



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **21 Muirs Place, Coles Bay**
CT 122315/93

PROPOSAL: **Extension to existing dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager.

Representations must be received before midnight on 24th March 2023.

APPLICANT: **Christopher Yanosh Lucas, Susanne Lucas**

DATE: **02/03/2023**

APPLICATION NO: **DA 2023 / 048**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Christopher and Susanne Lucas		
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	21 Muirs Place		
Suburb:	Coles Bay	Post Code:	7215
Size of site: (m ² or Ha)	1049 m2		
Certificate of Title(s):	M452		
Current use of site:	Residence		

General Application Details *Complete for All Applications*

Description of proposed use or development:	extension to existing house
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Estimated value of works: (design & construction)	\$
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Is the property on the State Heritage Register? (Tick one)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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For all Non-Residential Applications

Hours of Operation	
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Number of Employees	
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Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
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Describe any hazardous materials to be used or stored on site	
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Type & location of any large plant or machinery used (refrigeration, generators)	
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Describe any retail and/or storage of goods or equipment in outdoor areas	
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Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	<i>Christopher Lucas</i> <i>Susanne Lucas</i>	Date:	01/03/2023
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

**PROPOSED ADDITIONS
21 MUIRS PLACE
COLES BAY
MR CHRIS LUCAS**

LAND TITLE REFERENCE : 122315/93
 REGION : A
 TERRAIN CATEGORY : 1
 WIND CLASSIFICATION : N3
 SHIELDING CLASSIFICATION : PS
 SOIL CLASSIFICATION : P
 CLIMATE ZONE : 7
 BAL LEVEL : 29
 FLOOR AREA : EXISTING RESIDENCE : 95m2
 FLOOR AREA : EXISTING FRONT DECK : 20m2
 FLOOR AREA : EXISTING REAR DECK : 28m2
 FLOOR AREA : PROPOSED ADDITIONS : 38.55m2
 FLOOR AREA : PROPOSED DECK EXTENSION : 10.73m2

DRAWING INDEX

- A01 COVER SHEET
- A02 SITE PLAN
- A03 FLOOR PLANS
- A04 ELEVATIONS
- A05 SECTION
- A06 DETAILS

PROJECT NUMBER: 220601

CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS			CLIENT: MR CHRIS LUCAS	DRAWING TITLE <u>COVER SHEET</u>	Scale:	Date: 22/07/2022
			PROJECT: 21 MUIRS PLACE COLES BAY		Project # 220601	Sheet # A01
A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023				
REV.	AMENDMENT	DATE				

LEGEND & NOTES

STORMWATER LINE 100mm UPVC

SEWER LINE 100mm UPVC

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES

ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA

THERMAL INSULATION OF HEATED WATER PIPING MUST:

- A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT
- B) BE ABLE TO WITHSTAND TEMPERATURES WITHIN THE PIPING
- C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

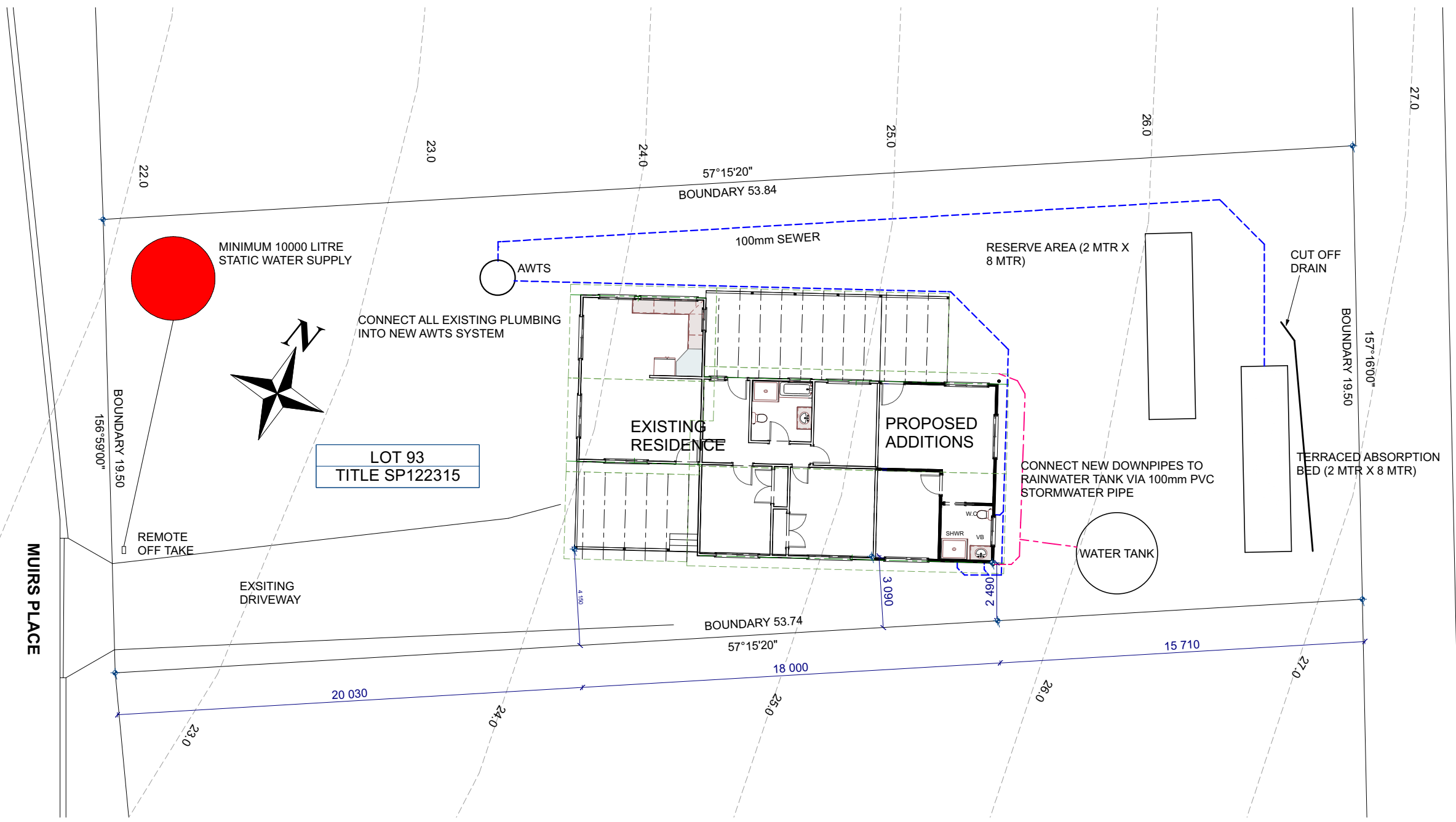
FIXTURES LEGEND

- SINK : 65mm DIAMETER
- DW : DISHWASHER 65mm DIAMETER
- TROUGH : LAUNDRY TROUGH 65mm DIAMETER
- WC : TOILET 100mm DIAMETER
- VANITY : VANITY BASIN 100mm DIAMETER
- SHOWER : 100mm DIAMETER
- BATH : 100mm DIAMETER
- DP : DOWNPIPE 90mm DIAMETER

SOIL AND WATER MANAGEMENT STRATEGIES

DOWNPIPES TO BE CONNECTED INTO RAINWATER TANK AS SOON AS ROOF IS INSTALLED

INSTALL AG DRAIN TO CUT AREA PRIOR TO FOOTING EXCAVATION.



SITE PLAN
1:200

CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS

CLIENT: MR CHRIS LUCAS
PROJECT: 21 MUIRS PLACE COLES BAY

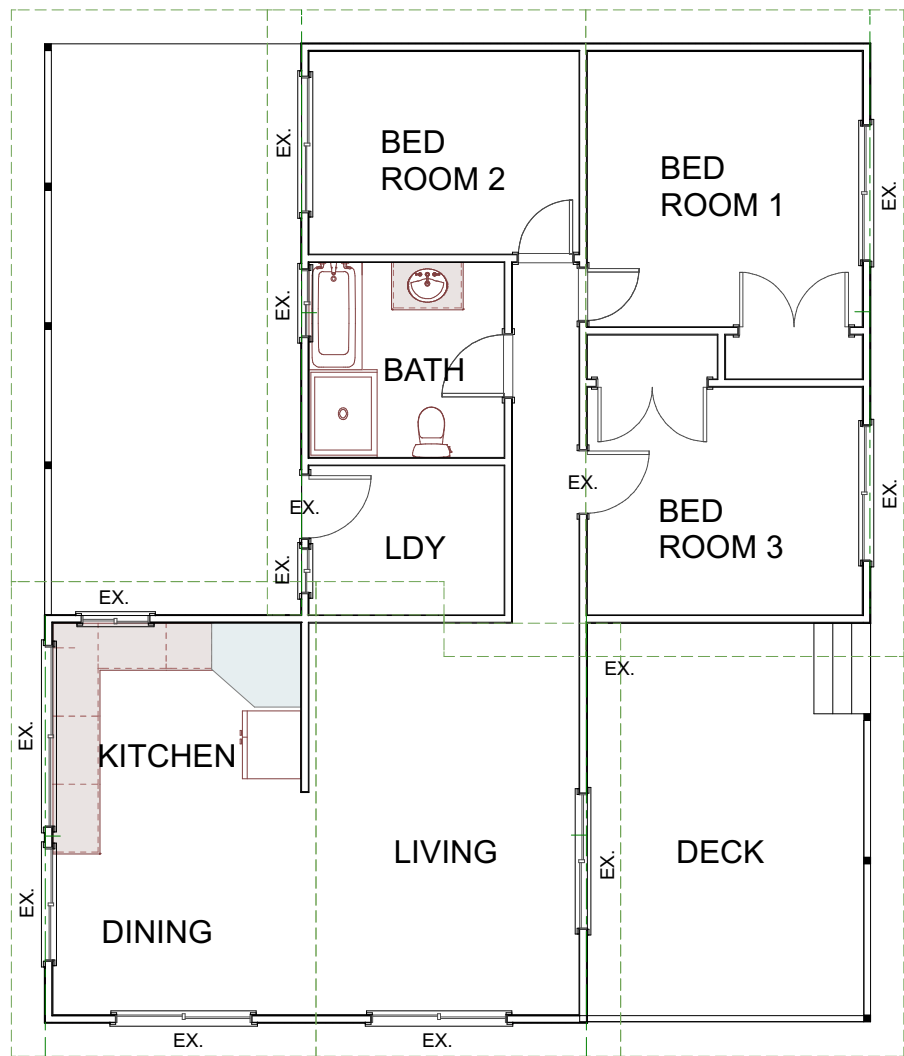
DRAWING TITLE
LOCATION PLAN

Scale: **1:200 @ A3**
Date: **22/07/2022**
Project #: **220601**
Sheet #: **A02**

A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023
REV.	AMENDMENT	DATE

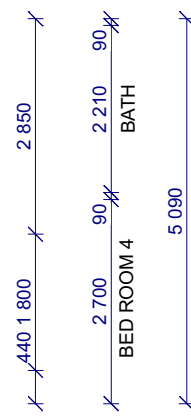
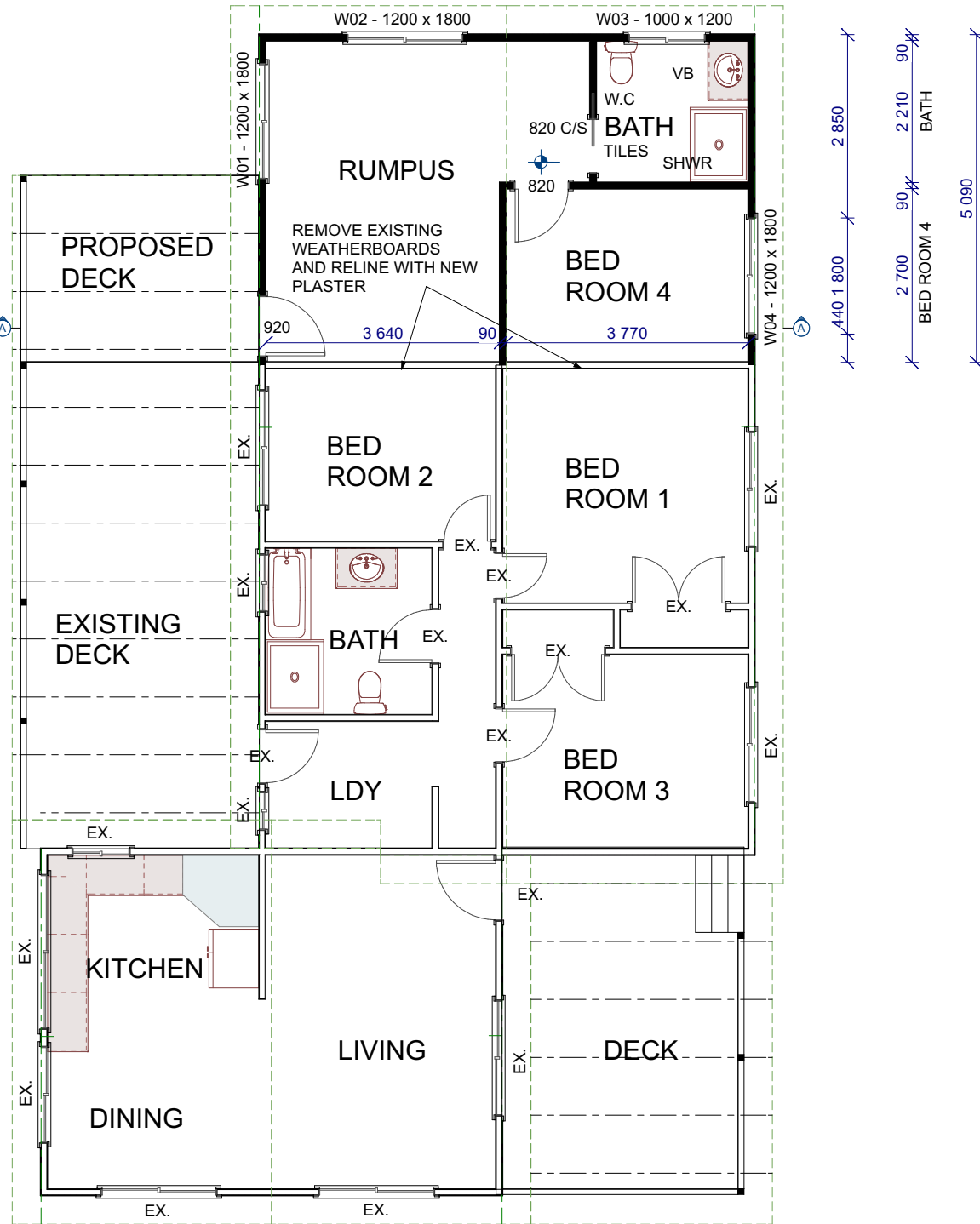
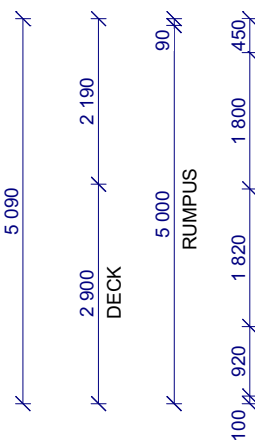
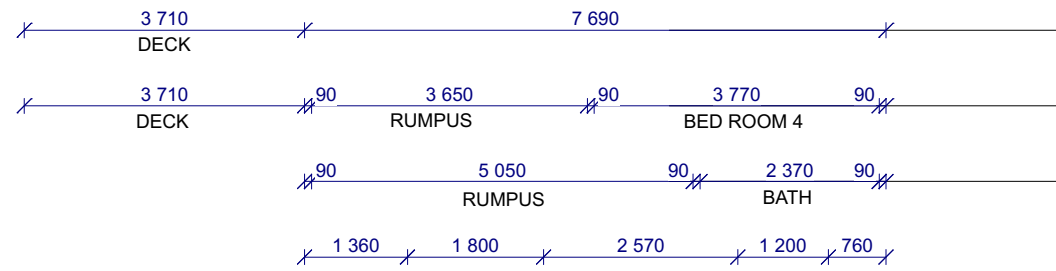
LEGEND AND NOTES

- C.-J- CONTROL JOINT
- S.-SLIDING WINDOW
- F.- FIXED WINDOW
- O.- AWING WINDOW
- C.L- CEILING LEVEL
- F.F.L- FINISHED FLOOR LEVEL
- HWC- HOT WATER CYLINDER



EXISTING CONDITIONS

1:100



PROPOSED ADDITIONS

1:100

CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS

CLIENT:
MR CHRIS LUCAS
PROJECT:
**21 MUIRS PLACE
COLES BAY**

DRAWING TITLE
FLOOR PLAN

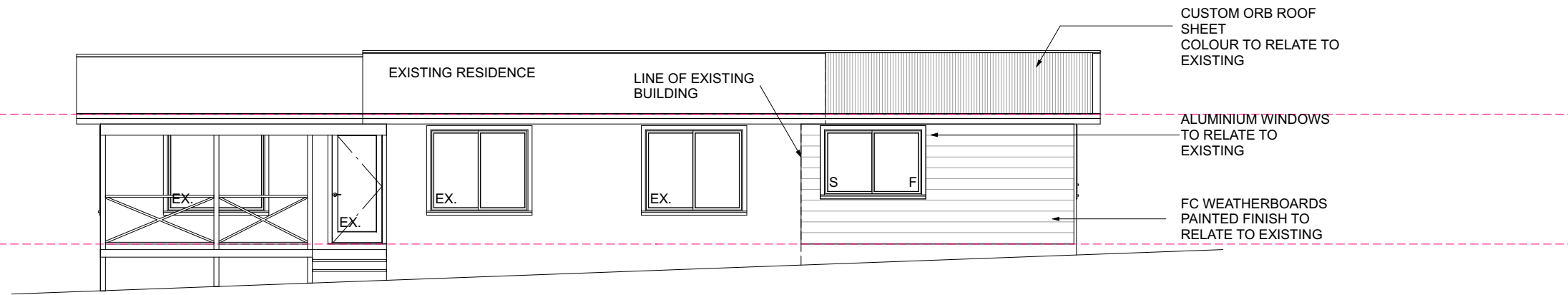
Scale:
1:100 @ A3
Project #
220601

Date:
22/07/2022
Sheet #
A03

A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023
REV.	AMENDMENT	DATE

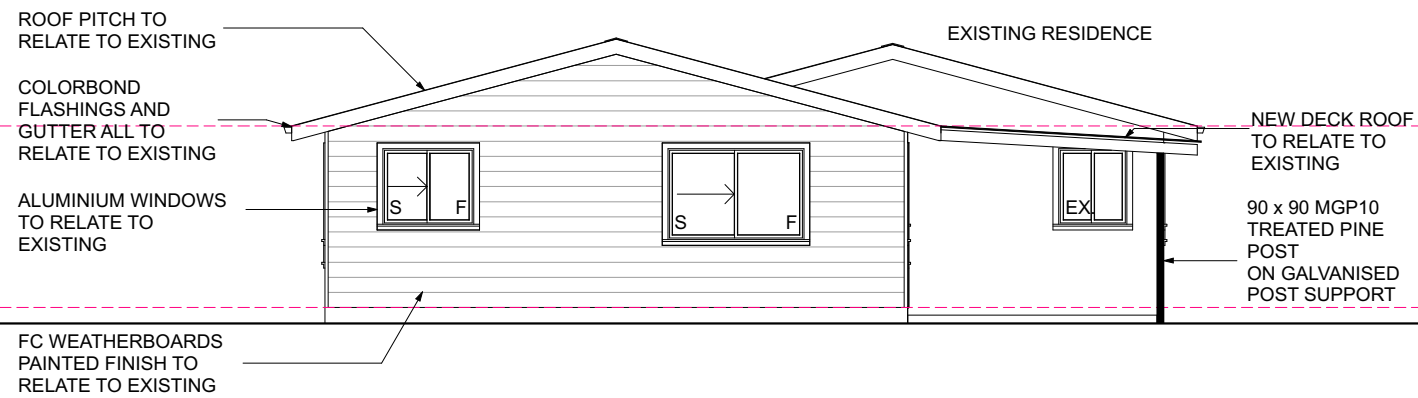
LEGEND AND NOTES

- C.J- CONTROL JOINT
- S.-SLIDING WINDOW
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- F.F.L- FINISHED FLOOR LEVEL
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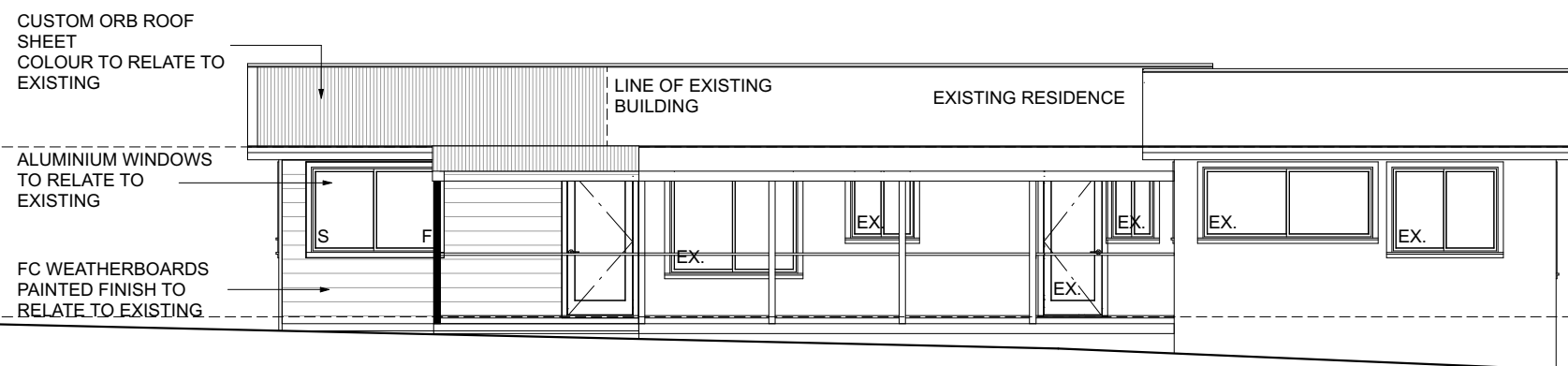
NORTH ELEVATION

1:100



EAST ELEVATION

1:100



SOUTH ELEVATION

1:100

CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS

CLIENT:
MR CHRIS LUCAS
PROJECT:
**21 MUIRS PLACE
COLES BAY**

DRAWING TITLE
ELEVATIONS

Scale:
1:100 @ A3

Date:
22/07/2022

Project #
220601

Sheet #

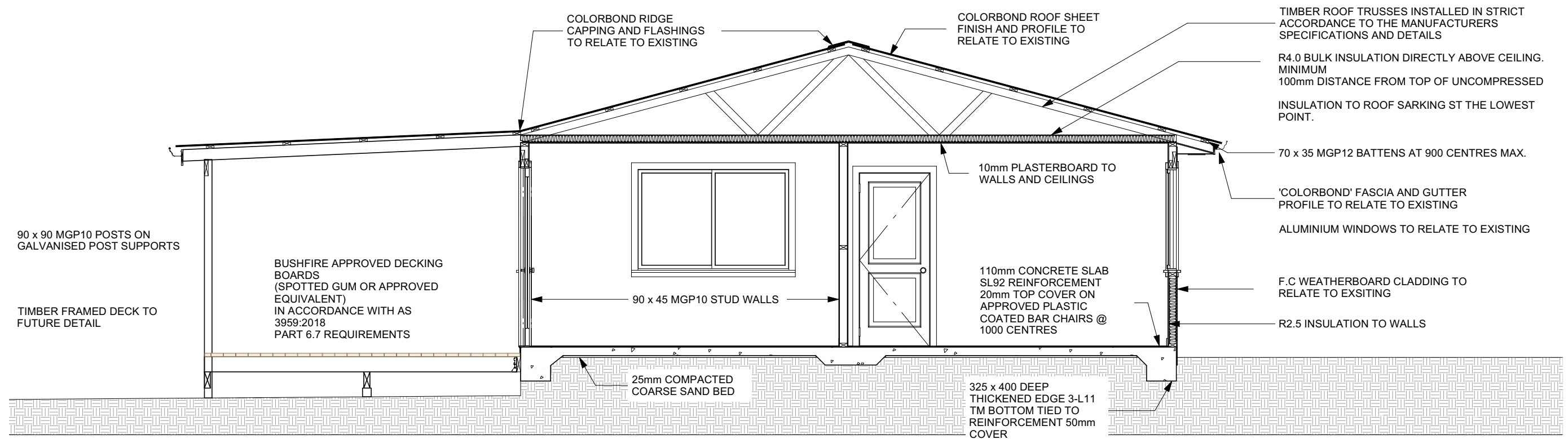
A04

A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023
REV.	AMENDMENT	DATE

WET AREAS (TO COMPLY WITH BCA 3.8.1.2 AND AS 3740) READ IN CONJUNCTION WITH DWG A17

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	WALL/ FLOOR JUNCTIONS	PENETRATIONS
SHOWER AREA (APPLIES TO ENSUITE AND BATHROOM)					
WITH PREFORMED SHOWER BASE	N/A	CERAMIC TILES TO SHOWER WALLS 1800mm ABOVE FINISHED FLOOR LEVEL OF THE SHOWER	MEMBRANE 'M01'	MEMBRANE 'M01'	WATERPROOF TAP AND SPOUT PENETRATIONS IN VERTICAL SURFACES WITH 'WATREBAR' TAP PENETRATION FLANGE AND SILICONE
AREA OUTSIDE SHOWER (APPLIES TO ENSUITE AND BATHROOM)					
TIMBER FLOOR	MEMBRANE 'M01' TO ENTIRE ROOM OF FLOOR. CERAMIC FLOOR TILES	N/A	N/A	MEMBRANE 'M02'	N/A
AREA OUTSIDE BATH (APPLIES TO BATHROOM)					
TIMBER FLOOR	MEMBRANE 'M01' TO ENTIRE ROOM OF FLOOR. CERAMIC FLOOR TILES	A) 150mm MIN. HIGH CERAMIC TILE SPLASHBACK TO PERIMETER OF BATH B) CERAMIC TILE UPSTAND FROM FLOOR LEVEL TO UNDERSIDE LIP OF BATH	WHITE SILICONE TO JUNCTIONS WITHIN 150mm ABOVE BATH (3 WALLS)	CERAMIC TILE UPSTAND TO EXTENT OF BATH	WATERPROOF TAP AND SPOUT PENETRATIONS IN VERTICAL SURFACES WITH 'WATREBAR' TAP PENETRATION FLANGE AND SILICONE
OTHER AREAS					
LAUNDRY AND WC	CERAMIC FLOOR TILES	N/A	N/A	MEMBRANE 'M02' + CERAMIC TILE SKIRTING	
WALLS ADJOINING SINK, BASIN OR LAUNDRY TUB	N/A	150mm MIN. HIGH CERAMIC TILE SPLASHBACK FOR EXTENT OF VESSEL WHERE THE VESSEL IS WITHIN 75mm OF A WALL	WATERPROOF WALL JUNCTION WHERE VESSEL IS FIXED TO A WALL WITH SILICONE	N/A	WATERPROOF TAP AND SPOUT PENETRATIONS IN VERTICAL SURFACES WITH 'WATREBAR' TAP PENETRATION FLANGE AND SILICONE

MEMBRANE 'M01' DUNLOP(OR SIMILAR) SHOWER WATERPROOFING KIT COMPLETE WITH REINFORCING MAT,PRIMER, NEUTRAL CURE SILICONE AND MEMBRANE TO MANUFACTURERS RECOMMENDATIONS
MEMBRANE 'M02' DUNLOP(OR SIMILAR) WATER BASED ACRYLIC POLYURETHANE MEMBRANE APPLIED BY EITHER BRUSH OR ROLLER IN A CONSISTENT THICKNESS TO MANUFACTURERS RECOMMENDATIONS



ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE

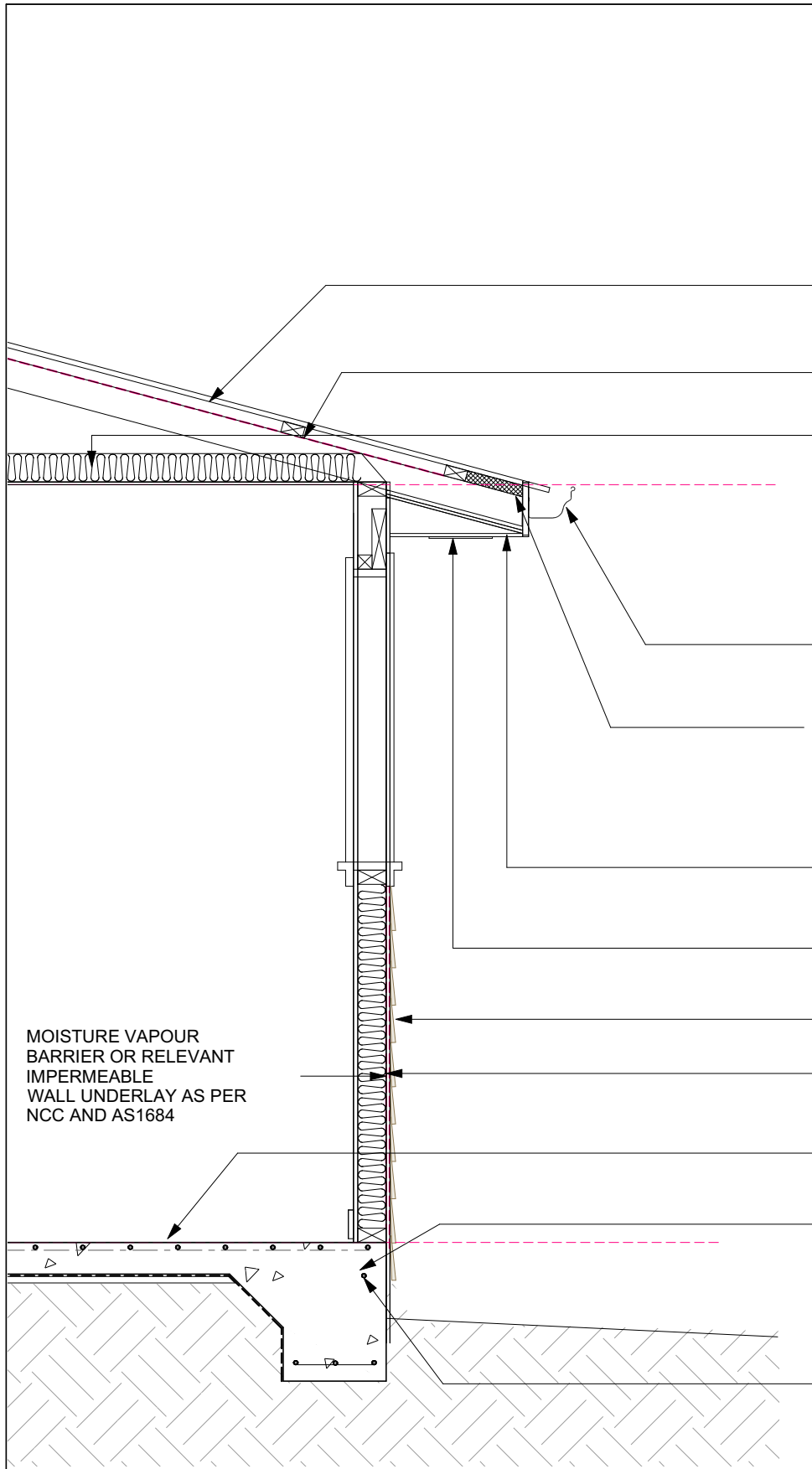
A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023
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CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS

CLIENT: MR CHRIS LUCAS
PROJECT: 21 MUIRS PLACE COLES BAY

DRAWING TITLE
SECTION A-A

Scale:	1:50 @ A3	Date:	22/07/2022
Project #	220601	Sheet #	A05



ROOF SARKING TO COMPLY WITH AS/NZS 4200. SARKING INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS FOR SELECTED ROOF COVERINGS. CONSIDERATION MUST BE GIVEN TO THE USE OF VAPOUR PERMEABLE SARKINGS FOR CONDENSATION CONTROL.

NOTE: PROVIDE CONDENSATION MANAGEMENT IN COMPLIANCE WITH NCC/BCA PART 3.8.7 REQUIREMENTS (TYP.)

R4.0 BULK INSULATION DIRECTLY ABOVE CEILING. MINIMUM 100mm DISTANCE FROM TOP OF UNCOMPRESSED INSULATION TO ROOF SARKING AT THE LOWEST POINT.

70 x 35 MGP12 BATTENS AT 900 CENTRES MAX.

WALL TIE DOWN TO ENGINEERS REQUIREMENTS.

'COLORBOND' FASCIA AND GUTTER PROFILE TO RELATE TO EXISTING

FOAM FILLER TO SUIT ROOF PROFILE.
NOTE: MINERAL WOOL (OR APPROVED EQUIVALENT) TO PART 6.6.3 REQUIREMENTS

COLORBOND FLASHINGS TO RELATE TO EXISTING

4.5mm THICK FIBRE CEMENT EAVES LINING FIXED TO 70 X 35 F5 TRIMMERS.

CSR BRADFORD (OR EQUIVALENT) POLY EAVE VENTS AT 1800mm CENTRES INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.

F.C WEATHERBOARD CLADDING TO RELATE TO EXISTING

R2.5 INSULATION TO WALLS

110mm CONCRETE SLAB SL92 REINFORCEMENT 20mm TOP COVER ON APPROVED PLASTIC COATED BAR CHAIRS @ 1000 CENTRES

N12 PERIMETER BAR, LAP 450 AT CORNERS

25mm COMPACTED COARSE SAND BED

325 x 400 DEEP THICKENED EDGE 3-L11 TM BOTTOM TIED TO REINFORCEMENT 50mm COVER

TYPICAL WALL SECTION DETAIL
1:20

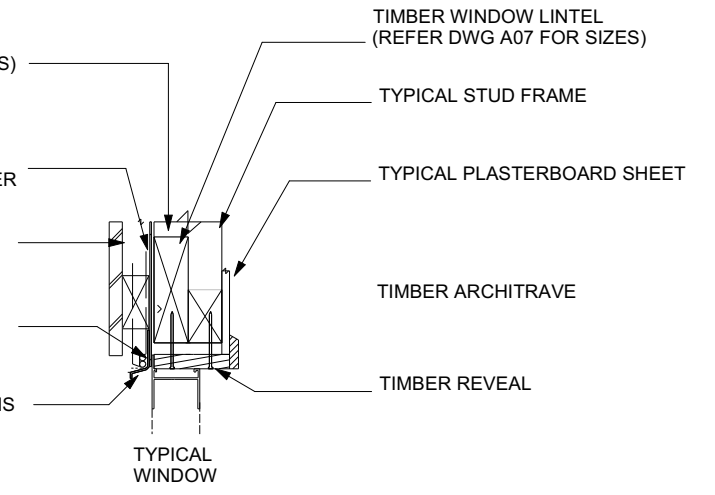
TIMBER FRAME AS PER AS 1684.2
TIMBER FRAMED CONSTRUCTION (PART 6.2.3 OPENINGS)
MIN 15mm CLEARANCE BETWEEN LINTEL AND WINDOW HEAD

MOISTURE VAPOUR BARRIER OR RELEVANT IMPERMEABLE WALL UNDERLAY AS PER NCC & AS1684

FC WEATHERBOARDS

LOW MODULUS SEALANT

FLASHING AS PER NCC 3.5.3.6 AND OR MANUFACTURERS SPECIFICATIONS



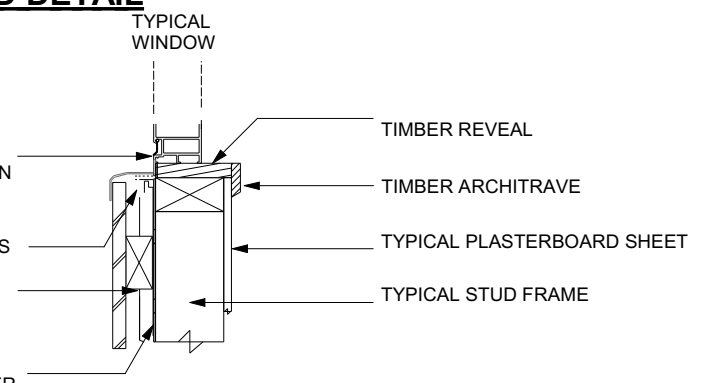
TYPICAL WINDOW HEAD DETAIL
1:10

TYPICAL IMPERVIOUS SEALING STRIP (SEE MANUFACTURERS SPECIFICATION FOR DETAILS)

FLASHING AS PER NCC 3.5.3.6 AND OR MANUFACTURERS SPECIFICATIONS

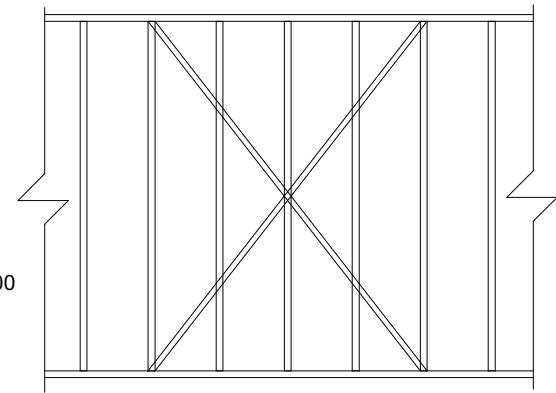
FC WEATHERBOARDS

MOISTURE VAPOUR BARRIER OR RELEVANT IMPERMEABLE WALL UNDERLAY AS PER NCC & AS1684

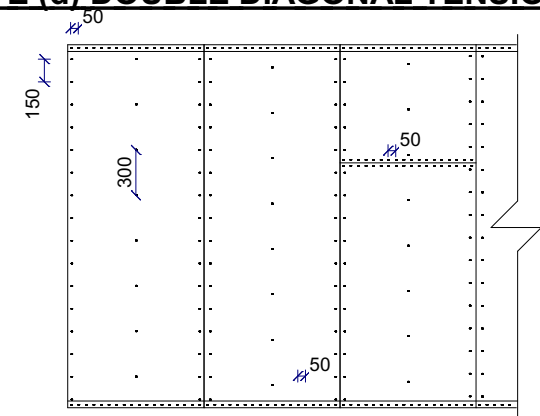


TYPICAL WINDOW SILL DETAIL
1:10

1 800



TYPE (d) DOUBLE DIAGONAL TENSION METAL STRAP BRACES (3.0kN/m)



30 x 0.8mm GALV. METAL STRAPS LOOPEO OVER PLATE AND FIXED TO STUD WITH 4/30 x 2.8mm GALV. FLAT HEAD NAILS TO EACH END IN 4 PLACES.

30 x 0.8mm (OR EQUIVALENT) TENSIONED GALV. METAL STRAPS NAILED TO PLATES WITH 4/30 x 2.8mm GALV. FLAT HEAD NAILS (OR EQUIVALENT) TO EACH END.

BOTTOM PLATE FIXED TO SLAB/TIMBER FLOOR FRAME AS PER 'SPECIFIC TIEDOWNS' TABLE ON DRAWING A07

PLYWOOD SHALL BE NAILED TO FRAME USING 30 x 2.8mm GALV. FLAT HEAD NAILS AS SHOWN. PLYWOOD SHALL BE 4mm F27 HARDWOOD WITH STUDS AT 450mm CENTRES.

HORIZONTAL BUTT JOINTS ARE PERMITTED, PROVIDED NAILS FIXED TO NOGGINS AT 50mm CENTRES (FOR METHOD B)

A 13kN CAPACITY CONNECTION AT EACH END AND INTERMEDIATELY AT MAX. 1200mm CENTRES IS REQUIRED.

SHEATHED PANELS SHALL BE CONNECTED TO SUBFLOOR.

BOTTOM PLATE TO BE FIXED TO SLAB/TIMBER FLOOR FRAME AS PER 'SPECIFIC TIEDOWNS' TABLE ON DRAWING A07.

CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS

CLIENT: MR CHRIS LUCAS
PROJECT: 21 MUIRS PLACE COLES BAY

DRAWING TITLE
DETAILS

Scale: 1:10, 1:20, 1:50

Date: 22/07/2022

A	ISSUED FOR DEVELOPMENT APPLICATION	18/02/2023
REV.	AMENDMENT	DATE

Project # 220601

Sheet # A06