



**GLAMORGAN/SPRING BAY COUNCIL**  
**NOTICE OF PROPOSED DEVELOPMENT**

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE:** **40 Alma Road, Orford with access via a ROW  
over 42 Alma Road, Orford  
CT 186679/5, 186679/4**

**PROPOSAL:** **Residential - Single Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail ([planning@freycinet.tas.gov.au](mailto:planning@freycinet.tas.gov.au)) addressed to the Chief Executive Officer. Representations must be received before midnight on 21 May 2026.

**APPLICANT:** **Woolcott Land Services**  
**DATE:** **10/02/2026**  
**APPLICATION NO:** **DA 2026 / 022**

# Application for Planning Approval

## Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

*Note: All correspondence with the applicant will be via email unless otherwise advised*

Owner (if different from applicant)			
Address:			
Suburb:			
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m <sup>2</sup> or Ha)			
Certificate of Title(s):			
Current use of site:			

<b>General Application Details</b> <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No
<b>For all Non-Residential Applications</b>	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
<b>Personal Information Protection Statement</b>	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

## **Checklist of application documents:** *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 186679	FOLIO 5
EDITION 3	DATE OF ISSUE 14-Aug-2025

SEARCH DATE : 29-Jan-2026

SEARCH TIME : 10.32 am

DESCRIPTION OF LAND

Parish of TRIABUNNA Land District of PEMBROKE  
 Lot 5 on Sealed Plan [186679](#)  
 Derivation : Part of Lot 9974, 55A-3R-0P Gtd. to Anna Rosa Budd  
 Prior CT [35054/1](#)

SCHEDULE 1

[N273576](#) TRANSFER to JAMES STEPHEN PAYNE and JULIE DAWN RHODES  
 Registered 14-Aug-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[SP186679](#) EASEMENTS in Schedule of Easements  
[SP186679](#) COVENANTS in Schedule of Easements  
[SP186679](#) FENCING PROVISION in Schedule of Easements  
[E391420](#) AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 20-Aug-2024 at noon

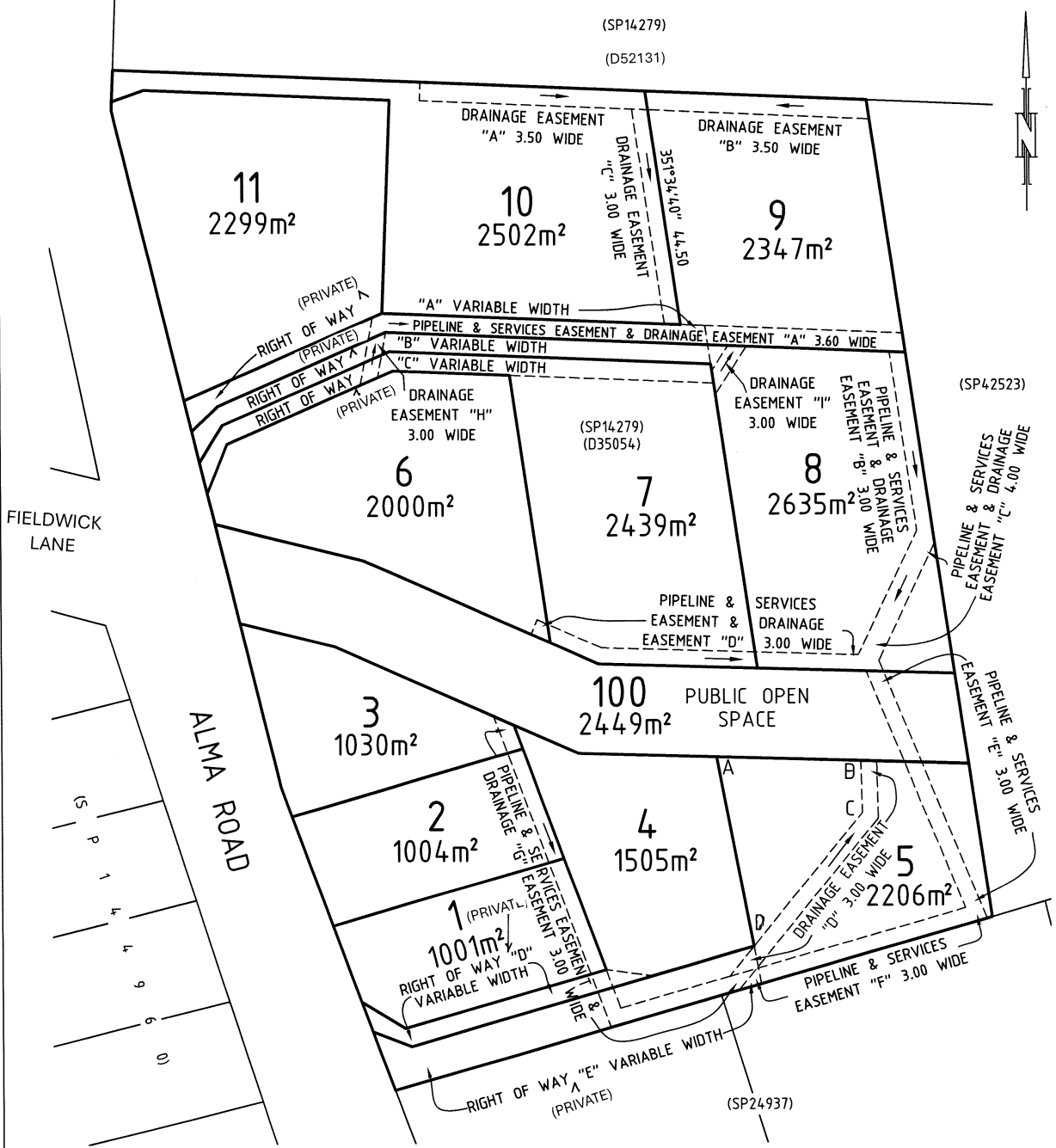
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: ORFORD DEVELOPMENTS PTY LTD	<b>PLAN OF SURVEY</b> BY SURVEYOR: C. M. TERRY of <b>OPDA</b> <small>SURVEYORS, ENGINEERS &amp; PLANNERS</small> 127 BATHURST STREET, HOBART	REGISTERED NUMBER <b>SP186679</b>
FOLIO REFERENCE: F.R.35054/1		APPROVED EFFECTIVE FROM <b>20 AUG 2024</b>
GRANTEE: Part of Lot 9974 Gtd to Anna Rosa Rudd	LOCATION: Parish of TRIABUNNA, Land District of PEMBROKE	Recorder of Titles
SCALE 1: 750	LENGTHS IN METRES	SURVEYORS REF 47605NG

PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

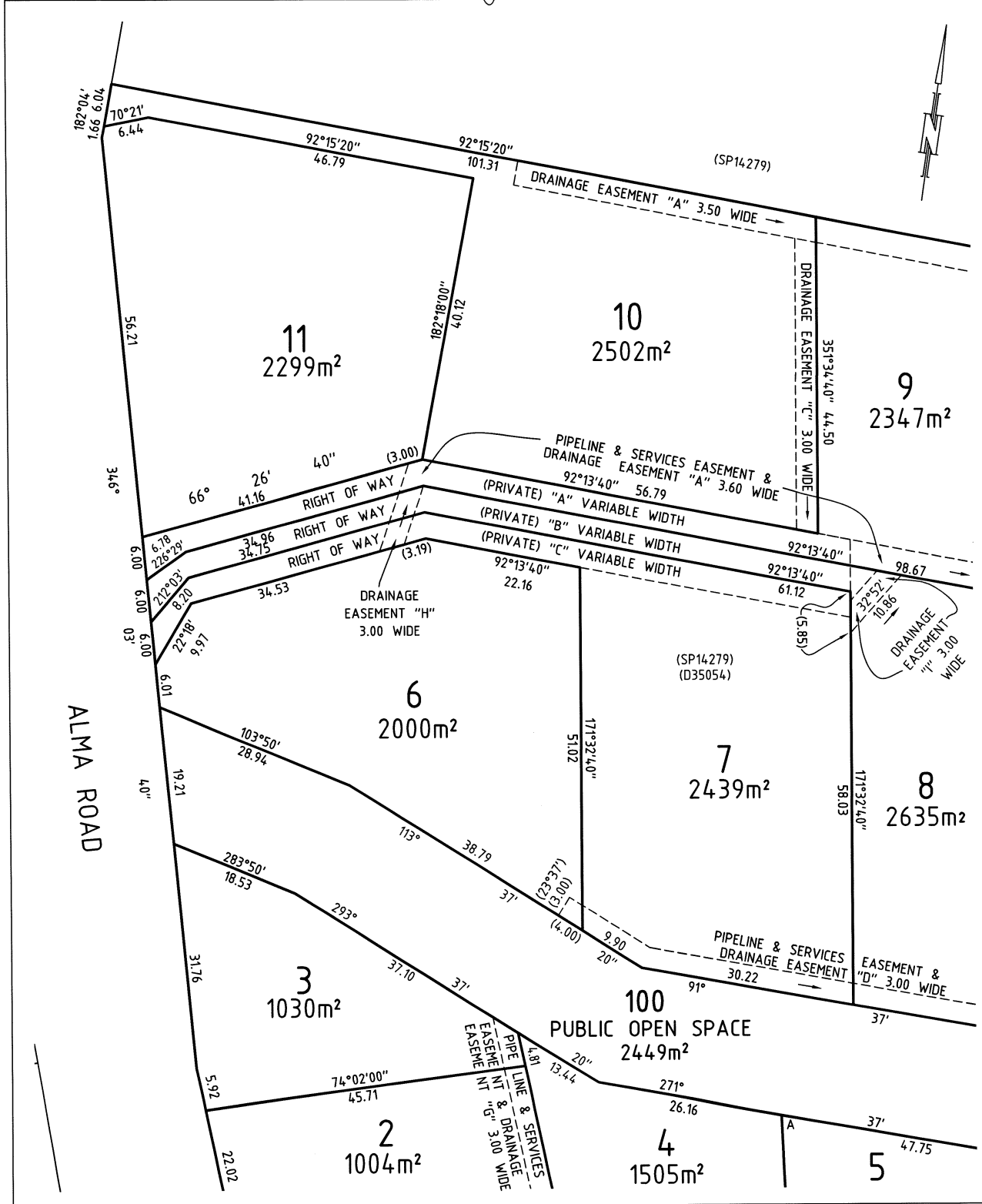
**INDEX PLAN**



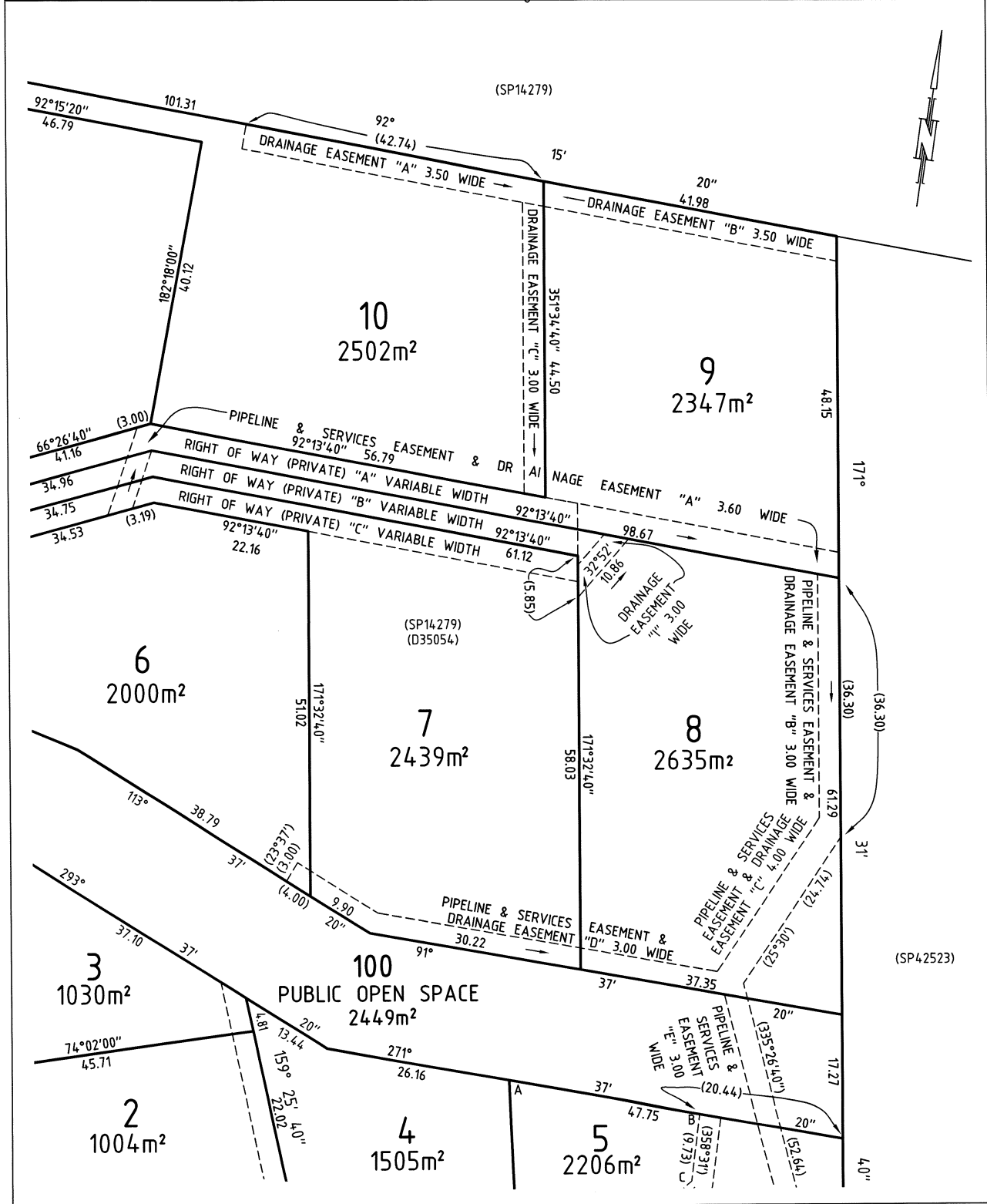
Registered Land Surveyor *[Signature]* Date **11/2/2024**

Council Delegate *[Signature]* Date **10/07/24**

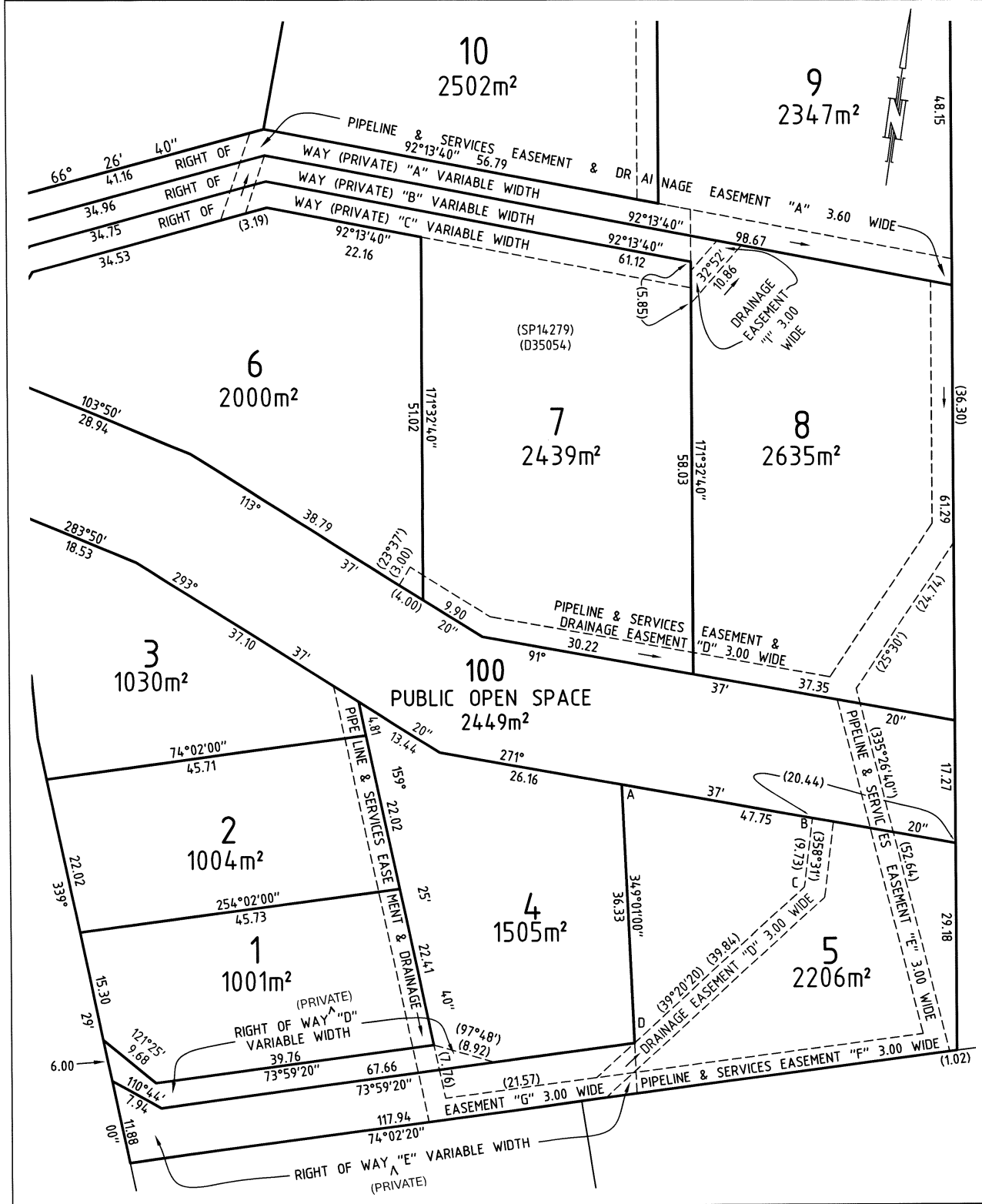
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS</p>	<p>OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:400 LENGTH IN METRES SURVEYORS REF: 47605NG</p>	<p>Registered Number <b>SP186679</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate 10/07/24 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>[Signature]</i> Registered Land Surveyor 1/2/2024 Date</p>	<p>APPROVED EFFECTIVE FROM 20 AUG 2024 <i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 3 SHEETS</p>	<p>OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:400 LENGTH IN METRES SURVEYORS REF: 47605NG</p>	<p>Registered Number <b>SP186679</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10/07/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 12/2024 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 20 AUG 2024 <i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS</p>	<p>OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:400 LENGTH IN METRES SURVEYORS REF: 47605NG</p>	<p>Registered Number <b>SP186679</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10/07/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 11/2/2024 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 20 AUG 2024 <i>[Signature]</i> Recorder of Titles</p>



SEARCH OF TORRENS TITLE

VOLUME 186679	FOLIO 4
EDITION 2	DATE OF ISSUE 31-Oct-2024

SEARCH DATE : 03-Feb-2026

SEARCH TIME : 03.47 pm

DESCRIPTION OF LAND

Parish of TRIABUNNA Land District of PEMBROKE  
 Lot 4 on Sealed Plan [186679](#)  
 Derivation : Part of Lot 9974, 55A-3R-0P Gtd. to Anna Rosa Budd  
 Prior CT [35054/1](#)

SCHEDULE 1

[N218068](#) TRANSFER to PAUL THOMAS LYNDON and REBECCA CATHERINE  
 MOLONEY Registered 31-Oct-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[SP186679](#) EASEMENTS in Schedule of Easements  
[SP186679](#) FENCING PROVISION in Schedule of Easements  
[E391420](#) AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 20-Aug-2024 at noon  
[E396098](#) MORTGAGE to Commonwealth Bank of Australia  
 Registered 31-Oct-2024 at 12.02 pm

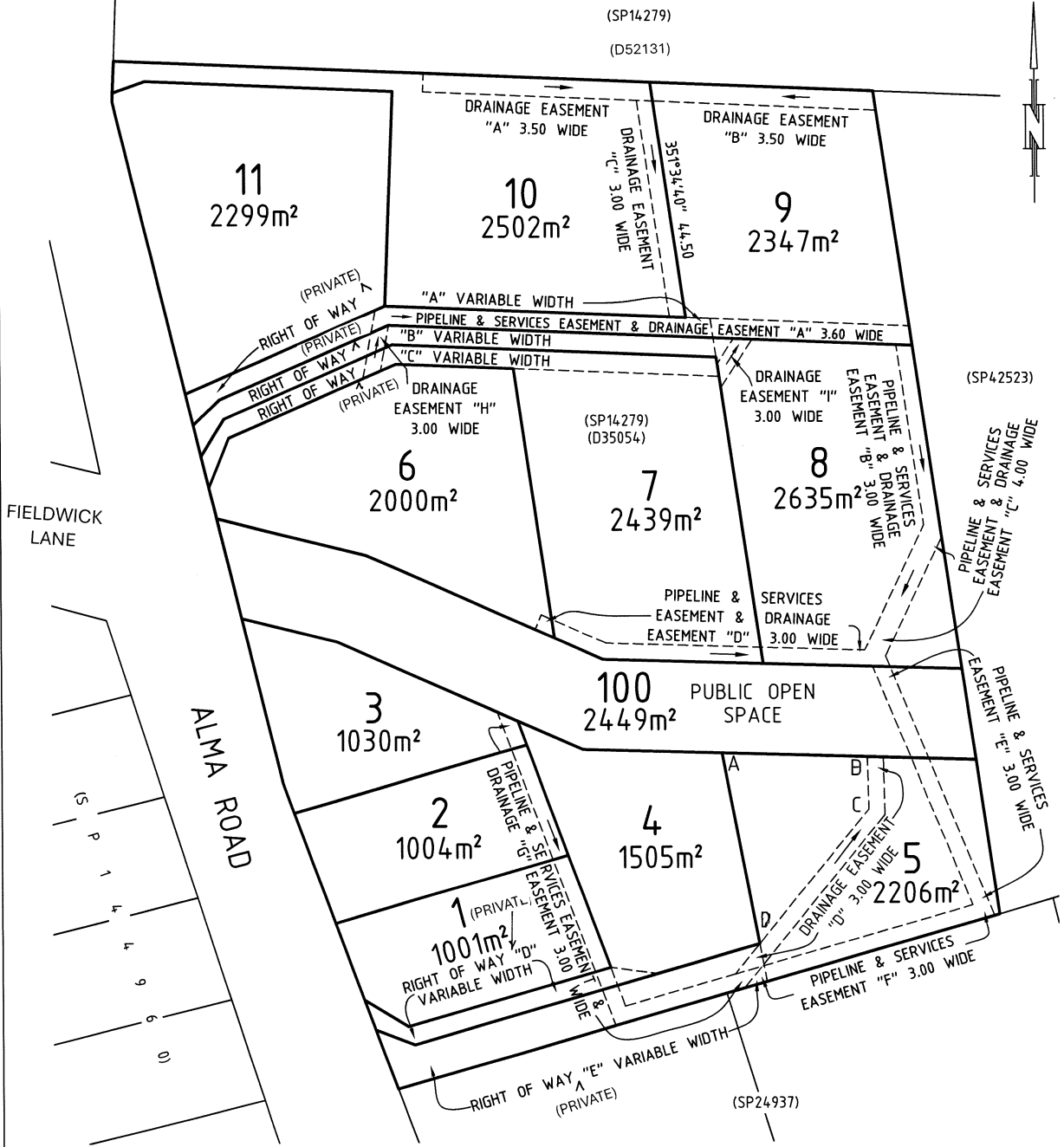
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

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FOLIO REFERENCE: F.R.35054/1		APPROVED EFFECTIVE FROM 20 AUG 2024
GRANTEE: Part of Lot 9974 Gtd to Anna Rosa Rudd	LOCATION: Parish of TRIABUNNA, Land District of PEMBROKE	Recorder of Titles
SCALE 1: 750	LENGTHS IN METRES	SURVEYORS REF 47605NG

PRIORITY FINAL PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

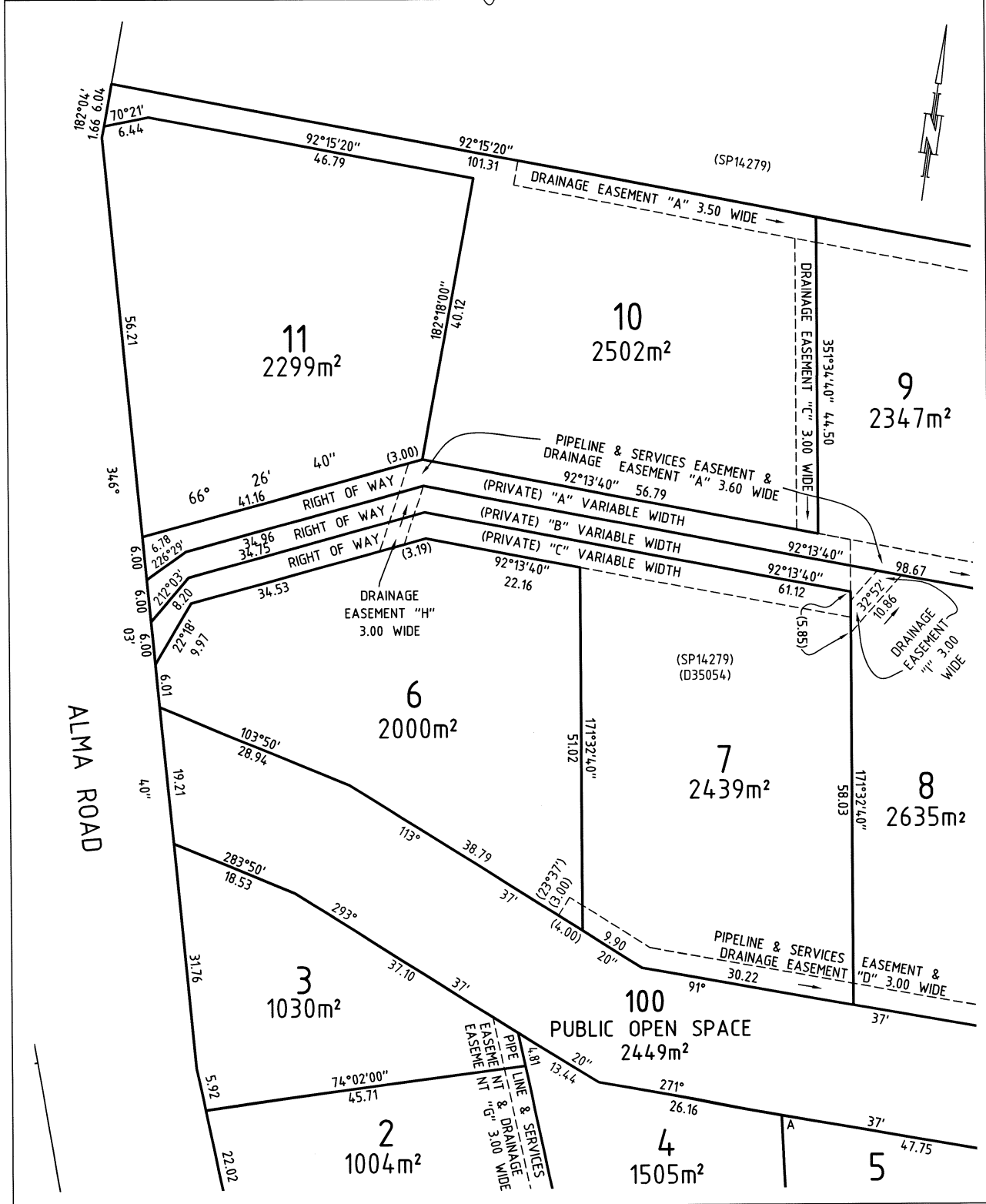
**INDEX PLAN**



*[Signature]*  
Registered Land Surveyor  
11/2/2024  
Date

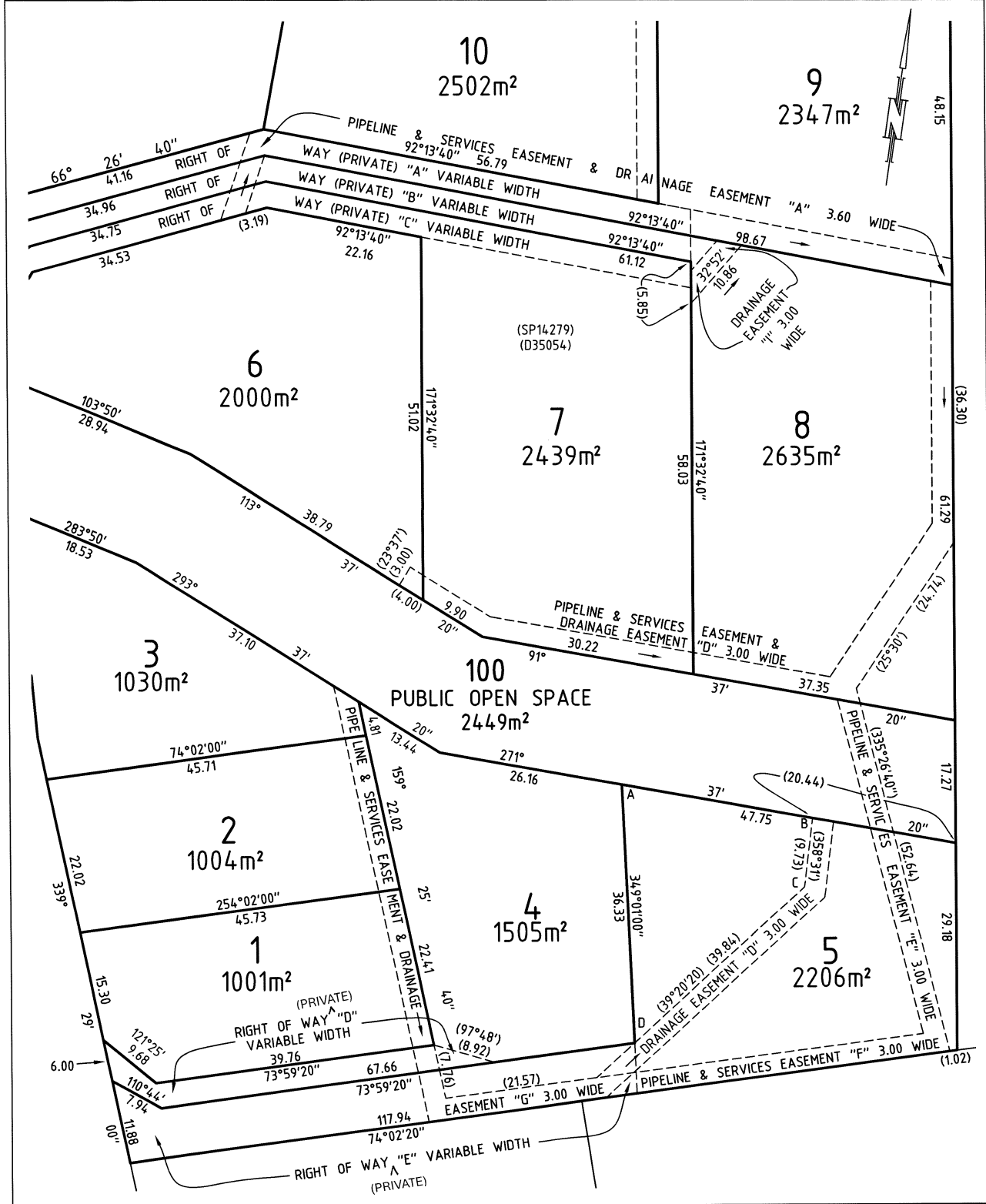
*[Signature]*  
Council Delegate  
10/07/24  
Date

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS</p>	<p>OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1: <del>400</del> <sup>500</sup> LENGTH IN METRES SURVEYORS REF: 47605NG</p>	<p>Registered Number <b>SP186679</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council Delegate 10/07/24 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>[Signature]</i> Registered Land Surveyor 1/2/2024 Date</p>	<p>APPROVED EFFECTIVE FROM 20 AUG 2024 <i>[Signature]</i> Recorder of Titles</p>





<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS</p>	<p>OWNER: ORFORD DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R.35054/1 SCALE 1:400 LENGTH IN METRES SURVEYORS REF: 47605NG</p>	<p>Registered Number <b>SP186679</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> 10/07/24 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i> 11/2/2024 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 20 AUG 2024 <i>[Signature]</i> Recorder of Titles</p>



<p align="center"><b>SCHEDULE OF EASEMENTS</b></p> <p><b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 2em;"><b>SP186679</b></p>
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PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

1. Lots 1, 2, 3, 4, and 5 on the Plan are subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE "G" EASEMENT 3.00 WIDE" shown passing through Lots 1, 2, 3, 4, and 5 on the Plan ("the Easement Land").
2. Lots 1, 2, 3, 4, and 5 on the Plan are subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE "G" EASEMENT 3.00 WIDE shown passing through Lots 1, 2, 3, 4, and 5 on the Plan.
3. Lot 4 on the Plan is subject to a **right of carriage way** in favour of Lot 5 on the Plan over the land marked "RIGHT OF WAY "D" VARIABLE WIDTH", as shown passing through Lot 4 on the Plan.  
(PRIVATE)
4. Lot 4 on the Plan is together with a **right of carriage way appurtenant to Lot 5 on the Plan** over the land marked "RIGHT OF WAY "E" VARIABLE WIDTH", as shown passing through Lot 4 on the Plan.  
(PRIVATE)
5. Lot 5 on the Plan is subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT "F" 3.00 WIDE" shown passing through Lot 5 on the Plan ("the Easement Land").
6. Lot 5 on the Plan is subject to a **right of carriage way** in favour of Lot 4 on the Plan over the land marked "RIGHT OF WAY "E" VARIABLE WIDTH", as shown passing through Lot 5 on the Plan.  
(PRIVATE)
7. Lot 5 on the Plan is together with a **right of carriage way appurtenant to Lot 4 on the Plan** over the land marked "RIGHT OF WAY "D" VARIABLE WIDTH", as shown passing through Lot 4 on the Plan.  
(PRIVATE)
8. Lot 5 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "D" 3.00 WIDE" as shown passing through Lot 5 on the Plan.

.....  
Wendy Bellamy  
Director

.....  
Matthew Mansfield  
Director

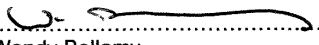
(USE ANNEXURE PAGES FOR CONTINUATION)

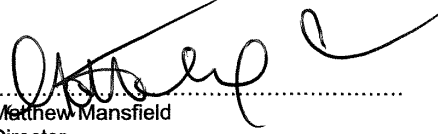
<p>SUBDIVIDER: ORFORD DEVELOPMENTS PTY LTD (ACN 648 424 444)</p> <p>FOLIO REF: 35054/1</p> <p>SOLICITOR &amp; REFERENCE: Butler McIntyre &amp; Butler KPB 232274</p>	<p>PLAN SEALED BY:</p> <p>DATE: <u>10/07/2024</u></p> <p><u>SA2026/009</u> REF NO.</p> <p align="right">..... Council Delegate</p>
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**NOTE:** The Council Delegate must sign the Certificate for the purposes of identification.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP.186679</b></p>
<p>SUBDIVIDER: ORFORD DEVELOPMENTS PTY LTD (ACN 648 424 444)</p> <p>FOLIO REFERENCE: 35054/1</p>	

9. Lots 5 and 100 on the Plan are subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT "E" 3.00 WIDE" as shown passing through Lots 5 and 100 on the Plan ("the Easement Land").
10. Lots 6, 7, and 8 on the Plan are subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "D" 3.00 WIDE" as shown passing through Lots 6, 7, and 8 on the Plan.
11. Lots 6, 7, and 8 on the Plan are subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "D" 3.00 WIDE" as shown passing through Lots 6, 7, and 8 on the Plan ("the Easement Land").
12. Lots 6, 7, 9, and 10 on the Plan are together with a **right of carriage way appurtenant to Lot 8 on the Plan** over the land marked "RIGHT OF WAY "B" VARIABLE WIDTH", as shown passing through Lot 8 on the Plan.  
(PRIVATE)
13. Lots 6, 8, 9, and 10 on the Plan are together with a **right of carriage way appurtenant to Lot 7 on the Plan** over the land marked "RIGHT OF WAY "C" VARIABLE WIDTH", as shown passing through Lot 7 on the Plan.  
(PRIVATE)
14. Lots 6, 7, 8, and 10 on the Plan are together with a **right of carriage way appurtenant to Lot 9 on the Plan** over the land marked "RIGHT OF WAY "A" VARIABLE WIDTH", as shown passing through Lot 9 on the Plan.  
(PRIVATE)
15. Lot 7 on the Plan is subject to a **right of carriage way** in favour of Lots 6, 8, 9, and 10 over the land marked "RIGHT OF WAY "C" VARIABLE WIDTH", as shown passing through Lot 7 on the Plan.  
(PRIVATE)
16. Lots 7 and 8 on the Plan are subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "H" 3.00 WIDE" as shown passing through Lots 7 and 8 on the Plan.
17. Lot 8 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "I" 3.00 WIDE" as shown passing through Lot 8 on the Plan.
18. Lot 8 on the Plan is subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "C" 4.00 WIDE" as shown passing through Lot 8 on the Plan ("the Easement Land").
19. Lot 8 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "C" 4.00 WIDE" as shown passing through Lot 8 on the Plan.
20. Lot 8 on the Plan is subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "B" 3.00 WIDE" as shown passing through Lot 8 on the Plan ("the Easement Land").
21. Lot 8 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "B" 3.00 WIDE" as shown passing through Lot 8 on the Plan.

  
.....  
Wendy Bellamy  
Director

  
.....  
Matthew Mansfield  
Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP.186679</b></p>
<p>SUBDIVIDER: ORFORD DEVELOPMENTS PTY LTD (ACN 648 424 444)</p> <p>FOLIO REFERENCE: 35054/1</p>	

- 22. Lot 8 on the Plan is subject to a **right of carriage way** in favour of Lots 6, 7, 9, and 10 over the land marked "RIGHT OF WAY "B" VARIABLE WIDTH", as shown passing through Lot 8 on the Plan.  
(PRIVATE)
- 23. Lot 9 on the Plan is subject to a **Pipeline and Services Easement** in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "A" 3.60 WIDE" as shown passing through Lot 9 on the Plan ("the Easement Land").
- 24. Lot 9 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT "A" 3.60 WIDE" as shown passing through Lot 9 on the Plan.
- 25. Lot 9 on the Plan is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "B" 3.50 WIDE" as shown passing through Lot 9 on the Plan.
- 26. Lot 9 on the Plan is subject to a **right of carriage way** in favour of Lots 6, 7, 8, and 10 over the land marked "RIGHT OF WAY "A" VARIABLE WIDTH", as shown passing through Lot 9 on the Plan.  
(PRIVATE)
- 27. Lot 10 on the Plan are subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "A" 3.50 WIDE" shown passing through Lot 10 on the Plan.
- 28. Lot 10 is subject to a **right of drainage** in favour of Glamorgan Spring Bay Council over the land marked "DRAINAGE EASEMENT "C" 3.00 WIDE" shown passing through Lot 10 on the Plan.

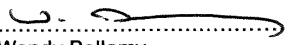
**COVENANTS**

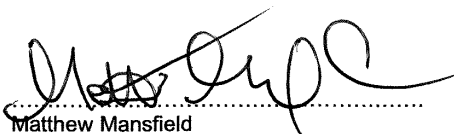
The owner of Lot 5 on the Plan covenants with the Vendor, Orford Developments Pty Ltd (ACN 648 424 444), and the owner of each and every other lot on the Plan and to the intent that the burden of the covenant will run with and bind the Covenantor's lot and every part thereof and that the benefit thereof may be created in favour of each and every lot on the Plan to observe the following stipulations:

- (a) Not to erect or construct or permit to be erected or constructed any impervious surface outside the area marked "A B C D" on the Plan.

**FENCING PROVISION**

In respect of the Lots shown on the Plan the Vendor, Orford Developments Pty Ltd (ACN 648 424 444), shall not be required to fence.

  
.....  
Wendy Bellamy  
Director

  
.....  
Matthew Mansfield  
Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP186679</b></p>
<p>SUBDIVIDER: ORFORD DEVELOPMENTS PTY LTD (ACN 648 424 444)</p> <p>FOLIO REFERENCE: 35054/1</p>	

**DEFINITIONS**

In this Schedule of Easements:

“**Pipeline and Services Easement**” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

.....  
 Wendy Bellamy  
 Director

.....  
 Matthew Mansfield  
 Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 5 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP186679</b></p>
<p>SUBDIVIDER: ORFORD DEVELOPMENTS PTY LTD (ACN 648 424 444)</p> <p>FOLIO REFERENCE: 35054/1</p>	

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

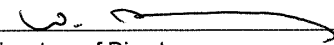
"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Executed by **Orford Developments Pty Ltd** (ACN 648 424 444) pursuant to section 127(1) of the *Corporations Act 2001* (Cth)

By:

Wendy Bellamy

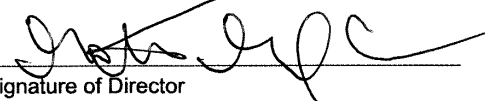
Director



Signature of Director

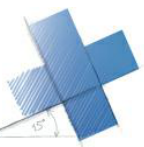
Matthew Mansfield

Director



Signature of Director

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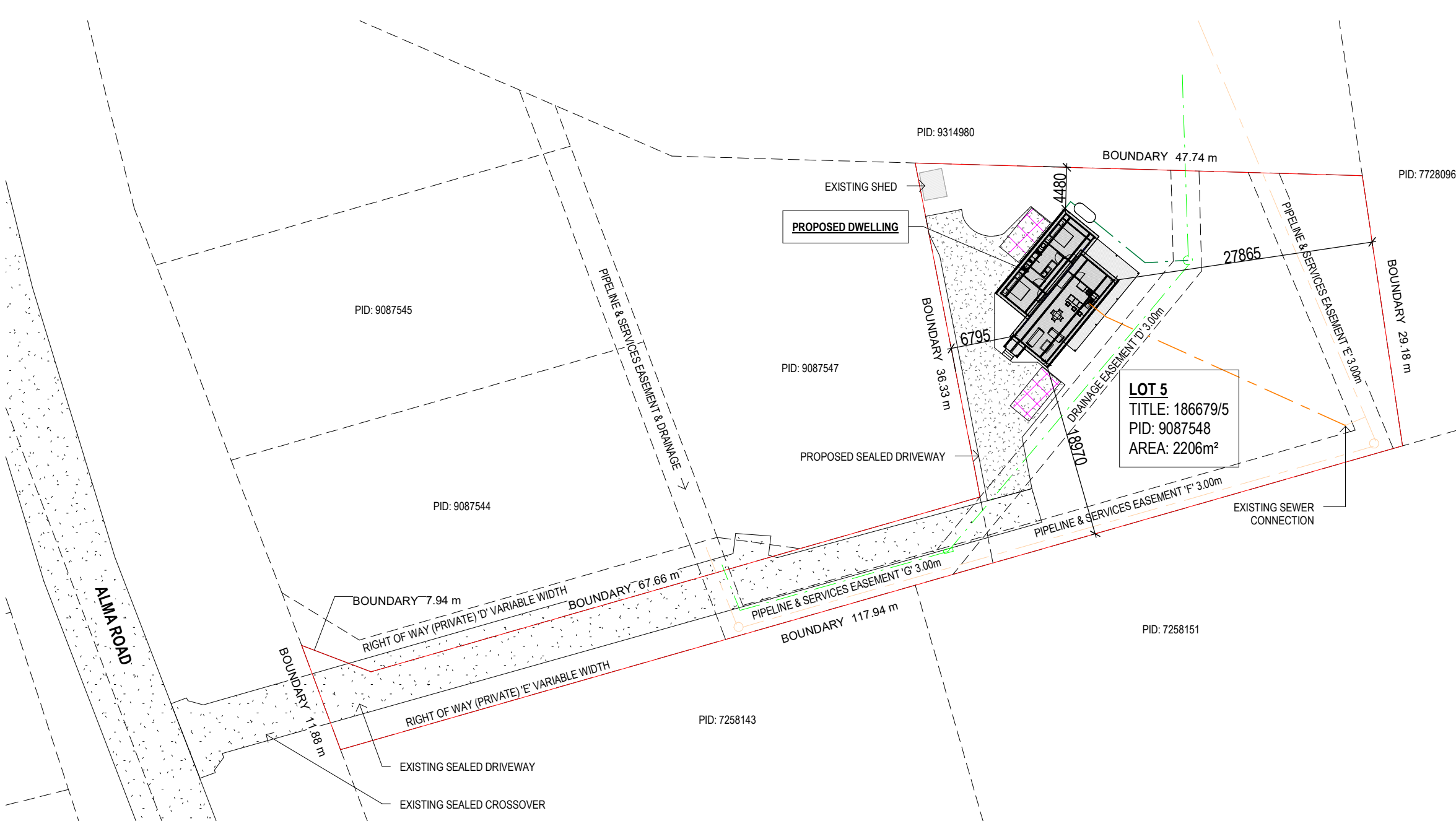
- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY  
- SIGN SIZE DIMENSIONS  
- MIN. 300mm x 300mm  
- LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL - GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
  - A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
  - A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
  - A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

**BAL NOTES:**

- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS
- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS
- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE



**LOT 5**  
TITLE: 186679/5  
PID: 9087548  
AREA: 2206m<sup>2</sup>

**LOCALITY PLAN**  
SCALE 1:500

**ISSUED FOR APPROVAL**

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**NOTE:**  
ENTIRETY OF THIS SITE PLAN IS WITHIN BUSHFIRE HAZARD AREA.

Client: **J. PAYNE & J. RHODES**  
Project: **PROPOSED DWELLING**  
Address: **40 ALMA RD**  
**ORFORD TAS 7190**

Mob 0417 362 783 or 0417 545 813  
jack@engineeringplus.com.au  
trin@engineeringplus.com.au



Date Drawn: 30.01.26  
Drawn: W. Tan  
Checked: C. Lim  
Approved: J. Pfeiffer  
Scale: As Shown @ A3

C	MINOR UPDATES	26.02.26	C.L.
B	STORMWATER DETENTION	06.02.26	W.T.
A	ISSUED FOR APPROVAL	30.01.26	W.T.
Rev:	Amendment:	Date:	Int:

Accredited Building Designer  
Designer Name: **J. Pfeiffer**  
Accreditation No: CC2211T

Drawing No: **2025-413 A01 / A09** Rev **C**

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LEGEND	
	SEWER
	WATER
	STORMWATER

**DRAINAGE**  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

**NOTE**  
STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

**NOTE:**  
ALL WORKS ARE TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE(NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, RELEVANT REPORT WILL BE PRESENTED. BUILDERS TO VERIFY ALL MEASUREMENTS, SERVICES AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS AND DISCREPANCIES FOUND ON SITE. ENGINEERING PLUS DO NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION.

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**SITE PLAN**  
SCALE 1:200

Client: **J. PAYNE & J. RHODES**  
Project: **PROPOSED DWELLING**  
Address: **40 ALMA RD**  
**ORFORD TAS 7190**

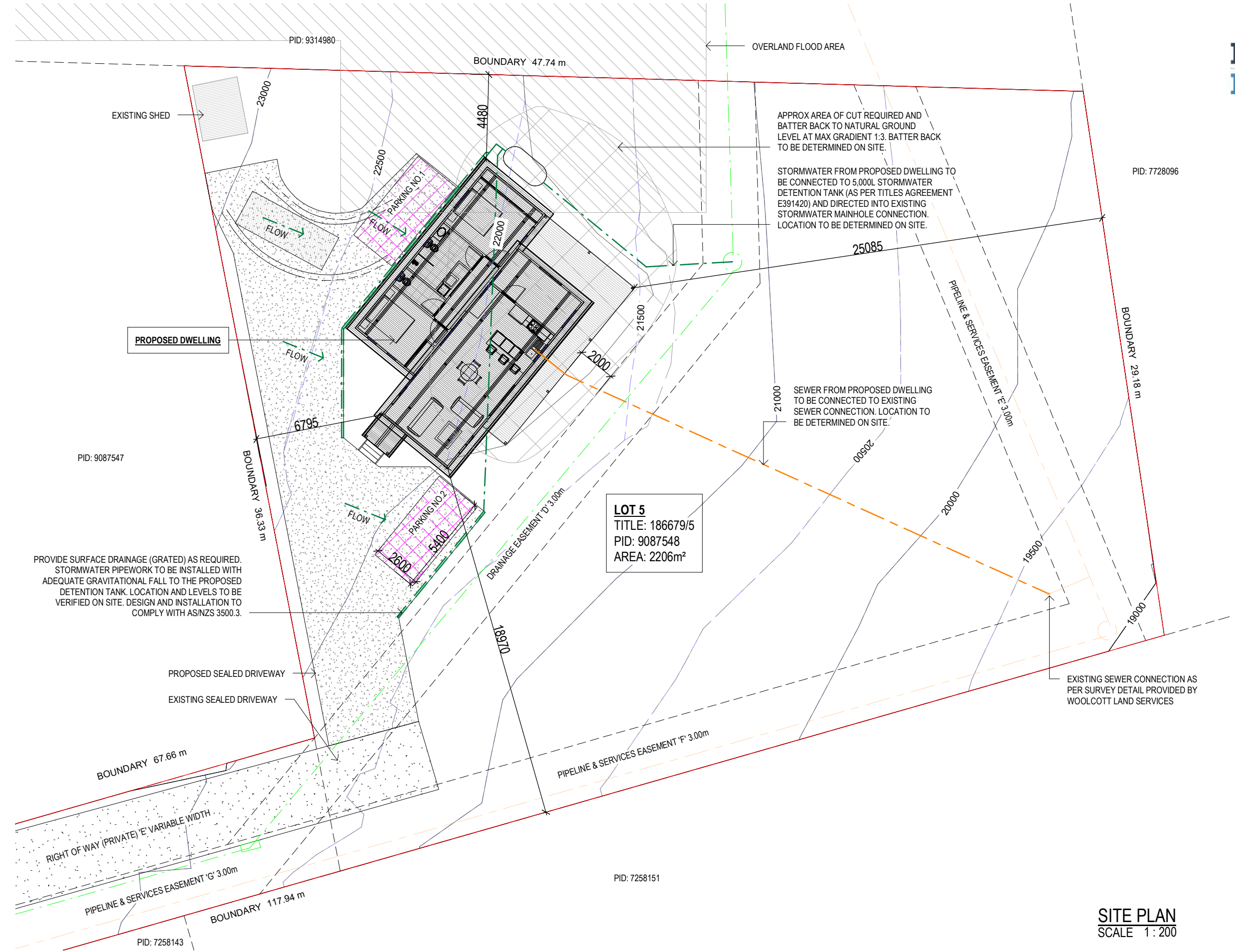
Mob 0417 362 783 or 0417 545 813  
jack@engineeringplus.com.au  
trin@engineeringplus.com.au



Accredited Building Designer  
Designer Name: **J. Pfeiffer**  
Accreditation No: **CC2211T**

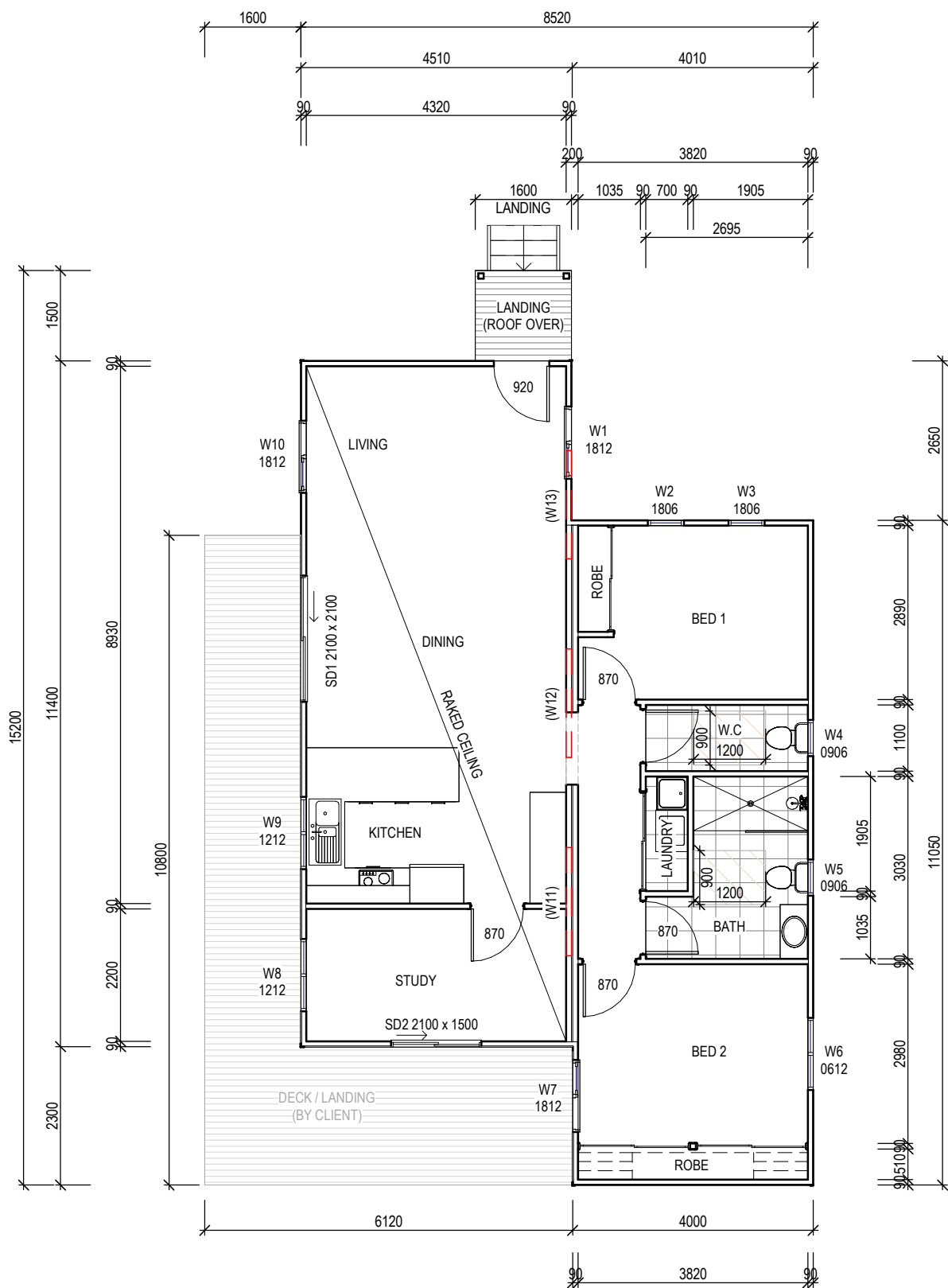
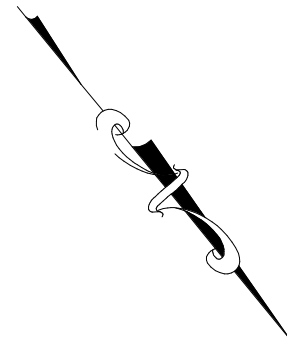
Drawing No: **2025-413 A02 / A09** Rev **C**

C	MINOR UPDATES	26.02.26	C.L.	
B	STORMWATER DETENTION	06.02.26	W.T.	
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Rev:	Amendment:	Date:	Int:	



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**CONSTRUCTION PLAN**  
 SCALE 1 : 100

**WINDOW SCHEDULE**

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1800	1200	DG	4.3	.55
W2	1800	600	DG	4.3	.55
W3	1800	600	DG	4.3	.55
W4	900	600	DG	4.3	.55
W5	900	600	DG	4.3	.55
W6	600	1200	DG	4.3	.55
W7	1800	1200	DG	4.3	.55
W8	1200	1200	DG	4.3	.55
W9	1200	1200	DG	4.3	.55
W10	1800	1200	DG	4.3	.55
^W11	400	1800	DG	4.3	.55
^W12	400	1800	DG	4.3	.55
^W13	400	1800	DG	4.3	.55
SD1	2100	2100	DG	4.0	.61
SD2	2100	1500	DG	4.0	.61

**DISCLAIMER:**  
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	95.68 m <sup>2</sup>	10.30
DECK/LANDING	27.68 m <sup>2</sup>	2.98
LANDING	2.40 m <sup>2</sup>	0.26
	125.75 m <sup>2</sup>	13.54

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 Project: PROPOSED DWELLING  
 Address: 40 ALMA RD  
 ORFORD TAS 7190

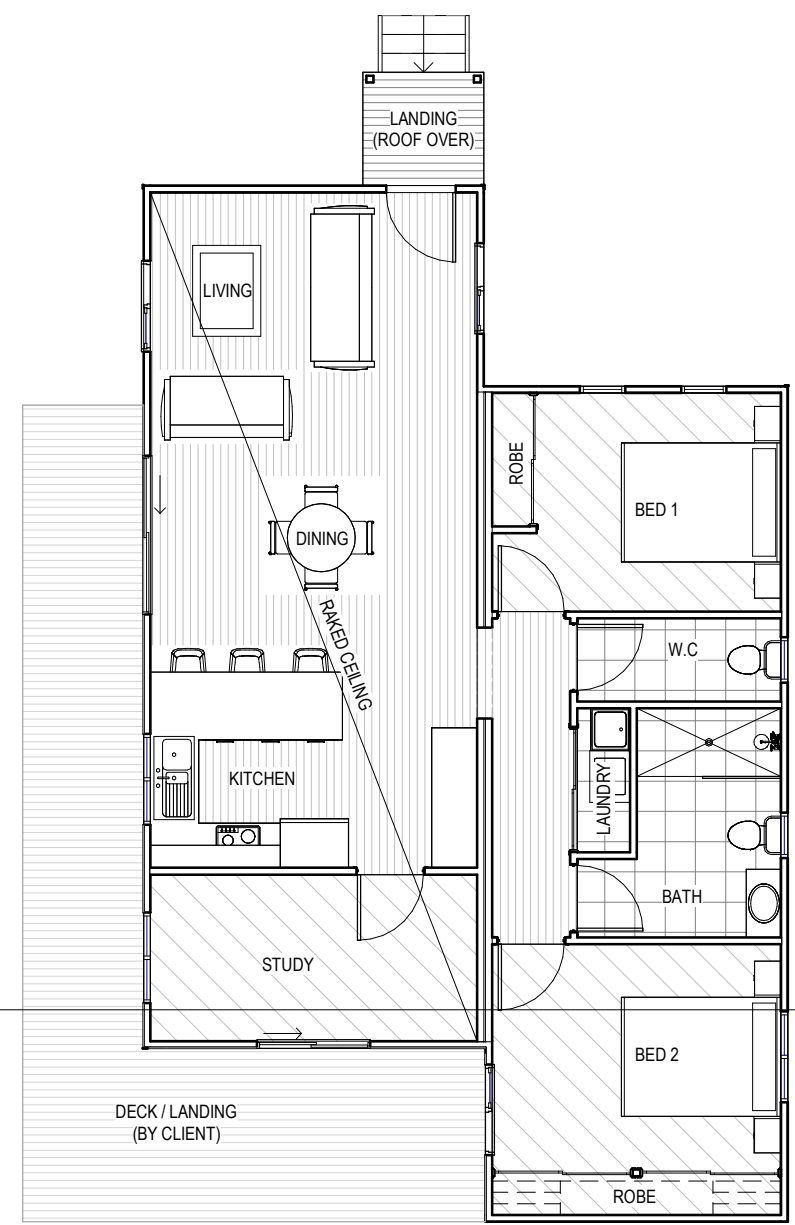
Mob 0417 362 783 or 0417 545 813  
 jack@engineeringplus.com.au  
 trin@engineeringplus.com.au



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				Drawn: W. Tan
				Checked: C. Lim
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
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Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T

Drawing No: 2025-413 A03 / A09 Rev C



FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

**SMOKE ALARMS**  
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

**FLOOR PLAN**  
 SCALE 1 : 100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	95.68 m <sup>2</sup>	10.30
DECK/LANDING	27.68 m <sup>2</sup>	2.98
LANDING	2.40 m <sup>2</sup>	0.26
	125.75 m <sup>2</sup>	13.54

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 Project: PROPOSED DWELLING  
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				Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

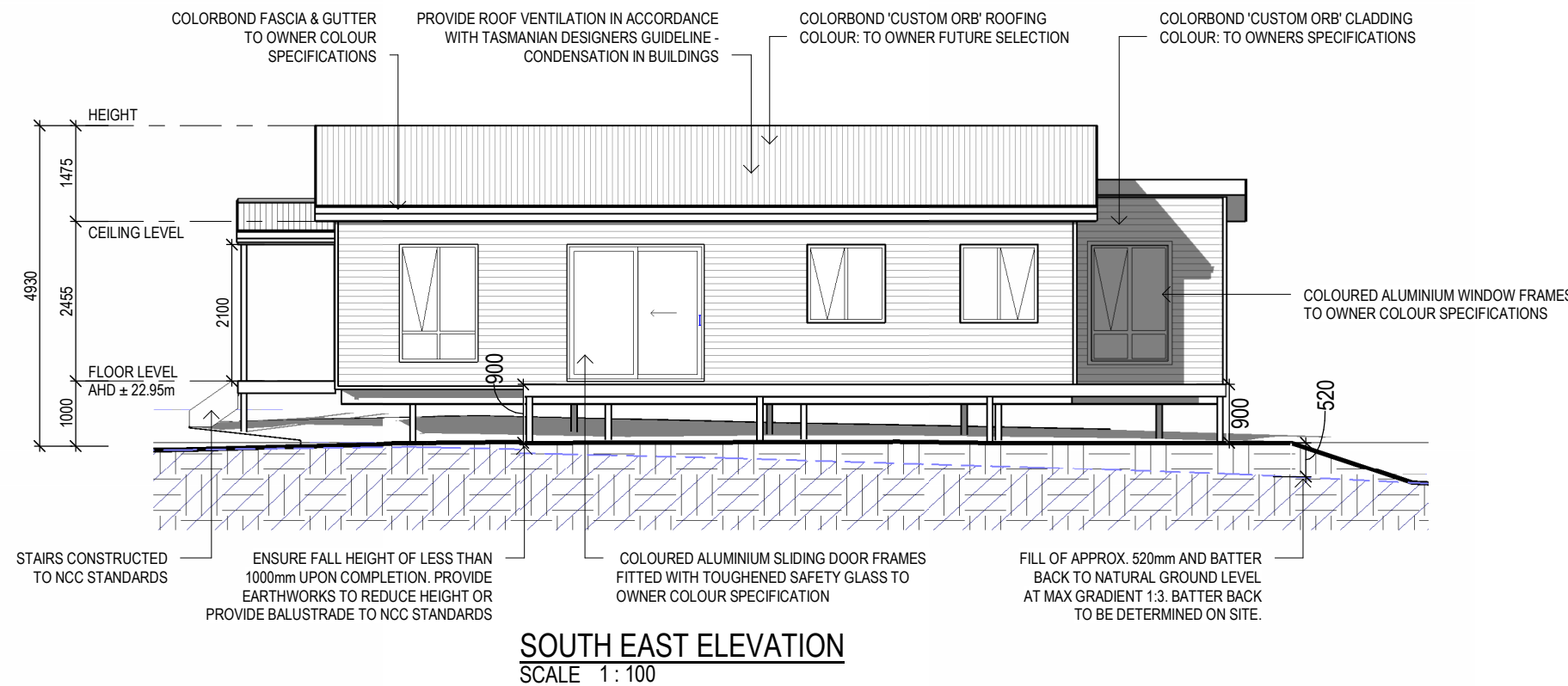
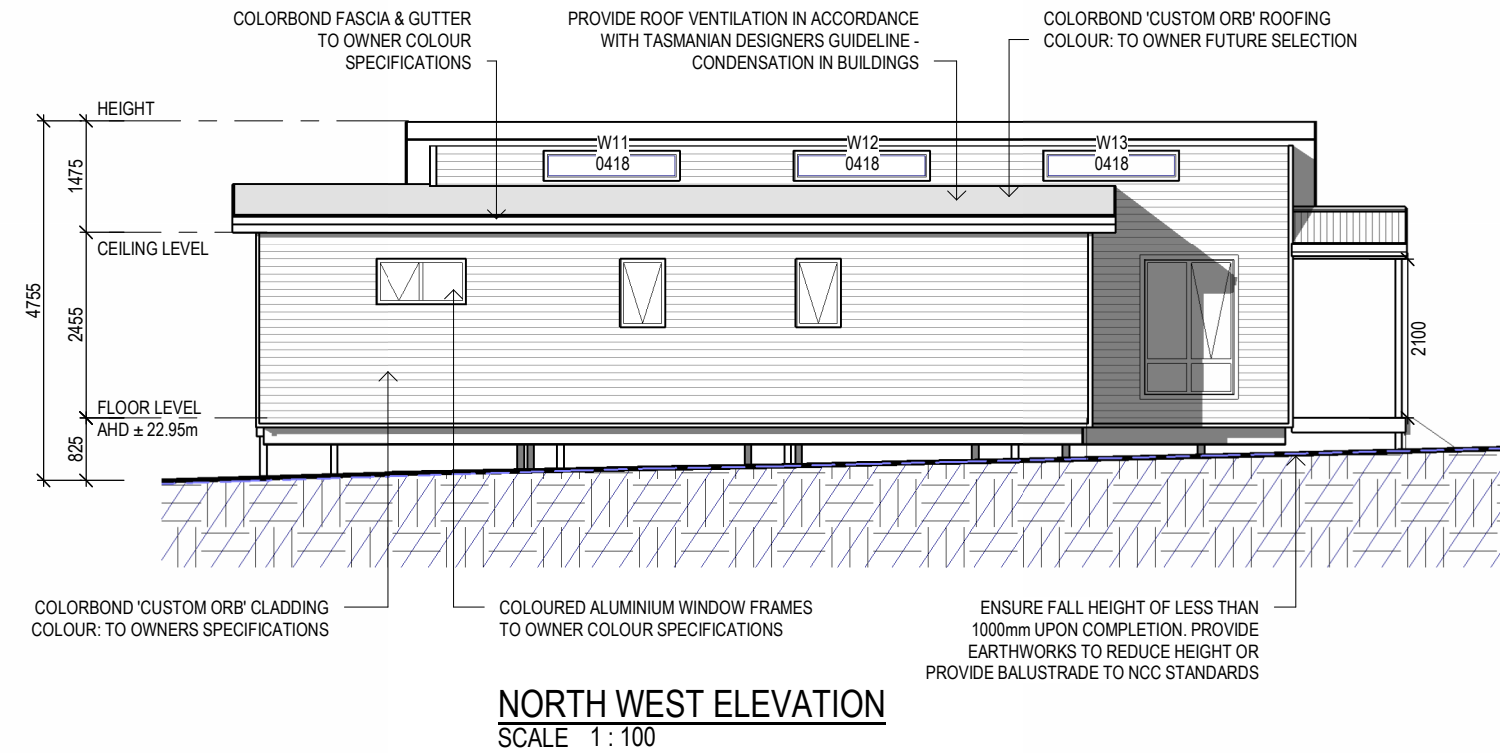
Drawing No: 2025-413 A04 / A09 Rev C

**SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1**

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM<sup>2</sup> PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR  
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



**STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2**

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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Client: **J. PAYNE & J. RHODES**  
 Project: **PROPOSED DWELLING**  
 Address: **40 ALMA RD**  
**ORFORD TAS 7190**

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 jack@engineeringplus.com.au  
 trin@engineeringplus.com.au

Date Drawn:	30.01.26
Drawn:	W. Tan
Checked:	C. Lim
Approved:	J. Pfeiffer
Scale:	As Shown @ A3

Accredited Building Designer  
 Designer Name: **J. Pfeiffer**  
 Accreditation No: **CC2211T**

Drawing No: **2025-413** A05 / A09 Rev **C**

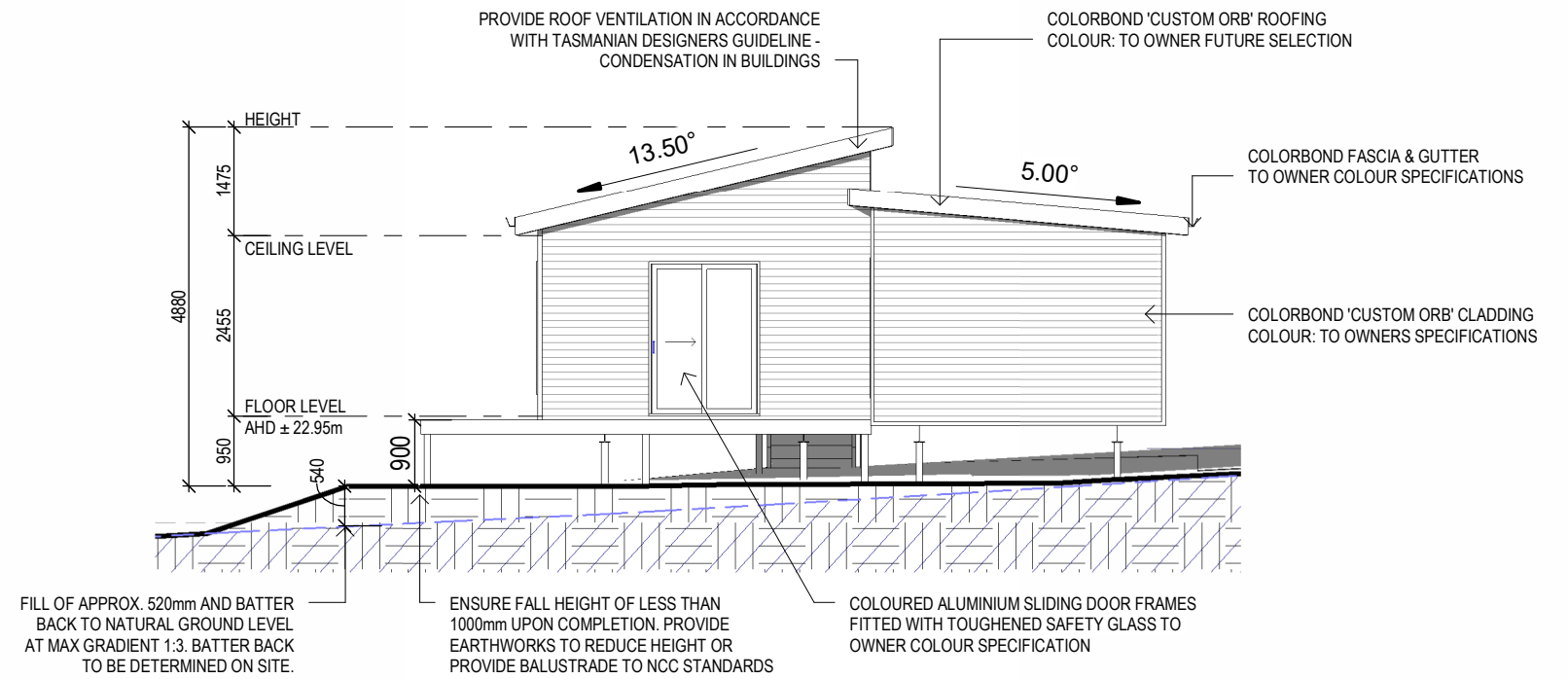
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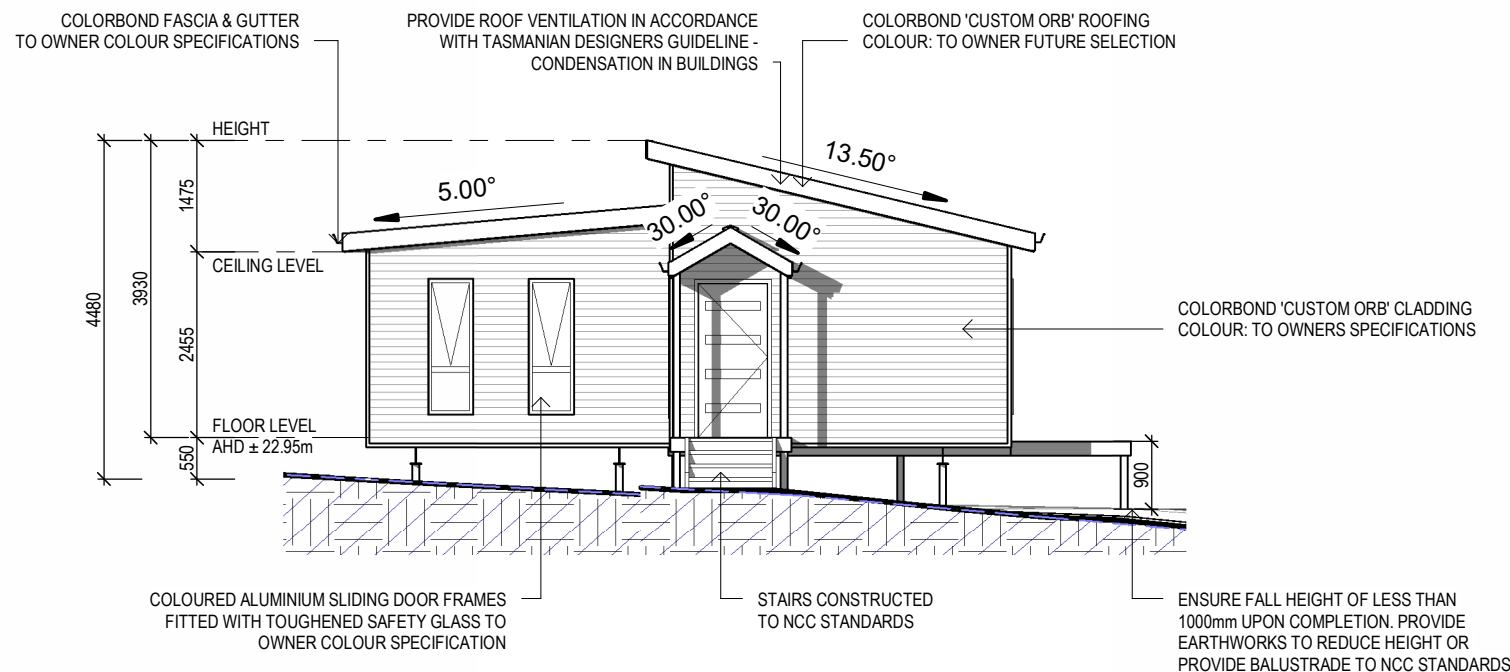
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SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



**NORTH EAST ELEVATION**  
SCALE 1 : 100



**SOUTH WEST ELEVATION**  
SCALE 1 : 100

**SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3**

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.  
PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288  
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

**ISSUED FOR APPROVAL**

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Client: J. PAYNE & J. RHODES  
Project: PROPOSED DWELLING  
Address: 40 ALMA RD  
ORFORD TAS 7190

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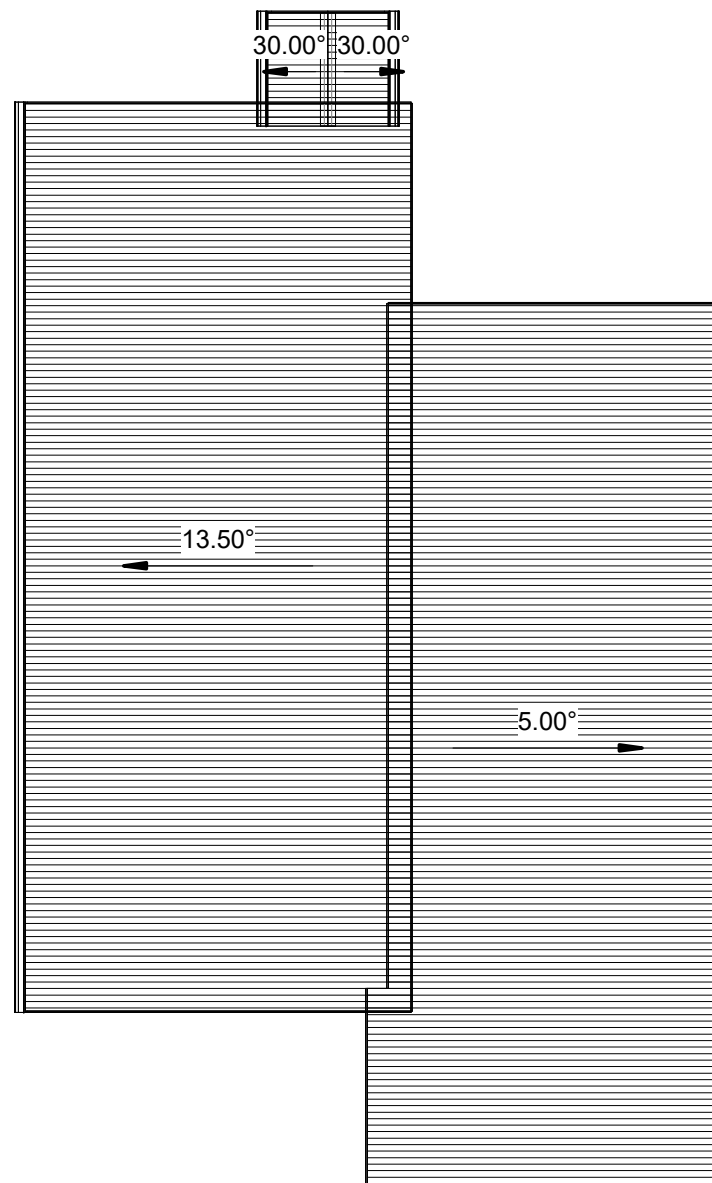


**ENGINEERING PLUS**  
BUILDING DESIGN  
PROJECT MANAGEMENT  
CIVIL/STRUCTURAL ENGINEERING

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Rev:	Amendment:	Date:	Int:	
				Drawing No: 2025-413 A06 / A09
				Rev: C



**ROOF PLAN**  
 SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R3.5 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

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				Checked: C. Lim
				Approved: J. Pfeiffer
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Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T

Drawing No: 2025-413 A07 / A09 Rev C

**INSULATION**  
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

**CEILING**  
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS WITH UNDER ROOF COMPOSITE FOIL & R1.5 BLANKET

**EXTERNAL WALLS**  
"TYVEK" HOUSE WRAP (OR SIMILAR) TO EXTERNAL FACE R2.5 GLASSWOOL BATTS BETWEEN STUDS

**SUB FLOOR**  
85mm R2.5 POLYSTYRENE BETWEEN JOISTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

**WALL FRAMING**  
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 [RESIDENTIAL TIMBER FRAMED CONSTRUCTION] & THE BCA CODE PART 3.4.3 WALL FRAMING TO BE MGP10 RADIATA PINE. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & NCC CODE

**SLABS & FOOTINGS**  
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

**EXTERNAL CLADDING**  
EXTERNAL WALL CLADDING REFER ELEVATIONS  
SUB FLOOR REFER ELEVATIONS

**WINDOWS**  
COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCC STANDARDS.

**PLASTER**  
LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

**CAPPINGS & FLASHINGS**  
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

**WET AREAS**  
WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

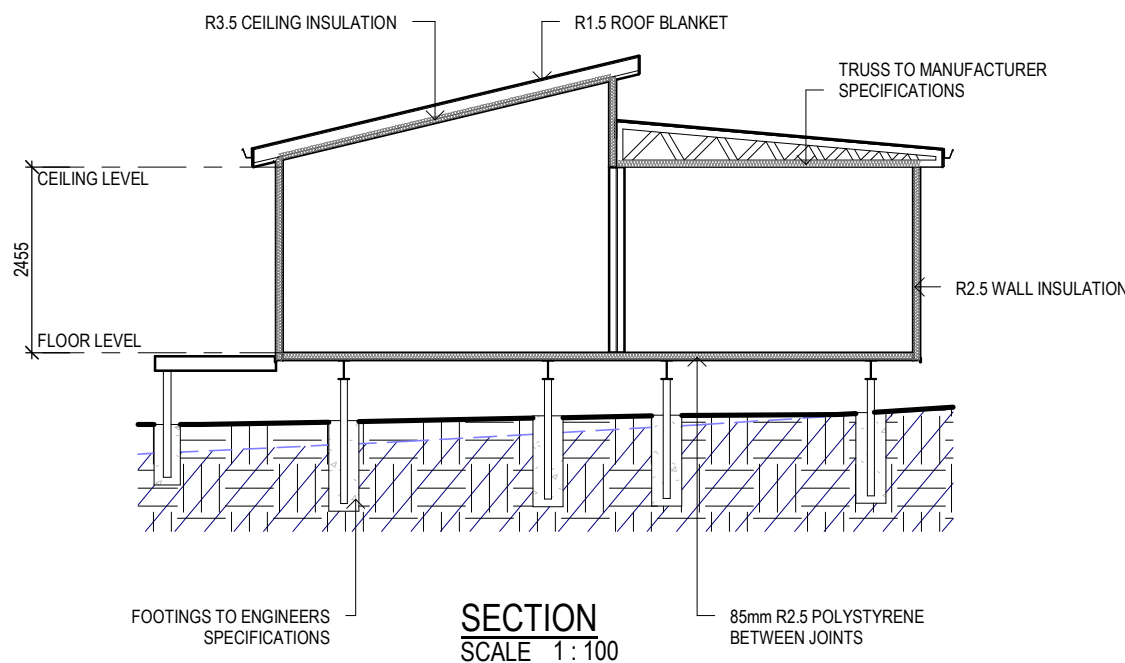
**EAVES**  
OVERHANG ROOFS 300mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING IN ACCORDANCE WITH AS 1684.2 7.2.24

**FASCIA**  
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

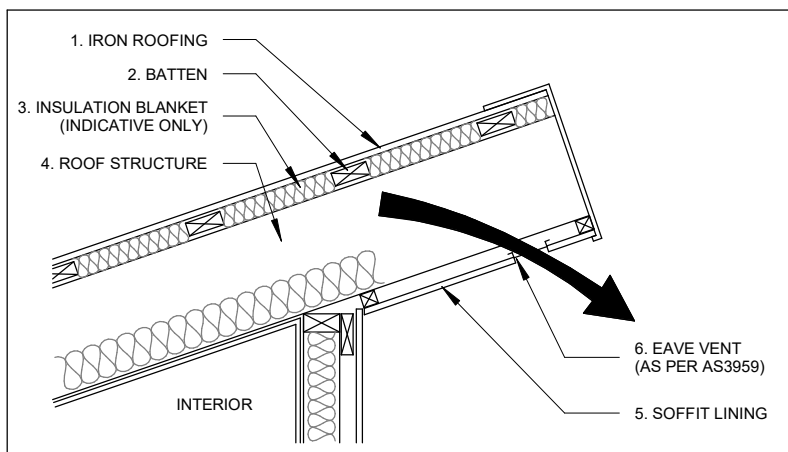
**ROOF FRAMING**  
COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

**DOWNPIPES**  
DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000 AND AS CLOSE AS POSSIBLE TO VALLEYS AND LOCATED SO AS TO COMPLY WITH PART 7.4 OF THE NCC SELECTED IN ACCORDANCE WITH NCC PART 7.4 & TABLES 7.4.4a TO 7.4.4c

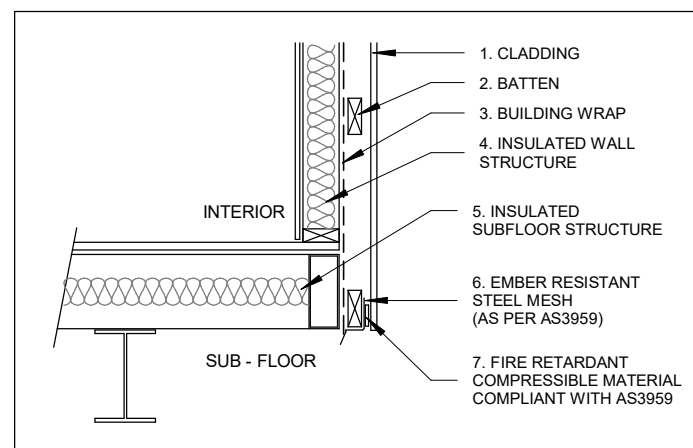
**GUTTERS**  
INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. FALL NOT LESS THAN 1:500 FITTED WITH OVERFLOW MEASURES TO COMPLY WITH NCC PART 7.4 & TABLE 7.4.4a, 7.4.4b VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH NCC PART 7.4 & TABLE 7.4.4c HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm HAVE A ROOF PITCH OF NOT LESS THAN 12.5deg LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES. LAP 150MM IN DIRECTION OF FLOW



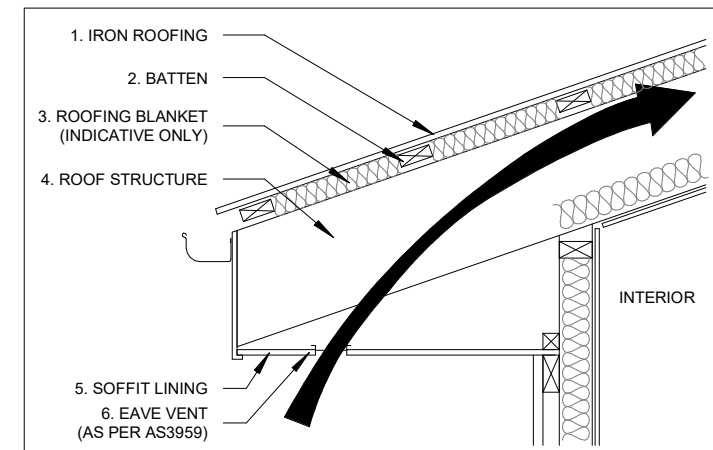
**FIGURE 4 - RIDGE DETAILS : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



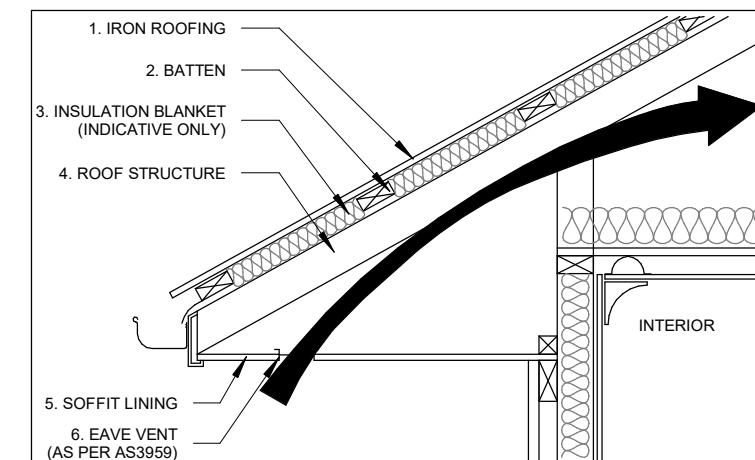
**FIGURE 8 - EXTERNAL WALL VENTED CLADDING SYSTEM - SUSPENDED TIMBER FLOOR BUSHFIRE MESH WHEN REQUIRED TO AS3959**



**FIGURE 3 - EAVES DETAIL : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



**FIGURE 2 - EAVES DETAILS : TRUSS & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



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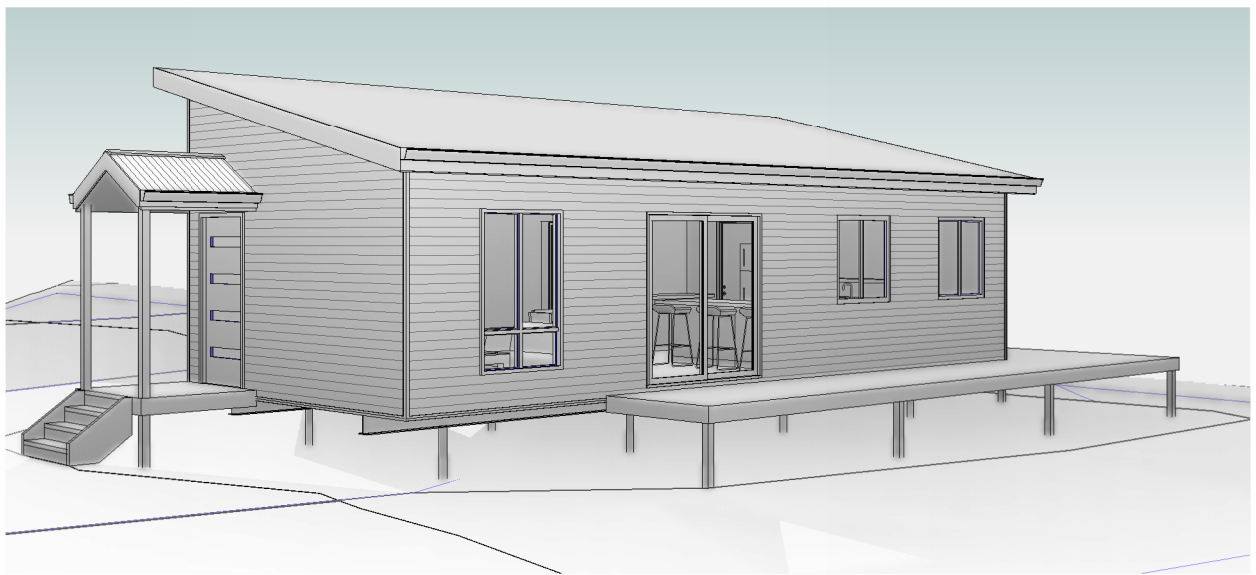
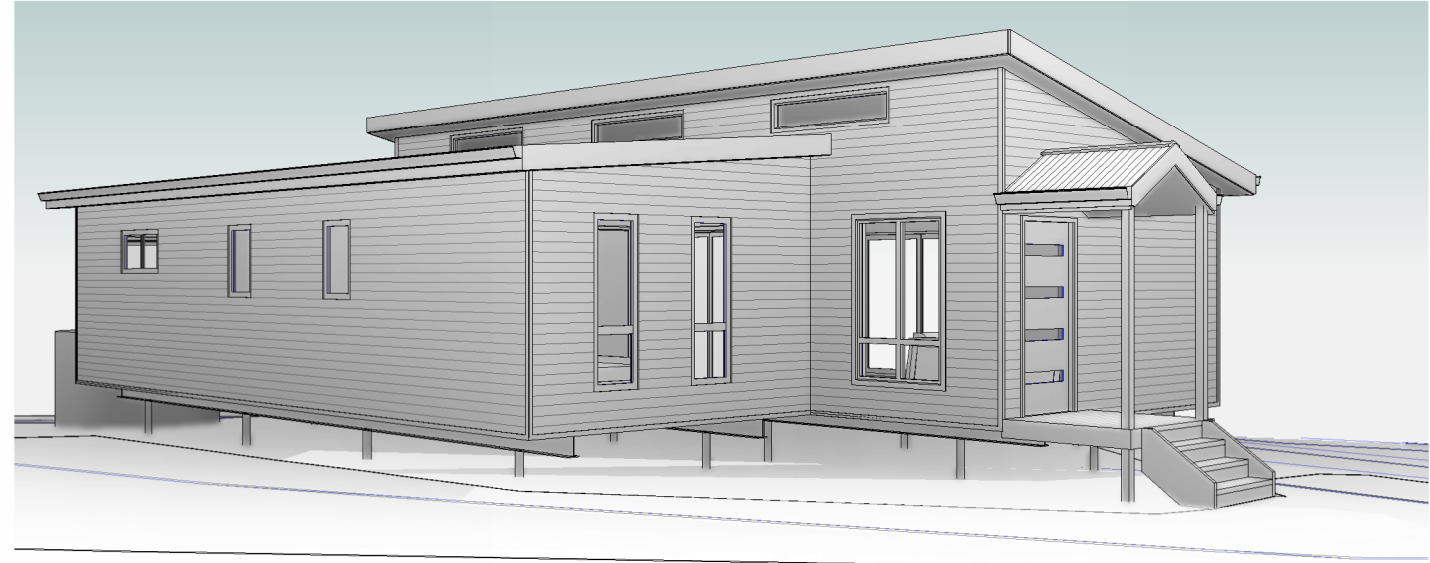
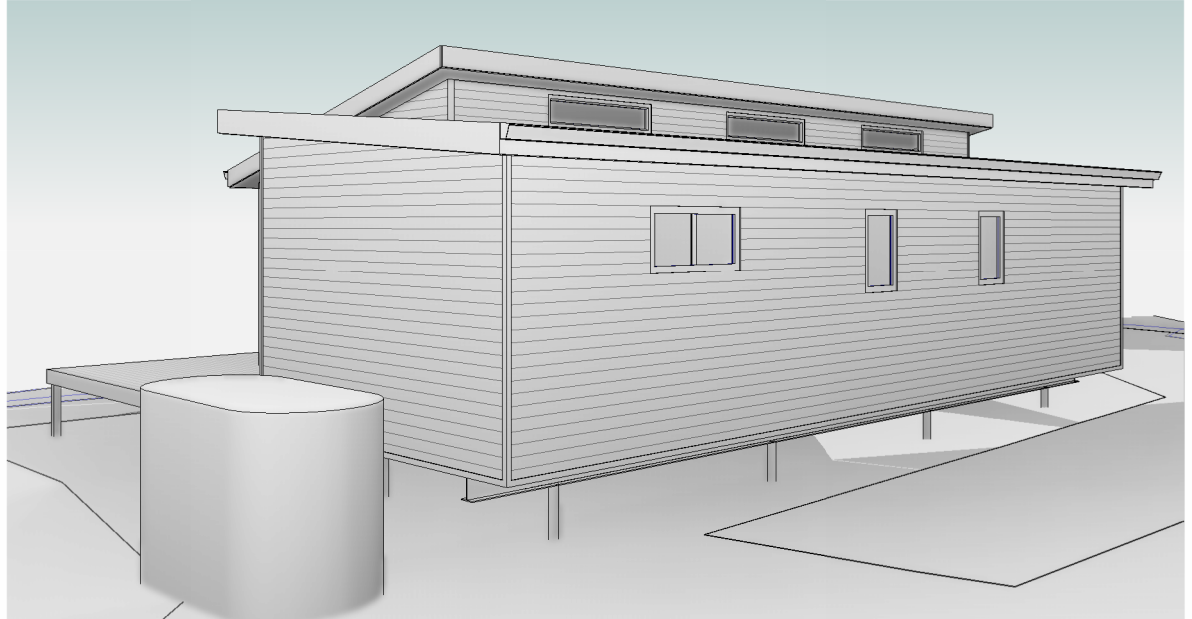
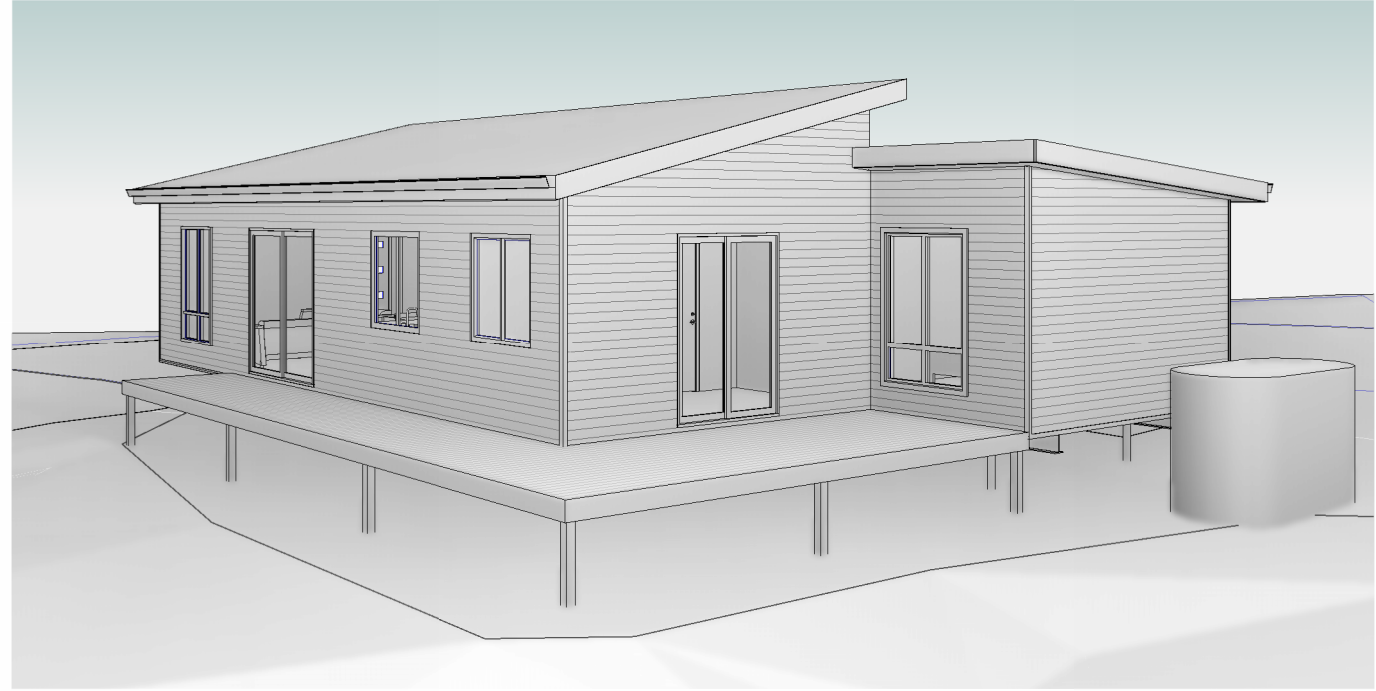
Accredited Building Designer  
Designer Name: J. Pfeiffer  
Accreditation No: CC2211T

Drawing No: 2025-413 A08 / A09 Rev C

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 Scale: As Shown @ A3

Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T



February 2026

# PLANNING REPORT

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**DEVELOPMENT OF A SINGLE DWELLING**

40 Alma Road, ORFORD TAS 7190



---

Prepared by

Woolcott Land Services Pty Ltd

ABN 63 677 435 924

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Job Number: L2601112  
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(*BUrbRegEnvPlan*)  
Town Planner

Rev.no	Description	Date
1	Review	
2	Draft	3 February 2026
3	Final	9 February 2026
4	Review	26 February 2026

## References

Land Tasmania. 2021. *Land Information System Tasmania*. Accessed 2026.  
<https://www.thelist.tas.gov.au/app/content/home/>.

## Annexures

Annexure 1 Copy of Title plan and Folio text  
Annexure 2 Proposal Plan

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## 1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

<b>Proposed development</b>
Building and works – development of a single dwelling

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus / Tasbuilt Homes

## 2. Subject site and proposal

### 2.1 Site details

<b>Address</b>	40 Alma Road, Orford TAS 7190 <i>42 ALMA RD ORFORD TAS 7190</i>
<b>Property ID</b>	9087548 <i>9087547</i>
<b>Title</b>	186679/5 <i>186679/4 (ROW)</i>
<b>Easements and agreements on title</b>	Drainage easement Pipeline and services easement Right of way easements Covenanted building area Agreement E391420 – Bushfire and Stormwater management
<b>Land area</b>	2206m <sup>2</sup>
<b>Planning Authority</b>	Glamorgan Spring Bay Council
<b>Planning Scheme</b>	Tasmanian Planning Scheme – Glamorgan Spring Bay (Scheme)
<b>Application status</b>	Discretionary application
<b>Existing Access</b>	Single access from Alma Road
<b>Zone</b>	Low Density Residential
<b>General Overlay</b>	None

<b>Overlays</b>	Bushfire-prone areas
<b>Existing development</b>	Vacant lot
<b>Existing services and infrastructure</b>	
<b>Water</b>	Serviced
<b>Sewer</b>	Serviced
<b>Stormwater</b>	Serviced

## 2.2 Proposal

The proposal is for the development of a single dwelling.

The proposed dwelling will have 2 bedrooms with study, a bathroom, living area and kitchen. The development includes connection to all reticulated services with stormwater diverting from detention tanks to the mains connection.

## 2.3 Subject site

The site is a single lot with frontage of 11.88m, accessed from Alma Road over an access strip that serves 186679/4 together with the subject site. The site has a sealed vehicle crossing and access as existing.

The site is covenanted for the building area and includes a Part 5 Agreement.



Figure 1 Aerial view of the subject site (Land Tasmania 2021)

### 3. Zoning and overlays

#### 3.1 Zoning

The site is zoned Low Density Residential under the Scheme.

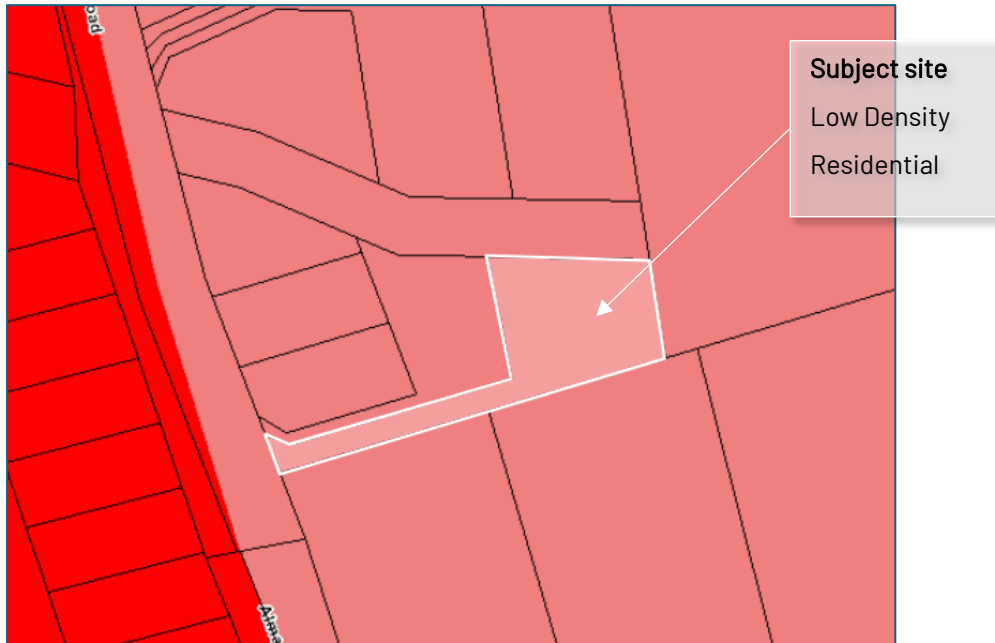


Figure 2 Zoning of the subject site and surrounding area (Land Tasmania 2021)

#### 3.2 Overlays

The subject site is affected by the Bushfire prone areas overlay.



Figure 3 Overlays affecting the subject site (Land Tasmania 2021)

## 4. Planning Scheme Assessment

### 4.1 Zone assessment

#### 10.0 Low Density Residential Zone

##### 10.1 Zone Purpose

10.1.1	To provide for residential use and development in residential areas where there are infrastructure or environmental constraints that limit the density, location or form of development
10.1.2	To provide for non-residential use that does not cause an unreasonable loss of amenity, through scale, intensity, noise, traffic generation and movement, or other off site impacts.
10.1.3	To provide for Visitor Accommodation that is compatible with residential character.

Response

The proposed residential use and development is in accord with the purpose of the zone.

##### 10.2 Use Table

<b>No Permit Required</b>
Residential      If for a single dwelling.

Response

The proposed Use is a *No Permit Required Use*.

#### 10.4 Development Standards for Dwellings

##### 10.4.2 Building height

Objective	
That the height of dwellings is compatible with the streetscape and do not cause an unreasonable loss of amenity for adjoining properties.	
Acceptable Solutions	Performance Criteria
A1      A dwelling must have a building height not more than 8.5m.	P1      The height of dwellings must be compatible with the streetscape and not cause an unreasonable loss of amenity to adjoining properties having regard to:  a)      the topography of the site;  b)      the height of buildings on the site and adjacent properties;  c)      the bulk and form of existing and proposed buildings;  d)      sunlight to habitable rooms and private open space of dwellings; and  e)      any overshadowing of adjoining

	properties.
--	-------------

Response

A1 The acceptable solution is achieved. The dwelling is 4.9m in height at the highest point.

#### 10.4.3 Setback

Objective	
That the siting of dwellings is compatible with the streetscape and does not cause an unreasonable loss of amenity for adjoining properties.	
Acceptable Solutions	Performance Criteria
A1 Dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 8m	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: <ul style="list-style-type: none"> <li>a) the topography of the site;</li> <li>b) the setbacks of surrounding buildings;</li> <li>c) the height, bulk and form of existing and proposed buildings;</li> <li>d) the appearance when viewed from roads and public open space adjacent to the site; and</li> <li>e) the safety of road users.</li> </ul>

Response

A1 The acceptable solution is achieved.

A2 Dwellings, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally from the building, must have a setback from side and rear boundaries of not less than 5m.	P2 The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to: <ul style="list-style-type: none"> <li>a) the topography of the site;</li> <li>b) the size, shape and orientation of the site;</li> <li>c) the setbacks of surrounding buildings;</li> <li>d) the height, bulk and form of existing and proposed buildings;</li> <li>e) the existing buildings and private open space areas on the site;</li> <li>f) sunlight to private open space and windows of habitable rooms on adjoining properties; and</li> <li>g) the character of development existing on established properties in the area.</li> </ul>
---	---

Response

P2 The performance criteria are addressed. The dwelling will have a reduced setback to the northern (side) boundary.

- a. The topography of the site has no particular bearing on the setback reduction.
- b. The shape of the site, together with the covenanted building area and easements constrain the siting of the dwelling.
- c. The surrounding lots (north and west) do not appear to be developed at the time of submission. The lot adjoining the reduced setback is publicly owned open space and will not be developed to residential use.
- d. The proposed is typical for the area in height, bulk and form, based on existing development in the surrounding area.
- e. The site includes an existing garden shed. The location of the proposed dwelling allows for adequate private open space.
- f. The reduced setback does not create a loss of sunlight to other properties. The reduction is minor and to the northern boundary.
- g. The surrounding area is predominantly residential.

#### 10.4.4 Site coverage

Objective	
That site coverage: <ul style="list-style-type: none"> <li>a) is consistent with the character of existing development in the area;</li> <li>b) provides sufficient area for private open space and landscaping; and</li> <li>c) assists with the management of stormwater runoff.</li> </ul>	
Acceptable Solutions	Performance Criteria
A1 Dwellings must have a site coverage of not more than 30%.	P1 The site coverage of dwellings must be consistent with that existing on established properties in the area, having regard to: <ul style="list-style-type: none"> <li>a) the topography of the site;</li> <li>b) the capacity of the site to absorb runoff;</li> <li>c) the size and shape of the site;</li> <li>d) the existing buildings and any constraints imposed by existing development;</li> <li>e) the provision for landscaping and private open space;</li> <li>f) the need to remove vegetation; and</li> <li>g) the site coverage of adjacent properties</li> </ul>

#### Response

A1 The acceptable solution is achieved. The site coverage is less than 5 percent.

#### 10.4.5 Frontage fences for all dwellings

Objective	
The height and transparency of frontage fences: <ul style="list-style-type: none"><li>a. provides adequate privacy and security for residents;</li><li>b. allows the potential for mutual passive surveillance between the road and the dwelling; and</li><li>c. is reasonably consistent with that on adjoining properties.</li></ul>	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution.	P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: <ul style="list-style-type: none"><li>a) provide for security and privacy, while allowing for passive surveillance of the road; and</li><li>b) be consistent with the height and transparency of fences in the street, having regard to:<ul style="list-style-type: none"><li>i. the topography of the site; and</li><li>ii. traffic volumes on the adjoining road.</li></ul></li></ul>

#### Response

A1 The acceptable solution is achieved – no front fences are included in this proposal.

## 4.2 Code Assessment

### C2.0 Parking and Sustainable Transport Code

#### C2.5 Use Standards

#### Response

A1 The acceptable solution is achieved. There are two spaces allowed for on the site which meets the requirement under Table C2.1.

#### C2.6 Development standards for buildings and works

##### C2.6.1 Construction of parking areas

#### Response

Please refer to plans provided.

##### C2.6.2 Design and layout of parking areas

#### Response

A1 Parking and access provision is compliant. Please refer to plans supplied.

##### C2.6.3 Number of accesses for vehicles

#### Response

---

A1 The site has one access point as existing.

## C12.0 Flood-Prone Areas Hazard Code

### C12.5 Use Standards

#### C12.5.1 Uses within a flood-prone hazard area

##### Response

P1.1 The proposal is for the development of a single dwelling. The code applies to use (and development) of the land within a flood prone hazard area; (a) shown on an overlay map in the relevant Local Provisions Schedule, as within a flood-prone hazard area; or, (b) identified in a report for the purposes of C12.2.3).

The applicable standard seeks the achievement of tolerable risk from flood based on a change of use to a habitable building (this does not apply, as no change of use is applied for); or, a use involving a new habitable room within an existing building. This also does not apply as there is no existing building.

The overlay is shown as affecting the lot and the northern corner of the dwelling. No overlay is applied, but the SES mapping is referenced.

The SES website for Tasmanian strategic flood maps says,

*Where available, people should use maps from local council flood studies. They typically have more local detail.*

*The Tasmanian Strategic Flood Maps provide a broad, regional scale understanding of flood risk across the state. Local council flood studies focus on specific areas. They often*

- *use more locally specific data*
- *provide a higher level of detail.<sup>1</sup>*

*The SES mapping considers impacts from climate change, however, the SES also point out that;*

*The flood maps cannot precisely predict the extent of future flood events. Flood extents can differ due to*

- *Uneven rainfall across a river catchment*
- *River levels and soil moisture before the event*
- *Snow melt and tide.*

*Every flood event is different. The flood maps indicate which areas are more likely to flood<sup>2</sup>.*

Given the area of risk shown by the overlay the building can achieve a tolerable risk because:

---

<sup>1</sup> <https://www.ses.tas.gov.au/floodmaps/>

<sup>2</sup> <https://www.ses.tas.gov.au/floodmaps/>

- 
- a. The building has a floor level of 0.9m + 0.52m (fill and batter) above natural ground level of 21mAHD, according to the nearest contour. The flood hazard is shown as H1, understood to be 0.3m in depth and low velocity (against 21mAHD). The floor level, where it encroaches on the mapped area, will be above this measured flood depth.
  - b. No further advice has been sought as the hazard is low and advised as generally safe for people, vehicles and buildings.
  - c. The mapping and information available from the State has been considered in this response together with the published advice contained in the Australian Disaster Resilience Handbook Collection – Flood Hazard (Australian Institute for disaster resilience 2017).

P1.2 A flood hazard report has not been sourced for the purpose of this application.

- a. An increase from flood risk (such as that indicated by the SES 1%AEP Hazard Overland Flooding (Climate Change) show that the property can be evacuated, noting that the pixelated imagery does not allow for detailed contours of the land. One parking space is shown within the flood affected area, but manoeuvring and egress from the site is not. It is expected that within the H1 flood risk level, that no specific hazard reduction is required. Although anecdotal, local advice is that since the construction of the stormwater drain, flood occurrence is reduced; no flood has been observed since this construction.
- b. No flood protection measures are proposed or anticipated at this time.

## C12.6 Development Standards for Buildings and Works

### C12.6.1 Buildings and works within a flood-prone hazard area

#### Response

##### P1.1

- a. the development is a single dwelling, intended to permanent for the life of the building. The siting of the building is constrained by the building envelope included on title.
- b. No further mitigation is considered as necessary, as the risk is very low and the floor level of the building allows for the projected risk likelihood.
- c. The building design allows for published advice.
- d. No flood report has been prepared due to the minor nature of the risk.

##### P1.2

- a. the allowance between ground level and the building will not cause impedance. The minor level of fill and batter is not considered to have a great effect, especially in the context of the adjoining site being public owned, presumably for the purpose of drainage.
- c. The mapping from SES shows a hazard level of H1 with is considered to be tolerable in terms of risk.

---

## 5. Conclusion

This application is for a single dwelling. The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.

16<sup>th</sup> April 2026

Attn: Veronica Treasure  
Council Liaison  
TasBuilt Group  
6 Integrity Drive  
Westbury TAS 7303

Our ref: 2418

Your ref: DA2026/022

Email: [veronica@tasbuiltgroup.com.au](mailto:veronica@tasbuiltgroup.com.au)

Dear Veronica,

## **40 Alma Road Orford Flood Hazard Advice**

Please find below our proposal for professional services relating to the development of 40 Alma Road Orford.

### **1 Background**

Woolcott surveys acting on behalf of TasBuilt have prepared and submitted a planning report to support the development of 40 Alma Road in Orford. With the initial submission to Council Woolcotts have addressed C12 Flood-Prone Areas Hazard Code of the Tasmanian Planning Scheme and the relevant performance criteria assessment for buildings within an area that is flood-prone. Subsequently the Glamorgan Spring Bay Council (the Council) have requested that the assessment be carried out by a suitably qualified person.

#### **1.1 Proposed Development**

The proposal is for the development of a single two-bedroom dwelling as shown in Figure 1-1 and Figure 1-2 with the full set of design drawings included in Appendix A. The engineering drawings nominate a floor level of 22.95m.



## 2 Flooding

The development is situated close to an urban stormwater drain, and the Tasmanian State Emergency Service (SES) statewide flood modelling project indicates that a small portion of the property may be subject to flooding during the 1% Annual Exceedance Probability (AEP) event. The SES have modelled this event with an allowance for climate change out to the year 2100. This means that the flood risks mapped are suitable for developments for the next 75 years, in excess of the design life of the average domestic dwelling.

### 2.1 Flood Extents and Overlay

The SES mapping has been overlaid on the site, and the extent of flooding is shown to go across the boundary into the property and covers a small portion of the proposed building area.

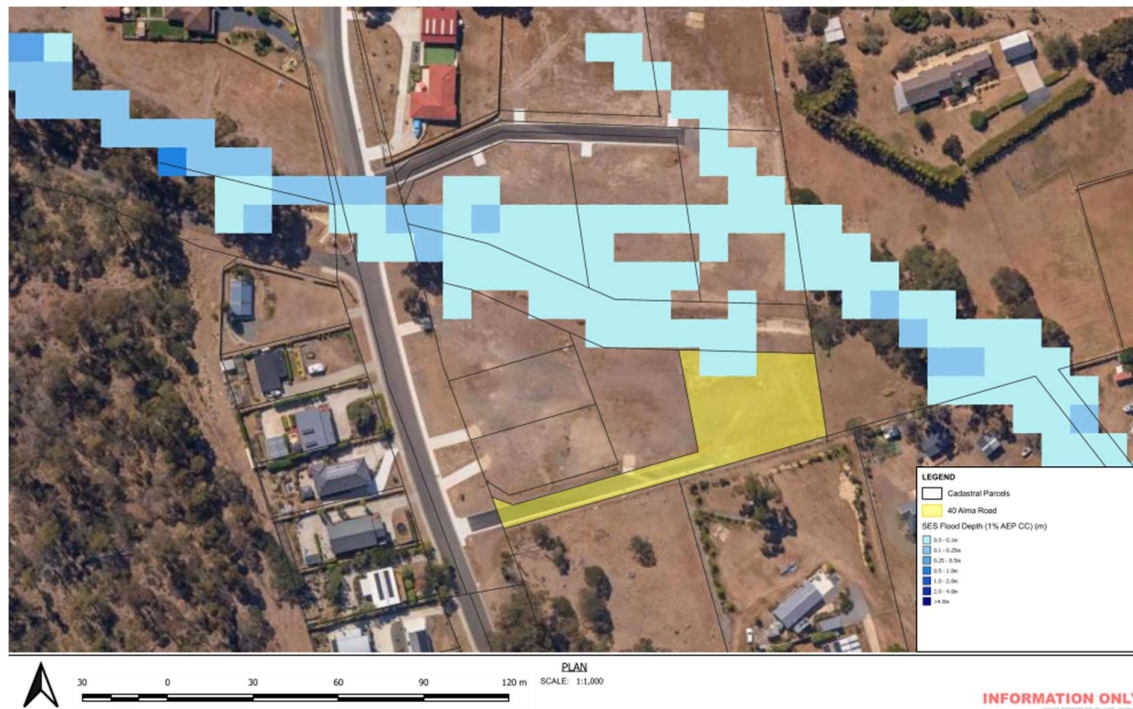


Figure 2-1: SES Flood Extents

The water level of this flooding on the site according to the SES mapping is 22.1m.

### 2.2 Hydrology and Hydraulic Review

This SES modelling has been carried out on a broad scale and is unsuitable for capturing small scale details such as municipal drains. In this instance the drain adjacent to the property does not appear to be correctly included within the public flood layers, with flows not shown as following the drain further downstream. To ensure that the site is not subject to flooding in excess of what is shown, an assessment of the upstream catchment, capacity of culverts and capacity of open drain has been made to ensure the scale of the urban drainage system is suitable for conveying the expected flow rates without inundating the adjacent properties.

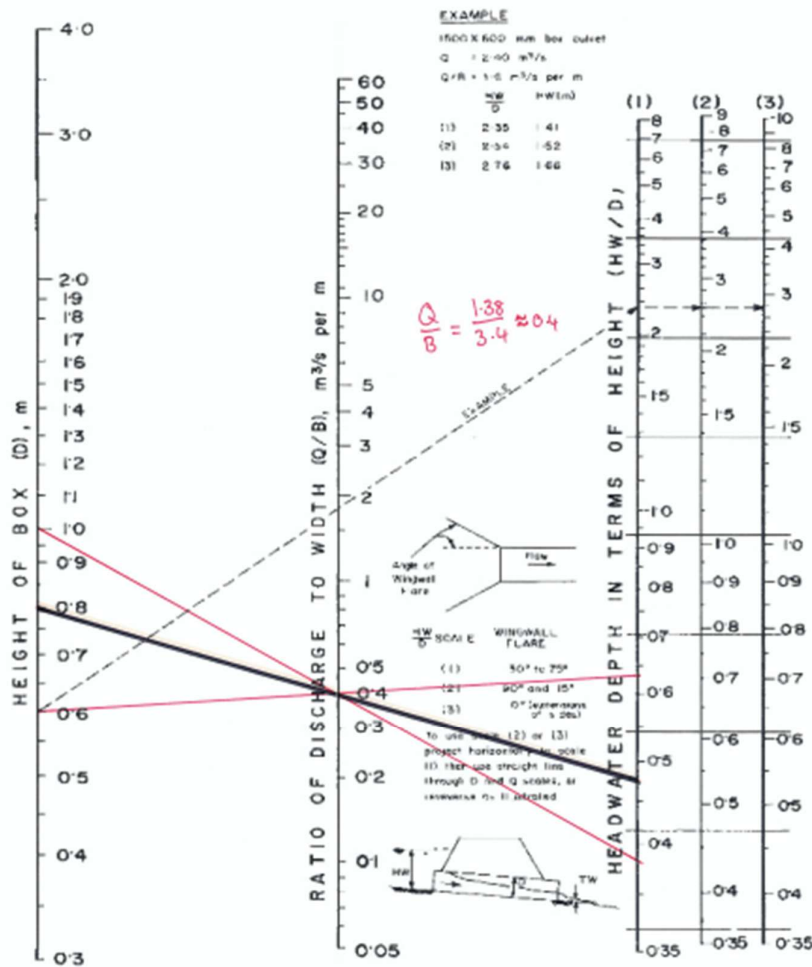
An assessment of probable discharge from the catchment during the 1% AEP event has been made using the Kinematic Wave Equation to determine the time of concentration of the catchment and the Rational Method to estimate peak flow rate.

The catchment has an approximate flow path length of 880m. With a sheet flow roughness of 0.1 this gives a time of concentration of 25minutes when using rainfall data adjusted for the SSP3-7.0 Long

Term climate change scenario. The catchment area contributing to flow through the open drain is 16.5ha, the upstream catchment is predominantly bushland with the region known for having sandy soils therefore a runoff coefficient of 0.3 has been adopted. This gives an estimated peak flow rate in the 1% AEP event of 1.38m<sup>3</sup>/s.

To confirm that this flow rate can pass through the Alma Road culverts and the open channel, hydraulic assessments have been carried out for both. An inlet-controlled box culvert nomograph was used to estimate upstream water depth to ensure sufficient headroom to drive water through the culvert. Figure 2-2 shows that for an assumed culvert height of 0.8m and a width of 3.4m (taken from aerial imagery) flows can flow through the culvert without spilling over the road.

Figure B 1: Headwater depth for box culvert with inlet control



Source: DTMR (2010).

*Handwritten:* Upstream IL = 31.85m  
 Road Crest = 32.95m  
 Rf = 1.1m  
 Assume <1m in height available

Figure 2-2: Alma Road - Culvert Nomograph

Flow through the open drain has been assessed using the Mannings equation for open channel flow. A trapezoidal channel with the parameters shown in Table 2-1 below, can pass the required flow rate with the water depth reaching approximately 0.35m.

Table 2-1: Open Channel Inputs

Parameter	Value	Units
Batter Slope	33	%
Base Width	2	m
Water Depth	0.4	m
Manning's Roughness	0.035	-
Gradient	2	%

IPD therefore expect that this drain and the upstream culverts can contain the 1% AEP flows within them which will limit the level of flows across the site to sheet flow and site generated run off.

Information regarding the flow rates through these assets was requested from Council as well as any information surrounding known flood risks, but it was not provided.

Based on the calculations and estimates, IPD would estimate that site generated runoff that may impact the building would be minimal (<50mm) and therefore covered by the National Construction Code (NCC) requirements for minimum step ups to doorways preventing stormwater from entering buildings. Stormwater flooding from the open drainage channel is also unlikely to impact the proposed dwellings. Allowing a freeboard of 500mm above the top of the drain gives a buffer against any downstream blockages or other obstructions. Therefore, the minimum floor level required is 22.7m, this has been determined based on the corner of the building closest to the open drain. The engineering plans stipulate a floor level of 22.95m, so the level is already sufficient for protection from the 1% AEP event.

### 2.3 Flood Hazard

Flood Hazard Ratings have been defined in line with the Australian Rainfall and Runoff Guidelines version 4.2 (Geoscience Australia & Engineers Australia, 2019) using combined flood hazard curves, shown in Figure 2-3. In general terms, risk to life and property is measured and plotted on a depth vs velocity plot, where increasing either value will increase the hazard.

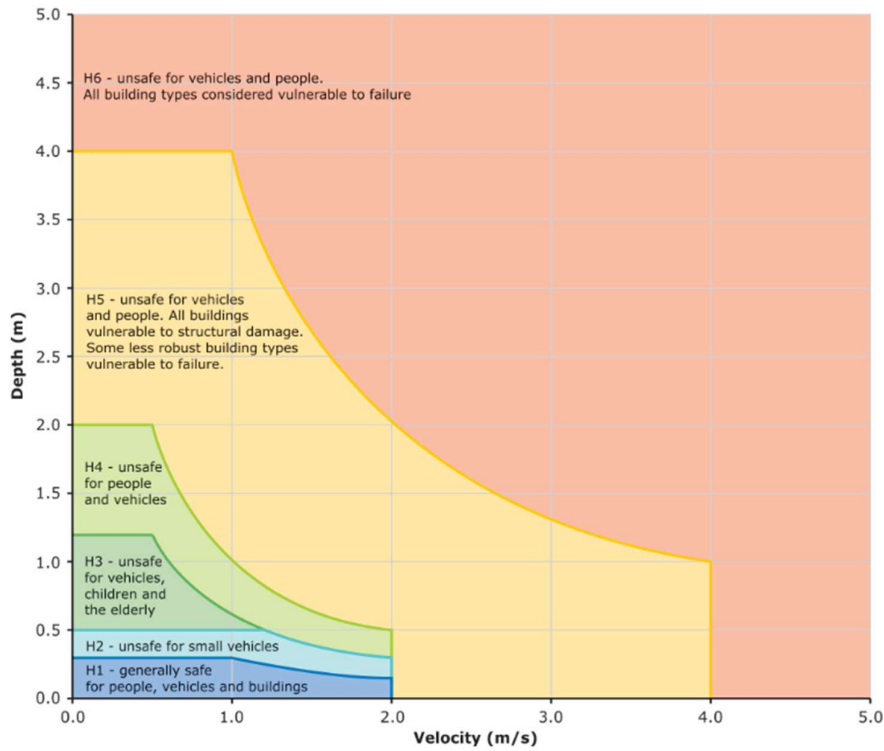


Figure 2-3: Combined Flood Hazard Curves (Smith et al., 2014)

The site has been mapped by the SES (Figure 2-4 below) as being subject to H1 hazard which is safe for people and vehicles.

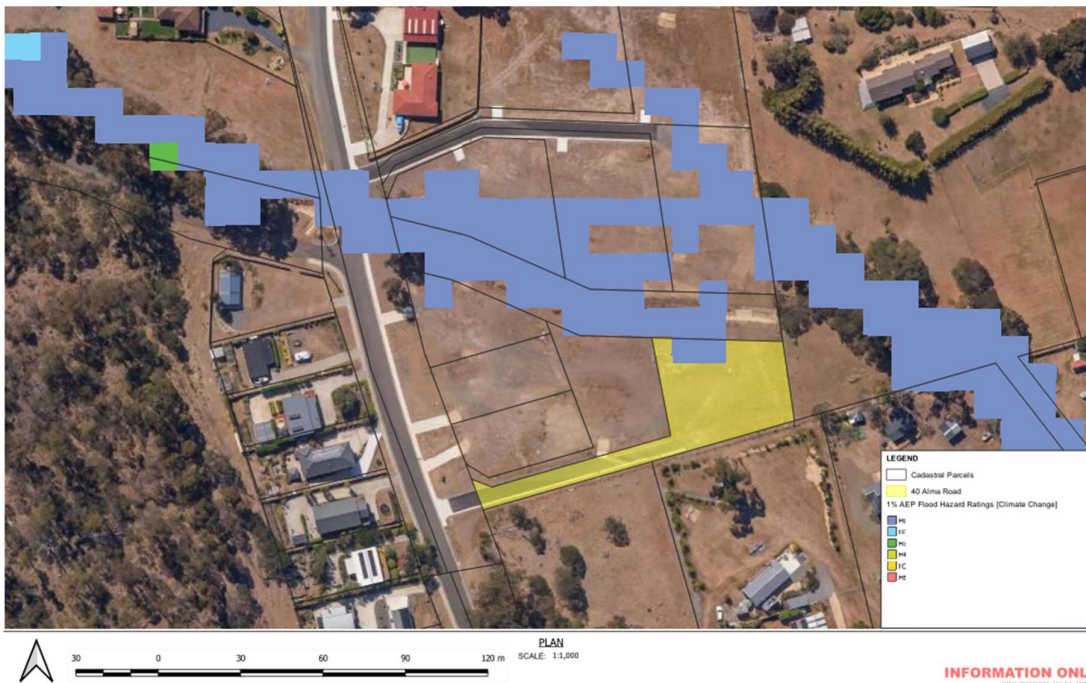


Figure 2-4: Site Hazard Mapping

### 3 Planning Scheme Assessment

The Tasmanian Planning Scheme outlines the controls required for new buildings to be developed within a known flood prone area.

Table 3-1: C12.6.1 Buildings and works within a flood-prone hazard area - Planning Controls

<p>That:</p> <ul style="list-style-type: none"> <li>a) Buildings and works within a flood-prone hazard area can achieve and maintain a tolerable risk from flood; and</li> <li>b) Buildings and works do not increase the risk from flood to adjacent land and public infrastructure.</li> </ul>	
Acceptable Solutions	Performance Criteria
<p>A1 No Acceptable Solution.</p>	<p>P1.1 Buildings and works within a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:</p> <ul style="list-style-type: none"> <li>(a) The type, form, scale and intended duration of the development;</li> <li>(b) Whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;</li> <li>(c) Any advice from a State authority, regulated entity or a council; and</li> <li>(d) The advice contained in a flood hazard report.</li> </ul> <p>P1.2 A flood hazard report also demonstrates that the building and works:</p> <ul style="list-style-type: none"> <li>(a) Do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and</li> </ul>

	<p>Can achieve and maintain a tolerable risk from a 1% annual exceedance probability</p> <p>(b) flood event for the intended life of the use without requiring any flood protection measures.</p>
--	---

**Responses:**

P1.1 a) Hazard ratings around the site have been considered with respect to the residential nature of the development with H1 hazard classifications per ARR4,2 deems these hazard ratings as *being safe for people and vehicles*. The form of the development is smaller and positioned outside of major flow paths so as to not divert or redirect flows. The building design includes an open underfloor which will allow for freer flow under the building.

P1.1 b) By enforcing a minimum floor level of 22.7m (includes 500mm freeboard) for new habitable rooms, the site will require no other specific controls to reduce hazards.

P1.1 c) The author is not aware of any advice specific to this site.

P1.1 d) The author is not aware of/has not been provided with another Flood Hazard Report for this site.

P1.2 a) The stormwater infrastructure has been reviewed and has been found to be sufficiently sized to contain the 1% AEP flows. Therefore it is not expected that flows will escape the drains and so the building will not cause a change in flood behaviour. This means the site won't contribute to any changes in flooding for other properties.

P1.2 b) Habitable floor levels are to be set at 22.7m AHD (including 500mm freeboard). With this the development achieves tolerable risk for the 1% AEP event without reliance on any flood protection measures.

## 4 Conclusion

After review of the site, and the available information on flooding IPD have determined that the drainage infrastructure present is likely capable of conveying the 1% AEP flooding events safely and without causing flooding to adjacent property such as the 40 Alma Street. In order to protect against unforeseen circumstances, an additional allowance has been made above the top of the banks of the drain to ensure long term flood safety of the buildings and residents.

We would be happy to discuss any aspect of the above. If you require any further information or clarification on any of the above details, please don't hesitate to contact me on Mob: 0491 050 826 or Email: [hwaterston@ipdconsulting.com.au](mailto:hwaterston@ipdconsulting.com.au)

Kind Regards,  
IPD Consulting Pty Ltd



**Hamish Waterston**

Senior Civil Engineer, BE (Hons)

## References

Geoscience Australia & Engineers Australia 2019, *Australian Rainfall and Runoff: a guide to flood estimation*, Version 4.2, Commonwealth of Australia (Geoscience Australia), Barton, ACT, viewed 31 March 2026

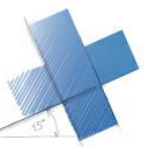
Smith, G.P., Davey, E.K. and Cox, R.J. (2014), Flood Hazard UNSW Australia Water Research Laboratory Technical Report 2014/07 30 September 2014.

Tasmania State Emergency Service. (2026) *Tasmanian flood mapping project reports*. Available at: <https://www.ses.tas.gov.au/floodmaps/tasmanian-flood-mapping-project-reports/> (Accessed: 31 March 2026).

## Appendices

Appendix A      Engineering Plans

Appendix A  
Engineering Plans



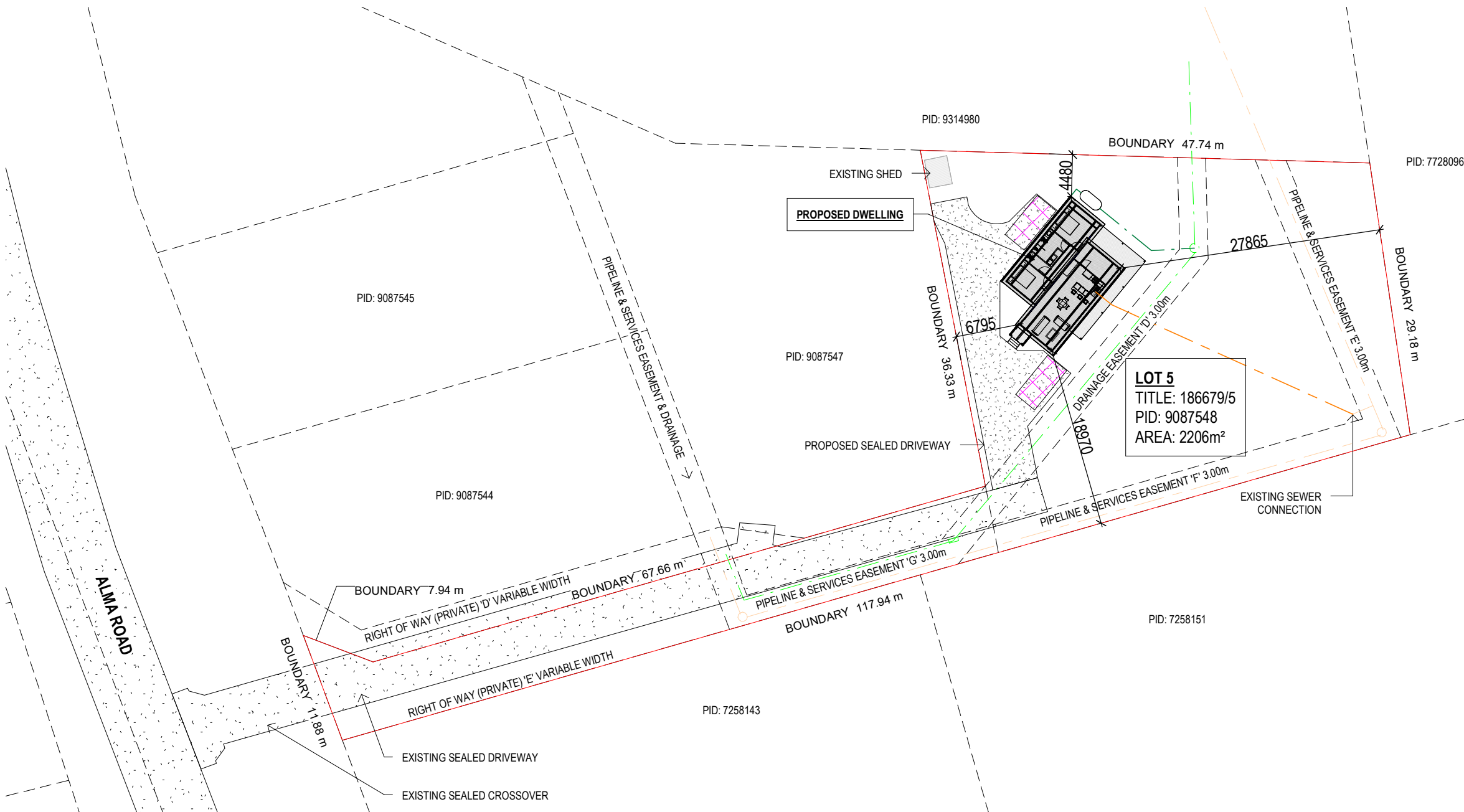
- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY  
- SIGN SIZE DIMENSIONS  
- MIN. 300mm x 300mm  
- LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL - GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);
- DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:
  - A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
  - A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
  - A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

**BAL NOTES:**

- FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS
- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTIBLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS
- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE



**LOT 5**  
TITLE: 186679/5  
PID: 9087548  
AREA: 2206m<sup>2</sup>

**LOCALITY PLAN**  
SCALE 1:500

**ISSUED FOR APPROVAL**

Copyright ©

**NOTE:**  
ENTIRETY OF THIS SITE PLAN IS WITHIN BUSHFIRE HAZARD AREA.

Client: **J. PAYNE & J. RHODES**  
Project: **PROPOSED DWELLING**  
Address: **40 ALMA RD**  
**ORFORD TAS 7190**

Mob 0417 362 783 or 0417 545 813  
jack@engineeringplus.com.au  
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C	MINOR UPDATES	26.02.26	C.L.
B	STORMWATER DETENTION	06.02.26	W.T.
A	ISSUED FOR APPROVAL	30.01.26	W.T.
Rev:	Amendment:	Date:	Int:

Date Drawn: 30.01.26  
Drawn: W. Tan  
Checked: C. Lim  
Approved: J. Pfeiffer  
Scale: As Shown @ A3

Accredited Building Designer  
Designer Name: J. Pfeiffer  
Accreditation No: CC2211T

Drawing No: **2025-413** A01 / A09  
Rev **C**



LEGEND	
	SEWER
	WATER
	STORMWATER

**DRAINAGE**  
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

**NOTE**  
STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

**NOTE:**  
ALL WORKS ARE TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE(NCC) OF AUSTRALIA AND RELEVANT LOCAL AUTHORITIES, UNLESS SPECIFIED. IN SUCH CASES, RELEVANT REPORT WILL BE PRESENTED. BUILDERS TO VERIFY ALL MEASUREMENTS, SERVICES AND LEVELS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING PLUS OF ANY ERRORS AND DISCREPANCIES FOUND ON SITE. ENGINEERING PLUS DO NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION.

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**SITE PLAN**  
SCALE 1:200

Client: **J. PAYNE & J. RHODES**  
Project: **PROPOSED DWELLING**  
Address: **40 ALMA RD**  
**ORFORD TAS 7190**

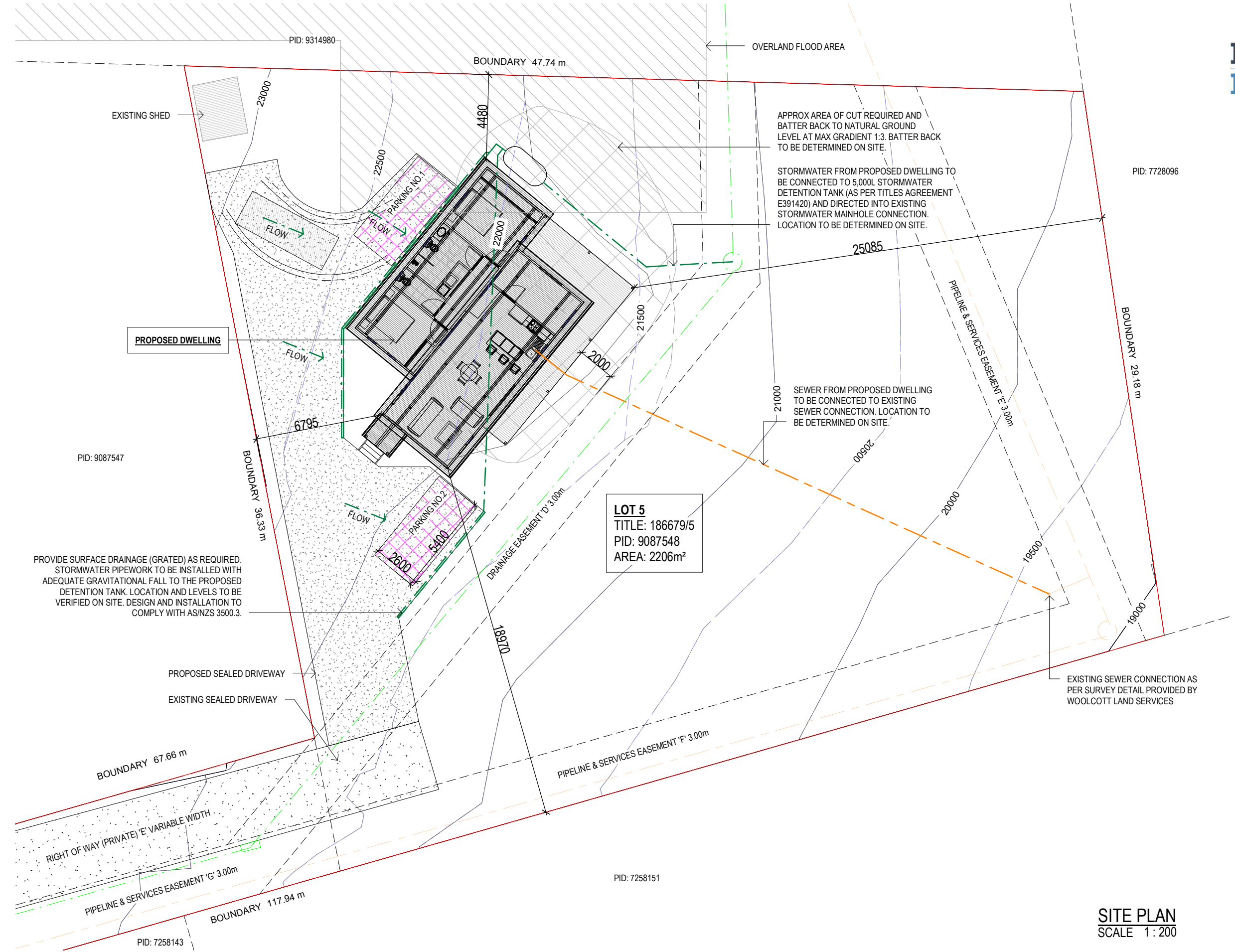
Mob 0417 362 783 or 0417 545 813  
jack@engineeringplus.com.au  
trin@engineeringplus.com.au



Drawing No: **2025-413 A02 / A09** Rev **C**

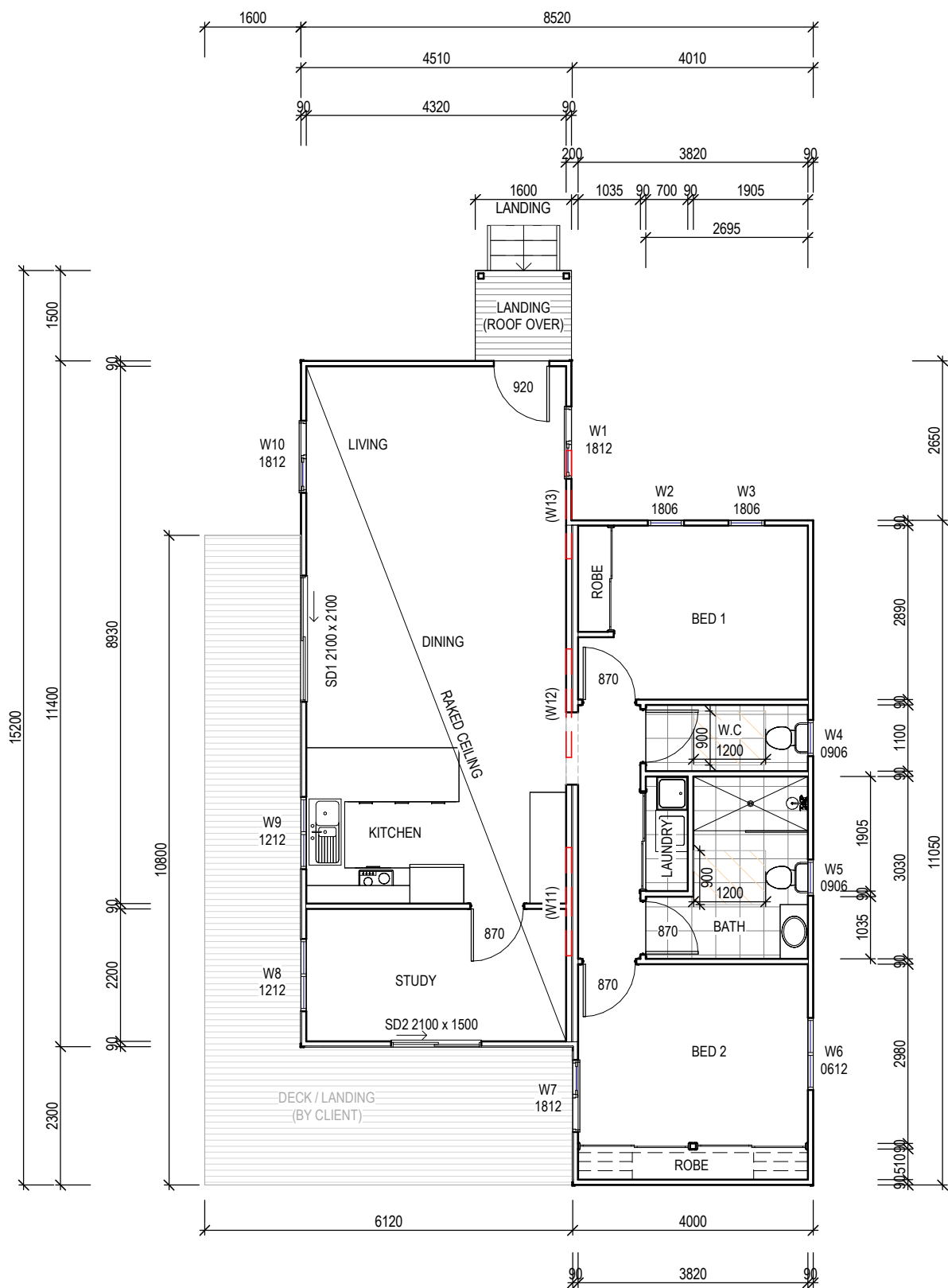
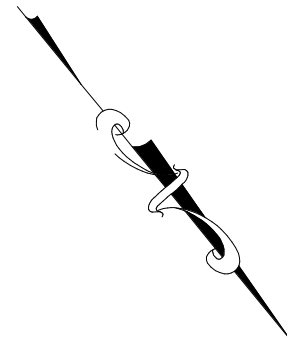
Accredited Building Designer  
Designer Name: **J. Pfeiffer**  
Accreditation No: **CC2211T**

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Rev:	Amendment:	Date:	Int:



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**CONSTRUCTION PLAN**  
 SCALE 1 : 100

**WINDOW SCHEDULE**

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1800	1200	DG	4.3	.55
W2	1800	600	DG	4.3	.55
W3	1800	600	DG	4.3	.55
W4	900	600	DG	4.3	.55
W5	900	600	DG	4.3	.55
W6	600	1200	DG	4.3	.55
W7	1800	1200	DG	4.3	.55
W8	1200	1200	DG	4.3	.55
W9	1200	1200	DG	4.3	.55
W10	1800	1200	DG	4.3	.55
^W11	400	1800	DG	4.3	.55
^W12	400	1800	DG	4.3	.55
^W13	400	1800	DG	4.3	.55
SD1	2100	2100	DG	4.0	.61
SD2	2100	1500	DG	4.0	.61

**DISCLAIMER:**  
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	95.68 m <sup>2</sup>	10.30
DECK/LANDING	27.68 m <sup>2</sup>	2.98
LANDING	2.40 m <sup>2</sup>	0.26
	125.75 m <sup>2</sup>	13.54

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 Project: PROPOSED DWELLING  
 Address: 40 ALMA RD  
 ORFORD TAS 7190

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 jack@engineeringplus.com.au  
 trin@engineeringplus.com.au

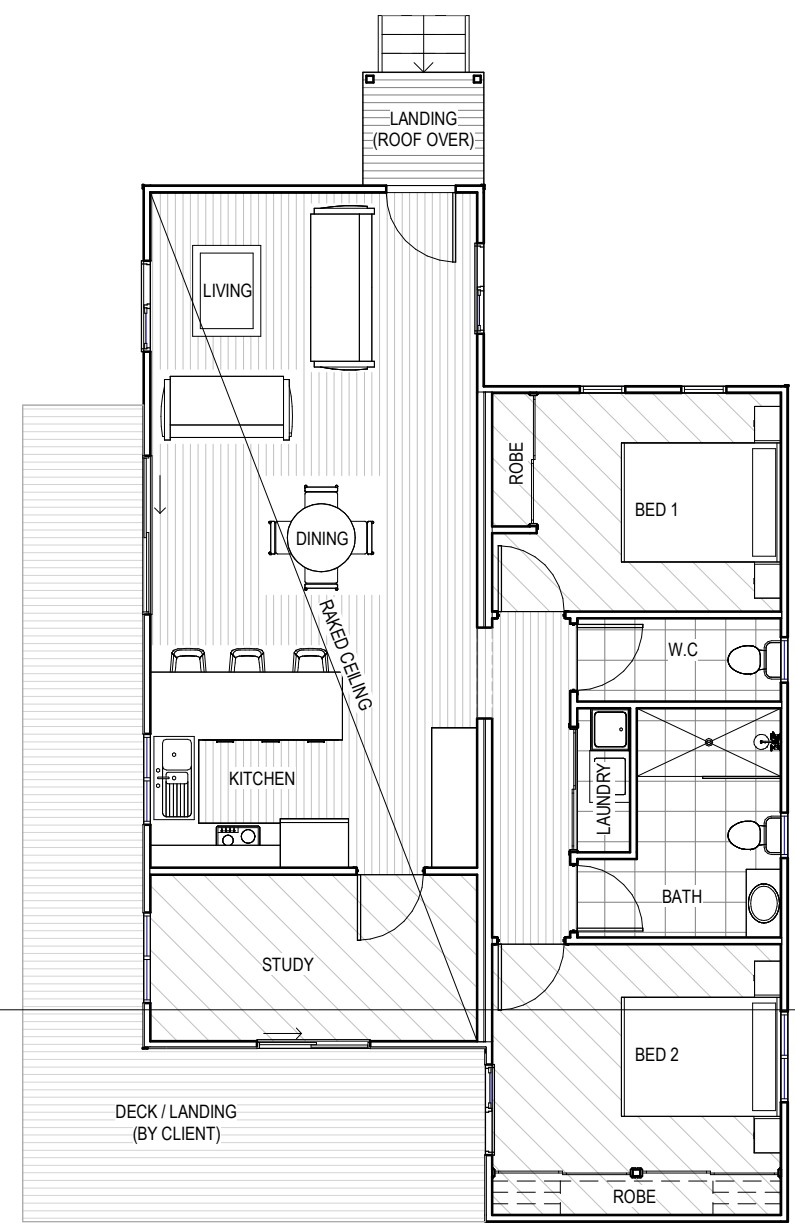


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			Date Drawn: 30.01.26
			Drawn: W. Tan
			Checked: C. Lim
			Approved: J. Pfeiffer
			Scale: As Shown @ A3
C	MINOR UPDATES	26.02.26	C.L.
B	STORMWATER DETENTION	06.02.26	W.T.
A	ISSUED FOR APPROVAL	30.01.26	W.T.
Rev:	Amendment:	Date:	Int:

Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

Drawing No: 2025-413 A03 / A09  
 Rev: C



FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

**SMOKE ALARMS**  
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

Ⓢ - DENOTES INTERCONNECTED SMOKE DETECTORS

**FLOOR PLAN**  
 SCALE 1 : 100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	95.68 m <sup>2</sup>	10.30
DECK/LANDING	27.68 m <sup>2</sup>	2.98
LANDING	2.40 m <sup>2</sup>	0.26
	125.75 m <sup>2</sup>	13.54

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Client: J. PAYNE & J. RHODES  
 Project: PROPOSED DWELLING  
 Address: 40 ALMA RD  
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 jack@engineeringplus.com.au  
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A	ISSUED FOR APPROVAL	30.01.26	W.T.	
Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J. Pfeiffer Accreditation No: CC2211T

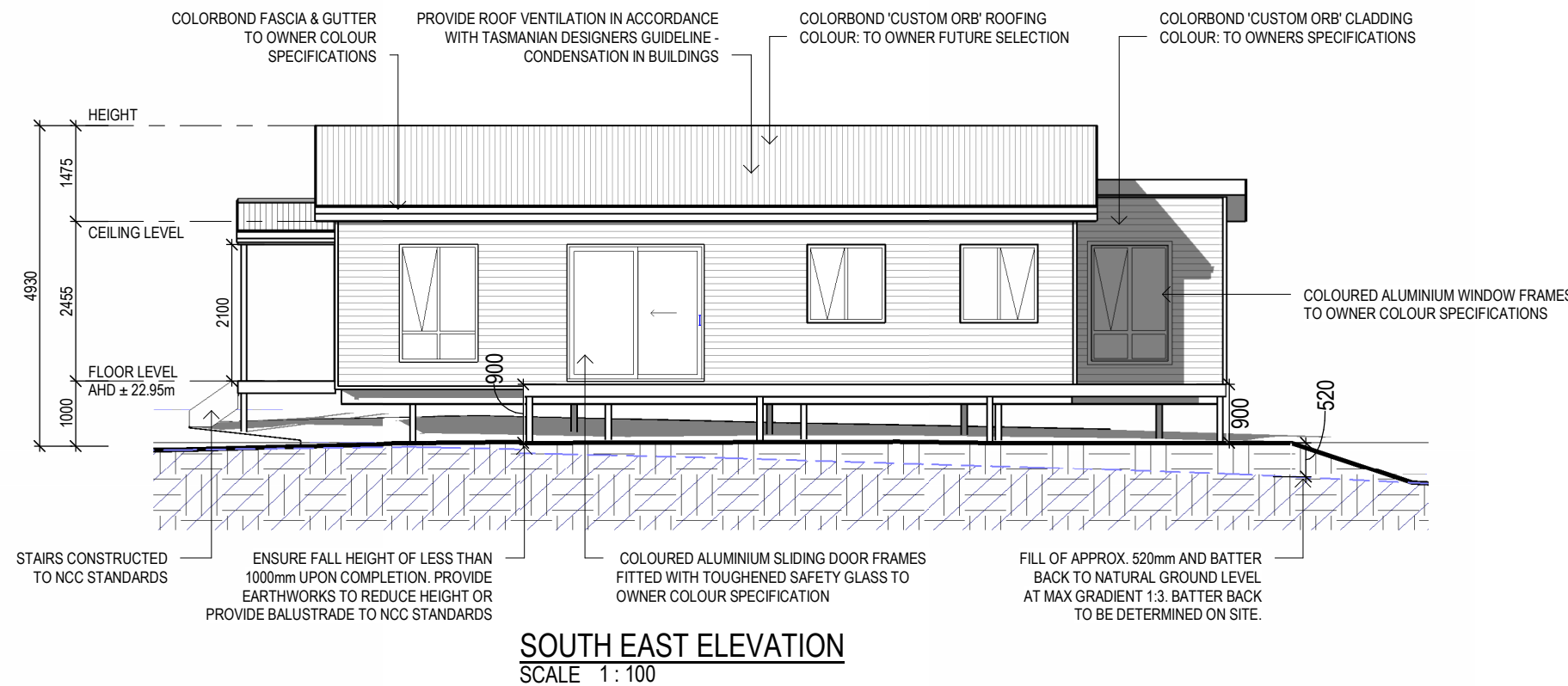
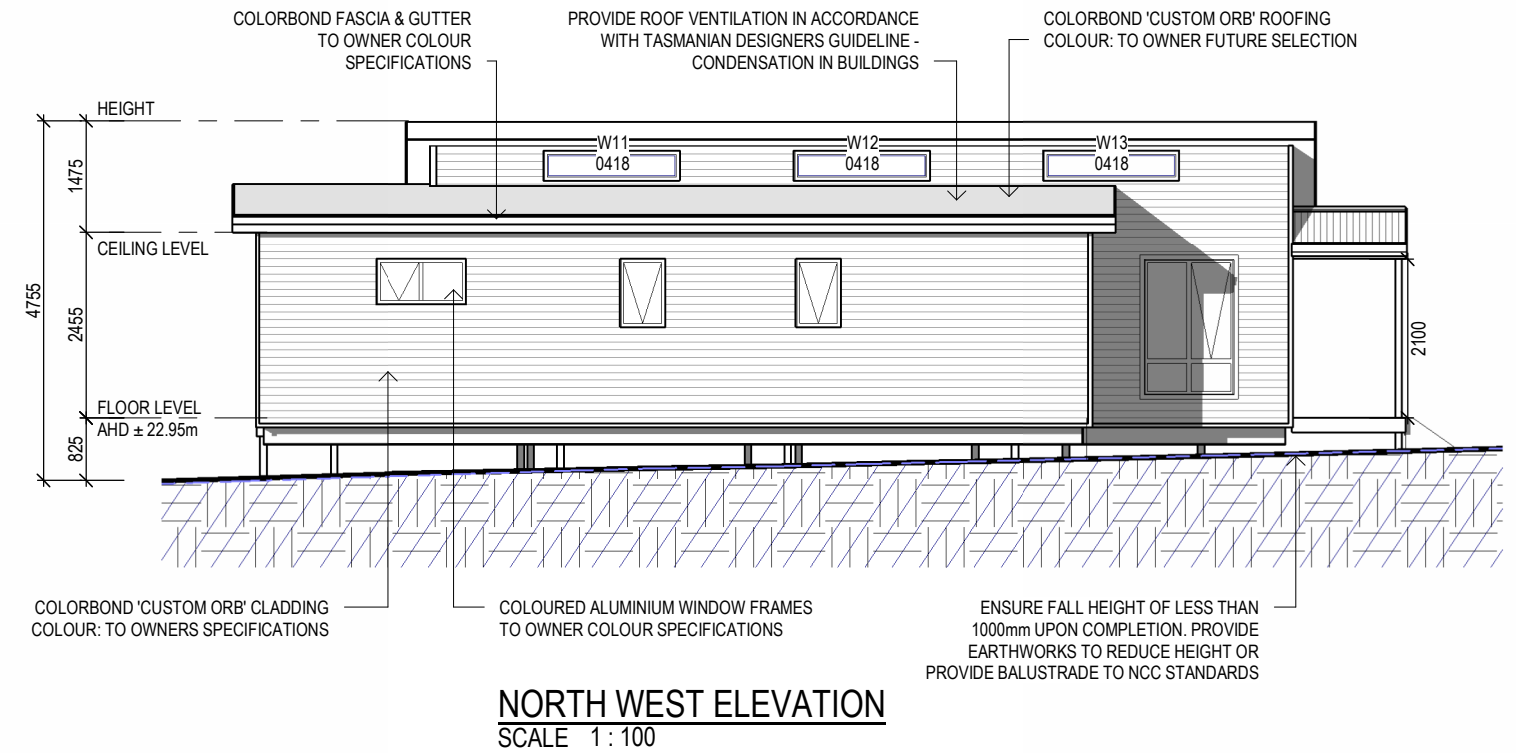
Drawing No: 2025-413 A04 / A09 Rev C

SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM<sup>2</sup> PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR  
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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Scale:	As Shown @ A3

Drawing No: 2025-413 A05 / A09 Rev C

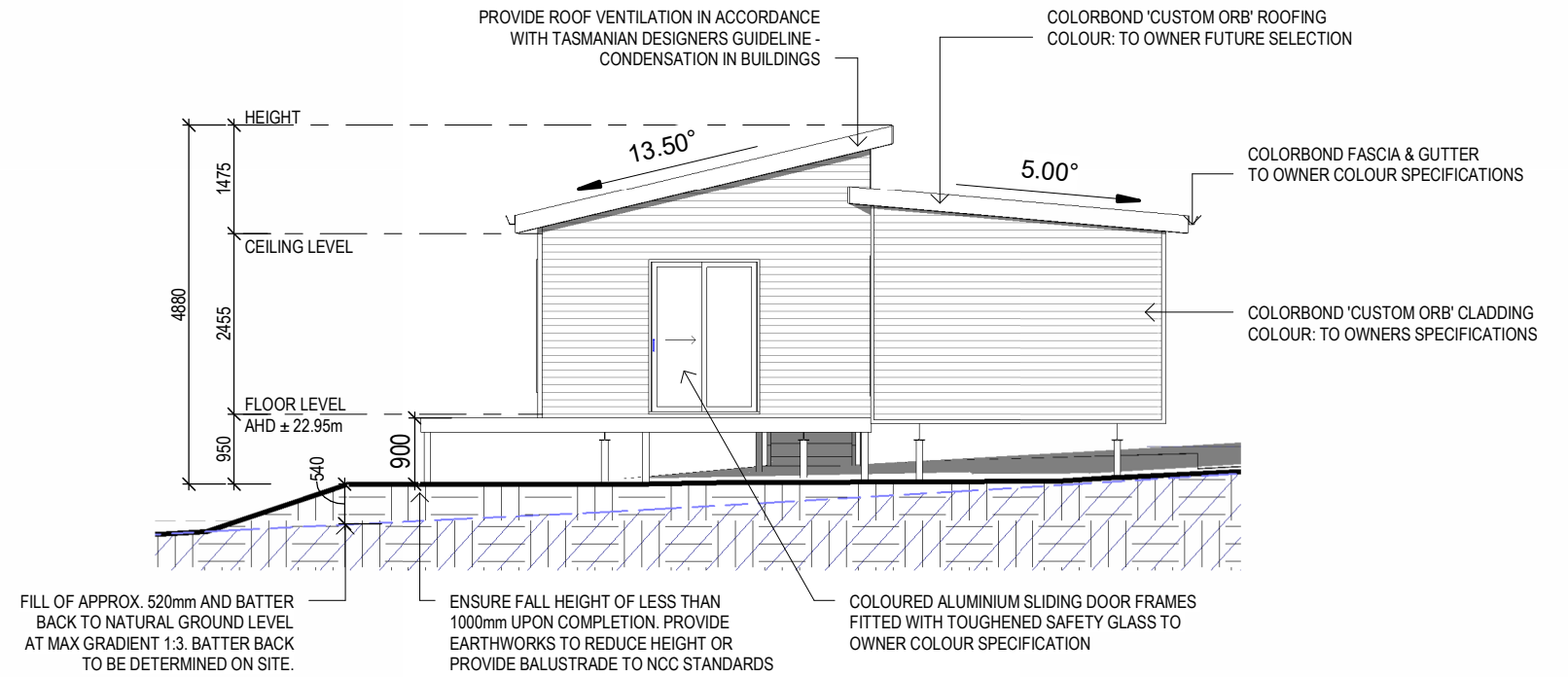
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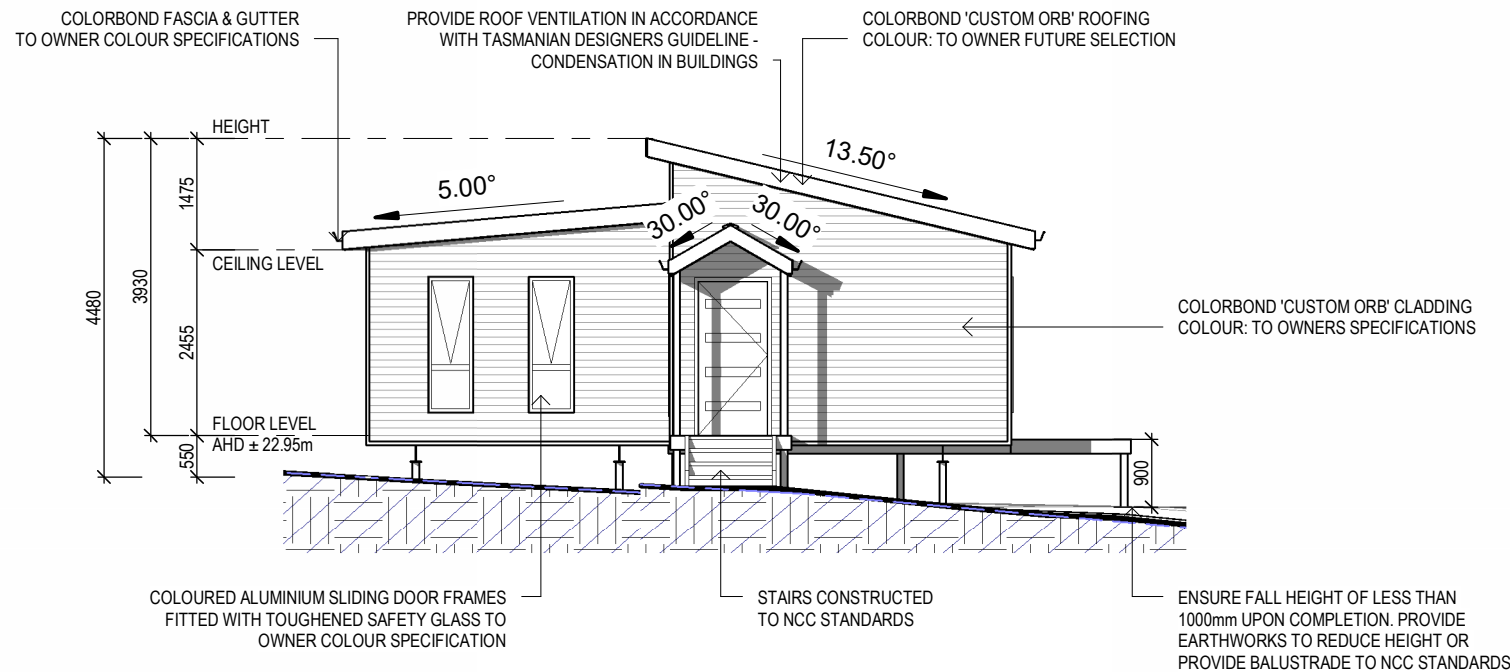
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SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



**NORTH EAST ELEVATION**  
SCALE 1 : 100



**SOUTH WEST ELEVATION**  
SCALE 1 : 100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288  
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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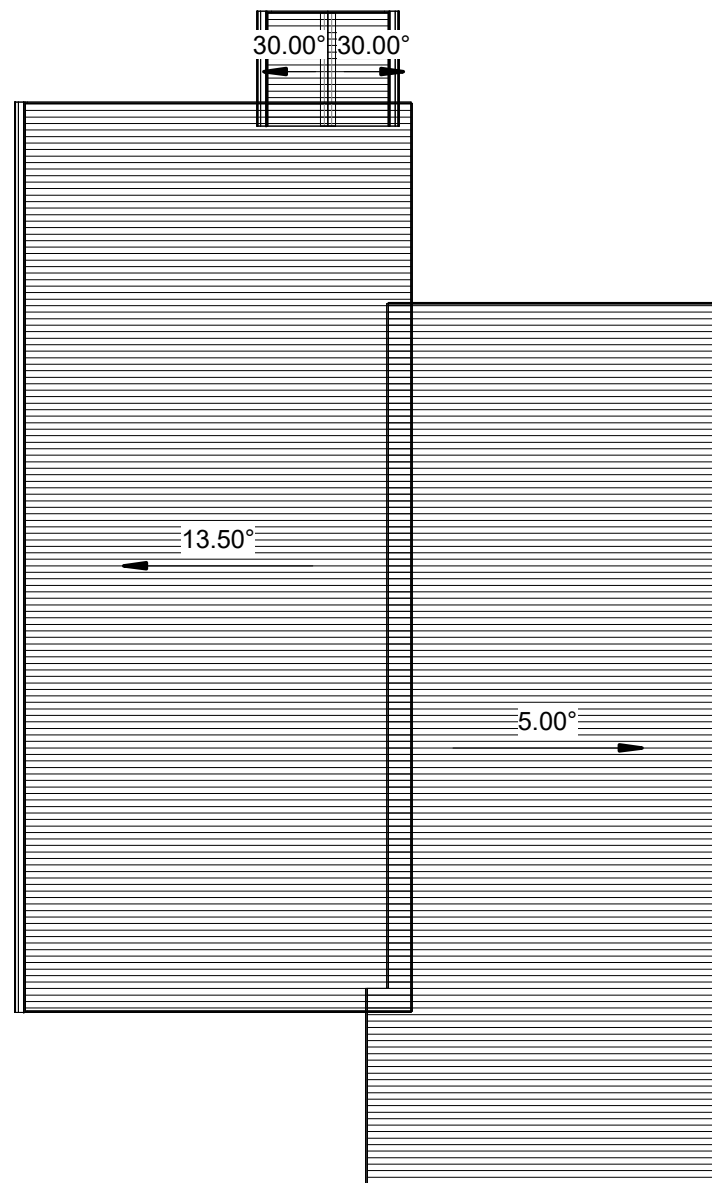
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**ROOF PLAN**  
 SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R3.5 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

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**INSULATION**  
PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

**CEILING**  
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS WITH UNDER ROOF COMPOSITE FOIL & R1.5 BLANKET

**EXTERNAL WALLS**  
"TYVEK" HOUSE WRAP (OR SIMILAR) TO EXTERNAL FACE R2.5 GLASSWOOL BATTS BETWEEN STUDS

**SUB FLOOR**  
85mm R2.5 POLYSTYRENE BETWEEN JOISTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

**WALL FRAMING**  
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 [RESIDENTIAL TIMBER FRAMED CONSTRUCTION] & THE BCA CODE PART 3.4.3 WALL FRAMING TO BE MGP10 RADIATA PINE. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & NCC CODE

**SLABS & FOOTINGS**  
ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

**EXTERNAL CLADDING**  
EXTERNAL WALL CLADDING REFER ELEVATIONS  
SUB FLOOR REFER ELEVATIONS

**WINDOWS**  
COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCC STANDARDS.

**PLASTER**  
LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET MOULDING TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

**CAPPINGS & FLASHINGS**  
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

**WET AREAS**  
WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH BCA PART 3.8.1.1 TO 3.8.1.27 INCLUSIVE AND FIG NOS 3.8.1.5 TO 3.8.1.16 INCLUSIVE. AND TABLE 3.8.1.1

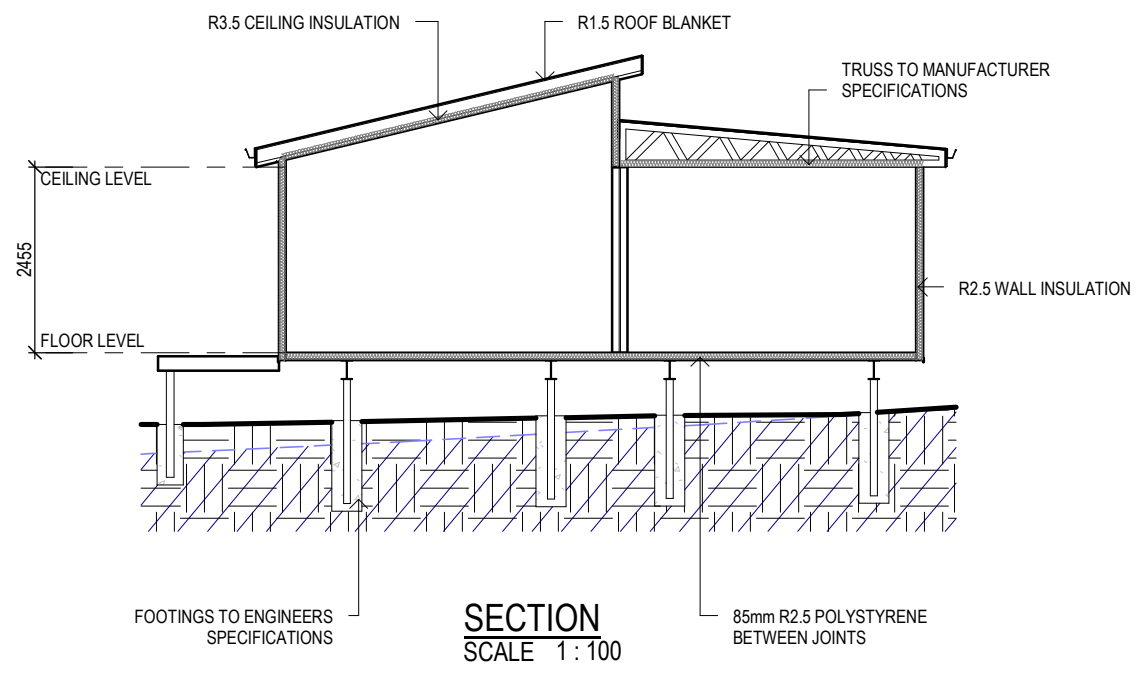
**EAVES**  
OVERHANG ROOFS 300mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING IN ACCORDANCE WITH AS 1684.2 7.2.24

**FASCIA**  
COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

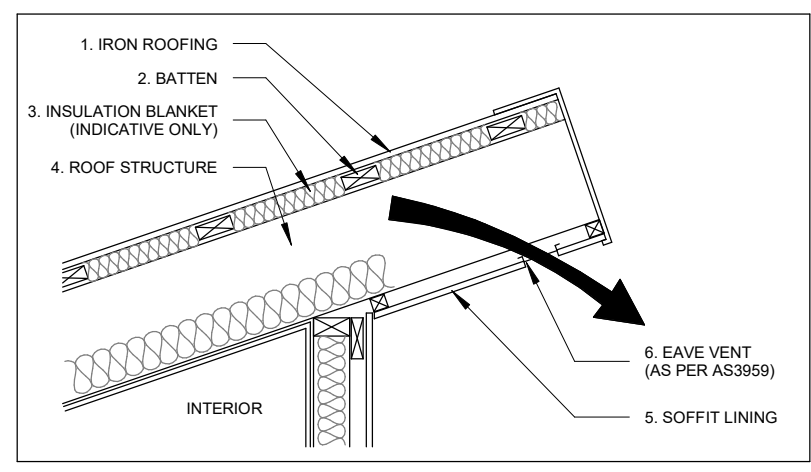
**ROOF FRAMING**  
COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC

**DOWNPIPES**  
DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000 AND AS CLOSE AS POSSIBLE TO VALLEYS AND LOCATED SO AS TO COMPLY WITH PART 7.4 OF THE NCC SELECTED IN ACCORDANCE WITH NCC PART 7.4 & TABLES 7.4.4a TO 7.4.4c

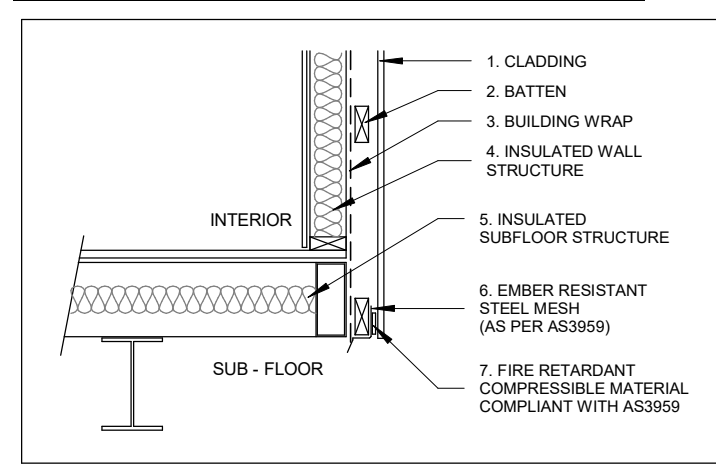
**GUTTERS**  
INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. FALL NOT LESS THAN 1:500 FITTED WITH OVERFLOW MEASURES TO COMPLY WITH NCC PART 7.4 & TABLE 7.4.4a, 7.4.4b VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH NCC PART 7.4 & TABLE 7.4.4c HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm HAVE A ROOF PITCH OF NOT LESS THAN 12.5deg LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES. LAP 150MM IN DIRECTION OF FLOW



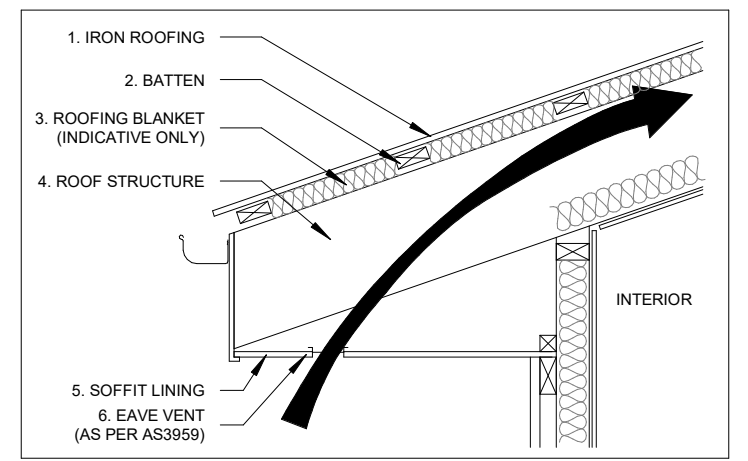
**FIGURE 4 - RIDGE DETAILS : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



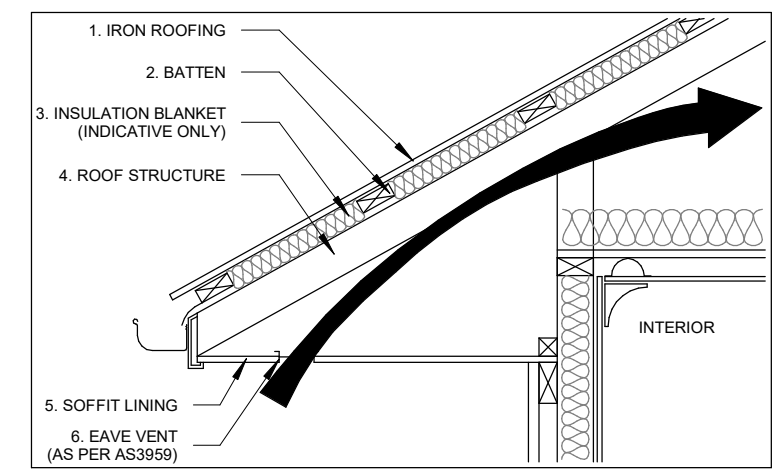
**FIGURE 8 - EXTERNAL WALL VENTED CLADDING SYSTEM - SUSPENDED TIMBER FLOOR BUSHFIRE MESH WHEN REQUIRED TO AS3959**



**FIGURE 3 - EAVES DETAIL : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



**FIGURE 2 - EAVES DETAILS : TRUSS & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959**



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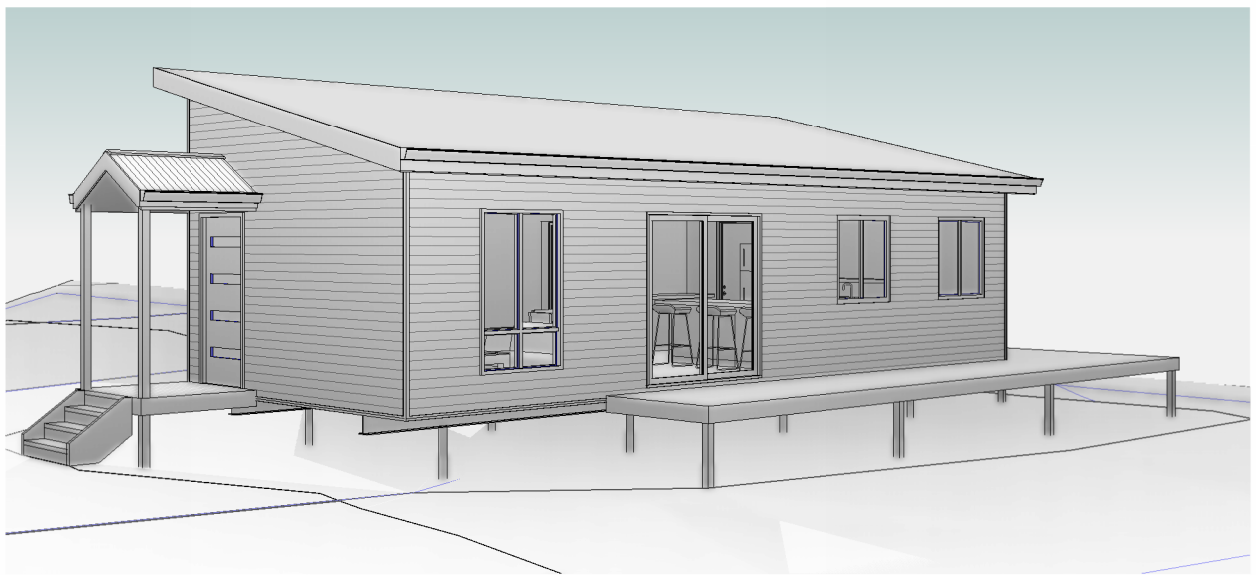
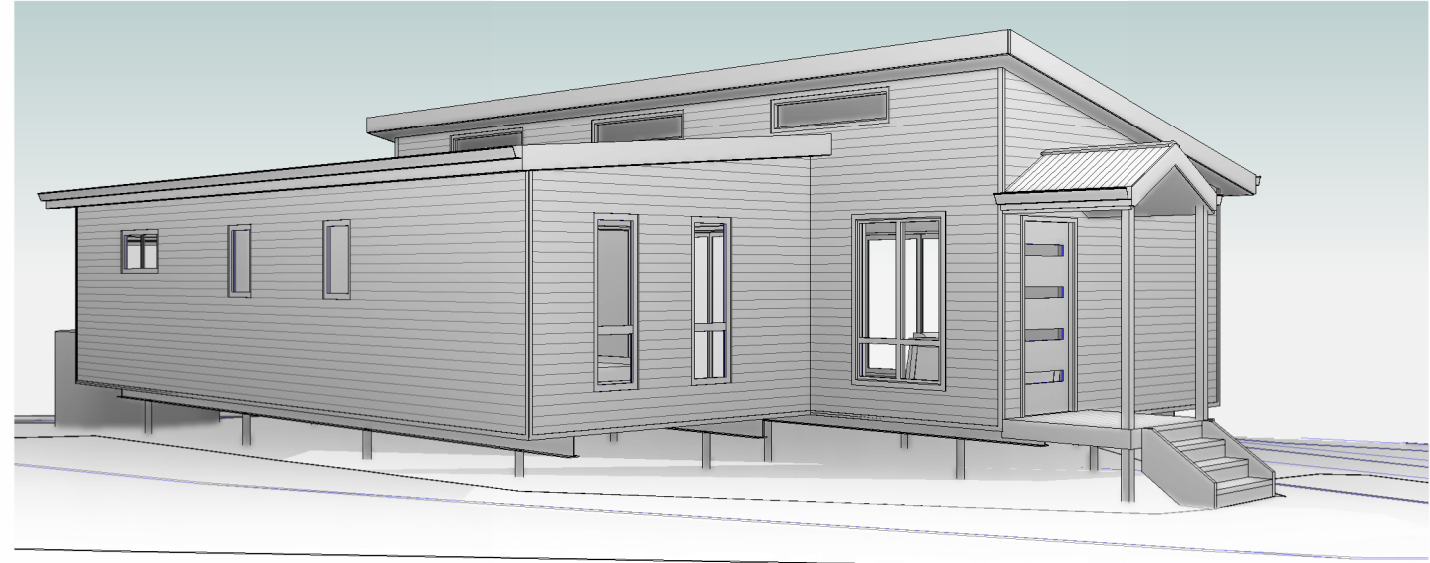
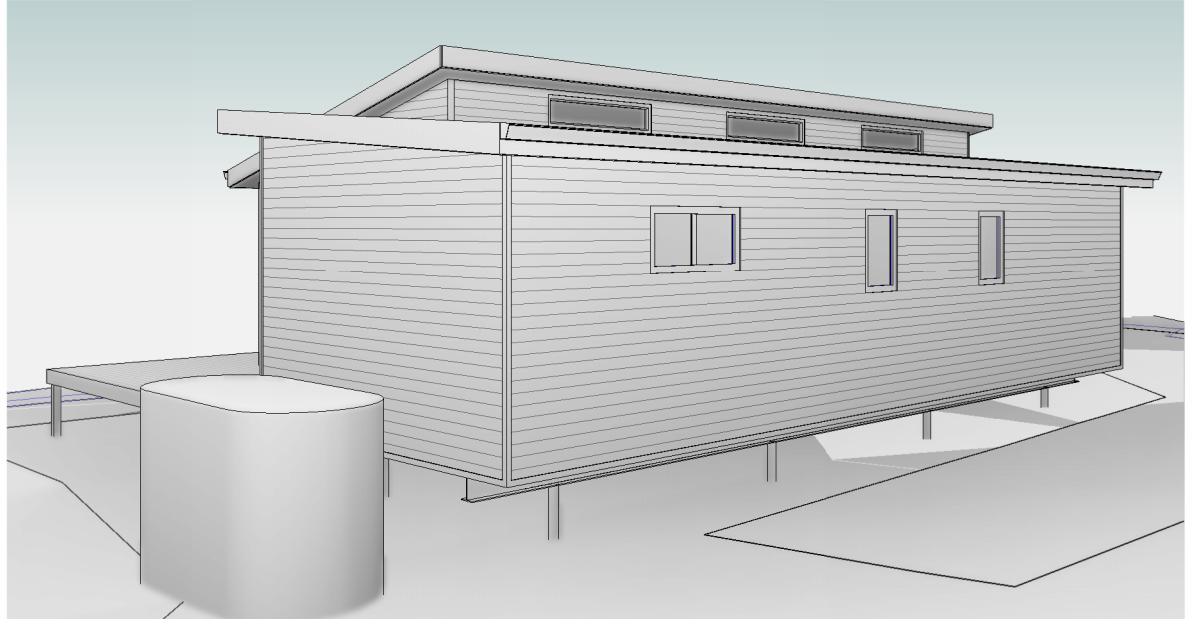
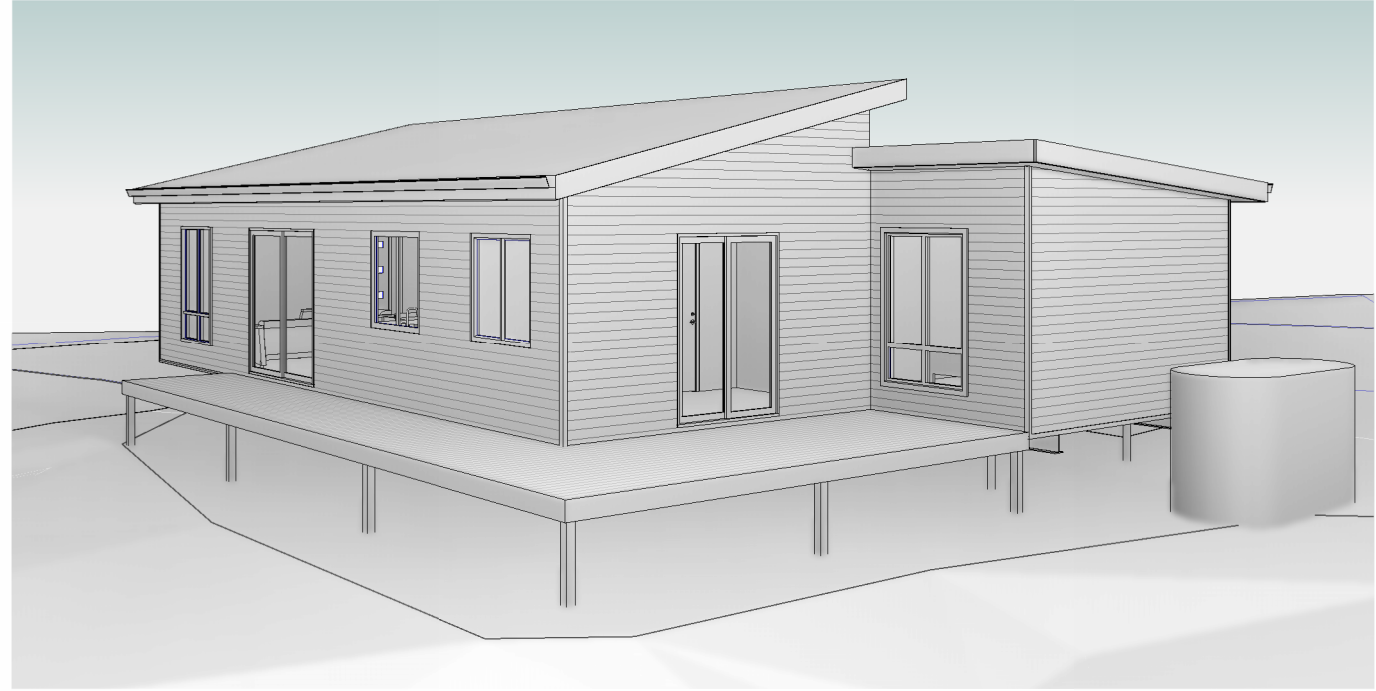
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