



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:** **3 Rudd Avenue, Orford**  
**CT 60696/7**

**PROPOSAL:** **Partial Demolition, Alterations & Additions of Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received before midnight on 04 June 2026.

**APPLICANT:** **West Elevation Design Gareth Davies**  
**DATE:** **01/05/2026**  
**APPLICATION NO:** **DA 2026 / 077**

## Application for Planning Approval

### Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m <sup>2</sup> or Ha)			
Certificate of Title(s):			
Current use of site:			

<b>General Application Details</b> <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	
Is the property on the State Heritage Register? (Circle one)	Yes / No
<b>For all Non-Residential Applications</b>	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
<b>Personal Information Protection Statement</b>	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## **Checklist of application documents:** *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 60696	FOLIO 7
EDITION 1	DATE OF ISSUE 09-Mar-1994

SEARCH DATE : 30-Apr-2026

SEARCH TIME : 09.50 pm

DESCRIPTION OF LAND

Town of ORFORD

Lot 7 on Diagram [60696](#) (formerly being 477-9D)

Derivation : Part of Lot 3 Sec. B. Gtd. to M. Hurley

Prior CT [2042/46](#)

SCHEDULE 1

[A630744](#) TRANSFER to A.N.H. NOMINEES PTY. LTD.

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[A189191](#) AGREEMENT creating fencing covenant and other  
conditions

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEE INSIDE FIELD NOTES FOR REPLIC. Refer to P9903.

DIAGRAM FROM ACTUAL SURVEY

Registered Number  
**477/9**  
Filed by  
*J. M. Wise*  
Lodged at the Lands Titles Office on 17/6/62 at 2-5 Receipt No. 44767 Receiving Clerk

No. OF APPLICATION

Part of 1-30 Michael Hurley Purchase.

TOWN OF ORFORD

Sec. B.

Scale 60 feet to an inch

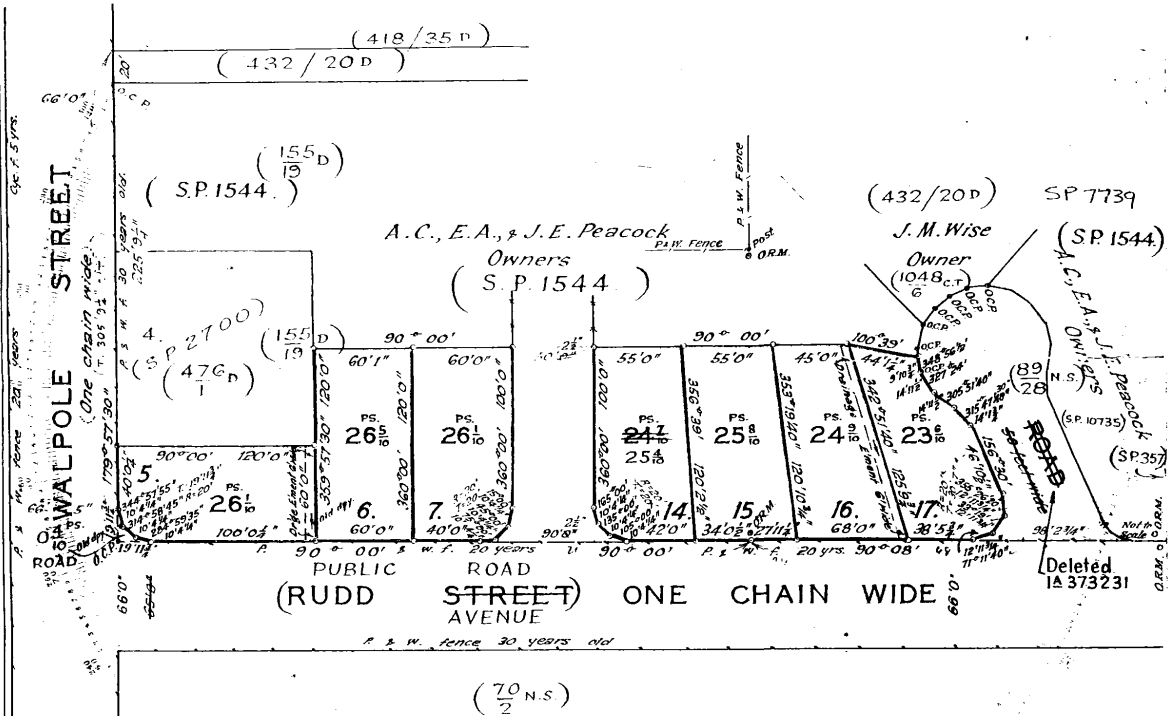
A.C. Peacock & Ors. 1015 31st J.

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM
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REGISTERED NUMBER

**60696**



To be filled in by Surveyor.

Survey commenced 3/5-61  
Survey finished 11-12-62  
Error of close 1 in

Office examination.

Plotted by *B.L.*  
Examined as to boundaries of 24-7-62  
Mathematically checked *B.L.*  
Entered on Card by *W.L.*

I, *Anthony Cripps Peacock* of 504 Murray St. Hobart

Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

Dated this *10th* day of *December*, 19*62* *A.C. Peacock* Authorised Surveyor.

PT. of APPROVAL BY LOCAL AUTHORITY *SB-47*

THE MAYOR, COUNCILLOR AND MEMBERS OF THE TOWN OF ORFORD LOCAL AUTHORITY DO HEREBY CERTIFY THAT THIS PLAN HAS BEEN EXAMINED AND APPROVED BY THEM IN THE PRESENCE OF HIS HONOURABLE MEMBER, IN DECEMBER, 1962, IN PURSUANCE OF AUTHORITY GIVEN AT A MEETING OF THE COUNCIL HELD ON THE 11th DAY OF DECEMBER, 1962.

*A. J. Cullen* Councillor  
*W. J. ...* Council Clerk

WEST ELEVATION  
LICENSE NUMBER: 337666325  
OFFICE@WESTELEVATION.COM.AU  
0433 062 839  
WWW.WESTELEVATION.COM.AU

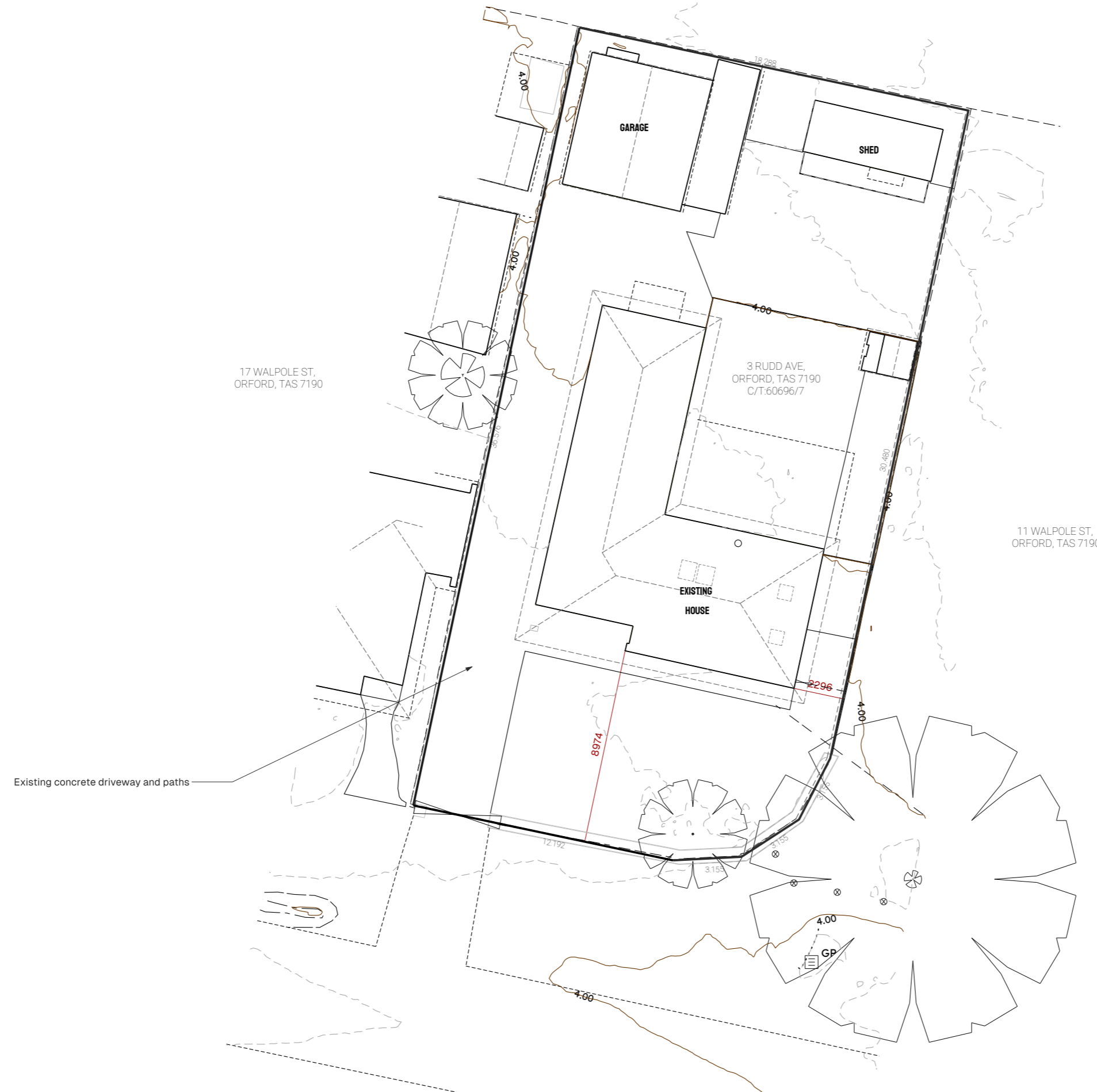
PROJECT:  
**3 RUDD AVENUE, ORFORD**  
**EXTENSION & RENOVATION**

PROJECT NUMBER: J1222



**DRAWING NUMBER:**

<b>A00</b>	<b>COVER PAGE</b>
<b>A01A</b>	<b>EXISTING SITE PLAN</b>
<b>A01B</b>	<b>PROPOSED SITE PLAN</b>
<b>A02</b>	<b>DRAINAGE PLAN</b>
<b>A03A</b>	<b>EXISTING FLOOR PLAN</b>
<b>A03B</b>	<b>PROPOSED FLOOR PLAN</b>
<b>A04</b>	<b>EXISTING ELEVATIONS</b>
<b>A05</b>	<b>PROPOSED ELEVATIONS</b>
<b>A06</b>	<b>ELECTRICAL PLAN</b>
<b>A07</b>	<b>EXTERNAL PERSPECTIVES</b>



**CORROSION PROTECTION**

Builder must implement corrosion protection to HP 6.3.9. Steel contractor to ensure they specify and meet AS/NZS 2312.2 and described in AS 4312

**STRUCTURAL**

Engineers documentation to take precedence over details contained in this document. Where discrepancies are identified, designer and engineer are to be notified prior to commencement of work.

**TRUSSES BY OTHERS**

Truss plans by others. Truss tie downs and strap bracing to be specified by truss manufacturer.

**STAIRS & RAMPS**

Construction in accordance with NCC Part 11.2. Barriers and handrails in accordance with NCC Part 11.3. See elevations for handrail location

**DETAILS**

EXISTING FLOOR AREA 110.49m<sup>2</sup>  
EXTENSION FLOOR AREA 61.08m<sup>2</sup>

Site Area: 660m <sup>2</sup>
Total House Area (ex eaves): 110.49m <sup>2</sup>
Total Outbuilding Area (ex Eaves): 49.76m <sup>2</sup>
Site Density: 24.28%

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water AgenciesCode WSA 02—2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

Please Note: During construction the contractor is to abide by TSD - SW28. Which includes but not limited to:

- ☐ Early roof drainage connections
- ☐ Divert up-slope water
- ☐ Minimise soil disturbance
- ☐ Erosion control mats if necessary

**1a** EXISTING SITE PLAN  
SCALE: 1:200



West Elevation Design  
Telephone: 0433 062 839  
Email: office@westelevation.com.au  
Website: www.westelevation.com.au

BUILDING CLASSIFICATION: 1a - Dwelling  
WIND CLASSIFICATION: N/A  
SOIL CLASSIFICATION: N/A

CLIENT : Tom King  
PROJECT ADDRESS : 3 Rudd Avenue, Orford  
DATE: 20/02/2026

CHECKED: GD





**CORROSION PROTECTION**

Builder must implement corrosion protection to HP 6.3.9. Steel contractor to ensure they specify and meet AS/NZS 2312.2 and described in AS 4312

**STRUCTURAL**


Engineers documentation to take precedence over details contained in this document. Where discrepancies are identified, designer and engineer are to be notified prior to commencement of work.

**TRUSSES BY OTHERS**

Truss plans by others. Truss tie downs and strap bracing to be specified by truss manufacturer.

**STAIRS & RAMPS**

Construction in accordance with NCC Part 11.2. Barriers and handrails in accordance with NCC Part 11.3. See elevations for handrail location

 Denotes Extension Area

**DETAILS**

EXISTING FLOOR AREA 110.49m<sup>2</sup>  
EXTENSION FLOOR AREA 61.08m<sup>2</sup>

Site Area: 660m<sup>2</sup>  
Total House Area (ex eaves): 171.57m<sup>2</sup>  
Total Outbuilding Area (ex Eaves): 49.76m<sup>2</sup>  
Site Density: 33.53%

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water AgenciesCode WSA 02-2014-3.1 MRWA Version 2 and TasWater's supplements to these codes

Please Note: During construction the contractor is to abide by TSD - SW28. Which includes but not limited to:  
-Early roof drainage connections  
-Divert up-slope water  
-Minimise soil disturbance  
-Erosion control mats if necessary



**1b PROPOSED SITE PLAN**  
SCALE: 1:200



West Elevation Design  
Telephone: 0433 062 839  
Email: office@westelevation.com.au  
Website: www.westelevation.com.au

BUILDING CLASSIFICATION:1a - Dwelling  
WIND CLASSIFICATION:N/A  
SOIL CLASSIFICATION:N/A

CLIENT : Tom King  
PROJECT ADDRESS : 3 Rudd Avenue, Orford  
DATE: 20/02/2026

CHECKED: GD



ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021 3.3.7 & 3.7.8

SEWER & STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

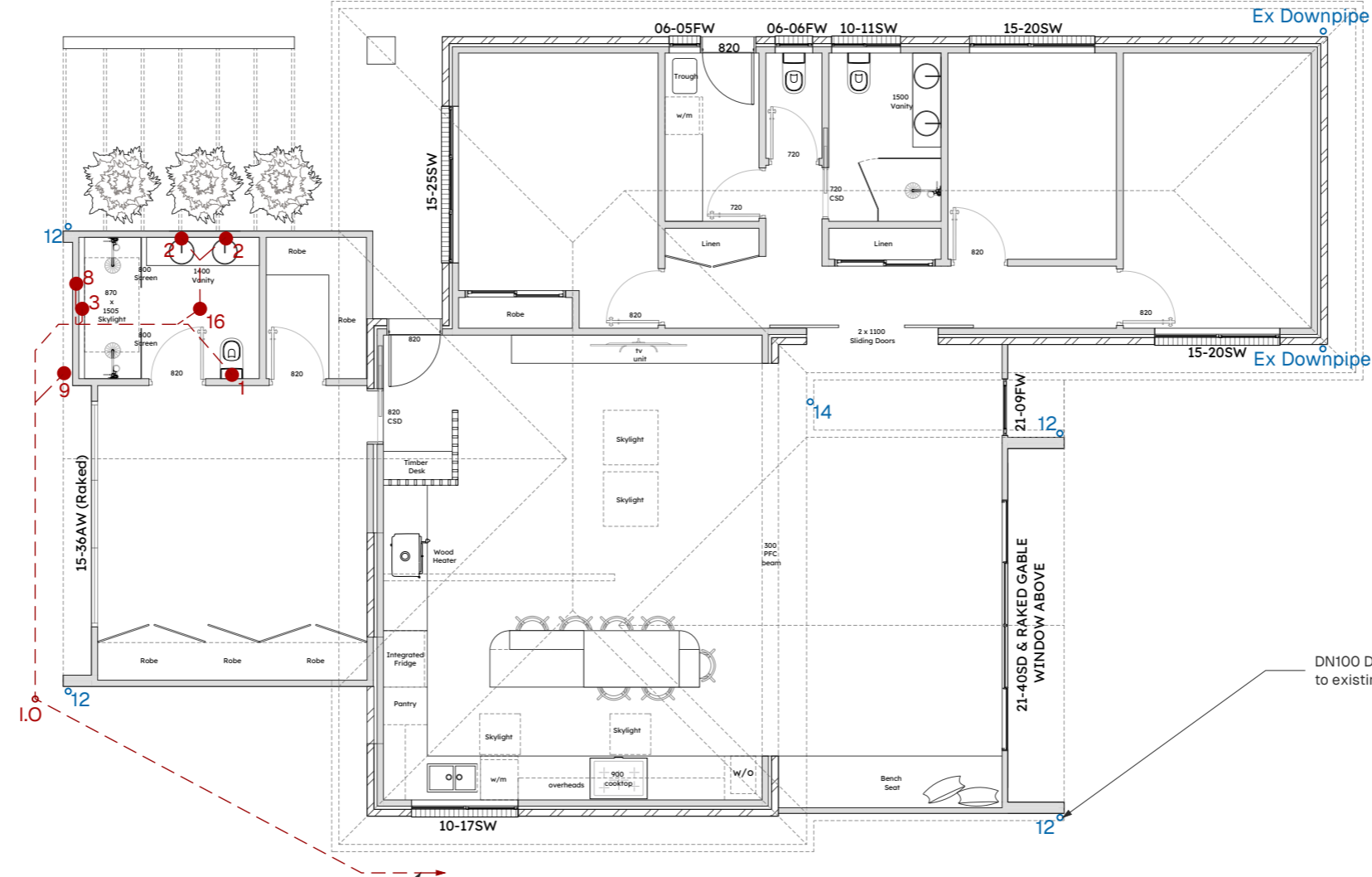
MINIMUM GRADIENT ON PIPES AS PER AS3500 7.3.5  
DN90 = 1:100  
DN100 = 1:100

MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4  
DN65 = 1:40  
DN100 = 1:60  
DN 150 = 1:100

Gutters & Downpipes to comply with BCA part 3.5.2

PLUMBER TO CONFIRM ALL DETAILS ON SITE PRIOR TO COMMENCING ANY WORK AND BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEER.

NOTE -  
Location of drainage pipes indication only of type and direction.  
Contractor to verify the location of drainage pipes within existing boundary of site. Underground asset management CCTV to be conducted prior to works starting in order to locate existing sewer and SW pipes



DN100 DWV SN6 Stormwater line @ Min 1.0% grade. to existing stormwater line. Plumber to confirm on site

DRAINAGE LEGEND

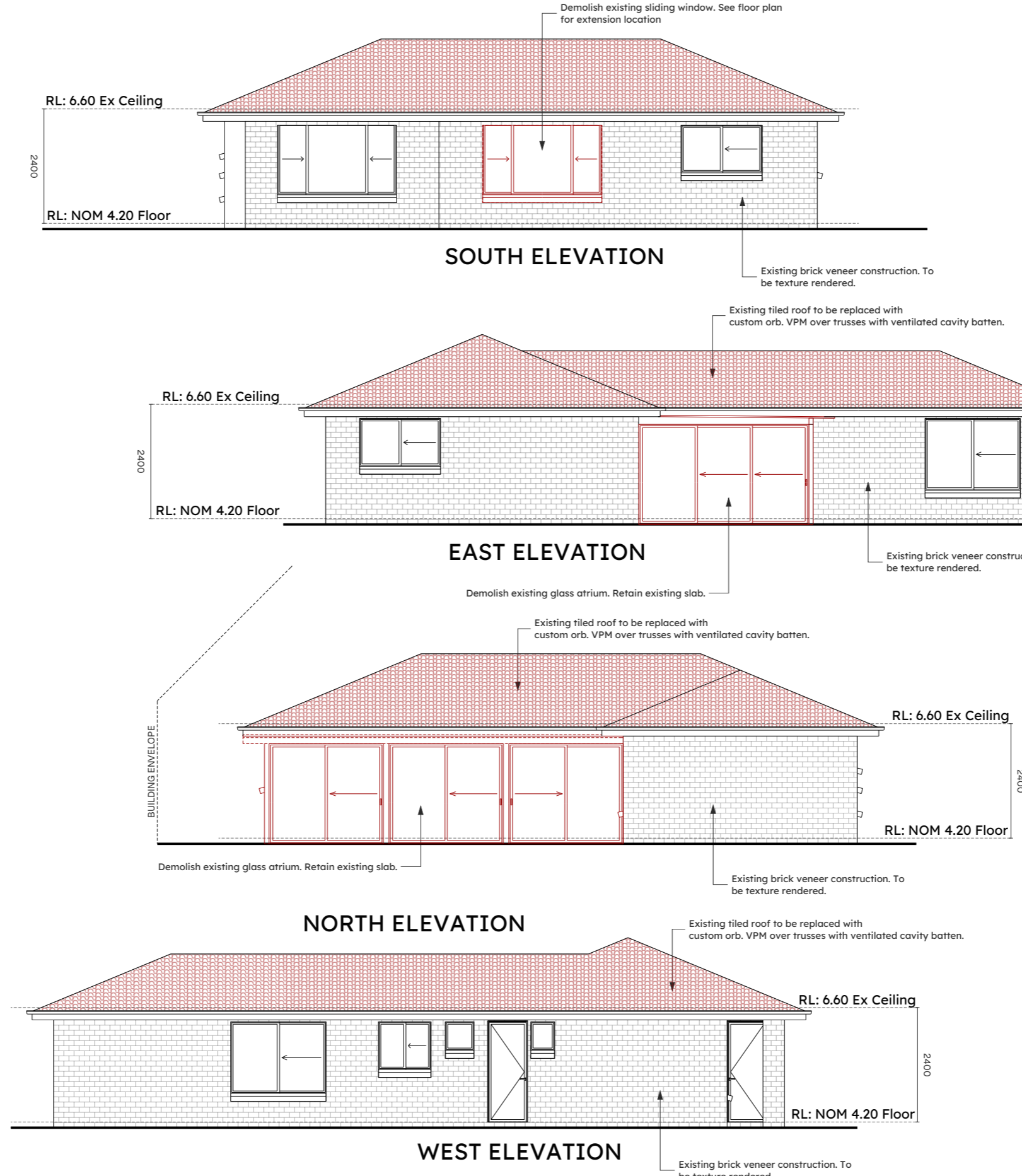
- 1 WC - 100mm
- 2 HANDBASIN - 50mm
- 3 SHOWER - 50mm
- 4 BATH - 50mm
- 5 LAUNDRY TROUGH - 50mm
- 6 WASHING MACHINE
- 7 KITCHEN SINK - 50mm
- 8 VENT - 50mm
- 9 TAP CHARGED ORG min 150mm below FFL
- 10 RAINWATER PIPE
- 11 INSPECTION OPENING TO GROUND LEVEL - 100mm
- 12 DOWNPIPE - 90mm
- 13 450mm GRATED PIT
- 14 SPREADER PIPE - 75/90mm
- 15 450mm GRATED PIT WITH GRATED DRAIN
- 16 TILE INSERT SQ DRAIN

DN100 Sewer pipe connected to existing Sewer line and Approved Sewer connection

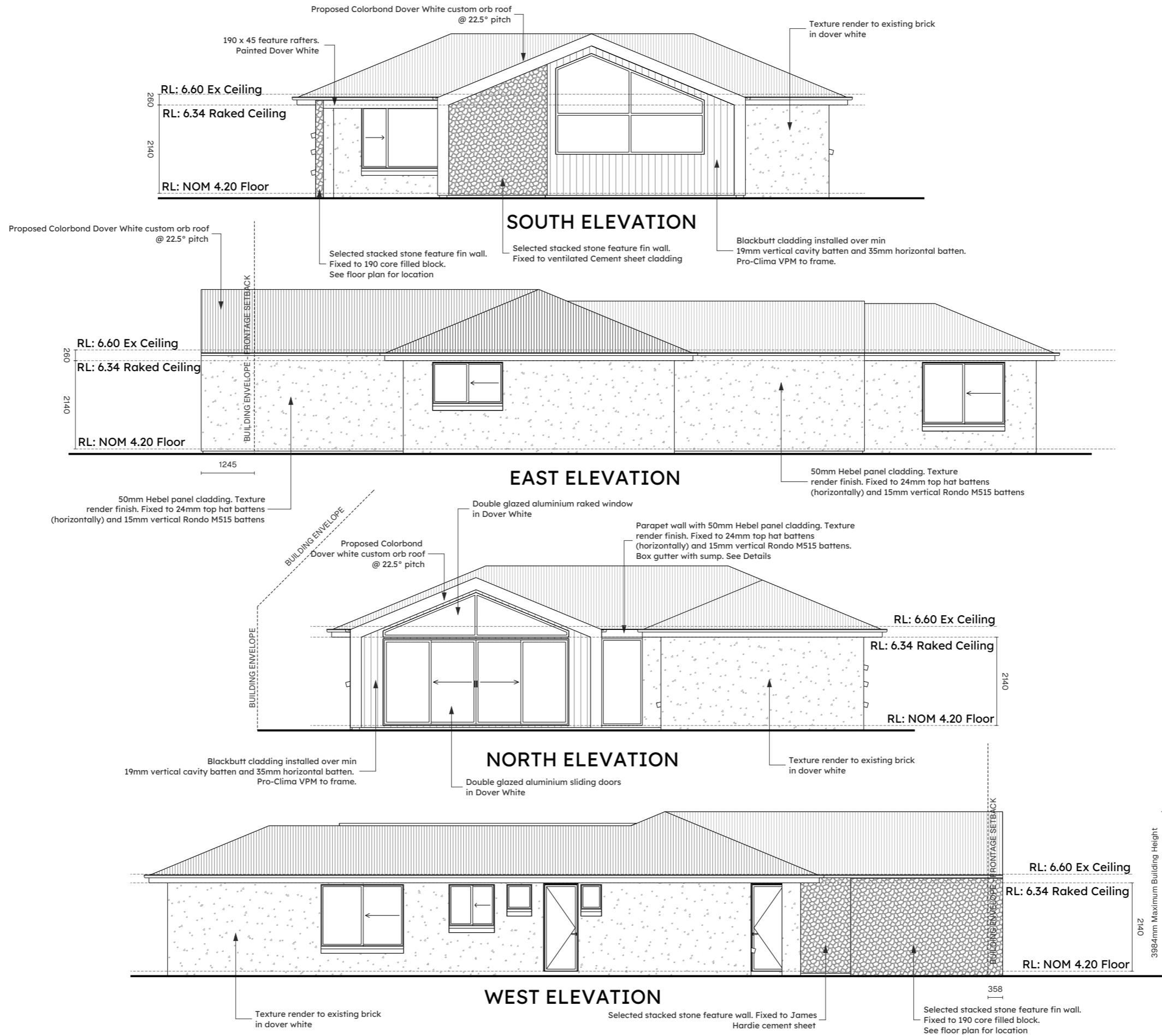
**2 DRAINAGE PLAN**  
SCALE: 1:100


































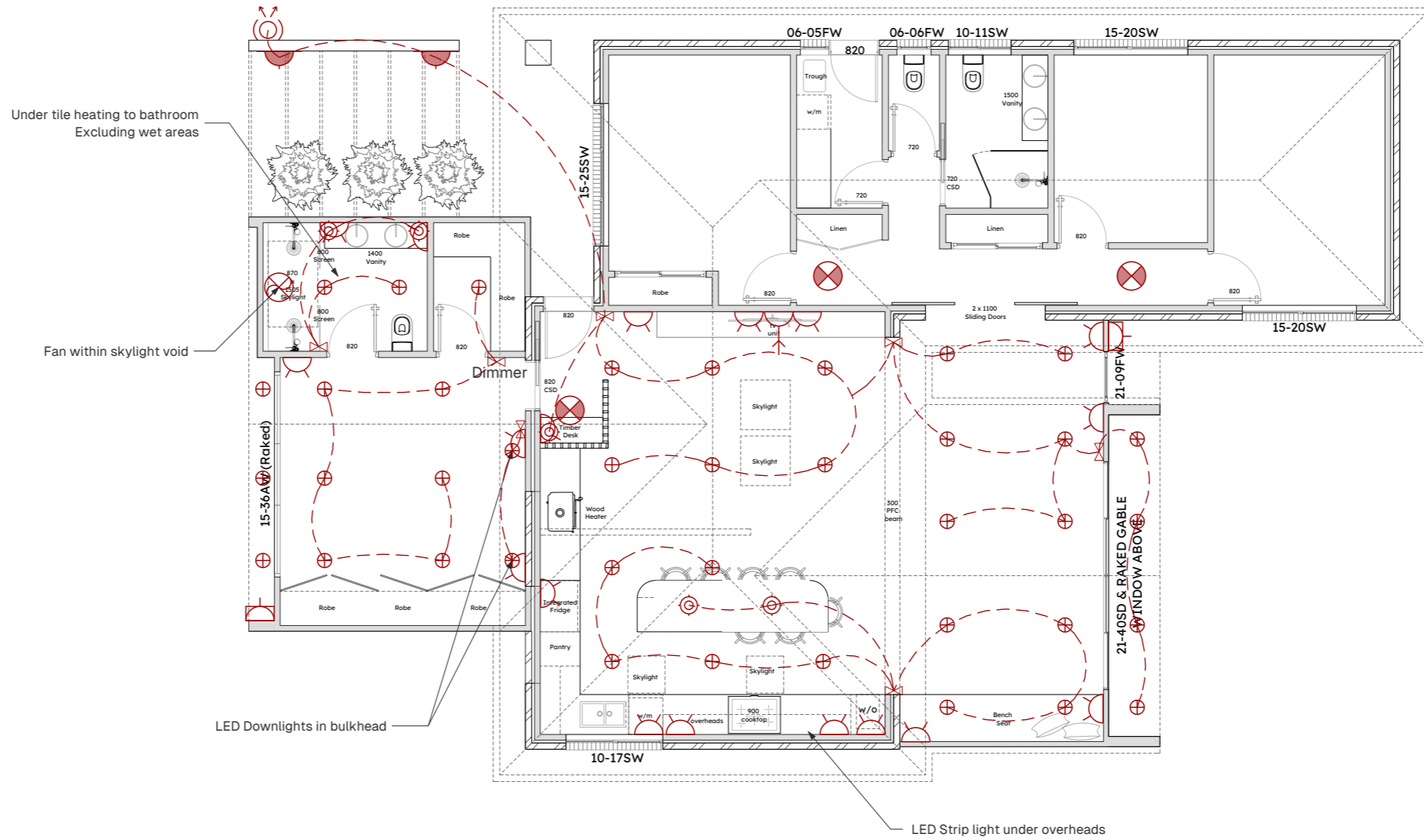
**4 EXISTING ELEVATIONS**  
SCALE: 1:100



**5 PROPOSED ELEVATIONS**  
SCALE: 1:100

**LEGEND**

-  STANDARD CEILING LIGHT (14W)
-  LED DOWNLIGHT (9W)
-  PENDANT LIGHT (9.5W)
-  INTERNAL WALL LIGHT POINT (20W)
-  EXTERNAL WALL LIGHT POINT
-  SINGLE FLUORESCENT LIGHT (28W)
-  WALL MOUNTED AIR CONDITIONER
-  2 LIGHT/HEATER/EXHAUST (1110W)
-  4 LIGHT/HEATER/EXHAUST (1110W)
-  SINGLE GPO
-  DOUBLE GPO
-  EXTERNAL GPO
-  EXHAUST FAN TO OUTSIDE AIR
-  SMOKE ALARM INTERCONNECTED
-  TELEVISION CONNECTION POINT
-  PHONE CONNECTION POINT
-  STAIR TRED LIGHTS (3W)
-  METER BOX
-  NBN HUB
-  SECURITY SENSOR
-  SECURITY KEY PAD
-  SENSOR LIGHT
-  SPOT LIGHT
-  90DN DOWNPIPE
-  90DN DOWNPIPE (SPREADER)
-  LIGHT SWITCH
-  PANEL HEATER



**ELECTRICIAN PLEASE NOTE:**

- EXHAUST FAN DUCTED TO ATMOSPHERE
- SMOKE ALARM HARD WIRED WITH BATTERY BACKUP AND INTERCONNECTED

**ENERGY NOTES:**

- 75mm XPS UNDER SLAB INSULATION
- R2.5 INSULATION TO ALL EXTERNAL WALLS EXPOSED
- R2.5 SOUNDSHIELD TO ALL INTERNAL WALLS EXPOSED
- R5 TO CEILINGS
- ALL DOWNLIGHTS TO BE IC-4 RATED

**6 ELECTRICAL PLAN**  
SCALE: 1:100



**7** **EXTERNAL PERSPECTIVES**  
SCALE: 1:100