which were bulldozed to gain access to Nine Mile Beach and now being taken advantage of for the sole purpose of gaining a view. If this development is approved not only does it jeopardise the legitimacy and transparency of future development applications that the regulations are supposed to protect, it questions the community confidence in council in relation to further development in the Dolphin Sands area and the lifestyle residents currently enjoy and were attracted to the area for initially.

Thanking you for the ability to make this objection.

If you require any further information please don't hesitate to make contact.

Yours Sincerely

**Maree Tyrrell**

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**From:**  
**Sent:** Friday, 22 October 2021 3:34 PM  
**To:** Planning  
**Subject:** DA2021-282

**Categories:**

Hi,

I would like to make a representation against DA2021-282. The application openly utilises estimates and does not provide sufficient information to base an assessment on. There are no photos or drawings of the impact of view from either adjoining lots of land. There are no drawings or overlays showing the visual impact of height from either the beach or the reserve between. There is no accurate information on the original contours and elevation of the illegally flattened area referred to in the application, although a visual inspection of the sand dunes of both neighbouring lots of land suggest to me that the estimates shown in the application are not even close, overstating the original land height considerably.

In short, I cannot provide an appropriate response until the application is complete. I can only state that the height is excessive, unnecessary, and exceeds acceptable standards. The distance back from the southern boundary is not in keeping with the surrounding houses. The whole footprint is to sit, with great mass, on a coastal erosion band. And the height and amenity statements in the application are unsubstantiated.

Sincerely,

**Maree Tyrrell**

---

**From:**  
**Sent:** Friday, 22 October 2021 5:09 PM  
**To:** Planning  
**Subject:** General Manager

**Categories:**

To Mr Greg Ingham  
General Manager  
Glamorgan Spring Bay Council

Dear Mr Ingham

I would like to submit a representation on a current development application number DA2021 - 282 - 1130 Dolphin Sands Road.

My concern centres around the footprint, location, height and bulk of the building. I can appreciate the removal of the existing residence on this title, but even the original un-approved building is more sympathetic to the lay of the land and amenity of others than the new one. My concerns are also over an apparent abundance of guess-work in providing information. Kudos to them for saying they want to correct the wrongs of the past owners, but they seem to be picking and choosing very selectively which they will restore and which they will take every advantage of. I am forced to ask what other liberties they will take, especially if they are to provide accommodation to "unknown guests"!

As a pilot who regularly flew over Dolphin Sands with tourists, I know the area well, but a quick look at Google Maps will show what is obvious from a plane. The new building is not, as they incorrectly state, on a site of major excavation. There were never any sand banks there, it is a natural dip that runs the length of many properties. Levelling may have occurred, but no excavation or reduction in height, with the exception of a wide road pushed through onto the beach itself, immediately in front of where the new building is to be. Their argument for exceeding height restrictions is quite fictitious.

There are the odd horrific homes built on Dolphin Sands. How they got approved is not up for debate, but the area around 1130, which is where scenic flights often overfly, is not too bad. The new building would be very much out of character with the immediate area. Its height and bulk are disproportionate, and the proximity to the beach unreasonable.

As I said, I am concerned too over the apparent guess-work they have made. Realistically, how can anyone make an informed representation when the documents provided are based on beliefs and estimations, with nothing to prove it?

Thank you.



The General Manager  
Glamorgan Spring Bay Council  
9 Melbourne St  
Triabunna TAS 7190

October 20th, 2020

**RE: DA2021/282 – Dwelling and Change of Use, 1130 Dolphin Sands Rd, Dolphin Sands**

Dear Sir,

As a long-standing member of the Dolphin Sands community, I hereby submit my representation in relation to the proposal. The current residence at 1130 Dolphin Sands Road is many years old and I do not object to the redevelopment of the existing residence, however I do have several concerns regarding the details in the application.

The concerns I wish to raise are as follows:

1. The proposed residence is to be located entirely within an area identified as being subject to erosion. This has potential to destabilise the surrounding dunes, pose flood risk to neighbours, and impact the sustainability of the natural groundwater supply.
2. The proposed residence location is taking undue advantage of illegally excavated frontal dunes. The beach access-way has been lowered and widened, both in contravention of the Special Purpose Area planning regulations. The applicant states they want to rectify previous illegal development, so they should be closing off and rehabilitating the frontal dunes to be at least as high as the surrounding dunes, as should always have been the case.
3. The proposed location of the residence is not in keeping with the set-back of the nearest neighbours at 1120, and 1148 Dolphin Sands Road. It is further into the erosion zone and closer to the Nine Mile Beach Reserve boundary. Inadequate setback from the beach impacts amenity of those on the beach and of the neighbouring properties.
4. The coastline recession analysis is not substantial enough. Another DA, which was approved by GSBC, displayed in detail that the foreshore will recede 65m by 2070, or 97m with a 4.3m AHD wave runup. The minimal figures quoted by this applicant are inconsistent and underestimated in comparison, also failing to address what effect that the already-removed section of frontal dune will have on accelerated inundation.
5. The bulk of the proposed residence is far more than that of any surrounding building, and detrimentally impacts the amenity of the house at 1120 Dolphin Sands Road, which would directly overlook it.

6. The applicant has failed to give any accurate details on visibility from the beach, neighbouring properties, and residences, and has only made assumptions as to the appearance from Dolphin Sands Road. This directly impacts on amenity, both overlooking and natural landscape. Clear and accurate illustration of detailed elevation calculations need to be provided. These amenities bare a foremost criterion in the appeal for this area and are underlined in the zone purpose statement 34.1.1.2 *To ensure that use or development has minimal disturbance to the natural environment and visual amenity of the area.*
7. The proposed residence is two storeys, standing, according to plans provided, 7.7m above level ground. Height restrictions for Dolphin Sands are set at 5m. Having the elevation of a 2+ storey residence is out of character and stands against the zone development standard outlined under 34.4.1

The applicant has stated that “The previous owner of the property bulldozed a component of the site flat down to AHD 1.3m”. An observation from the coastal reserve in front of nearby lots shows that there are two sets of dunes running parallel to the beach, with a consistent hollow running alongside. This hollow follows directly through the site in question. If the current AHD is 1.3m, there is every likelihood that the NGL at the site of the proposed dwelling was, if anything, built up already, not cut down.

8. The proposed residence is located so close to the beach that it will likely be visible from the beach which is out of character with the surrounding area. The applicant states “we do not believe the dwelling will be seen from Dolphin Sands Road”. They make no statement about visibility from the beach, which, given the nature of the area, is the primary boundary. There are photos of the beach, but no superimposed outlines of the proposed dwelling. Of particular interest is the visibility from the beach through the large, artificially cut-away section of frontal dunes.
9. None of the proposed residence should be visible from any part of the beach as this will ruin the natural, remote, and private amenity of Nine Mile Beach. Zone regulation 34.4.2 requires setback be compatible with prevailing setbacks on nearby lots. Compatible – “(of two things) able to exist or occur together without problems or conflict”. Prevailing – “having most appeal or influence”. The main feature here is the beach and the natural flow of the sand dunes. Increased setback increases the overall appeal of this area. This regulation cannot be met.

Zone regulation 34.4.2 further requires regard to amenity of adjoining lots and the visual impact of buildings when viewed in the landscape and from the foreshore.

The setback from the boundary facing the beach and coastal reserve is insufficient and not consistent. The proposed set back would place the dwelling much closer to southern boundary fronting the coastal reserve than any nearby property. The amenity of the natural flow of the dunes would be removed, as would there be visual impact caused by the building when the dunes are viewed from both within the landscape and on the foreshore.

10. The height of the finished residence exceeds the 5.0m maximum limit stipulated under solutions to Particular Purpose Zone 3, Section 34.4.1. Further, the applicant has stipulated that the site has already been levelled without providing any documentation, either by way of report or photo, to help identify the NGL. At the heights given, the proposed dwelling fails to satisfy 34.4.1 P1 criteria:
- a. It is very obtrusive.
  - b. It is not consistent with the surrounding pattern of development.
  - c. It does unreasonably impact the visual amenity of the neighbouring lots, in particular RA1120 to the west, through its height and bulk, despite the applicants' claims to the contrary.
11. According to Porter Davis Homes of Victoria, a state better known for extravagance than Tasmania is: "most ceiling heights in Australia are either 2.44m, 2.59m, or 2.74m high – with very few builders able to build up to 3.0m". Porter Davis Homes offer 3m ceiling heights only in the most prestigious homes. The ceiling level quoted as 2.7m for the second floor is at the high end of the scale, but the 3.5m ceiling height of the ground floor is excessive and entirely out of character with the area, which, even at single storey, do not have ceiling levels that high.
12. The Particular Purpose Zone Statement states:  
under 34.1.1.1: *To protect the environmentally fragile nature of the Dolphin Sands area particularly with respect to land stability, vegetation, wildlife and landscape amenity.*  
and under 34.1.1.2: *To ensure that use or development has minimal disturbance to the natural environment and visual amenity of the area.*  
In order to uphold the purpose for this special purpose zone, every step must be taken to keep development, building and activity away from the dunes, and especially those identified as being in the Coastal Erosion Hazard band. Consideration must be given that the proposed location for the dwelling is directly behind a dune that has been removed to gain vehicular access directly onto Nine Mile Beach through the reserve.
13. Maps obtained online via <https://maps.thelist.tas.gov.au/>, list many characteristics of the area. These characteristics highlight the importance of taking every extreme measure to protect the surrounding environment by maximising the setback from the shoreline. These include:
- a. Foreshore having Very High biological value and being vulnerable to disruption to natural creep and increased erosion.
  - b. High tourism value
  - c. Very High natural value.
  - d. Coastal Vulnerability with open sandy shore backed by soft sediment plain with potential erosion and shoreline recession vulnerability
  - e. Significantly disturbed foreshore with only moderate condition

- f. Coastal fauna significance with endangered species
- g. Altered coastal native vegetation requiring management.
- h. Coastal potential fauna habitat
- i. Area of soft sediment landform.

14. The proposed capacity of the dwelling being 6 persons is too large for safe ongoing operation and maintenance of the wastewater system. The low-lying land and the high water table do not lend themselves well to the proposed irrigation fields. This is particularly of concern given the applicant is seeking to use the residence for visitor accommodation.

Firstly, the irrigation field would need to be supported by significant deep-rooted grasses. The area is dotted with shallow-rooted Marram Grasses, but no other notable vegetation. If sufficient new deep-rooted vegetation could be introduced, it would require close and regular monitoring. Short-term rental guests are not known for respecting the fragile nature of septic systems and irrigation fields.

Secondly, even with best intentions, and supplying bio-friendly cleaners and shampoos, the owner will not have sufficient control over what ends up in the ground. A failure of the waste system will have immediate and detrimental impact on the water quality of the neighbours' bore water supplies. Even if the system did not fail, there is still insufficient separation between the level of the ground and the water table to avoid toxic chemicals, brought in and used by visitors, entering the underground water supply.

15. The applicant included figures from Geoton Pty Ltd, identifying water demands on the irrigation fields. The figures provided appear to be about one third of the figures quoted elsewhere. According to watertank supplier Rapidplas, standard water consumption is 340l per person per day. This is consistent with figures quoted by the Hunter Valley Council and even over in America by the USGS, who quote 378l per person per day.

All these figures are based on household water use in suburban areas. This application is not even within a suburban area. When investigating water use in coastal or dry areas, Dolphin Sands having significantly less rainfall than surrounding Coles Bay or Swansea, that figure increases to more than 6 times that quoted by Geoton. Again quoting Rapidplas, water use can increase to an average of 800l per person per day.

Geoton have also neglected to identify normal use of water by short-stay visitor accommodation users. According to European short-stay company Sol Og Strand, water consumption by short-stay visitors, excluding any water used in pools and spas, is 500l per person per day, more than four times the figure quoted by Geoton for average owner use in suburban areas.

Combine together the extra wastewater use for being a beach, and the extra wastewater use consistent with being as uninvested short-term visitor to the area, the two irrigation fields proposed, even with their included redundancy, are far from adequate, but very close to being an environmental disaster. In fact, the U.N. quotes tourist at beachside accommodation use 850l of water per person per day. Geoton's figure of 120l per day falls



well below any figure for average daily water consumption that I was able to find online. It is also assuming an annual average, which, in the case of a visitor accommodation rental, would not work. Short-stay visitor accommodation peaks over the hot summer months and other holiday periods. This will result in significantly higher than average use over significantly more compressed timeframes, placing great stress on the wastewater system, and endangering the bore water supply of neighbours.

16. Any development on this lot should ensure reduced pressure on the already damaged foredunes. The number of bedrooms should be limited to just one or two to reduce the environmental impact that people make walking over and through the foredunes. No increase in numbers should be considered until the damage to the foredunes and public reserve made by previous owners is completely overcome and consistent with the surrounding dune heights.
17. Amenity is not being preserved for neighbouring residents. This remote location provides a special array of amenity, including:
  - a. Peace and tranquillity on our property and the coastal reserve. The excessive elevation of the proposed dwelling will allow sound to carry.
  - b. Views of nature across dunes, vegetation and water. undisturbed by man-made obstacles or structures. The elevation of the proposed dwelling and proximity to the beach will make it stand out.
  - c. Privacy on the beach without being overlooked. The proposed dwelling is angled towards the beach, overlooking a large opening which has been removed from the foredunes.
  - d. Complete absence of streetlights and light from other dwellings entering neighbouring property or the coastal reserve. The elevation of the proposed dwelling and area of windows will allow light to enter the coastal reserve, the beach and at least one neighbouring house.
  - e. Unfenced property boundaries, allowing flowing nature.
  - f. Fresh health water from both rainfall and bore. Bore water quality may be impacted by the volume and content of waste generated by a 6 person dwelling, especially if visitor accommodation is provided.
  - g. Natural flow of dunes without visible buildings
  - h. No man-made structures visible from the beach, dunes or as far out as the sand-bar depth in the bay.
  - i. Residential area with very little activity
  - j. Neighbours respecting the privacy of each other.

18. Building within the Coastal Erosion Hazard band falls subject to the Coastal Erosion Hazard Code section E, objectives of which include:
- b. Minimum impact on natural coastal processes, however the angle of the dwelling will change the natural wind erosion process.
  - c. protecting vulnerable coastal areas including landward transgression of sand dunes, however building over a sand dune is denying this natural landward transgression.
  - d. Minimum impact on water quality in potable water supply catchment areas, however the sand is not capable of holding the effluent.
19. In keeping with the CEHC Code, Section E.16.1.1 identifies a purpose of the provisions to preclude development that will adversely impact coastal dynamics in a way detrimental to the development site and other property. Unless the removed section of dunes extending between the beach and the dwelling are reinstated and shored up, there will be accelerated erosion and inundation of this and neighbouring lots, leading to loss of usable land, contamination of bore water, and potentially rendering the wastewater treatment inoperable.
20. CEHC Code section E16.7.1 includes the following:
- a. *not increase the level of ...hazard for adjoining or nearby properties.*, however inundation due to premature erosion will increase the hazard due to the water and the presence of snakes and insects that it will attract. Premature inundation may also create a hazard as it destabilises the hill on which a neighbouring house sits.
  - b. *important natural features are adequately protected*, yet sand dunes are a prominent natural feature which will not be protected by building so close, nor by failing to address the significantly reduced height of the foredunes through the public reserve.
21. This lot has been the site of several offences. The existing residence was apparently not approved, a large section on foredunes were removed through the reserve, the number of land-users far exceeded the ability of the land to cope with the waste generated, and, most recently, a major bushfire was started through carelessness. With such a sordid history, the Glamorgan Spring Bay Council must exercise every precaution moving forward. Not only should the site be set back more from the beachfront, the height must be within the regulation 5.0m limit, the potential load on the wastewater reduced by reducing the number of bedrooms and bathroom, and the application for visitor accommodation refused, at least until those effected by that bushfire have fully recovered from its effects and more safeguards are put in place.

I believe there are more suitable sites further inland from the proposed location for the dwelling which will allow the coastal erosion hazard band to be rebuilt and protected, and will allow the dwelling to be sited so as to not make such undue impact on the character of the area and the amenity of neighbours and beach goers. Due to the risks associated with the load in wastewater, it would seem responsible to reduce the capacity of the dwelling well below 6 persons by removing, at a very minimum, one bedroom and 1 bathroom. A lowering of both overall height, especially the ground floor, to be more in keeping with that of surrounding dwellings would protect the natural landscape and amenity. Finally, the use of the land for visitor accommodation poses too high a risk to the safety of other residents and the wellbeing of the environment.

Thank you for taking the time to read the above points.

Yours Faithfully,

A solid black rectangular box used to redact a signature.

Greg Ingham  
General Manager  
Glamorgan Spring Bay Council  
Triabunna TAS 7190

22/10/21

The General Manager

Please accept this as our representation in the matter of Development Application DA2021 - 282 – 1130 Dolphin sands Road.

We wish to object to the plans on the basis that the building height is well over the 5m limit imposed under the planning code. It is impossible to tell the impact the height will have on the amenity from the southern (beach-side) boundary because there have been no measurements or impressions presented. The amenity of the view from 1120 Dolphin Sands Road will be ruined by the size of the building, right in their line of sight.

We also object to the position of the site, which is very close to the protected sand dunes and inside an area shown to be known for erosion.

It would be appreciated if more details would be made available regarding the previous levelling that has been referred to in the application. The author seemed to be unsure of many facts and making too many guesses which should all be clarified before going any further. A comparison to the land heights for at least two beachfront neighbouring properties on either side would also be useful in determining natural ground levels.

We are concerned that the quantities of water mentioned seem very low. 120 litres surely cannot be normal. Excluding garden use, our household uses over double that amount and we are very conscious of saving water, which is not easy in a beach setting. We find that when friends come to stay the usage is often 4-5 times our own usage as they are not used to the restrictions we live under. They immerse themselves quite literally in their vacation, although perhaps not as much as someone who has paid for the privilege of vacationing. Overloading the system for short periods may not have much long-term effect on salt accumulation in the root zone but overloading the system for even 1 day will result in immediate increased risk to public health from surface ponding and seepage, and heightens the long-term environmental effects to the soil, surface water, and crucially the groundwater. These risks cannot be proportioned over time. 4 double bedrooms, accommodating a minimum of 8 people without even considering sofa beds Given the risk to the aquifer, we must object to a building of that size being used for visitor accommodation.

Please provide the additional information on line-of-sight impacts from the height as well as the levelling that has been referred to when it becomes available.

Sincerely,



# Profit and Loss

Glamorgan Spring Bay Council

For the 4 months ended 31 October 2021

Account	YTD Actual	YTD Budget	Budget Var	Var %	2021/22 Budget	Notes
<b>Trading Income</b>						
Rate Revenue	9,814,326	9,816,548	(2,222)	0%	9,867,631	
Statutory Charges	315,458	241,336	74,122	31%	724,013	1
User Charges	336,565	218,724	117,841	54%	656,156	2
Grants	430,215	326,598	103,617	32%	1,465,416	3
Interest & Investment Revenue	110,176	7,476	102,700	1374%	229,641	4
Contributions	35,927	46,666	(10,739)	-23%	140,000	
Other Revenue	735,849	870,471	(134,622)	-15%	2,275,056	5
<b>Total Trading Income</b>	<b>11,778,516</b>	<b>11,527,819</b>	<b>250,697</b>	<b>2%</b>	<b>15,357,913</b>	
<b>Gross Profit</b>	<b>11,778,516</b>	<b>11,527,819</b>	<b>250,697</b>	<b>2%</b>	<b>15,357,913</b>	
<b>Capital Grants</b>						
Grants Commonwealth Capital - Other	371,428	1,500,000	(1,128,572)	-75%	5,462,080	
Grants Commonwealth Capital - Roads to Recovery	262,978	126,522	136,456	108%	506,087	
Grants State Capital - Other	124,123	450,000	(325,877)	-72%	775,000	
<b>Total Capital Grants</b>	<b>758,529</b>	<b>2,076,522</b>	<b>(1,317,993)</b>	<b>-63%</b>	<b>6,743,167</b>	6
<b>Other Income</b>						
Net Gain (Loss) on Disposal of Assets	9,471	0	9,471	0%	0	
Other Income - PPRWS Reimbursement of Principal Loan	0	0	0	0%	102,609	
<b>Total Other Income</b>	<b>9,471</b>	<b>0</b>	<b>9,471</b>	<b>0%</b>	<b>102,609</b>	
<b>Operating Expenses</b>						
Employee Costs	1,444,476	1,681,460	(236,984)	-14%	4,975,840	
Materials & Services	2,799,716	2,926,572	(126,856)	-4%	7,952,266	
Depreciation	921,564	921,564	0	0%	2,764,692	
Interest	35,044	75,700	(40,656)	-54%	227,106	
Other Expenses	61,707	75,164	(13,457)	-18%	225,505	
<b>Total Operating Expenses</b>	<b>5,262,507</b>	<b>5,680,460</b>	<b>(417,953)</b>	<b>-7%</b>	<b>16,145,409</b>	
<b>Net Profit</b>	<b>6,516,009</b>	<b>5,847,359</b>	<b>668,650</b>	<b>11%</b>	<b>(787,496)</b>	
<b>Total Comprehensive Result (incl Capital Income)</b>	<b>7,284,009</b>	<b>7,923,881</b>	<b>(639,872)</b>	<b>-8%</b>	<b>6,058,280</b>	

## Capital Works Program (Current Year WIP)

Work in Progress Capital Works - Plant Internal	17,278	0	17,278	0%	0
Work In Progress Payroll - Salaries and Wages	40,674	0	40,674	0%	0
Work in Progress Capital Works - On Costs	19,320	0	19,320	0%	0
Work in Progress Capital Works - Contractor Costs	409,626	0	409,626	0%	0
Work in Progress Capital Works - Other Costs	12,643	0	12,643	0%	0
Work in Progress Capital Works - Materials	284,700	0	284,700	0%	0
Work in Progress Capital Works - Consultancy	47,740	0	47,740	0%	0
Work in Progress Capital Works - Plant Hire External	10,491	0	10,491	0%	0
<b>Total Capital Works Program (Current Year WIP)</b>	<b>842,471</b>	<b>0</b>	<b>842,471</b>	<b>0%</b>	<b>0</b>

## Notes

- Statutory charges are above budget due to higher than forecast level of development applications.
- User charges are up on budget mainly due to the timing in collection of marina fees, where many are paid upfront instead of quarterly.
- Grant revenue is up \$118k on budget due to bringing forward of unspent funds from last financial year. It is anticipated works associated with these funds will occur in the coming months.
- Interest & Investment Revenue is up \$103k on budget due to early payment of TasWater interim dividend payment.
- Other Revenue is down by \$135k on budget YTD due to lower than forecast medical centre income.
- Total Capital Grants are down 53% (\$1.3M) on budget YTD due the timing of grant payments in line with project milestones.
- Employee Costs are down 14% on budget YTD mainly due to staff vacancies.
- Interest expenses are down by 18% due to timing issues with the reversal of interest accrued into last financial year.

# Statement of Financial Position

Glamorgan Spring Bay Council

As at 31 October 2021

Account	31 Oct 2021	30 Jun 2021
<b>Assets</b>		
<b>Current Assets</b>		
Cash & Cash Equivalents	4,908,406	3,018,850
Trade & Other Receivables	5,121,471	926,374
Other Assets	40,800	273,191
<b>Total Current Assets</b>	<b>10,070,677</b>	<b>4,218,415</b>
<b>Non-current Assets</b>		
Trade & Other Receivables	0	3,243
Investment in Water Corporation	30,419,394	30,419,394
Property, Infrastructure, Plant & Equipment	144,264,033	144,779,771
<b>Total Non-current Assets</b>	<b>174,683,427</b>	<b>175,202,408</b>
<b>Total Assets</b>	<b>184,754,104</b>	<b>179,420,823</b>
<b>Liabilities</b>		
<b>Current Liabilities</b>		
Trade & Other Payables	854,854	1,189,660
Trust Funds & Deposits	284,886	361,562
Provisions	664,932	664,932
Contract Liabilities	0	949,850
Interest bearing Loans & Borrowings	315,402	458,263
<b>Total Current Liabilities</b>	<b>2,120,075</b>	<b>3,624,268</b>
<b>Non-current Liabilities</b>		
Provisions	69,486	69,486
Interest Bearing Loans & Borrowings	7,838,574	7,844,169
<b>Total Non-current Liabilities</b>	<b>7,908,059</b>	<b>7,913,655</b>
<b>Total Liabilities</b>	<b>10,028,134</b>	<b>11,537,922</b>
<b>Net Assets</b>	<b>174,725,970</b>	<b>167,882,901</b>
<b>Equity</b>		
Current Year Earnings	6,843,069	1,683,188
Retained Earnings	82,682,948	81,033,102
Equity - Asset Revaluation Reserve	84,672,844	84,672,844
Equity - Restricted Reserves	527,109	493,767
<b>Total Equity</b>	<b>174,725,970</b>	<b>167,882,901</b>

# Statement of Cash Flows

Glamorgan Spring Bay Council

For the 4 months ended 31 October 2021

Account	YTD Actual	2020/2021 Actual
<b>Operating Activities</b>		
Receipts from customers	6,771,960	11,963,619
Payments to suppliers and employees	(4,675,698)	(13,745,304)
Receipts from operating grants	430,215	1,343,056
Dividends received	103,500	207,000
Interest received	6,676	20,989
Cash receipts from other operating activities	283,429	1,149,744
<b>Net Cash Flows from Operating Activities</b>	<b>2,920,082</b>	<b>939,104</b>
<b>Investing Activities</b>		
Proceeds from sale of property, plant and equipment	10,340	2,185,951
Payment for property, plant and equipment	(944,907)	(9,727,934)
Receipts from capital grants	1,016,029	3,826,281
Other cash items from investing activities	215,234	(212,892)
<b>Net Cash Flows from Investing Activities</b>	<b>296,696</b>	<b>(3,928,594)</b>
<b>Financing Activities</b>		
Trust funds & deposits	(76,676)	(172,910)
Net Proceeds/(Repayment) of Loans	(148,456)	1,066,733
Other cash items from financing activities	(1,102,090)	3,422,376
<b>Net Cash Flows from Financing Activities</b>	<b>(1,327,223)</b>	<b>4,316,199</b>
<b>Net Cash Flows</b>	<b>1,889,555</b>	<b>1,326,709</b>
<b>Cash and Cash Equivalents</b>		
Cash and cash equivalents at beginning of period	2,951,806	1,625,097
Cash and cash equivalents at end of period	4,841,361	2,951,806
<b>Net change in cash for period</b>	<b>1,889,555</b>	<b>1,326,709</b>

# Capital Works Detail

Glamorgan Spring Bay Council

as at 31 October 2021

New Capital	Actual YTD	2021/22 Budget	Government Funding	Council Funding	Project Progress	Details	Government Funding
<b>Roads, Footpaths, Kerbs</b>							
Freycinet Drive - Kerb at Kayak Rental to stop flooding	32,695	30,000	30,000		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Strip Rd Little Swanport - concrete overlay to hardstand floodway	-	30,000	30,000		Design progressing	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
R2R - Nugent Rd Seal - Carry forward from 2019/20 + EMF	6,357	50,000	40,775	9,225	Complete		
Bicheno walkway	102,386	403,000	403,000		construction progressing	Carried Forward from 2020/21	Drought Relief
DRG Swanwick Rd Footpath	17,509				Complete stage 1		
CDG Dolphin Sands Road shared pathway	12,685				Retention paid		
Triabunna Road Realignment re Cenotaph/RSL corner	-	115,000	115,000		Design progressing	Carried Forward from 2020/21	Drought Relief
Swansea Main Street Paving	34,767	1,000,000	1,000,000		Design progressing		Fed Grant Funding
<b>Total Roads, Footpaths, Kerbs</b>	<b>206,398</b>	<b>1,628,000</b>	<b>1,618,775</b>	<b>9,225</b>			
<b>Parks, Reserves, Walking Tracks, Cemeteries</b>							
Swansea Boat Trailer Parking	166,262	450,000	500,000		Complete	Carried Forward from 2020/21	DPIPWE Funds
Bicheno Triangle	17,626	580,000	600,000		Design continuing		Fed Grant Fund
Bicheno Gulch	21,039	1,490,000	1,500,000		Design continuing		Fed Grant Fund
Coles Bay Foreshore	32,652	950,000	1,000,000		Design continuing		Fed Grant Fund
Jetty Rd Bicheno - Beach Access, timber walkway installation	13,771	10,500	10,500		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Buckland Walk - rehabilitation	-	60,000	-	60,000		Carried Forward from 2020/21	
<b>Total Parks, Reserves, Walking Tracks, Cemeteries</b>	<b>251,350</b>	<b>3,540,500</b>	<b>3,610,500</b>	<b>60,000</b>			
<b>Stormwater &amp; Drainage</b>							
Holkham Crt Flood Mitigation	19,700				consulting on draft	Carried Forward from 2020/21	
Freycinet Drive CB Rock Line drain and culvert	17,444				complete	Carried Forward from 2020/21	
Triabunna Yacht club main install	24,521				Complete		
Holkham Court	-	265,000	-	265,000			
<b>Total Stormwater &amp; Drainage</b>	<b>61,665</b>	<b>265,000</b>	<b>-</b>	<b>265,000</b>			
<b>Plant &amp; Equipment</b>							
Crane Gantry Swansea - safe water tank removal	-	20,000	-	20,000	complete		
<b>Total Plant &amp; Equipment</b>	<b>-</b>	<b>20,000</b>	<b>-</b>	<b>20,000</b>			
<b>Total New Capital</b>	<b>519,413</b>	<b>5,453,500</b>	<b>5,229,275</b>	<b>354,225</b>			

Renewal of Assets	Actual YTD	2021/22 Budget	Government Funding	Council Funding	Project Progress	Details	Government Funding
<b>Roads, Footpaths, Kerbs</b>							
RTR - RSPG Rheban Rd Resheeting / realignment for bridge	-	100,000	50,000	50,000	programming	Carried Forward from 2020/21	RTR
Resheet - Old Coach Rd 3km	-	50,000		50,000			
Resheet - Sally Peak Rd 1km	14,092	17,000		17,000	Complete		
Resheet - Sand River Rd 1km	13,038	17,000		17,000	Complete		
Resheet - Seaford Rd 1km	17,450	34,000		34,000	complete		
Resheet - Strip Rd 2km	-	34,000		34,000			
Resheet - Bresnehan Rd 0.5km	376	8,500		8,500	complete		
Resheet - Medora St Pontypool 1km	-	17,000		17,000			
Resheet Nugent Rd	17,216	16,000		16,000	Complete		
Reseal	2,917	443,300		443,300	Tender closed		
Resheet - Mt Murray Rd	9,918	-		-	complete		
Emergency repairs Wielangta Rd	11,300				barrier hire		
Community Infrastructure Fund - Round 3 to be allocate	-	221,174	221,174				Community Infrastructure Fund - Round 3
Redesign and relocation of the Triabunna School crossing	-	31,000	31,000		consulting school on design		Community Infrastructure Fund - Round 3
Design	-	29,200		29,200			
Contingency	-	40,000		40,000	council contribution west shelly		
<b>Total Roads, Footpaths, Kerbs</b>	<b>86,305</b>	<b>1,058,174</b>	<b>302,174</b>	<b>756,000</b>			
<b>Parks, Reserves, Walking Tracks, Cemeteries</b>							
Bichenor BMX track refurbishment	-	20,000	20,000		Consultation commenced	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
<b>Total Parks, Reserves, Walking Tracks, Cemeteries</b>	<b>-</b>	<b>20,000</b>	<b>20,000</b>	<b>-</b>			
<b>Stormwater, Drainage</b>							
Alma Rd and Fieldwick Lane - Rockline drain and culvert improvements	25,321	125,000	125,000		Site works commenced	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Stormwater management planning, investigation & design	29,060	100,000		100,000	continued	Carried Forward from 2020/21	
39 West Shelley Beach Orford Main Upgrade	11,621				Materials procured	Carried Forward from 2020/21	
Stormwater and drainage to be allocated	-	77,000		77,000		Carried Forward from 2020/21	
<b>Total Stormwater, Drainage</b>	<b>66,002</b>	<b>302,000</b>	<b>125,000</b>	<b>177,000</b>			
<b>Buildings &amp; Facilities</b>							
RSL Cenotaph - new memorial c/fw project	-	10,000		10,000	Waiting on streetworks	Carried Forward from 2020/21	
Triabunna Medical Centre - Car Park reseal and line mark	24,752	45,000	45,000		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Bichenor Medical Centre - Car Park reseal and line mark	25,596	55,000	55,000		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Triabunna Marina - improve public facilities and shelters	40,016	40,863	40,863		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Coles Bay Tennis Courts - Basketball hoop installation	1,365	3,000	3,000		Complete	Carried Forward from 2020/21	Community Infrastructure Fund - Round 2
Buckland Community Hall - ramp access	-	45,000	45,000		In progress	Carried Forward from 2020/21	Community Infrastructure Fund
Buckland Community Hall - stairs	-	55,000	55,000		In progress	Carried Forward from 2020/21	Drought Relief
Bichenor Medical Centre - Refurb Treatment Room	-	25,000	25,000		In progress	Carried Forward from 2020/21	Community Infrastructure Fund
Swansea SES CCTV	1,163				Complete		Community Infrastructure Fund - Round 2
Swansea Courthouse Drainage Works	-	10,000	25,000		Complete	Carried Forward from 2020/21	Community Infrastructure Fund
Swansea Courthouse - refurbish toilet and install disabled/unisex toilet	-	60,000	60,000		Concept		Community Infrastructure Fund - Round 3
Coles Bay Community Hall - Replacement of Annexe, Medical Room, Kitchen and Library	-	180,000	180,000		Design progressing		Community Infrastructure Fund - Round 3
Swansea Community Hall - Toilet Refurbishment	53,705				Complete	Carried Forward from 2020/21	Community Infrastructure Fund
Spring Beach Toilet Refurbishment	-	65,000	65,000		Sched 2022		Community Infrastructure Fund - Round 3
<b>Total Buildings &amp; Facilities</b>	<b>146,596</b>	<b>593,863</b>	<b>598,863</b>	<b>10,000</b>			



Marine Infrastructure	Actual YTD	2021/22 Budget	Government Funding	Council Funding	Project Progress	Details	Government Funding
Pylon Replacement - Marina	-	100,000		100,000	In progress		
Saltworks Toilet & Car park	-	245,000	245,000		Design progressing		Community Infrastructure Fund - Round 3
Saltworks Jetty Upgrade	-	100,000	100,000		Design progressing	Carried Forward from 2020/21	State Grant
<b>Total Marine Infrastructure</b>	<b>-</b>	<b>445,000</b>	<b>345,000</b>	<b>100,000</b>			
<b>Bridges, Culverts</b>							
Orford Bridge Replacement	2,950				revegetation complete	Contract Complete. Rehabilitation to finalise project	\$1.02m project started May 2019. Fully Federal Grant funded
Holkham Crt Culvert	-	50,000	56,087		Design progressing	Carried Forward from 2020/21	Community Infrastructure Fund
RTR - EMF Rheban Rd Griffith River Bridge	5,100	280,000	300,000		work commenced	Carried Forward from 2020/21	RTR 25% EMF75%
<b>Total Bridges, Culverts</b>	<b>8,050</b>	<b>330,000</b>	<b>356,087</b>	<b>-</b>			
<b>Plant &amp; Equipment</b>							
IT Computer Equipment	11,222	30,000		30,000			
Medical Equipment	-	20,000		20,000			
Replace Ute x 2 (2007/2008)	-	57,000		57,000	complete		
Replace Mayor Vehicle (2016)	-	37,000		37,000	Complete		
Replace Tipper Truck (2014)	-	80,000		80,000	Procurement commenced		
Replace Medium Truck (2014)	-	80,000		80,000	Procurement commenced		
Replace Toro Groundmaster (2014)	-	40,000		40,000	complete		
Replace Tanderm Trailer	4,883	6,000		6,000	complikete		
<b>Total Plant &amp; Equipment</b>	<b>16,104</b>	<b>350,000</b>	<b>-</b>	<b>350,000</b>			
<b>Total Renewal Capital</b>	<b>323,057</b>	<b>3,099,037</b>	<b>1,747,124</b>	<b>1,393,000</b>			
<b>Total Capital Works</b>	<b>842,471</b>	<b>8,552,537</b>	<b>6,976,399</b>	<b>1,747,225</b>			

842,471  
- 0

Note: carried forward amounts for existing projects from previous financial year will be updated in future reports



9 Melbourne Street (PO Box 6)  
Triabunna TAS 7190

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☎ 03 6256 4774

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🌐 [www.gsbc.tas.gov.au](http://www.gsbc.tas.gov.au)

### COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	ORFORD PRIMARY SCHOOL ASSOCIATION	
Postal address	35 CHARLES STREET	
Contact person	MELANIE SCOTT	
Role if group applying	TREASURER	
Contact number		
Email address		
Is your organisation an incorporated body?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Project title and brief description (If insufficient space, please attach additional sheet)		
SUMMIT NET PLAYGROUND EQUIPMENT		
<p>The School Association is wanting to support the Orford Primary School by installing a 'Summit Net' (climbing equipment). This will replace current equipment that is dated and no longer suitable.</p> <p>* A fair will be held next year to raise funds for this project.</p>		
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations).		
<p>The installation of a 'Summit Net' will provide our students and the wider community the opportunity to further develop their gross motor skills in a safe environment. We do not currently have equipment that allows our students to climb in this way.</p>		
Funding sought from Council	\$ 1,000.00	
Funding to be contributed by you or your organisation (Approx)	\$ 24,000.00	
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	\$	
Total Project Expenses	\$ 25,000.00	
Signed		
Name (Please print)	MELANIE SCOTT	
Date	8. 11. 2021	
*Details of other contributors:		



**GLAMORGAN  
SPRING BAY  
COUNCIL**

9 Melbourne Street (PO Box 6)  
Triabunna TAS 7190

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🌐 [www.gsbc.tas.gov.au](http://www.gsbc.tas.gov.au)

### COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	Raspins Beach Surf Lifesaving Club	
Postal address	[REDACTED]	
Contact person	Caroline Lamont	
Role if group applying	Committee Member	
Contact number	[REDACTED]	
Email address	[REDACTED]	
Is your organisation an incorporated body?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Project title and brief description (If insufficient space, please attach additional sheet)		
Please see attached document		
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations.)		
Please see attached document.		
Funding sought from Council	\$	928.00
Funding to be contributed by you or your organisation	\$	0.
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	\$	0.
Total Project Expenses	\$	928.00
Signed	[Signature]	
Name (Please print)	Caroline Lamont.	
Date	8 October 2021.	
*Details of other contributors:	Nil.	

## COMMUNITY SMALL GRANTS PROGRAM APPLICATION PACKAGE

**Name of applicant:** Raspins Beach Surf Lifesaving Club

**Postal address:** [REDACTED]

**Contact person:** Caroline Lamont

**Role if group applying:** Committee Member

**Contact number:** [REDACTED]

**Email:** [REDACTED]

**Is Org an incorporated body?** No

### Project title and brief description

Raspins Beach Surf Lifesaving Club Nippers Season 2021/22.

Raspins Beach Surf Lifesaving club was established in 2018 to run a Nippers program for children 5-13years old. The club operates during the summer holidays to provide this program to the community and is open to participants from Swansea to Buckland. The club is a not-for-profit organisation and is run by a small committee of local volunteers. Without the commitment of these volunteers the club would not be in existence. The club is supported by Surf Lifesaving Tasmania (SLST) and the parents/guardian of the participants

The club is still developing, however our first three seasons have been very successful with a total of 105 Nippers participating. Although initially the club had a member who held the necessary qualifications to run a Nippers program, at present we are lacking a member with these qualifications. Therefore, this season we will need to pay a qualified instructor, supplied by SLST and assisted by parents/guardians who will receive appropriate training from SLST before the season commences.

### Outline the intended outcomes of the project

Raspins Beach Surf Lifesaving Club wishes to provide a Nippers program to the community in 2021/22. The benefits of this program to the participants and their families is invaluable. With the lack of a local swimming centre this program provides children with fundamental skills and confidence for safety around water. Nippers encourages children to have fun and develop their skills so they can enjoy the beach and one day might be able to save themselves or someone else.

All Nippers pay a registration fee of approximately \$40 which covers insurance. The clubs aim is to keep the cost to families to a minimum in order to encourage all families the opportunity to participate.

If successful in gaining this grant the club would be able to provide a Nippers 4 week program consisting of 4x sessions: Friday 14 January, 21 January, 28 January, 4 February 2022.

Instructor required for 4 hours per session (Program 9am-11am and 2 hours travel).

1x Instructor @ \$58/hour = \$928 (standard SLST charge).

Thank you, Caroline on behalf of the Raspins Beach Surf Lifesaving Club.





9 Melbourne Street (PO Box 6)  
Triabunna TAS 7190  
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■ [www.gsbc.tas.gov.au](http://www.gsbc.tas.gov.au)

## COMMUNITY SMALL GRANTS APPLICATION FORM

Name of applicant	Triabunna District School Association
Postal address	15 Melbourne St Triabunna
Contact person	Melissa Quinn
Role if group applying	Secretary
Contact number	[REDACTED]
Email address	[REDACTED]
Is your organisation an incorporated body?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Project title and brief description (If insufficient space, please attach additional sheet)	
<p>The Triabunna District School lunch program at Triabunna has been a fantastic program to have at school, to be able to deliver the whole school a two course hot meal once a week. This is supporting students &amp; families with food poverty. Serving food grown &amp; supplied in our local community.</p>	
Outline intended outcomes of the project (for example, benefits of the project to the community, support from any other groups or organisations).	
<p>The outcome is to purchase 2 outdoor seating tables for the prep one area as there is not enough seating available for students to sit together to have lunch.</p>	
Funding sought from Council	\$ 1000.00
Funding to be contributed by you or your organisation	\$ 1343.00
Funding to be contributed from other organisations (Provide details below of confirmed or anticipated contributions *)	\$ —
Total Project Expenses	\$ 2343.00
Signed	
Name (Please print)	Melissa Quinn
Date	3/11/21
*Details of other contributors:	Please see attached note.





**PARK MASTER**  
QUALITY PARK FURNITURE

A SUBSIDIARY OF  
**STURDYBILT**  
IRONWORKS PTY LTD

22<sup>nd</sup> September 2021

Agenda Item 8.3 - Attachment 2

## ACTION REPORT

**Triabunna District School Parents and Friends**  
15 Melbourne Street  
Triabunna 7190

Attention: Melissa Quinn

To supply fully assembled outdoor furniture as follows:

2m aluminium park settings \$1280Each+GST  
2m long x 700mm high  
Seats 400mm high

*AA* 1.5m aluminium junior park settings (early Childhood) \$ 990Each+GST  
1.5m long x 550mm high  
Seats 300mm high

Delivery to Triabunna \$150+GST

50% deposit required  
50% balance upon completion

All prices shown **EXCLUDE GST**  
Quote valid for 30 days

Due to the Volatility of world markets, quoted prices presume  
availability of raw materials

Delivery: 3 weeks

Regards

*Kathryn Cunningham*

**THANK YOU FOR ALLOWING US TO QUOTE**



**Gordon Street Boat Ramp – Proposed Remedial Repairs**



## Licence

Dated 28 April 2011

**The Director of National Parks ("Licensor")  
Parks & Wildlife Service**

and

**Glamorgan – Spring Bay Council  
("Licensee")**

**The Crown Solicitor of Tasmania**  
GPO Box 825  
Hobart 7001  
Phone: (03) 6233 3409  
Fax: (03) 6233 2874  
Email: [crown.solicitor@justice.tas.gov.au](mailto:crown.solicitor@justice.tas.gov.au)

# Licence

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# Licence

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## Details

<b>Parties</b>		<b>Licensor, Licensee</b>
<b>Licensor</b>	<b>Name</b>	<b>Kim Ronald Evans, (the Director of National Parks and Wildlife appointed under the Act) (“Licensor”).</b>
	<b>Address</b>	C/- Parks and Wildlife Service Department of Primary Industries, Parks, Water & the Environment, 134 Macquarie Street, Hobart, Tasmania, 7000; or GPO Box 1751, Hobart, Tasmania, 7001
	<b>Fax</b>	(03) 6233 5541
<b>Licensee</b>	<b>Name</b>	<b>Glamorgan - Spring Bay Council (“Licensee”).</b>
	<b>Address</b>	PO Box 6, Triabunna TAS 7190
	<b>Fax</b>	(03) 6257 4774
<b>Recitals</b>	<b>A</b>	The Licensor holds delegated authority under Section 48(8) of the Act, to exercise the Minister’s powers under section 48 of the Act.
	<b>B</b>	The Licensor has agreed to grant the Licensee a Licence under Section 48 of the Act on the following terms.
	<b>C</b>	The Licensee has agreed to accept a Licence on the following terms.
<b>Date of Licence</b>		See Signing page

# General terms

---

## 1 Definitions and interpretation

### 1.1 Definitions

In this Licence, unless the contrary is expressed or the context requires otherwise:

**“Act”** means the *National Parks and Reserves Management Act 2002* (Tas);

**“Business Day”** means a day on which authorised deposit-taking institutions (as defined in the *Banking Act 1959* (Cwlth)) in Hobart are open for general banking business, excluding Saturdays, Sundays and public holidays;

**“Commencement Date”** means 1 October 2010;

**“Contamination”** means a solid, liquid, gas, odour, heat, sound, vibration, radiation or substance of any kind that:

- (a) makes, or may make, the Land unsafe, unfit or harmful for habitation, use or occupation by any person or animal; or
- (b) is such that the Land does not satisfy all applicable laws or the criteria, standards or guidelines published, or adopted by any regulatory agency that has jurisdiction over the Land;

**“Fee”** means \$0.10 per year, if demanded, until the Licensor gives the Licencee notice under clause 3(b) of a new Fee;

**“Interest Rate”** means the same rate as is prescribed under section 36(a)(ii) of the *Crown Lands Act 1976* (Tas);

**“Land”** means the land described in Schedule 1, including any structures on it owned by the Licensor;

**“Licence”** means this instrument;

**“Licensee”** includes the Licensee’s employees, authorised contractors, sub-contractors, agents, licensees and invitees and any other person claiming through or under the Licensee;

**“Licensor”** means the Minister or his or her delegate named and described in the Details;

**“Minister”** means the Minister from time to time responsible for administering the Act;

**“Permitted Use”** means the right to occupy the Land;

- (a) for the purpose described in Schedule 2; and
- (b) for all reasonably necessary ancillary activities.

**“Regional Manager”** means the person performing the duties of Regional Manager for the Parks and Wildlife Service Region in which the Land is located;

**“Term”** means 25 years starting on 1 October 2010;

## 1.2 Interpretation

In this Licence, unless the contrary is expressed or the context requires otherwise:

- (a) a reference to this Licence includes its schedules, appendices, annexures and attachments, and any variation or replacement of any of it;
- (b) a reference to a statute, ordinance, code or other legislative instrument includes regulations and other instruments under it and consolidations, amendments, re-enactments or replacements of any of them;
- (c) the singular includes the plural and conversely;
- (d) a reference to a gender includes reference to each other gender;
- (e) a reference to a person includes:
  - (i) an individual, a firm, a body corporate, an unincorporated association or a statutory or responsible authority or other authority, as constituted from time to time; and
  - (ii) the person’s executors, administrators, successors and permitted assigns;
- (f) an agreement, representation or warranty by, or for, two or more persons binds them, or is for their benefit, together and separately;
- (g) a covenant forbidding a person from doing something, also forbids that person from authorising or allowing another person to do it;
- (h) a reference to anything (including an amount) is a reference to all or any part of it, and a reference to a group of persons is a reference to any one or more of them;
- (i) a reference to a clause, paragraph, schedule, annexure, appendix or attachment, is a reference to a clause, paragraph, schedule, annexure, appendix or attachment in or to it;
- (j) a reference to “writing” includes a reference to printing, typing, lithography, photography and other methods of representing or

reproducing words, figures, diagrams and symbols in a tangible and visible form;

- (k) a reference to a day is to be interpreted as the period of time starting at midnight and ending 24 hours later;
- (l) a reference to a month or a year means a calendar month or a calendar year respectively;
- (m) words or phrases derived from a defined word have a corresponding meaning to the defined word;
- (n) a term of inclusion is not to be interpreted to be a term of limitation;
- (o) all references to monetary sums in it, are to Australian currency;
- (p) a reference to the payment of money within a specified time, means the full clearance of any cheque into the payee's account within that time;
- (q) it operates under Tasmanian time;
- (r) if the day on or by which an act, matter or thing is to be done under it is not a Business Day, then that act, matter or thing must be done no later than the next Business Day;
- (s) an uncertainty or ambiguity in the meaning of a provision is not to be interpreted against a party only because that party prepared the provision; and
- (t) headings are included for convenience only, do not form part of it, and are not to be used in its interpretation.

---

## **2 Grant of Licence**

The Licensor grants to the Licensee, and the Licensee accepts, a Licence under Section 48 of the Act, to occupy the Land for the Term on the terms and conditions in this Licence.

---

## **3 Fee**

- (a) The Licencee must pay the Fee annually in advance.
- (b) The Licensor may give the Licensee at least three months prior written notice of a new Fee to apply from the start of the next year of the Term.

## **4 Licence conditions**

### **4.1 Covenant to observe conditions**

The Licensee covenants with the Licensor to observe the following conditions:

- (a) to pay the Fee as required under clause 3;
- (b) to comply with the terms of this Licence, including any special provisions in Schedule 2;
- (c) to comply with the Licensor's directions about use of the Land;
- (d) to comply punctually with all notices received from the Licensor, any health, police, municipal, fire or other authority about:
  - (i) the Land;
  - (ii) the Permitted Use;
  - (iii) any Contamination of the Land or waters adjacent to the Land; and
  - (iv) any remediation of the Land or waters adjacent to the Land;
- (e) to comply with:
  - (i) the terms of any applicable management plan, whether now in force or that commences during the Term; and
  - (ii) all laws, by-laws, regulations, State Policy and other requirements of any Federal, State or local authority that in any way affect either or both the Land and the Permitted Use;
- (f) to occupy the Land solely for the Permitted Use;
- (g) to give immediate written notice to the Licensor of:
  - (i) receipt of any notice referred to in paragraph (d); and
  - (ii) any damage or defect in the Land caused or arising as a result of exercising any of the rights conferred under this Licence;
- (h) to cease using the Land for the Permitted Use immediately, as the Licensor directs, in an emergency;
- (i) not, on the Land:
  - (i) to sell or hire out, offer or expose for sale or hiring out, or have possession of, for selling or hiring out, any article, material or other thing; or



- (ii) to provide, offer to provide or hold out as willing to provide, any service or facility for any monetary or other consideration;
- (j) not do anything in relation to the Land that, in the Licensor's opinion, will or may result in Contamination of the Land, or land or waters adjacent to the Land;
- (k) not cut or remove any standing or fallen tree, or disturb ground soil, on the Land without the Regional Manager's prior written approval;
- (l) not to light a fire on the Land without the Regional Manager's prior written approval;
- (m) to keep and leave the Land and any Licensee's structures on it:
  - (i) in a clean and tidy condition; and
  - (ii) in a safe state and condition for everyone who enters the Land;

during the Term;
- (n) not to:
  - (i) erect any building or structure; or
  - (ii) alter any existing building or structure;

on the Land without obtaining the Regional Manager's prior written consent, which may be given or withheld entirely at the Regional Manager's discretion;
- (o) not to assign, sub-Licence, share, transfer, grant any mortgage, charge or other security interests in, or otherwise deal with, all or any part of the Licensee's rights, benefits or obligations under this Licence without the Licensor's prior written consent, which may be given (conditionally or unconditionally), or withheld, entirely within the Licensor's discretion;
- (p) not to do, in relation to the Land during the Term, anything that, in the Regional Manager's opinion, is or may become, a nuisance or annoyance to others using or enjoying the Land or any area near the Land; and
- (q) to permit the Licensor, with or without workmen, to enter upon the Land at all reasonable times to review the Licensee's compliance with the terms of this Licence.

**4.2 Determination of Licence**

On the expiration or sooner determination of this Licence, the Licensee must cease to exercise the rights conferred under it and leave the Land in a condition consistent with the Licensee's obligations under this Licence.

**4.3 Notice to repair**

Upon receipt of notice from the Licensor or any Federal, State or local authority having jurisdiction, the Licensee must repair, remedy or otherwise make good all damage to the Land caused during the Term.

**4.4 Licensee to pay rates**

- (a) If municipal rates on the Land are demanded:
  - (i) directly of the Licensee, then the Licensee must pay that amount punctually to the council; or
  - (ii) of the Licensor, then the Licensee must pay to the Licensor on demand, a fair proportion (as assessed by the Licensor) of those rates.
- (b) If the Licensor considers it appropriate, the "fair proportion" may be the whole of the assessed rates.

**4.5 Licensor may recover costs**

The Licensee must pay to the Licensor, on demand:

- (a) all money the Licensor expends to undertake work that is the Licensee's responsibility under this Licence;
- (b) all reasonable costs the Licensor incurs in doing so; and
- (c) interest on all those amounts, at the Interest Rate, from the date they are spent or incurred, until the date of payment.

**4.6 Licensor not responsible**

The Licensor is not responsible:

- (a) to identify or locate the boundaries of the Land on site;
- (b) to construct, maintain or repair any fence, gate, road, track, drain or bridge on the Land, or used to gain access to the Land; or
- (c) for any erosion mitigation or other works associated with the Land or with the protection or maintenance of the Licensee's personal property, structures or other improvements.

**4.7 Licensee must remove property**

When this Licence expires or is terminated, the Licensee must:

- (a) remove all the Licensee's personal property from the Land;
- (b) remove any Licensee's structures or other improvements from the Land, unless otherwise notified in writing by the Licensors; and
- (c) make good all damage caused by removal of that property or those structures or other improvements;

to the Licensors's satisfaction.

#### **4.8 Fencing, structures and other improvements remaining on the Land**

The Licensee acknowledges that, at the Licensors's discretion, all fencing, structures and other improvements remaining on the Land without the Licensors's consent, after this Licence expires or is terminated, may either:

- (a) become the Licensors's property without obligation to compensate the Licensee (unless compensation is payable under section 55 of the Act); or
- (b) be removed from the Land at the Licensee's cost and disposed of by the Licensors without obligation to consult with, or account to, the Licensee.

---

## **5 Licensee's indemnities and waiver**

### **5.1 Licensee indemnifies Licensors for third party risk**

The Licensee indemnifies the Licensors against all present and future legal liability, claims, or proceedings for:

- (a) either or both loss of, or damage to, property of a third party; and
- (b) financial loss of a third party;

arising from, or attributable to, a wrongful (including negligent) act or omission of the Licensee or the Licensee's employees, agents or sub-contractors.

### **5.2 Waiver of rights of recovery from the Licensors**

The Licensee waives all present and future rights to claim against the Licensors for:

- (c) personal injury to, or death of, the Licensee;
- (d) either or both loss of, or damage to, any of the Licensee's property; and
- (e) financial loss to the Licensee;

arising from, or attributable to, a wrongful (including negligent) act or omission of the Licensee or the Licensee's employees, agents or sub-contractors.

### 5.3 Nature of indemnities and waiver

The indemnities and waiver in this clause 5:

- (a) do not extend to liability caused by the Licensor's wrongful (including negligent) act or omission;
- (b) are continuing obligations of the Licensee, separate and independent from any other obligations; and
- (c) survive the termination of this Licence.

### 5.4 When clause 5.1 has no legal effect

So far as it relates to an act or omission of an agent or sub-contractor of the Licensee, clause 5.1 has no legal effect if the Licensee can show that it took all reasonable and prudent precautions to ensure that the agent or sub-contractor held effective insurance against the risks described in clause 5.1, from a reputable insurer lawfully carrying on insurance business in Australia, at all times while the agent or sub-contractor was on the Land.

---

## 6 Insurance

### 6.1 Licensee to insure

The Licensee must hold and keep current throughout the Term, and for as long as the Licensee occupies the Land, contracts of insurance with a reputable insurer lawfully carrying on insurance business in Australia, indemnifying:

- (a) the Licensee's liability for:
  - (i) personal injury to, or death of, a third party; and
  - (ii) either or both loss of, or damage to, the property of a third party;

for at least Five Million Dollars for each individual claim or series of claims arising out of a single occurrence, or for such other sum as the Licensor reasonably determines;
- (b) the Licensee's liability for workers' compensation; and
- (c) any other risks that the Licensor reasonably requires the Licensee to insure against, for the amount stipulated by the Licensor, to the extent that the claim for indemnity is not caused by the Licensor's wrongful (including negligent) act or omission.

The liability to be insured against under paragraph (a) is liability arising from, or attributable to, the Licensee's occupation or use of the Land, to the extent that the injury, death, damage or loss is caused by a wrongful (including negligent) act or omission of the Licensee, the Licensee's

employees, agents or sub-contractors or any other person claiming through or under the Licensee.

## **6.2 Crown to be named as principal**

- (a) Insurance under clause 6.1(a) must include a "Principal's Indemnity Extension Clause" under which the policy is extended to indemnify the Crown in Right of Tasmania as Principal under the insurance contract.
- (b) The liability to be insured against is liability arising from, or attributable to, the Licensee's occupation or use of the Land, to the extent that the injury, death, damage or loss is caused by a wrongful (including negligent) act or omission of the Licensee or the Licensee's employees. This extension does not extend to any negligent acts, errors or omissions of the Crown in Right of Tasmania its staff or agents themselves.

## **6.3 Licensee to notify Licensor**

The Licensee must notify the Licensor in writing as soon as practicable:

- (a) if an insurance contract referred to in clause 6.1 lapses, is cancelled or is materially altered; or
- (b) if the Licensee claims, or becomes entitled to claim, under such an insurance contract for something related to the Licensee's occupation or use of the Land.

## **6.4 Evidence of insurance**

The Licensee must give the Licensor evidence of:

- (a) the terms of; and
  - (b) payment of the premium for;
- each insurance contract referred to in clause 6.1,
- (c) before the Licensee starts to exercise rights under the Licence; and
  - (d) before each due date for renewal of each such insurance contract.

## **6.5 Licensor may insure**

If the Licensee fails to hold or renew each insurance contract required under clause 6.1, then without being obliged to do so, the Licensor may:

- (a) take out or renew an insurance contract that the Licensee does not hold or has not renewed; and
- (b) pay any unpaid premium.



The Licensee must pay to the Licensor, on demand, all costs that the Licensor incurs to do that, and interest on those costs, at the Interest Rate, from the date of outlay to the date of payment.

#### **6.6 Licensee not to prejudice insurance**

The Licensee must not do anything that may result in insurance under clause 6.1, or any part of it, becoming invalid or unenforceable.

#### **6.7 When clause 6.1 has no legal effect**

So far as it relates to an act or omission of an agent or sub-contractor of the Licensee, clause 6.1 has no legal effect if the Licensee can show that it took all reasonable and prudent precautions to ensure that the agent or sub-contractor held effective insurance against the risks described in clause 6.1, from a reputable insurer lawfully carrying on insurance business in Australia, at all times while the agent or sub-contractor was on the Land.

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### **7 Termination of Licence**

#### **7.1 Either party may terminate**

- (c) The Licensee may terminate this Licence by giving the Licensor three calendar month's prior written notice, expiring at any time.
- (d) The Licensor may terminate this Licence by giving the Licensee twelve calendar month's prior written notice, expiring at any time.
- (e) This Licence automatically terminates when a notice given under paragraph (a) or paragraph (b) expires.

#### **7.2 Refund of unexpired Fee**

When a party terminates this Licence under clause 7.1, the Licensor must refund to the Licensee, a proportionate part of any prepaid Fee.

#### **7.3 Licensor may cancel for breach of condition**

The Licensor may cancel this Licence, if the Licensor considers that the Licensee has committed a breach of any condition of the Licence and, on notice served on the Licensee by the Licensor specifying the breach and requiring the Licensee to satisfy the Licensor within a period specified in the notice that the Licensee has not committed the breach, the Licensee fails so to do.

#### **7.4 Licensor may terminate for insolvency**

If the Licensee is a natural person, who:

- (a) commits an act of bankruptcy;
- (b) is made bankrupt; or

- (c) becomes subject to an arrangement under Part IV of the *Bankruptcy Act 1966* (Cwlth);

or is a corporation, that:

- (d) is wound up (other than for the purpose of restructure);
- (e) has a controller appointed;
- (f) comes under administration under the *Corporations Act 2001* (Cwlth);
- (g) is subject to an order for winding up or reconstruction; or
- (h) has a receiver, a receiver and manager, an agent in possession, a trustee or guardian appointed to its property;

then the Licensor may either:

- (i) give written notice to the Licensee that this Licence is cancelled, upon receipt of which this Licence will determine; or
- (j) proceed by appropriate court action to enforce performance by the Licensee of the applicable terms of this Licence or to recover damages for their breach.

#### **7.5 Antecedent breach**

A termination of this Licence under clause 7.1, 7.3 or 7.4 is without prejudice to the Licensor's rights or remedies for arrears of the Fee, for any other moneys owing or for any other antecedent breach of this Licence.

#### **7.6 No compensation payable on termination**

Except under section 55 of the Act, no compensation is payable to the Licensee upon termination or cancellation of this Licence.

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### **8 Holding over**

If the Licensee continues to occupy the Land, after the Term expires, then the Licensee will hold the Land from the Licensor as a licensee from month to month:

- (a) at the Fee payable under this Licence when the Term expires, calculated on a monthly basis; or
- (b) any other Fee that is agreed upon from time to time.

That Fee must be paid in advance and upon the terms and conditions of this Licence so far as they are applicable to a monthly licence. Either party may terminate the monthly licence by giving the other not less than one month's written notice expiring at any time.

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## **9 Transfer of Licence**

The Licensee must not attempt to transfer the Licensee's interest in this Licence except as provided under section 49 of the Act.

---

## **10 Notices**

### **10.1 How to give a notice**

A notice, claim, consent or other communication to be given or made under this Licence is taken to have been duly given or made when:

- (a) hand delivered in writing; or
- (b) sent by prepaid certified or registered post; or
- (c) sent by facsimile transmission from a facsimile machine that produces a print out of the time date and uninterrupted transmission record of sending the notice (to the listed facsimile number);

to the party to whom the notice, claim, consent or communication is to be given or made under this Licence, at their address for notices in Schedule 1, or such other address as is notified to each other party from time to time.

### **10.2 Service of a notice**

A notice, demand, written consent or other communication is taken to have been duly served:

- (a) in the case of hand delivery, when delivered;
- (b) if sent by prepaid post, certified or registered post, on the third Business Day after the date of posting;
- (c) if sent by facsimile transmission (if the sending facsimile machine produces a print out of the time date and uninterrupted transmission record of the sending of the notice), upon completion of sending, if completion is within ordinary business hours in the place where the recipient's facsimile machine is located, but if not, then at 9.00 am on the next Business Day in that place.

### **10.3 Who can sign a notice**

A notice, demand, consent or other communication given, or made, under this Licence is sufficient if:

- (a) in the case of the Licensor, it is under the hand of the Licensor, the Licensor's delegate or the Licensor's authorised agents or solicitors;
- (b) in the case of the Licensee, it is under the hand of the Licensee or the Licensee's agents or solicitors.

**10.4 Signatures**

A printed or copied signature is sufficient for the purposes of sending a notice, demand, consent, or other communication by facsimile machine.

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**11 Licensee's risk**

If the Licensee is required to do anything, or cause anything to be done under this Licence, then the doing of that act, matter or thing is at the Licensee's sole risk and expense unless otherwise expressly provided.

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**12 Relationship of parties**

Nothing in this Licence is to be construed to create any relationship between the parties other than the relationship of Licensor and Licensee upon the terms of this Licence.

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**13 Exercise of powers**

**13.1 Licensor may delegate**

The Licensor may exercise any powers, authorities and discretions through permanent officers or any other person appointed in writing for that purpose.

**13.2 Licensor's consent**

If the Licensor's consent is required under this Licence, the Licensor may give (conditionally or unconditionally), or withhold, the consent at the Licensor's absolute and unfettered discretion, without giving reasons for doing so.

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**14 Costs**

The Licensee must pay to the Licensor, on demand, all the Licensor's costs, on a full indemnity basis, of and incidental to:

- (a) the preparation, execution, and completion of:
  - (i) this Licence;
  - (ii) any extension or renewal of this Licence;
  - (iii) any arrangement for holding over occupation of the Land, under clause 8 of this Licence;
- (b) any consent, approval, waiver or amendment made under or to this Licence;
- (c) any assignment or sub-licensing made under this Licence;
- (d) any surrender or termination of this Licence otherwise than by effluxion of time; and

- (e) the actual or contemplated enforcement or exercise of any rights or powers of the Licensor following a default or breach of any covenant of this Licence.

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## **15 GST**

### **15.1 GST exclusive**

Subject to any other provision of this Licence expressing a contrary intention, if GST is imposed on a supply made under it, then the party paying for the supply must pay the amount of the GST to the party making the supply, at the same time as, and in addition to, the amount payable for the supply.

### **15.2 Tax invoice**

A party making a taxable supply under this Licence must give the recipient a tax invoice for the taxable supply when that supply is made.

### **15.3 Interpretation**

In this clause, "GST" refers to goods and services tax under *A New Tax System (Goods and Services) Act 1999* (Cwlth) and the terms used have the same meanings as in that Act.

---

## **16 Waiver**

- (a) No failure by a party to exercise, or delay in exercising, a right, power or remedy operates as a waiver.
- (b) A single or partial exercise of a right, power or remedy does not preclude any other, or further, exercise of that, or any other right, power or remedy.
- (c) A waiver is neither valid, nor binding, on the party granting it, unless made in writing signed by the party to be bound by the waiver in the specific instance and for the specific purpose for which it is given.

---

## **17 Severance**

### **17.1 Reading down**

If a provision of this Licence is void, voidable or unenforceable by either the Licensor or Licensee, but would not be void, voidable or unenforceable if it were read down, and is capable of being read down, then it must be read down accordingly.

### **17.2 Severing words or provisions**

If, despite sub-clause 17.1, a provision of this Licence is still void, voidable or unenforceable by either the Licensor or Licensee then:



- (a) if the provision would not be void, voidable or unenforceable if a word or words were omitted, then that word or those words (as the case may be) are severed; and
- (b) in any other case the whole provision is severed;

and the remainder of this Licence has full force and effect.

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## **18 Continuing obligations**

- (a) The termination or expiration of this Licence does not extinguish a debt, obligation or liability of either party that has accrued under the Licence.
- (b) The provisions, rights and obligations described in clauses 4, 7, 8, 10, 13, 14, 15, 19 and 20 will survive termination or expiration of this Licence and continue to apply.

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## **19 Dispute resolution**

### **19.1 Management level discussions**

If a dispute arises about a clause or the rights and obligations of either party, then the parties must use all reasonable endeavors to settle the dispute within five Business Days of both parties becoming aware of the dispute. For the purpose of this clause, to assist in resolving a dispute, the matter in dispute must first be discussed at management level.

### **19.2 Committee to resolve disputes**

Failing satisfactory resolution of a dispute under clause 19.1, the parties must establish a committee consisting of:

- (a) a representative of the Licensor;
- (b) a representative of the Government Department responsible to the Licensor for the administration of the Act; and
- (c) the Licensee, or a representative of the Licensee, and a professional adviser;

to try to resolve the dispute.

### **19.3 Arbitration**

If the parties fail to resolve a dispute under sub-clause 19.2 within 10 Business Days of the committee being established, then the matter must be referred to arbitration under the *Commercial Arbitration Act 1986*.

---

## **20 Governing law and jurisdiction**

### **20.1 Law of Tasmania**

This Licence is governed by the law of Tasmania and the parties submit to the jurisdiction of the Courts of Tasmania.

### **20.2 Proceedings issued under or about this Licence**

Any proceedings issued against the Licensor under or about this Licence must be instituted either:

- (a) in a Tasmanian court; or
- (b) in the Federal Court from the Tasmanian Registry of that court.

---

## **21 Confidentiality**

### **21.1 Parties may disclose**

Despite any confidentiality or intellectual property right subsisting in this Licence, either party may publish all or any part of it, without reference to the other.

### **21.2 Privacy obligations preserved**

Nothing in this clause derogates from a party's obligations under the *Personal Information Protection Act 2004* (Tas) or the *Privacy Act 1998* (Cwlth).

**Executed** as a Licence.

## Signing page

Dated: 28 April

2011

**Signed by Kim Ronald Evans**  
being the **Director of National**  
**Parks and Wildlife** and under an  
Instrument of Delegation dated 7<sup>th</sup>  
day of January 2003 in the  
presence of:

)  
)  
)  
)  
)

.....

Signature of witness

**Lauren Parr**  
1 Franklin Wharf, Hobart  
Public Servant

.....  
Name of witness (block letters)

.....  
Address of witness

.....  
Occupation

**The Common Seal of**  
**Glamorgan – Spring Bay Council**  
fixed in the presence of:

)  
)  
)  
)



.....  
Name of Mayor

.....  
Name of Councillor

DAVID METCALF  
.....  
Name of General Manager

.....

## Schedule 1

### **The Land**

(Clause 1.1)

**All That** parcel of land at Swansea situated within the Swansea Conservation Area, south of Saltwater Creek extending from the Tasman Highway to Francis Street and highlighted as shown on the attached plan.

### **Address for Notices**

(Clause 10.1)

#### **The Licensor**

The Director of National Parks  
Parks & Wildlife Service  
134 Macquarie Street  
GPO Box 1751  
HOBART TAS 7000  
Facsimile: (03) 6233 5541

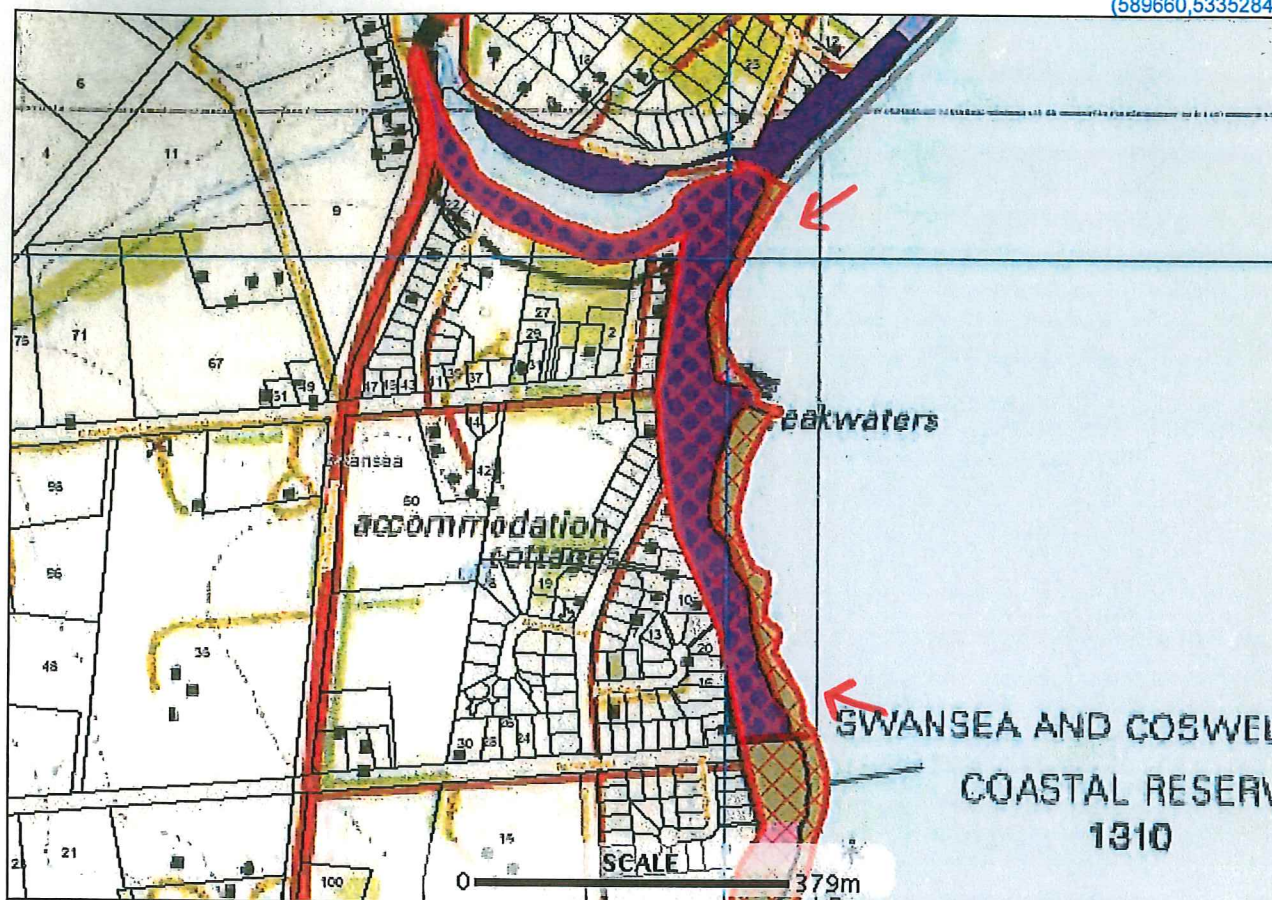
#### **The Licensee**

Glamorgan-Spring Bay Council  
PO Box 6  
TRIABUNNA TAS 7190  
Facsimile: (03) 6257 4774

LIST map

Generated at: 12:46 on 10-September-2010 EST User: emilyw Charge Details:

(589660,5335284)



(588145,5334244)

## Identify Results - Public Land Classification

UFI	cad011427477
Reserve Type	Conservation Area
Name	Swansea Conservation Area
Plan Reference	CPR4697
Plan Authority	Central Plan Register
Instrument Type	Act
Instrument Number	ACT45 OF 1998
Governing Act	Nature Conservation Act
Gazette Date	30/04/1999
Effective Date	30/04/1999
Prior Type	Not Applicable
Prior Method	Not Applicable
Prior Instrument	
Prior Gazette	



## Schedule 2

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### **Permitted Use** (Clauses 1.1 & 4.1(f))

Recreation and Management.

---

### **Special provisions** (Clause 4.1(b))

There are no special provisions.

Home Maps Search the Map... ? Help User: admin@mast.tas.gov.au Logout

Tools Basemaps

**Identify Results** Disclaimer x

4 features found in 2 layers

▼ Crown Licences (Detailed) (2 features)

Warning - Property boundaries are indicative only. See explanation [here](#).

Feature	
Cadastral ID	1471723
Agreement ID	70463
Property ID	2589453
File Number	021329
Licence Type	Crown Licence
Licencee Name	GLAMORGAN-SPRING BAY COUNCIL
Description	Launching Ramp - Swansea
Computed Area	751.092 m2

POI: GDA94 MGA55 : 589047E, 5334822N Identify Options

GDA94 MGA55 : 588922E, 5334691N 1:846 Disclaimer and Copyright Notice



### **Display garden of endemic species**

The DSRA would like to establish a display garden of 'attractive' endemic species around the recently-installed picnic table on the council land near the corner of Cambria Drive and Dolphin Sands Rd. The garden would be on the northern side of the existing track. It'd extend about 12m either side of the picnic table and northeast for about 7m towards the pine trees on the neighbouring property.

Our aim is to clearly demonstrate to our members, and visitors, some options for their gardens, as alternatives to exotic species (eg, instead of gazania, try pimelia or pelargonium). We think that if people can see the plants thriving in place, they'll be more comfortable planting them in their own gardens.

The area around the picnic table is sparsely vegetated at present (probably due to the influence of the pine trees) with some banksia, rhagodia, pigface, lomandra, poa and coastal beard heath.

We'd remove some of the tussocks but incorporate the other species into the garden. We'd leave occasional tussocks as feature plants. We'd also plant clumps of 'pretty' tussocks like diplarrena and dianella, ground covers like pimelia and pelargonium and shrubs like correa, atriplex and Cranbrook paperbark (melaleuca pustulata). The shrubs could form a hedge at the north edge of the site. Our plant choice would be based on GSBC's database of local, coastal plants. Planting would be in autumn.

As we are mindful of bushfire danger, it'd be a fairly sparse planting (possibly 2-3 plants of each species), using rock mulch. We wouldn't plant any tall shrubs or trees.

The DSRA would purchase all plants and materials, such as tree guards. We'd take responsibility for long-term maintenance of the garden, including watering. To boost our educational aim, it'd also be good to have a sign, although tags with species names beside the relevant plants could also work.

The DSRA would like to acknowledge the Swansea & District Garden Club whose generous donation inspired us to initiate this project.