



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **16494 Tasman Highway, Bicheno**
CT 178795/1

PROPOSAL: **Visitor Accommodation – Alterations and additions to the existing caravan park including the construction of cabins and ancillary structures and works**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 07 May 2026.

APPLICANT: **Starbox Architecture**
DATE: **02/02/2026**
APPLICATION NO: **DA 2026 / 00016**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details <i>Complete for All Applications</i>	
Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$
Is the property on the State Heritage Register? (Circle one)	Yes / No
For all Non-Residential Applications	
Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	
Personal Information Protection Statement	

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

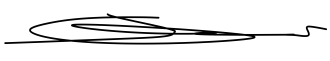
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
178795		1
EDITION	DATE OF ISSUE	
3	08-Jun-2024	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Town of LLANDAFF
Lot 1 on Plan 178795
Derivation : Part of Lot 4 Sec. B. Gtd to Joseph John Pyke.
Prior CT 201716/1

SCHEDULE 1

N191820 TRANSFER to CRC PROPERTY GROUP AUSTRALIA PTY LTD
Registered 08-Jun-2024 at 12.01 PM

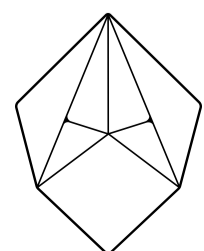
SCHEDULE 2

Reservations and conditions in the Crown Grant if any



New Caravan Park

16494 Tasman Highway, Bicheno TAS 7215



Starbox Architecture

Level 1, 21 Beak Street, Devonport TAS 7303
 0824 778
 info@starbox.net.au
 Registration # 10712 (TAS)
 Accreditation # 0202447

www.starbox.net.au

General Notes

1. Use Figured dimensions in preference to scaled dimensions
2. All dimensions to be verified on site
3. All dimensions are in millimetres unless noted otherwise
4. All work carried out shall be in accordance with Australian standards, the Building Code of Australia, local authority by laws & regulations and manufacturers specifications
5. All drawings shall be read in conjunction with consultants specifications and documentation

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Rev.	Description	Issued	Chk	Date
DA1	For Development Approval	QH	XC	10-11-25
DA2	For Development Approval	QH	XC	09-03-26

Project Title
 16494 Tasman Highway, Bicheno TAS 7215

Client
 CRC Property Group Australia Pty Ltd

Sheet Name
 COVER PAGE

Status
 Development Approval

Project Number
 20251003

Drawing Number
 A00

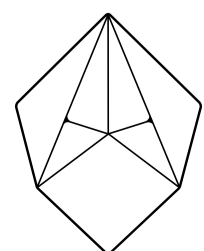
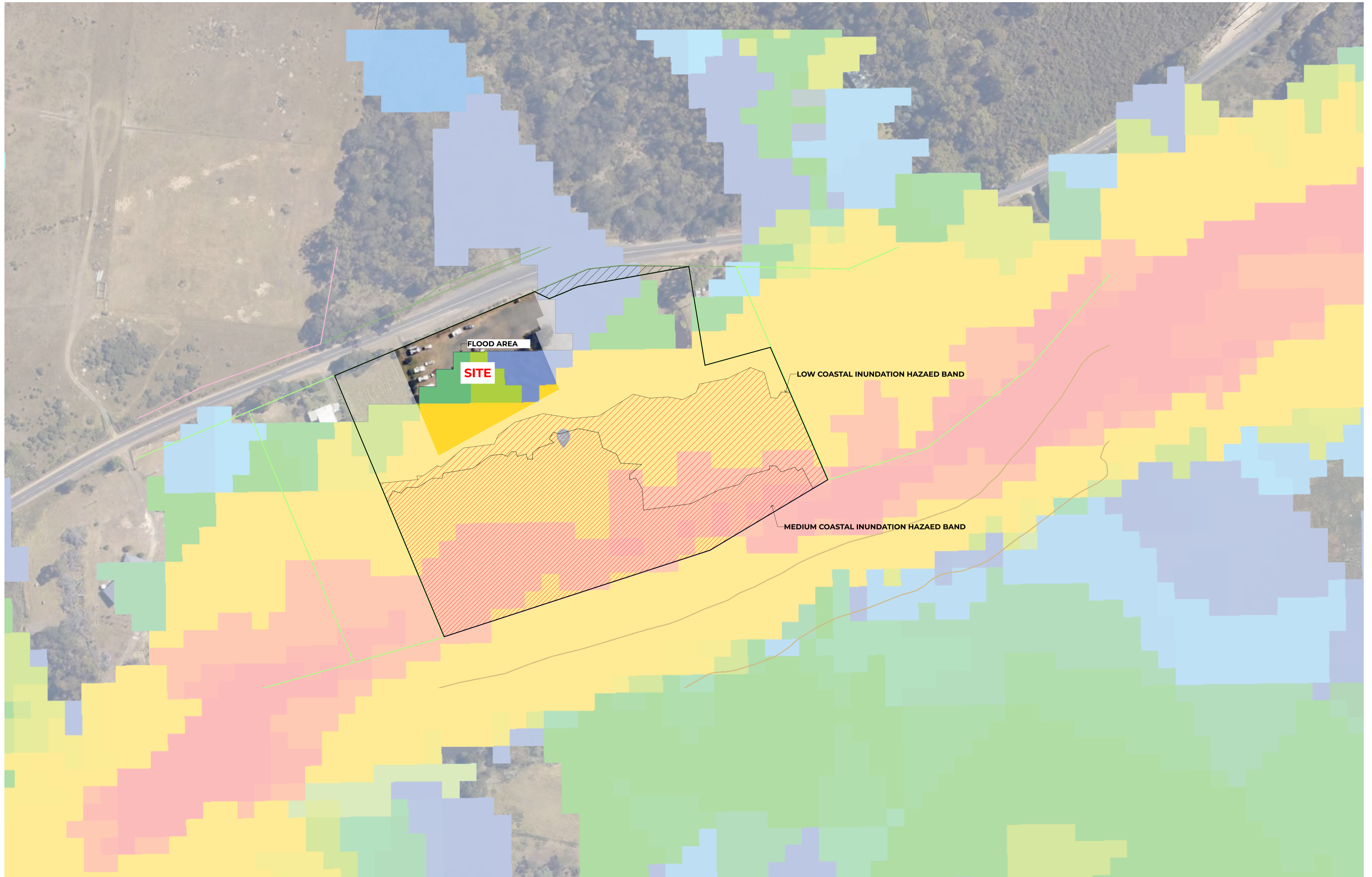
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Rev.

DA1

Plot Date

10/3/2026



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DA1	For Development Approval
DA2	For Development Approval

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QH	XC	10-11-25
QH	XC	09-03-26

Project Title
 16494 Tasman Highway, Bicheno TAS 7215

Client
 CRC Property Group Australia Pty Ltd

Sheet Name

OVERLAYS

Status
 Development Approval

Project Number
 20251003

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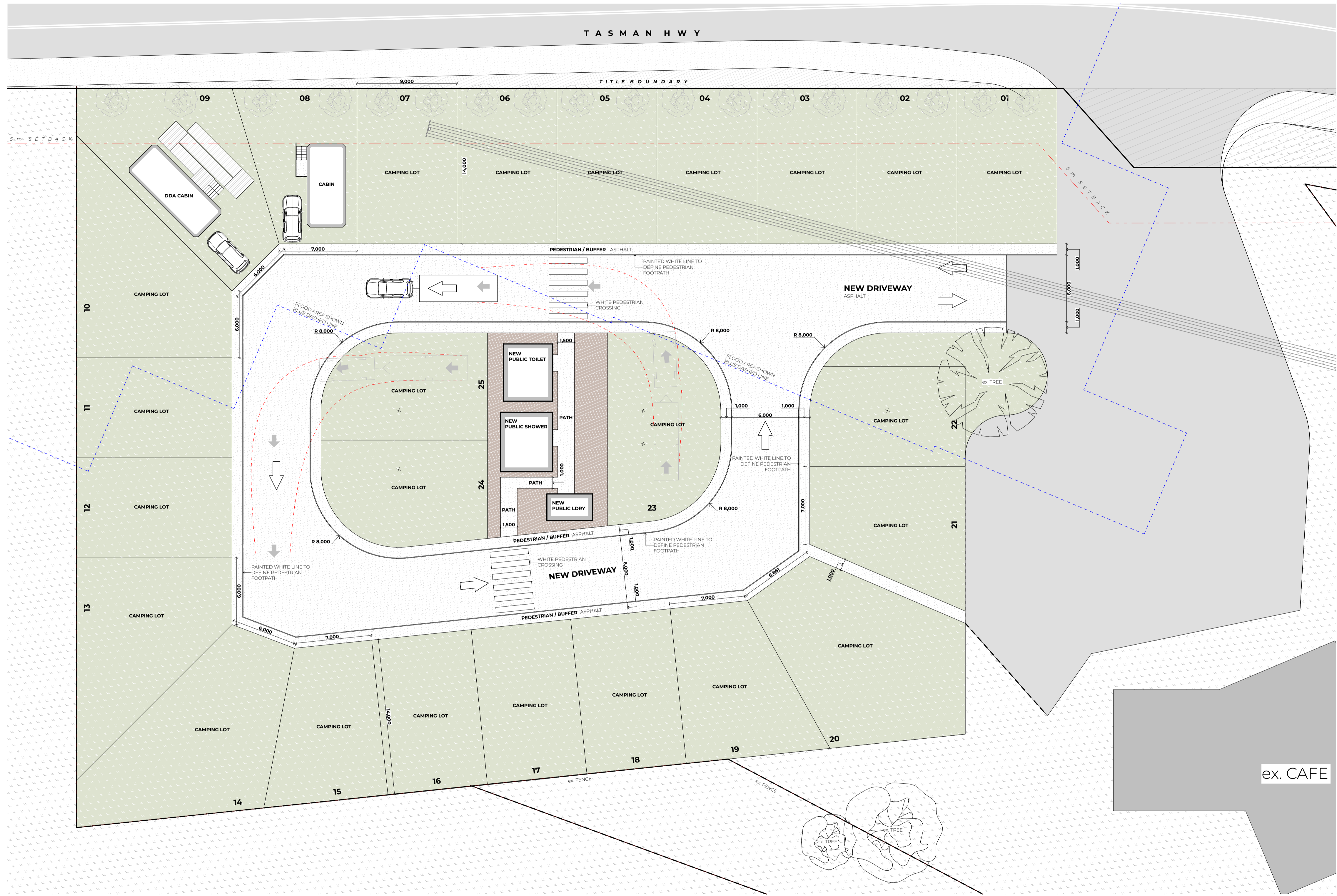
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Rev.
 DA1

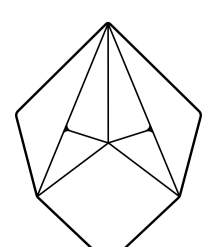
Plot Date
 10/3/2026



SITE LOCATION
SCALE 1:2000



SITE PLAN - STAGE 1
SCALE 1:200



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Client
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Sheet Name
SITE PLAN - STAGE 1

Status
Development Approval

Project Number
20251003

Drawing Number
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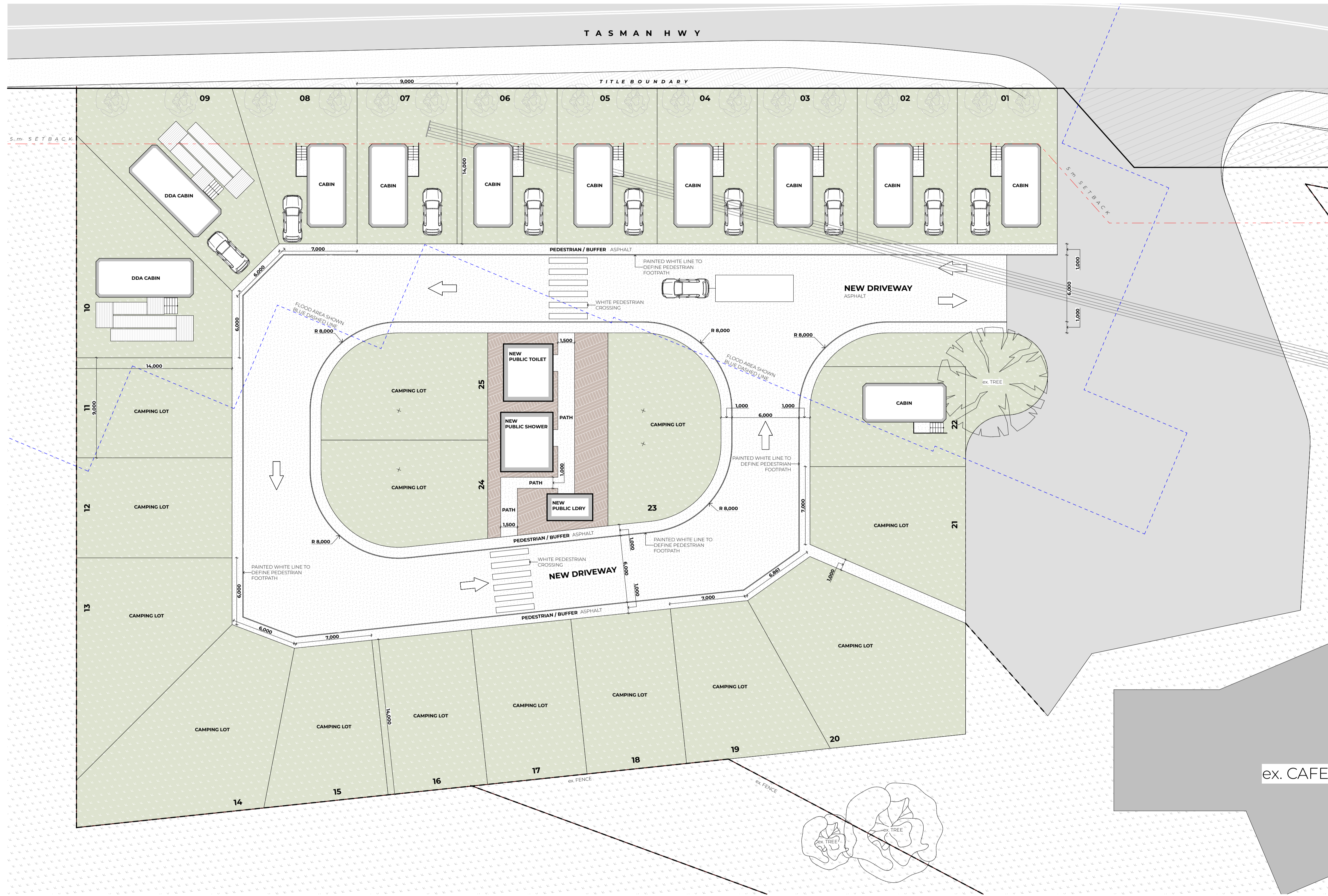
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Rev.
DA2

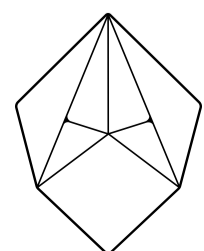
Plot Date
10/3/2026



SITE LOCATION
SCALE 1:20000



SITE PLAN - STAGE 2
SCALE 1:2000



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Client
CRC Property Group Australia Pty Ltd

Sheet Name
SITE PLAN - STAGE 2

Status
Development Approval

Project Number
20251003

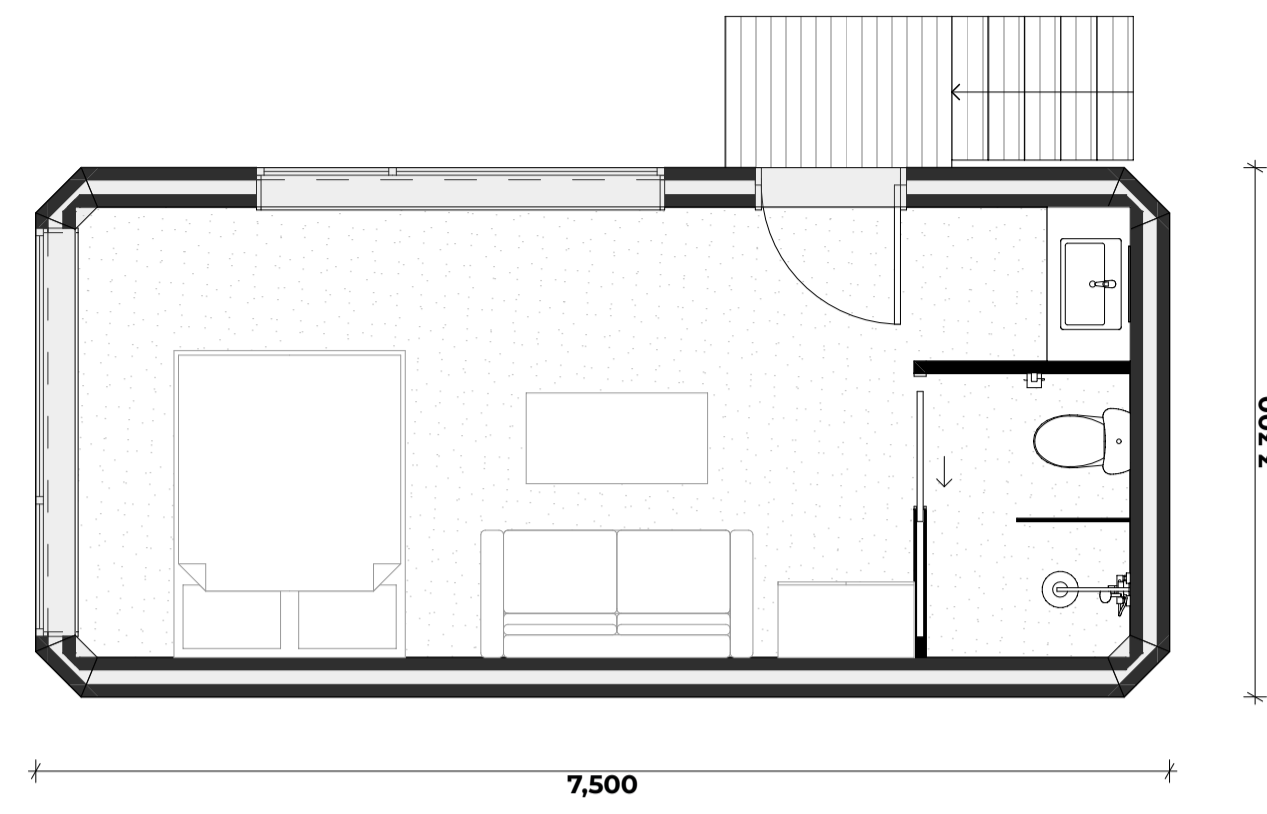
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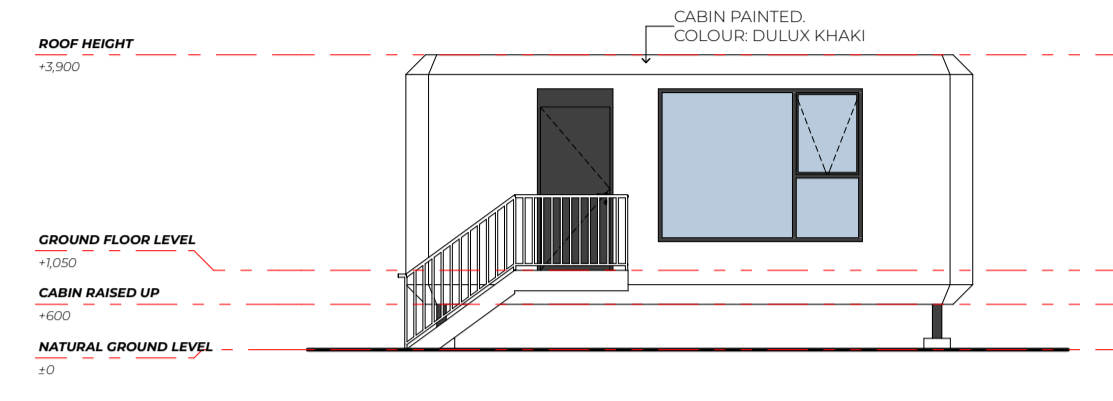
Rev.
DA2

Plot Date
10/3/2026

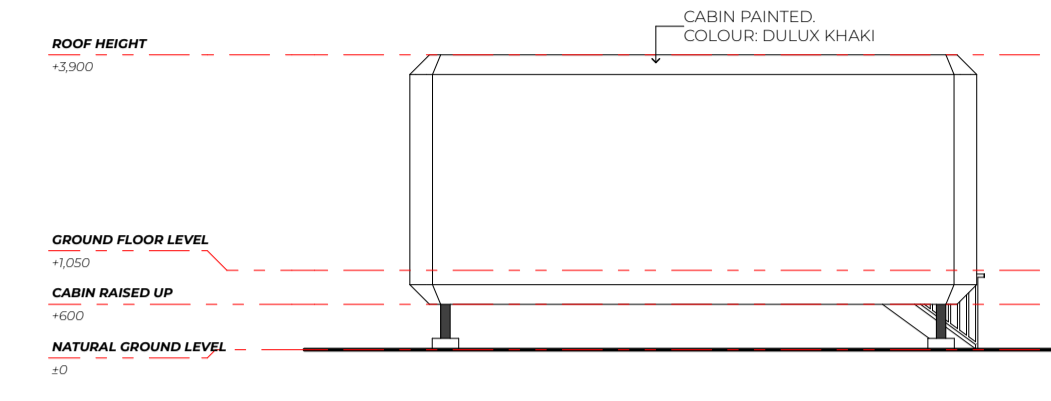
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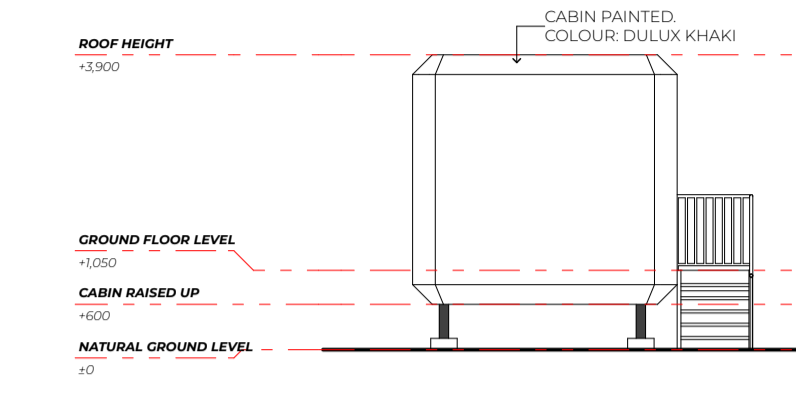
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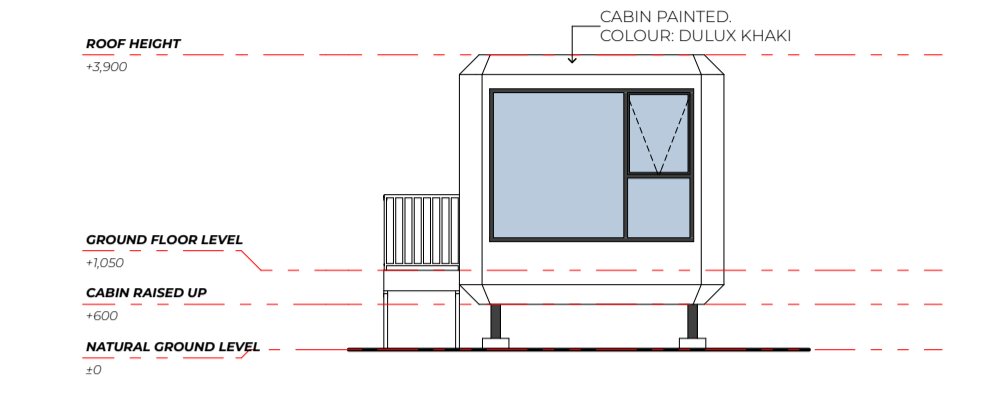
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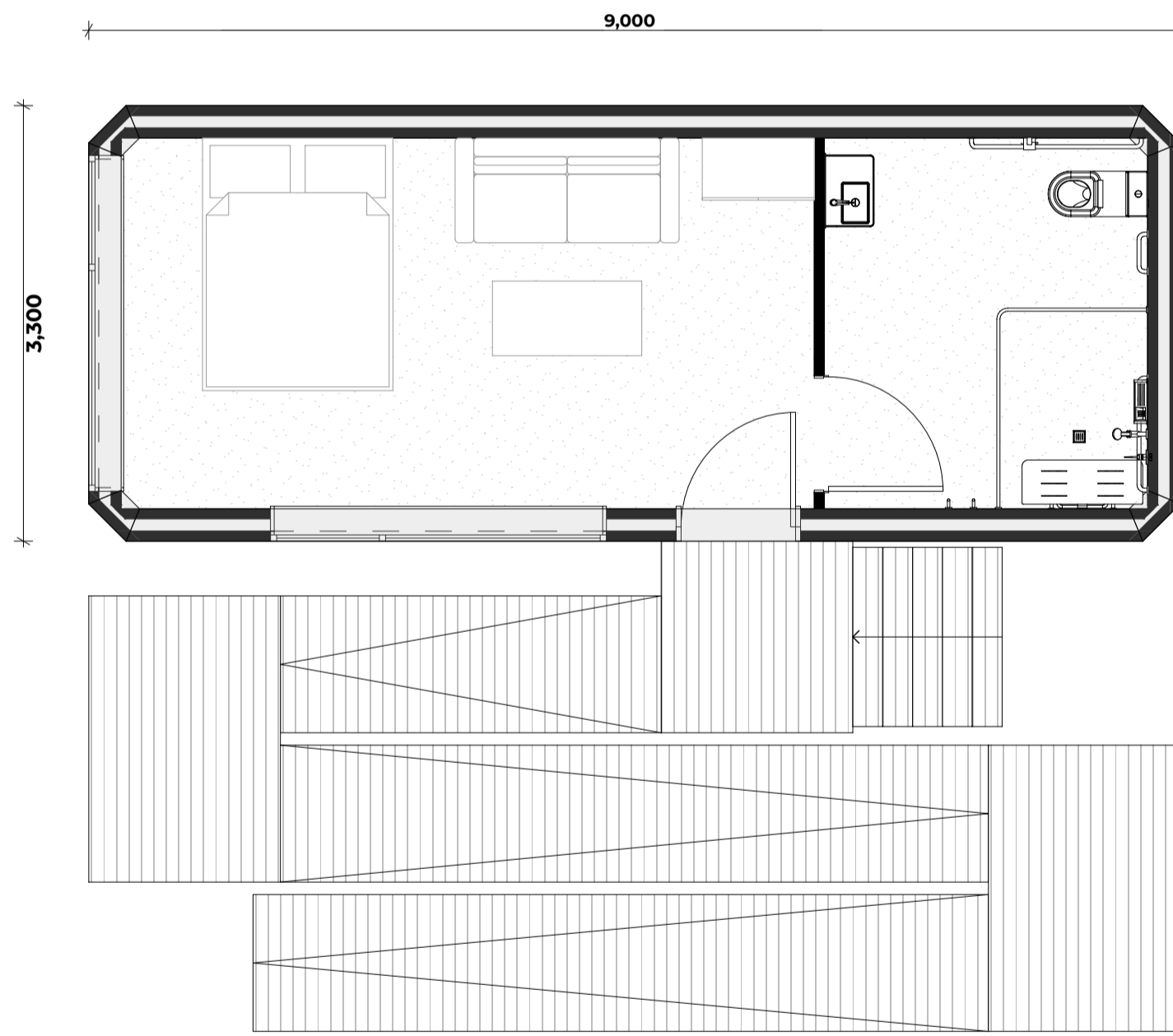


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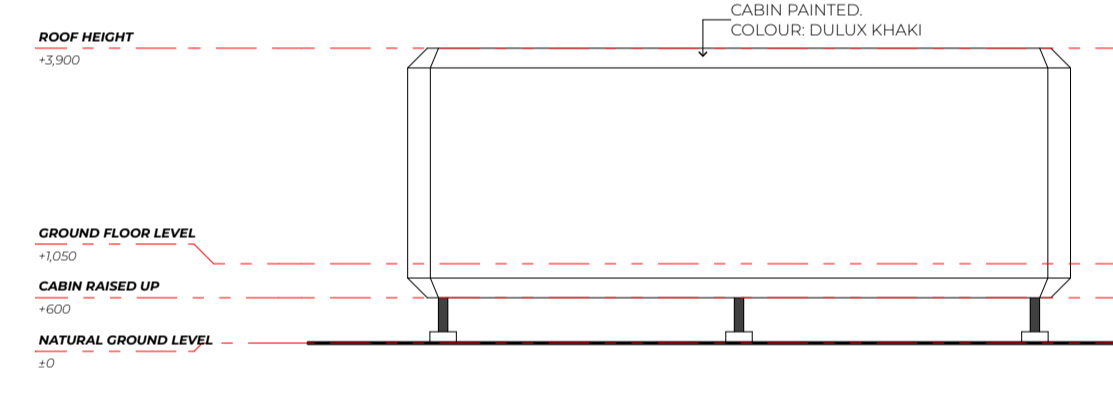


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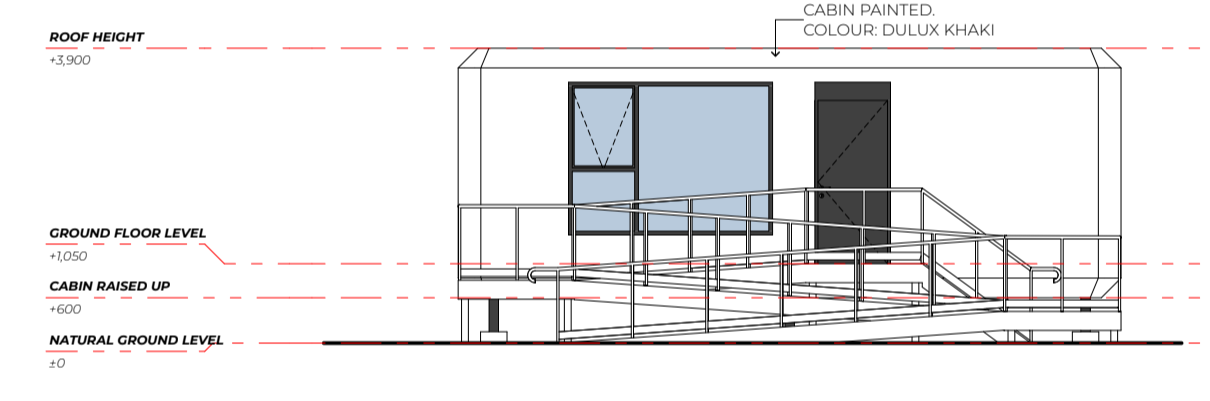
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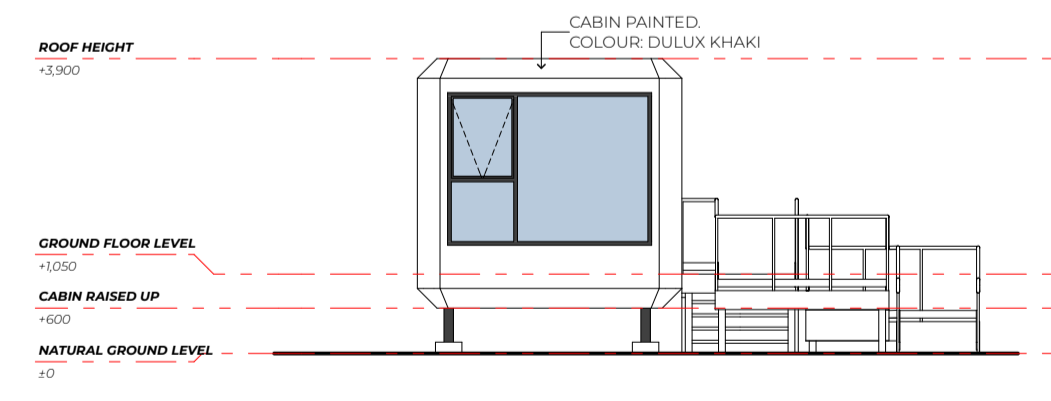
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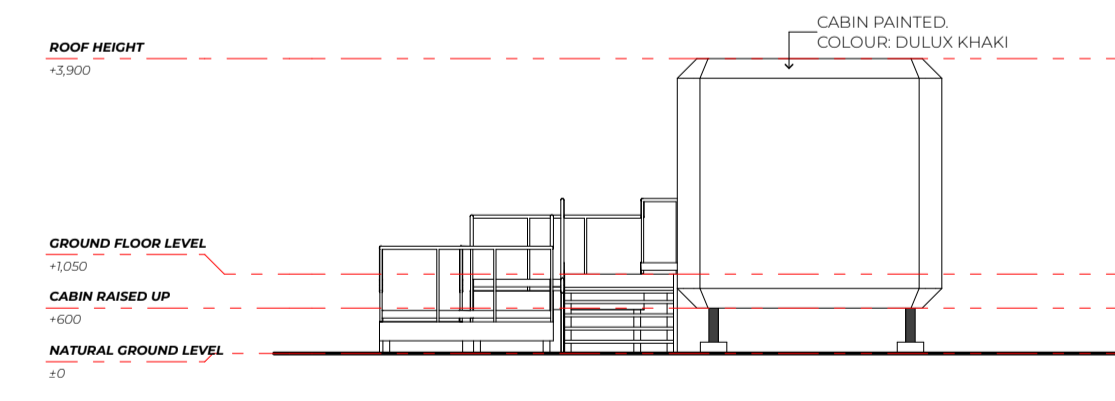
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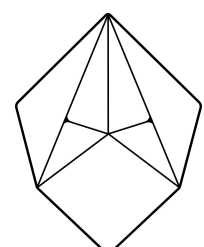
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9 DDA CABIN ELEVATION-3
SCALE 1:50
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10 DDA CABIN ELEVATION-4
SCALE 1:50
0mm 1000 2000 3000 4000 5000



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Client
CRC Property Group Australia Pty Ltd

Sheet Name
CABIN FLOOR PLANS (TYP.)

Status
Development Approval

Project Number
20251003

Drawing Number
A05

Sheet Size:
A1

Rev.
DA1

Plot Date
10/3/2026

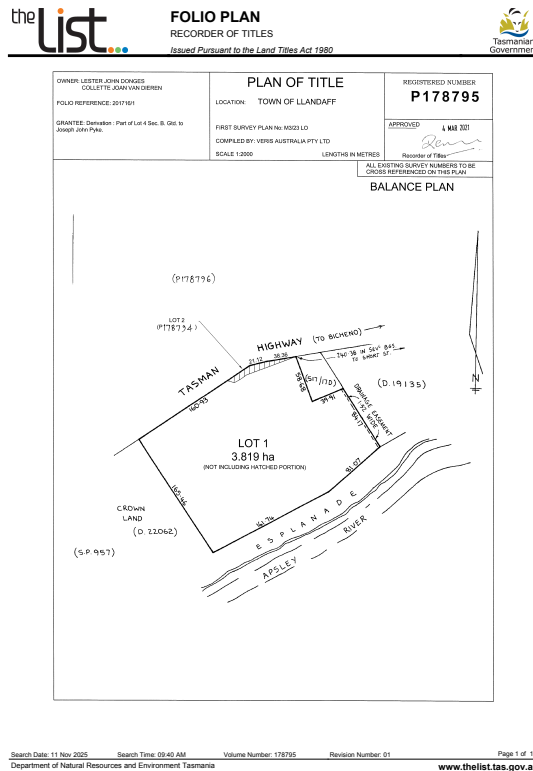
Submission addressing the
Tasmanian Planning Scheme – Glamorgan Spring Bay

for the

staged construction of separate communal toilet, shower, and laundry buildings, accommodation cabins, a wastewater disposal, landscaping, upgrade of the existing vehicle manoeuvring and parking areas and landscaping

at

16494 Tasman Highway, Bicheno, 7215



30 January 2026

As amended 10 April 2026

Written by

Chris Triebe BBus (MarMgt)Hons, GradDip Env&Plan of
Chris Triebe & Associates Town Planning Services

PO Box 313 St Helens Tasmania 7216

ctriebepanning@gmail.com

0417 524 392

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1. INTRODUCTION

Ms Qi Huang of Starbox Architecture retained Chris Triebe and Associates Town Planning Services to prepare this response against the Planning Scheme for Starbox Architecture as applicants. and submit a development application for the formalisation and upgrade of the existing caravan park located at 16494 Tasman Highway, Bicheno. The formalisation will occur through the staged upgrade of the existing caravan sites, construction of accommodation cabins and amenity buildings for the Visitor Accommodation Use, wastewater, vehicle and pedestrian manoeuvring infrastructure.

The 3.83ha Rural zoned, unserviced development site has a single frontage to the A3 Tasman Highway, with the property entry approximately 570m south-west of the C302 Coles Bay Road intersection. The site abuts a similarly zoned property to the south-east while the other 3 boundaries adjoin Environmental Management zoned Titles.

The aim of this report and documentation forming the application is to demonstrate compliance with the relevant Zone and Codes of the *Tasmanian Planning Scheme – Glamorgan Spring Bay* (the Planning Scheme) as well as the Objectives of the *Land Use Planning and Approvals Act 1993* (the Act). A review of the Local Provisions Schedule (https://www.planning.tas.gov.au/data/assets/pdf_file/0005/710978/Glamorgan-Spring-Bay-Local-Provisions-Schedule.pdf viewed 14 August 2023) confirmed none are applicable.

A review of the LIST indicates the property is burdened by the following overlays:

- Future coastal refugia area (compatible zone LIDAR) – Natural Assets Code;
- Waterway and coastal protection area (buffer area) – Natural Assets Code;
- Waterway and coastal protection area (wetland) – Natural Assets Code;
- Priority vegetation area – Natural Assets Code;
- Bushfire-prone areas – Bushfire-prone Areas Code;
- Medium coastal inundation hazard band (medium) – Coastal Inundation Hazard Code;
- Low coastal inundation hazard band (Low) – Coastal Inundation Hazard Code;

2. DEVELOPMENT SITE

2.1 Ownership and Title Information

The Certificate of Title downloaded 11 November 2025 shows the Title in the name of CRC Property Group Australia Pty Ltd; the current Folio Plan was registered 04 March 2021. The property is in the rural area identified locally as Llandaff, has an address of 16494 Tasman Highway, Bicheno while the owner's postal address is 705 West Tamar Highway, Legana, 7277.

2.1.1 Folio Text and Plan

The site is identified by Property Identification Number (PID) 9028501 and Certificate of Title 178795/1. A review of the Folio Plan notes the Title is burdened by a 1.52m wide drainage easement running inside the full length of the 84.17m long eastern boundary, benefitting CT 84736 Folio 1. The Title does not contain any other restrictions or covenants.

The parcel of land located inside the northern Title boundary and identified as P178794 Lot 2, is identified as the Casement Type 'Acquired Road' and is not included in the total area of the development site.

2.2 The Site

The 3.819ha Rural zoned development site has a single frontage to the A3 Tasman Highway; the property entry is approximately 584m south-west of the C302 Coles Bay Road intersection. The LISTmap indicates the site does not have any defined wetlands or watercourses running through it. The southern property boundary is formed by the Apsley River while the small dam located within the north-eastern boundary corner appears to be fed by a permanent spring as well as the nearby open spoon drain and culvert under the highway. The south-eastern rear of the property is some metres lower than the north-western section of the Title and appears to be maintained in a slashed state. A section of standing vegetation has been retained within that southern boundary.

The site is not serviced by any reticulated water services but has Aurora power, Telstra mobile telephony and nbn® Satellite broadband (<https://www.nbnco.com.au/results/null-np-pl-ptd/sa-c-ct/sat> viewed 09 November 2025 08⁵²hrs).

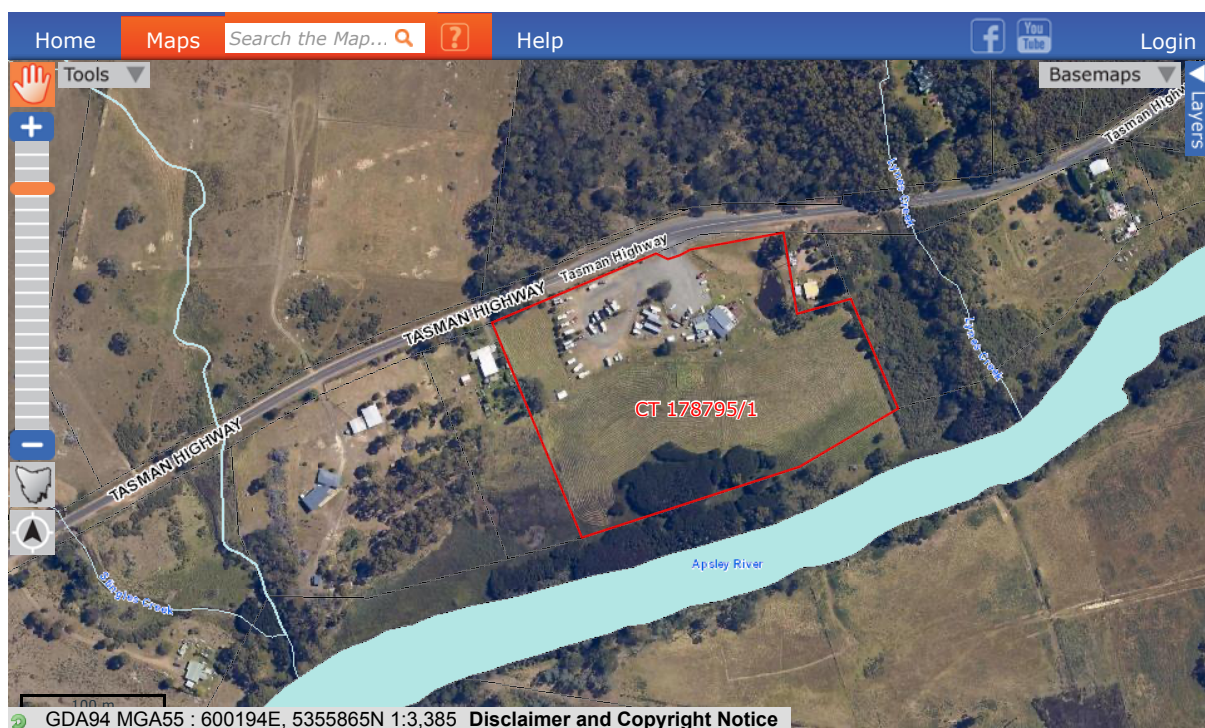


Figure 1: *LISTmap image of nearby watercourses*

Similarly zoned properties about the eastern, western and southern boundaries while the northern adjacent property is zoned Agriculture and the highway is zoned Utilities. The northern, eastern and western properties are privately owned while NRE maintain the southern adjoining land against the northern bank of the Apsley River. The existing vehicle access is over CT 178794-2, encompassing approximately 536m² identified as 'Acquired Road'.

The Property Information Report identifies the current improvements as being a 193m², Colorbond and cement sheet rendered restaurant, a 54m² store and a 52m² verandah. The café / restaurant was constructed in 2017.

The Freycinet map forming a part of the Department of Primary Industries, Parks, Water and Environment (DPIPWE) Modelled Land Capability Classification system identifies the site as Class 5. This is land with “...*slight to moderate limitations to pastoral use but is unsuitable for cropping, although some areas on easier slopes may be cultivated for pasture establishment...*” With this classification, the proximity to the Apsley River as well as the Use of the existing on-site buildings, it is not certain if the Title was used for farming operations prior to the existing Food Services Use.

2.3 Proposal

The purpose of this application is to seek approval for the staged upgrade of the existing 25 site caravan park at 16494 Tasman Highway, Bicheno. This application does not propose any alterations to the existing buildings on the same Title.

Stage 1 will formalise the existing 25 caravan sites as well as construct the asphalted vehicle driveway and pedestrian buffer / walkways. Two permanent cabins will initially be installed on sites 8 and 9, with the former accessible for persons with a disability; separate toilet, shower and laundry buildings will be constructed in the centre of the vehicle turning area. The remaining 23 sites will be available for caravans and recreational vehicles (RVs), with vehicle parking between the van and driveway. A wastewater system will also be installed for the permanent cabins, the communal toilet and laundry buildings.

Stage 2 will construct permanent cabins on sites 1 through 10 and site 22; sites 11 through 21, 23, 24 and 25 will be solely for caravans and RVs. The 2 cabins on sites 8 and 9 will be the sole cabins accessible for persons with disabilities. The cabins in Stage 2 will be installed on-site approximately 18 months after the caravan sites have been created.

The external surfaces of all cabins will be coloured Dulux Khaki with the 13 able-bodied cabins 7.5m by 3.5m by 3.9m (26.25m²), accessed via a set of stairs and small deck covering approximately 2.7m by 1m. The 2 cabins set up for disabled guests will be 8.77m by 3.5m by 3.9m (30.7m²) accessed from a deck via either a set of stairs or ramp covering approximately 22.85m². The bathroom with shower and toilet will be off the open-planned living area with double bed, sink and small bench. No laundry facilities will be fitted to the proposed cabins. The water supply will be sourced from rainwater collection tanks, with appropriate signage around the park while filters will be installed on the internal taps of the cabins.

Guest vehicles will be parked between their vans and cabins. The vehicle driveway and pedestrian walkways will be constructed of asphalt. The separate public toilet, shower and laundry blocks will be constructed within the circular driveway. The individual communal buildings will all be accessible to disabled guests and have the following dimensions: public toilet: 5.15m by 4.45m by 3.06m (22.92m²); the public shower: 5.34m by 4.7m by 3.06m (25.1m²); the public laundry: 4.11m by 2.4m by 3.06m (9.86m²). The toilets will have 5 cubicles, one being disabled access and 3 hand basins; the shower block will contain 5 shower cubicles, one disabled, and 2 hand basins; the laundry will have 2 washing machines and 2 dryer machines.

2.4 Discretions

The application is discretionary on the following Clauses:

20.2 Use Table – Visitor Accommodation Use is a qualified discretionary use

20.3.1 Discretionary Use P1

20.4.2 Setbacks P1 – building within 5m frontage boundary setback

20.4.2 Setbacks P2 – a sensitive use separated less than 200m from the Agriculture Zone

C2.6.5 Pedestrian Access P1 – width of separation or bollards;

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction P1 – potential increase in traffic movements over an existing junction

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area P1 – development within a road attenuation area

C8.6.2 Development within a scenic road corridor P2 – some proposed works will be visible from a scenic road

3. ZONE

20.0 Rural Zone

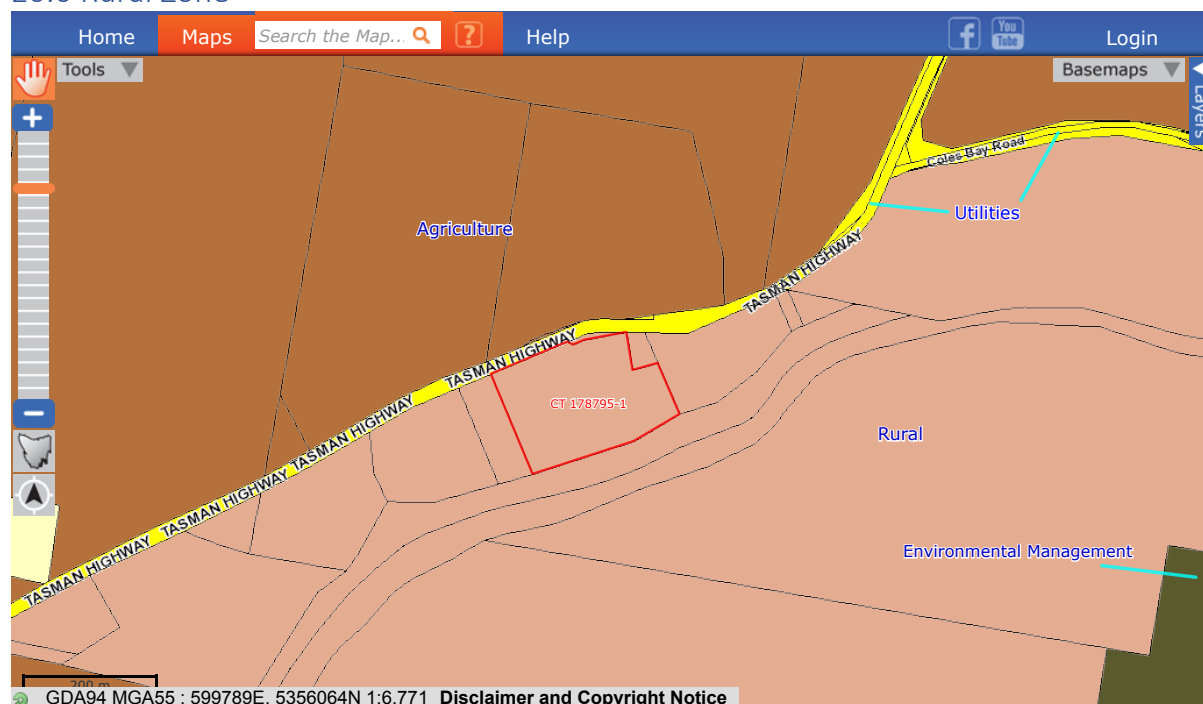


Figure 2: Zoning map

20.1 Zone Purpose

The purpose of the Rural Zone is:

20.1.1: To provide for a range of use or development in a rural location:

- (a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics;
- (b) that requires a rural location for operational reasons;
- (c) is compatible with agricultural use if occurring on agricultural land;
- (d) minimises adverse impacts on surrounding uses.

20.1.2 To minimise conversion of agricultural land for non-agricultural use.

20.1.3 To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

20.2 Use Table

Both the Food Services and the Visitor Accommodation Uses are existing, ensuring this application does not require a Change of Use. However the application is discretionary as future guests will be accommodated within new habitable buildings and use new communal buildings, a qualified Discretionary Use in this Table.

20.3 Use Standards

20.3.1 Discretionary uses

Objective: That the location, scale and intensity of a use listed as Discretionary:

- (a) is required for operational reasons;

- (b) does not unreasonably confine or restrain the operation of uses on adjoining properties;
- (c) is compatible with agricultural use and sited to minimise conversion of agricultural land; and
- (d) is appropriate for a rural location and does not compromise the function of surrounding settlements.

P1 – Discretionary Use

The application is discretionary on this subclause because the Visitor Accommodation Use will occur in new buildings, a qualified Visitor Accommodation Use. As the current Use does not utilise any permanent structures, this proposal will increase the gross floor area by more than 30 per cent. Within this Zone, a Use listed as Discretionary, excluding Residential, must require a rural location for operational reasons and not restrain the operation of uses on adjoining properties. It is put to the Planning Authority this application complies with this subclause in the following manner:

- (a) **the nature, scale and intensity of the use:** the Visitor Accommodation Use is achieved through the existing caravan park located on the Title. The purpose of the future upgraded caravan park is to provide quality short-term accommodation within close proximity to the tourist venues on and surrounding the Freycinet Peninsula. Vehicle access will continue over the existing sealed crossover provided off the A3 Tasman Highway, a main thoroughfare for tourists travelling north from Hobart and south from the north-eastern and northern coasts. The upgraded park will continue to enable guests to leave their vans securely on-site or personal belongings in a unit, while visiting the attractions in the region.

The 3 communal buildings will be setback approximately 23.4m from the frontage boundary while the closest cabin will be setback 5m. Two of the 15 cabins will be located within the 23.4m frontage setback; the narrow ends of each cabin face the highway as a means of minimising the visual building bulk when viewed by occupants of vehicles using the Tasman Highway. The permanent buildings will have a maximum height of 3.9m and be coloured to blend with the surrounding landscape, to further minimise the impact when viewed from off-site.

- (b) **the importance or significance of the proposed use for the local community:** The proposed caravan park will provide an invaluable boost in available accommodation sites for tourists on the east and south-east coasts. Through the provision of both the caravan sites, cabins and communal facilities, the developer will employ a minimum 3 to 4 management and/or maintenance staff consisting of a site manager, a handyman and 1 or 2 cleaners, depending on the occupancies. These team members will be sourced from the local area.

Not only will the park provide important employment and encourage young families into the region, economically, guests will also spend more time at the local attractions due to not having to find a park or accommodation at a town or place further along the highway. These factors inject more tourist dollars into the local area;

- (c) **whether the use supports an existing agricultural use:** it is unknown when the property was last used for agricultural purposes though the existing café was built in 2017 and private dwellings are located on the eastern and western adjoining Titles. Furthermore

the size of the Title, being located between the Tasman Highway and Apsley River as well as consisting of land assessed as Class 5 by the DPIPWE Modelled Land Capability Classification, it is unlikely the property has recently been used for farming operations for many years;

(d) **whether the use requires close proximity to infrastructure or natural resources:** the development site is unserviced. The updated On-site Wastewater Report dated November 2024 and authored by Dr JP Cumming of Geo-Environmental Solutions, demonstrates a suitable method to dispose of the wastewater created by the occupants of the future cabins. The formalisation of the individual sites ensures an improved experience is provided to the guests while the guest will utilise the existing highway, power infrastructure and suitable wastewater treatment system for the communal buildings.

Caravans using this park will retain their wastewater onboard and use suitable facilities at nearby towns to empty their tanks. The on-site wastewater system was designed by Vinamra Gupta of Geo-Environmental Solutions to ensure the nearby Apsley River and properties remain unpolluted. The variety of natural resources such as Wineglass Bay, The Hazards, Bruny Island, the Spiky Bridge as well as many of the local vineyards and eateries are what have attracted the tourists to the region for many years; and

(e) **whether the use requires separation from other uses to minimise impacts:** being set among farming and residential properties beside the Apsley River and in proximity to the natural scenic and tourist operations are what the developers will use to provide a relaxing and calming ambience. An aerial view of the area does not show any existing cropping operations occurring on nearby properties. Therefore the proposed Visitor Accommodation Use does not require separation from other uses to minimise potential impacts;

20.4 Development Standards for Buildings and Works

20.4.1 Building height

Objective: To provide for a building height that:

- (a) is necessary for the operation of the use; an
- (b) minimises adverse impacts on adjoining properties.

A1 – Acceptable Solution

The elevations provided on Drawing Numbers A03 and A04 submitted with this report demonstrate all communal buildings will have a maximum building height no greater than 3.06m while the cabins will have a maximum building height of 3.9m, all above existing ground level. All structures proposed in this application will be below the 12m acceptable solution.

20.4.2 Setbacks

Objective: That the siting of buildings minimises potential conflict with use on adjoining sites.

P1 – Performance Criterion

The application is discretionary because the disabled access ramp to the future cabin on site 09 to be constructed in Stage 2, encroaches within the 5m frontage boundary setback. It is put to the Planning Authority this building has been sited to provide adequate vehicle access to

not cause an unreasonable impact on existing use on adjoining properties, having regard to the following:

- (a) **the bulk and form of the building:** a cabin for use by people with disabilities, was chosen for site 09 because it is a corner site and slightly larger in area than the other lots. With that in mind, the cabin will be placed with the 5m setback while only a small section of the access ramping will extend into the 5m setback. DDA Cabin Elevations -2, -3 and -4 on Drawing Number A05 demonstrate the stairs, ramp and balustrade have little visual bulk when viewed from the north, east or west;



Figure 3: Existing building setbacks on nearby properties

- (b) **the nature of existing use on adjoining properties:** the existing uses on the adjoining eastern and western properties is Residential while primary industrial occur on the properties to the north of the Tasman Highway. The property immediately to the north of the site is covered in gorse and provides a visual bulk to occupants of vehicles moving along the Tasman Highway, that would be greater than that created by the wooden ramp. The existing building in the north-eastern Title boundary of CT 19135-1 has been constructed with a setback less than 4m, similar to that proposed by the ramp;
- (c) **separation from existing use on the adjoining properties:** the ramp will be setback approximately 27m from the existing agricultural use occurring on the property to the north of the Tasman Highway while it will be setback approximately 52m from the existing dwelling to the west. As the proposed ramp will be located behind the existing and future screening vegetation, this encroachment will not have any impact on the existing uses on those adjoining properties; and
- (d) **any buffers created by natural or other features:** apart from the buffer created by the Tasman Highway, the only buffers will be the screening vegetation existing and being planted along the northern and western boundaries of the actual caravan park sites.

For the reasons listed above, it is put to the Planning Authority, the lack of height as well as visual bulk in the pedestrian ramp providing access into cabin 09, will ensure this minor encroachment will not adversely impact the use of adjoining Titles.

P2 – Performance Criterion

The zoning map provided in Figure 2 above notes the properties to the north of the development site are zoned Agriculture, with the development encroaching the minimum 200m setback and making the application discretionary on this subclause. It is put to the Planning Authority the proposed sensitive use buildings have been sited over the existing area utilised for visitor accommodation so as not to conflict or interfere with an existing agricultural use within the adjoining Agriculture Zone. This complies with this discretion in the following manner:

- (a) **the size, shape and topography of the site:** the multi-sided development site is an undulating, misshapen rectangle, with a level area beside the north-western frontage boundary. The property drops from the almost level area on the approximate 6m contour near the centre of the frontage boundary, down to the lower, levelled river plain and subsequent Apsley River. This drop occurs just north of the centre of the Title. The separation between the A3 Tasman Highway and river dictate the depth of all the Titles and unless all under a single ownership, also stipulate how the individual Titles may be used. With that in mind, the caravan park has to be located on the higher northern parcel of the development site and will never be able to achieve a 200m setback from the Agriculture Zone;
- (b) **the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties:** of the 4 properties with habitable buildings in proximity to the development site, the frontage setbacks differ from approximately 3m on CT 19135/1, to 33m on the adjoining 84736/1, with an average setback of approximately 17.7m. All the proposed amenity buildings and all but one of the future cabins will have minimum frontage setbacks greater than approximately 23.4m. Therefore the sensitive use buildings proposed in this application have been located such they will have little or no detrimental impact on any existing agricultural operations on nearby properties in accordance with this discretion;
- (c) **the location of existing buildings on the site:** the café is the only existing building on-site and is setback approximately 50m from the Tasman Highway frontage boundary;
- (d) **the existing and potential use of adjoining properties:** as stated above, the development site abuts 5 separate Titles with all but one privately owned. Those Titles on the southern side of the highway are zoned Rural while the northern side are zoned Agriculture. The development site is the larger of 12 Titles located between the Tasman Highway and Apsley River to the east of Llandaff, 8 with existing dwellings. Some Titles have been adhered for rates purposes.

Looking at the Planning Scheme overlays, it is suggested the buildings on the properties abutting the development site have been located on the higher ground due to the historical and potential flooding/inundation from rising river waters as well as setbacks from the lesser watercourses.

Two nearby Titles have water courses running through them with the associated waterway and coastal protection buffer area before emptying into the Apsley River. It

is put forward the size of these adjoining Titles, the less than suitable soil classification as well as the potential for inundation by the river for all but CT 84736-1, provides for limited potential agricultural uses. For these reasons it is unlikely any self-supporting primary industrial operation is likely to occur on these Titles other than those associated with lifestyle properties. That is, the Titles are likely to have a residential use where one or two cows, sheep or horses are kept;

- (e) **any proposed attenuation measures:** the property has an established vegetation screen growing inside the frontage boundary and around the western side of the park, providing some visual and acoustic screening. During the site visit 05 December 25, irrigation piping was noted among this shrubbery to assist with its maintenance. On speaking with the landowner / developer, more screening vegetation will be planted along this boundary as well as the northern section of the western boundary. Unless requested by Council, no further measures will be put in place to attenuate the caravan park from the northern Titles zoned Agriculture; **and**
- (f) **any buffers created by natural or other features:** as demonstrated in Figures 1 and 3 above, the Apsley River to the south and the Tasman Highway to the north, providing natural and manmade buffers should any future primary industrial operation start up on nearby properties. The existing native standing vegetation growing on CT 178796-3 to the north, consists of unmaintained gorse and silver wattle. These buffers will provide the necessary setbacks for any future and/or existing primary industrial operations, from the upgraded but not increased sensitive use on the development site.

20.4.3 Access for new dwellings

Objective: That new dwellings have appropriate vehicular access to a road maintained by a road authority.

A1 – Not applicable

This application does not propose a new dwelling, making this subclause not applicable.

20.5 Development Standards for Subdivision

20.5.1 Lot design

Objective: To provide for subdivision that:

- (a) relates to public use, irrigation or Utilities; or
- (b) facilitates use and development for allowable uses in this zone.

Not Applicable

This application does not propose a subdivision.

4. CODES

A review of the Tasmanian Planning Scheme General and Code overlays on the electronic LIST (Land Information System Tasmania) database (viewed <https://maps.thelist.tas.gov.au/listmap/app/list/map> viewed 25 November 2025 15⁵⁵hrs) confirms the following 6 overlays are relevant to this application:

- C7.0 Natural Assets Code - Priority vegetation area;
- C7.0 Natural Assets Code – Future coastal refugia area: compatible zone (LIDAR);
- C7.0 Natural Assets Code – Waterway and coastal protection area – buffer area;
- C8.0 Scenic Protection Code – Scenic road corridor;
- C11.0 Coastal Inundation Hazard Code - Low coastal inundation hazard band vulnerable to a 1% AEP storm event in 2100;
- C11.0 Coastal Inundation Hazard Code – Medium coastal inundation hazard band;
- C13.0 Bushfire-prone Areas Code – Bushfire-prone areas;

The relevant Codes will be discussed later in this report.

C1.0 Signs Code

Not Applicable

C1.1 Code Purpose

The purpose of the Signs Code is:

- C1.1.1:** To provide for appropriate advertising and display of information for business and community activity.
- C1.1.2:** To provide for well-designed signs that are compatible with the visual amenity of the surrounding area.
- C1.1.3:** To ensure that signage does not disrupt or compromise safety and efficiency of vehicular or pedestrian movement.

C1.2 Application of this Code

- C1.2.1:** Unless otherwise stated in a particular purpose zone, this Code applies to all development for signs, unless the following clauses apply:
 - (a) C1.4.2; or
 - (b) C1.4.3.

- C1.2.2:** This Code does not apply to use.

This application neither proposes nor requires signage requiring Planning Authority permission, making this Code not applicable.

4.1: C2.0 Parking and Sustainable Transport Code

This application involves the existing Visitor Accommodation Use only.

C2.1 Code Purpose

The purpose of the Parking and Sustainable Transport Code is:

- C2.1.1:** To ensure that an appropriate level of parking facilities is provided to service use and development.
- C2.1.2:** To ensure that cycling, walking and public transport are encouraged as a means of transport in urban areas.
- C2.1.3:** To ensure that access for pedestrians, vehicles and cyclists is safe and adequate.
- C2.1.4:** To ensure that parking does not cause an unreasonable loss of amenity to the surrounding area.
- C2.1.5:** To ensure that parking spaces and accesses meet appropriate standards.
- C2.1.6:** To provide for parking precincts and pedestrian priority streets.

C2.2 Application of this Code

- C2.2.1:** Unless stated otherwise in a particular purpose zone, or sub-clause C2.2.2, C2.2.3 or C2.2.4, this Code applies to all use and development.
- C2.2.2:** Clause C2.5.3 does not apply to the Residential Use if for a single dwelling or the Visitor Accommodation Use.
- C2.2.3:** Clause C2.5.4 does not apply to the Residential Use if for a single dwelling or the Visitor Accommodation Use.
- C2.2.4:** Clause C2.5.5 does not apply to the Residential Use if for a single dwelling or the Visitor Accommodation Use.

C2.4 Use or Development Exempt from this Code

C2.4.1: There are no exemptions to this Code.

C2.5 Use Standards

C2.5.1 Car parking numbers

Objective: That an appropriate level of car parking spaces are provided to meet the needs of the Use.

A1 – Acceptable Solution

Drawing Numbers A01 and A02 submitted with this report, demonstrate a total of 25 car parking spaces will continue to be provided, with a single space provided on each caravan and cabin site between the van or cabin and internal driveway. This is in accordance with Table C2.1 of the Planning Scheme and will not increase the number of existing car parking spaces required.

The development site is not:

- (a) subject to a Council adopted parking plan;
- (b) contained within a parking precinct plan and subject to Clause 2.7;
- (c) the development site is zoned Rural and therefore Clause C2.5.5 does not apply; or

(d) the works proposed in this application will not intensify the existing, approved use or development. The number of carparking spaces are as per Table C2.1 and no additional spaces are required.

C2.5.2 Bicycle parking numbers

Objective: That an appropriate level of bicycle parking spaces are provided to meet the needs of the use.

A1 – Acceptable Solution

In accordance with Table C2.1, applications involving Visitor Accommodation are not required to provide spaces for parking bicycles.

C2.5.3 Motorcycle parking numbers

Objective: That an appropriate level of motorcycle parking is provided to meet the needs of the Use.

A1 – Not Applicable

In accordance with subclause C2.2.2 of the Planning Scheme, subclause C2.5.3 does not apply to the Visitor Accommodation Use.

C2.5.4 Loading bays

Objective: That adequate access for goods delivery and collection is provided, and to avoid unreasonable loss of amenity and adverse impacts on traffic flows.

A1 – Not Applicable

In accordance with subclause C2.2.3, the Visitor Accommodation Use is not listed, ensuring the provision of a loading bay is not required.

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

Objective: To:

- (a) facilitate the reuse of existing non-residential buildings within the General Residential Zone and Inner Residential Zone; and
- (b) to not cause an unreasonable impact on residential amenity by the car parking generated by that reuse.

A1 – Not Applicable

The development site is located within the Rural Zone.

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Objective: That parking areas are constructed to an appropriate standard.

A1 – Acceptable Solution

All parking, access ways, manoeuvring and circulation spaces will:

- (a) be constructed of asphalt;
- (b) stormwater will be disposed of within the surrounding vegetation in a manner that will not concentrate it to cause rutting or other forms of erosion or ponding; and
- (c) not applicable. The development site is within the Rural Zone.

C2.6.2 Design and layout of parking areas

Objective: That parking areas are designed and laid out to provide convenient, safe and efficient parking.



Figure 4: Western view over sites 01 to 12 from the park entry point

A1.1 – Acceptable Solution

The vehicle access, driveway, parking and manoeuvring areas are shown on Drawing Numbers A02 and A03 as well as Figures 4 above and 5 below. This will continue to be located over the previously disturbed ground, providing convenient, safe and efficient parking to:

(a) comply with the following:

- (i) Figure 4 above shows the vehicle access, parking and manoeuvring areas will continue to be on almost level ground and in accordance with *Australian Standard AS 2890 – Parking facilities, Parts 1 – 6*;
- (ii) The site plans provided on Drawing Numbers A01 and A02 demonstrate vehicles can enter and exit the site in a forward direction;
- (iii) have a 3m wide access in accordance with Table C2.2;
- (iv) dimensions of car parking spaces comply with Table C2.3;
- (v) the combined access and manoeuvring width adjacent to parking spaces complies with Table C2.3;
- (vi) all parking spaces servicing the Visitor Accommodation will be uncovered;
- (vii) the individual vehicle parking spaces will be clearly identified by their locations in front of the individual caravan site or cabin;

(b) not addressed;

A1.2 – Acceptable Solution

Drawing Numbers A02 and A03 demonstrate the vehicle parking spaces for the 2 cabins being provided for use by persons with a disability on sites satisfy the following:

- (a) are located as close as practicable to the main entry point to the building;
- (b) are incorporated into the overall car park design; and

- (c) have been designed and constructed in accordance with *Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities*.

C2.6.3 Number of accesses for vehicles

Objective: That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;
- (b) accesses do not cause an unreasonable loss of amenity of adjoining Uses; and
- (c) the number of accesses minimise impacts on the streetscape.

A1 – Acceptable Solution

This proposal will continue to utilise the existing single and sealed vehicle access point off the Tasman Highway.



Figure 5: View west over existing crossover off the Tasman Highway and park entry point

A2 – Not Applicable

The development site is within the Rural Zone.

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

Objective: That parking and vehicle circulation roads and pedestrian paths within the General Business Zone and Central Business Zone, which are used outside daylight hours, are provided with lighting to a standard which:

- (a) enables easy and efficient use;
- (b) promotes the safety of users;
- (c) minimises opportunities for crime or anti-social behaviour; and
- (d) prevents unreasonable light overspill impacts.

A1 – Not Applicable

The development site is located fully within the Rural Zone and does not propose the lighting of any parking areas except for motion-sensitive security lighting to be positioned to prevent shining onto adjoining properties, including the highway.

C2.6.5 Pedestrian access

Objective: That pedestrian access within parking areas is provided in a safe and convenient manner.

P1 – Performance Criterion

The application is discretionary on this subclause because neither proposed pedestrian footpath will be separated from the drive by a horizontal distance of 2.5m or bollards, guard rails or the like. Drawing Numbers A02 and A03 indicate the 1m wide pedestrian path will be constructed of asphalt on both the inner and outer sides of the vehicle driveway. They will be defined by painted white lines and will be connected via 2 white pedestrian crossings from the camp sites to the centre island housing the facilities. However it is put to the Planning Authority the proposed pedestrian access will be safe and convenient, based on the following:

- (a) **the characteristics of the site:** the openness and level nature of the park ensures clear visibility is provided to all pedestrians and drivers while all vehicles will be directed verbally and through signage to move at walking pace in an anti-clockwise direction;
- (b) **the nature of the use:** the purpose of the use is to provide short-term tourist accommodation within personal caravans as well as on-site cabins. Once the guests have parked their van or checked into the cabin, they will vacate the park to visit the local tourist sites and return later in the afternoon. This is likely to provide more concentrated vehicle movements early and late in the day, with light traffic or pedestrian movements occurring around the park during daylight hours;
- (c) **the number of parking spaces:** as a part of this application, the existing 25 car parking spaces and their locations will be formalised at the front of each site. No additional spaces will be installed;
- (d) **the frequency of vehicle movements:** the frequency of vehicle movements will not alter beyond those existing. Most departures will occur before the 10⁰⁰hrs check out while future guests will arrive through the afternoon and evening. As cooking facilities are located within the cabins and caravans, very few, if any movements will be for guests driving out for meals;
- (e) **the needs of persons with a disability:** all parking spaces for the cabins being provided with amenities for people with disabilities and the pedestrian footpath, will be on almost level ground. These specific car parking spaces will be near the main entry point to each cabin;
- (f) **the location and number of footpath crossings:** 2 footpaths are proposed: 1 encircling the inner grassed area housing 3 caravan sites and the amenity blocks; the second, encircling the outer boundary of the road. Both footpaths will be of asphalt with a painted white line to define and separate its use. Two specific footpath crossings are shown on Drawing Numbers A02 and A03, providing access to the public facilities within the central island;

- (g) **vehicle and pedestrian traffic safety**: vehicles will not enter the caravan park directly from the Tasman Highway, utilising the existing crossover off the Tasman Highway before turning into the caravan park. Regulatory signage installed in accordance with the exemption listed under Table C1.4.1 indicating low vehicle speed and pedestrians will ensure vehicles are moving at a controlled and safe speed throughout the park;
- (h) **the location of any access ways or parking aisles**: as entry to the caravan park is controlled through the booking system, the application does not propose any access ways or parking aisles; and
- (i) **any protective devices proposed for pedestrian safety**: based on the low speed which the guests will be travelling through the park at as well as the good sight distances available from all sites, this application does not propose the installation of any protective or safety devices for the pedestrians.

C2.6.6 Loading bays

Objective: That the area and dimensions of loading bays are adequate to provide safe and efficient delivery and collection of goods.

Not Applicable

In accordance with subclause C2.2.3 the provision of a dedicated loading bay is not required for the Visitor Accommodation Use within the Rural Zone.

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

Objective: That parking for bicycles are safe, secure and convenient, within the General Business Zone and Central Business Zone.

Not Applicable

The development site is located within the Rural Zone, ensuring this subclause is not applicable.

C2.6.8 Siting of parking and turning areas

Objective: That the siting of vehicle parking and access facilities in an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone or Central Business Zone does not cause an unreasonable visual impact on streetscape character or loss of amenity to adjoining properties.

Not Applicable

The development site is located within the Rural Zone.

C2.7 Parking Precinct Plan

C2.7.1 Parking precinct plan

Objective: To minimise the amount of on-site car parking spaces within an area defined by a parking precinct plan, and that parking does not detract from the streetscape of the area.

Not Applicable

The development site is not within an area burdened by a defined parking precinct plan.

4.2: C3.0 Road and Railway Assets Code

Not applicable.

It is put to the Planning Authority this proposal will not alter the number of vehicle movements beyond those required for the 25 existing parking spaces required for the existing caravan park.

This application will not:

- a) will increase the amount of vehicular traffic or the number of movements of vehicles longer than 5.5m using an existing vehicle crossing or private level crossing;
- b) will require a new vehicle crossing, junction or level crossing; or
- c) involves a subdivision or habitable building within a road or railway attenuation area if for a sensitive Use.

The installation of cabins on 15 of the existing 25 caravan sites as well as the construction of the 3 communal buildings will not alter the number of existing entry and exit movements for the existing Visitor Accommodation Use.

C4.0 Electricity Transmission Infrastructure Protection Code

Not Applicable

E4.1 Code Purpose

The purpose of the Electricity Transmission Infrastructure Protection Code is:

- C4.1.1:** To protect use and development against hazards associated with proximity to electricity transmission infrastructure.
- C4.1.2:** To ensure that use and development near existing and future electricity transmission infrastructure does not adversely affect the safe and reliable operation of that infrastructure.
- C4.1.3:** To maintain future opportunities for electricity transmission infrastructure.

C4.2 Application of this Code

C4.2.1: This Code applies to Use or development of land within the following areas:

- (a) electricity transmission corridor, and if for:
 - (i) buildings or works;
 - (ii) a sensitive Use contained within a building;
 - (iii) Use listed in Table C4.1; or
 - (iv) subdivision; and
- (b) communications station buffer area, and if for:
 - (i) building or works; or
 - (ii) subdivision; and

- (c) substation facility buffer area, and if for:
 - (i) a sensitive Use contained within a building;
 - (ii) a Use listed in Table C4.1;
 - (iii) buildings or works within 5m of a substation facility; or
 - (iv) subdivision.

The site visit dated 05 December 2025 confirmed there are 3 low voltage overhead power lines running over sites 02 to 07 as well as the driveway entrance. The Title is not burdened by any Wayleave Easements.

C5.0 Telecommunications Code

Not Applicable

C5.1 Code Purpose

The purpose of the Telecommunications Code is:

- C5.1.1:** To provide for telecommunication networks as a service for the community.
- C5.1.2:** To ensure that facilities are co-located where practicable.
- C5.1.3:** To ensure that facilities use mitigation measures to avoid an unreasonable loss of visual amenity.

C5.2 Application of this Code

- C5.2.1:** Unless otherwise stated in a particular purpose zone, this Code applies to all development for telecommunication facilities.
- C5.2.2:** This Code does not apply to use.

C5.4 Use or Development Exempt from this Code

- C5.4.1:** There are no exemptions from this Code.

Not Applicable

This application does not propose development for telecommunication facilities.

C6.0 Local Historic Heritage Code

Not Applicable

C6.1 Code Purpose

The purpose of the Local Historic Heritage Code is:

- C6.1.1:** To recognise and protect:
 - (a) the local historic heritage significance of local places, precincts, landscapes and areas of archaeological potential; and
 - (b) significant trees.

C6.1.2: This Code does not apply to the Aboriginal heritage values.

C6.2 Application of this Code

C6.2.1: This Code applies to:

(a) development on land within any of the following, as defined in this Code:

- (i) a local heritage place;
- (ii) a local heritage precinct;
- (iii) a local historic landscape precinct; and
- (iv) for excavation only, a place or precinct of archaeological potential; and

(b) the lopping, pruning, removal or destruction of a significant tree as defined in this Code.

C6.2.2: If a site is listed as a local heritage place and also within a local heritage precinct or local historic landscape precinct, it is only necessary to demonstrate compliance with the standards for the local heritage place unless demolition, buildings and works are proposed for an area of the site outside the identified specific extent of the local heritage place.

C6.2.3: This Code does not apply to a registered place entered on the Tasmanian Heritage Register, unless for the lopping, pruning, removal or destruction of a significant tree as defined in this Code.

C6.2.4: This Code does not apply to use.

C6.4 Development Exempt from this Code

C6.4.1: Development described in Table C6.4.1 is exempt from this Code provided it meets the number of corresponding qualifications not listed.

Not Applicable

The development site is not listed as being on land within a local heritage place, a local heritage precinct, a local historic landscape precinct or in a place or precinct of archaeological potential.

4.3: C7.0 Natural Assets Code

A review of the Planning Scheme overlays on the electronic LIST database confirms the following overlays are relevant to this Code and application are as follows:

- Future coastal refugia area – compatible zone (LIDAR);
- Waterway and coastal protection area – buffer area;
- Waterway and coastal protection area – wetland;
- Priority vegetation area;

As the development site is fully located within the Rural Zone, this Code has been addressed.

C7.1 Code Purpose

The purpose of the Natural Assets Code is:

- C7.1.1:** To minimise impacts on water quality, natural assets including native riparian vegetation, river condition and the natural ecological function of watercourses, wetlands and lakes.
- C7.1.2:** To minimise impacts on coastal and foreshore assets, native littoral vegetation, natural coastal processes and the natural ecological function of the coast.
- C7.1.3:** To protect vulnerable coastal areas to enable natural processes to continue to occur, including the landward transgression of sand dunes, wetlands, saltmarshes and other sensitive coastal habitats due to sea-level rise.
- C7.1.4:** To minimise impacts on identified priority vegetation.
- C7.1.5:** To manage impacts on threatened fauna species by minimising clearance of significant habitat.

C7.2 Application of this Code

C7.2.1: This Code applies to development on land within the following areas:

- (a) a waterway and coastal protection area;
- (b) a future coastal refugia area; and
- (c) a priority vegetation area only if within the following zones:
 - (i) Rural Living Zone;
 - (ii) Rural Zone;
 - (iii) Landscape Conservation Zone;
 - (iv) Environmental Management Zone;
 - (v) Major Tourism Zone;
 - (vi) Utilities Zone;
 - (vii) Community Purpose Zone;
 - (viii) Recreation Zone;
 - (ix) Open Space Zone;
 - (x) Future Urban Zone;
 - (xi) Particular Purpose Zone; or
 - (xii) General Residential Zone or Low Density Residential Zone, only if an application for subdivision.

C7.4 Development Exempt from this Code

C7.4.1 This subclause lists a number of uses and/or development exempt from this Code.

These include but not limited to, works on behalf of the Crown, State or Local Government authority, a Level 2 activity, forest operations in accordance with a forest practices plan, coastal protection works on behalf of the Crown, State or Local Government authority. This application does not propose any of these works ensuring the application is not exempt from addressing this Code.

C7.5 Use Standards

C7.5.1: There are no Use Standards in this Code.

C7.6 Development Standards for Buildings and Works

C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area

Objective: That buildings and works within a waterway and coastal protection area or future coastal refugia area will not have an unnecessary or unacceptable impact on natural assets.

A1 – Acceptable Solution

According to Table C7.3 *Spatial Extent of Waterway and Coastal Protection Areas* in the Planning Scheme, this response has taken the Apsley River to have a 40m protection area. As all works proposed in this application will be setback a minimum 146m to the north of the Apsley River, this project will not require nor propose works to occur within the defined waterway and coastal protection area.

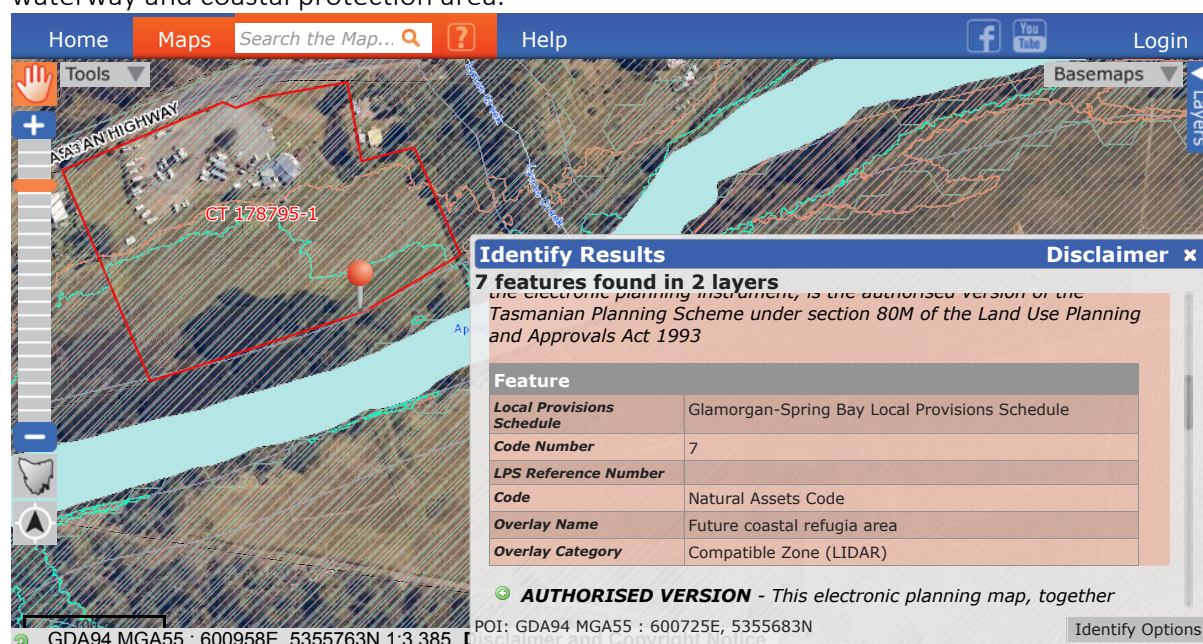


Figure 6: LISTmap Future Coastal Refugia Area burdening development site

A2 – Not Applicable

Figure 6 above was downloaded from the Planning Scheme mapping on the electronic LIST database 17³⁵hrs on 02 December 2025. This image does not conclusively demonstrate the site is burdened by the future coastal refugia area overlay. That is, the window listing the 5 Tasmanian Planning Scheme – Code Overlays was highlighted by the cursor, though no part of the development site was identified, unlike the other relevant overlays such as the low or medium coastal inundation hazard bands.

A contour survey does not accompany this application. The 6m spot height reference shown inside the northern Title boundary in Figure 10 below as well as the photos in Figure 7 below, demonstrate the almost level nature of the development site. All works will occur on a part of the property above the 5m contour.

C7.3 Definition of Terms defines 'Future Coastal Refugia' as: "...landward transgression of sand dunes, wetlands, saltmarshes, and other sensitive coastal habitats due to sea-level rise." The site visit dated 05 December 2025 did not see any evidence of such transgressions nor did the *Local Provisions Schedule – Glamorgan Spring Bay* identify any areas.

Based on the above, and even though the Title is not burdened by a building envelope, the proposed development will not be constructed within a future coastal refugia area; it is put to the Planning Authority the development site is not burdened by this overlay.



Figure 7: Northern views over existing site

A3 – Acceptable Solution

Although this application does not propose any development within a future coastal refugia area or waterway and coastal protection area, this application does not propose nor require a new stormwater point source discharge into a watercourse, wetland or lake.

A4 – Not Applicable

This application does not require nor propose dredging or reclamation within a waterway, coastal protection area or future coastal refugia area.

A5 – Acceptable Solution

This application neither proposes nor requires works for coastal protection, watercourse erosion or inundation protection works.

C7.6.2 Clearance within a priority vegetation area

Objective: That clearance of native vegetation within a priority vegetation area:

- (a) does not result in unreasonable loss of priority vegetation;
- (b) is appropriately managed to adequately protect identified priority vegetation; and
- (c) minimises and appropriately manages impacts from construction and development activities.

A1 – Not Applicable

Figure 7 above shows the development site as at 05 December 25, and the location on which the upgrade proposed in this application will occur. This land was previously cleared and is now maintained in a mown state, with the removal of native vegetation is neither required nor proposed in this application.

C7.7 Development Standards for Subdivision

C7.7.1 Subdivision within a waterway and coastal protection area or a future coastal refugia area

Objective: That:

- (a) works associated with subdivision within a waterway and coastal protection area or a future coastal refugia area will not have an unnecessary or unacceptable impact on natural assets; and
- (b) future development likely to be facilitated by subdivision is unlikely to lead to an unnecessary or unacceptable impact on natural assets.

Not Applicable

This application does not propose a subdivision.

4.4: C8.0 Scenic Protection Code

A review of the Planning Scheme overlays confirms the development site is burdened by the Scenic Road Corridor overlay. In addition, GSB-Table C8.2 Scenic Road Corridors contained within the *Glamorgan Spring Bay Council Local Provisions Schedule* has also been addressed.

C8.1 Code Purpose

The purpose of the Scenic Protection Code is:

- C8.1.1:** To recognise and protect landscapes that are identified as important for their scenic values.

C8.2 Application of this Code

- C8.2.1:** This Code applies to this project because the development site is zoned Rural and is burdened by the scenic road corridor overlay.

- C8.2.2:** Although this Code does not apply to use, the application proposes development, ensuring the need for this Code to be addressed.



Figure 8: Western and eastern views of the existing screening vegetation

C8.4 Use or Development Exempt from this Code

- C8.4.1:** The uses and development exemptions listed within this subclause were reviewed; as none are applicable, the Code has been addressed.

C8.5 Use Standards

C8.5.1: There are no use standards in this Code.

C8.6 Development Standards for Buildings and Works

C8.6.1 Development within a scenic protection area

Objective: That:

- (a) destruction of vegetation does not cause an unreasonable reduction of the scenic value of a scenic protection area; and
- (b) buildings and works do not cause an unreasonable reduction of the scenic value of a scenic protection area.

A1 – Acceptable Solution

This application complies with this subclause as the land on which the development will occur does not require the destruction of vegetation but will undertake development. The area of development is

- (a) greater than 50m in elevation below a skyline; and
- (b) not exceed an area greater than 500m².

C8.6.2 Development within a scenic road corridor

Objective: That:

- (a) destruction of native vegetation or exotic vegetation does not cause an unreasonable loss of scenic value of scenic road corridors; and
- (b) buildings and works do not cause an unreasonable loss of the scenic value of scenic road corridors.

A1 – Not Applicable

This application does not require nor propose the removal of any native vegetation or hedgerows within the scenic road corridor.

P2 – Performance Criterion

The application is discretionary on this subclause because buildings and works within the defined scenic road corridor overlay will be partially visible from this section of the Tasman Highway. However these works will not cause an unreasonable reduction of the scenic value of the road corridor, having regard to the following:

- (a) **the topography of the site:** approximately 40 per cent of the northern section of the development site is almost level and is where the caravan park works will occur. The remaining and approximate 60 per cent of the Title, drops down and south toward the Apsley River, an area that may be considered a flood plain. This undeveloped area has been cleared of standing vegetation for many years by previous landowners though a small copse covering approximately 3500m² is growing inside the southern boundary and will be retained. Otherwise the undeveloped area is maintained in a slashed state. Because of the potential for inundation, the park has been located toward the frontage boundary;
- (b) **proposed reflectance and colour of external finishes:** the permanent on-site buildings will consist of 3 communal buildings for use by caravan park guests only and finished in rendered block work coloured white while the cabins will be Dulux Khaki. The shade

of white selected for the utility buildings will have a reflectance value of 40 per cent or less. The caravans staying on-site will be an assortment of external colours though all non-reflective;

- (c) **design and proposed location of the buildings or works:** the communal toilet and shower buildings will be almost square and respectfully cover areas of approximately 25.1m² and 22.92m², with both having a maximum height of 3.06m. The rectangular laundry building will also have a maximum height of 3.06m though cover less area at approximately 9.9m². These common buildings will be constructed of white, non-reflective rendered block work in the centre of the caravan site vehicle turning area, setback approximately 23m from the frontage boundary. Being setback from the frontage boundary as well as behind the screening vegetation, will minimise and even remove these structures from the view of the occupants of vehicles passing the site at 100km/h;
- (d) **the extent of any cut or fill required:** as the caravan park and cabins will be placed on almost level ground, no cut or fill is proposed or required;
- (e) **any existing or proposed screening:** Figures 5 and 8 above, show the existing native screening vegetation currently growing within the northern frontage boundary and along the northern section of the western side of the park. Similar native plants that grow to a maximum height of 3m, will be used to fill in the gaps and improve the visual screen. A private irrigation system was observed during the afore mentioned site visit, ensuring the screen remains green and 'working' as intended;
- (f) **the impact on views from the road:** above existing ground level, the future cabins will have an approximate maximum height of 3.9m and the communal facilities 3.06m. The enhanced screening vegetation along the frontage as well as the selected external cabin colour, will assist with matching the surrounding landscaping and screen the structures to not cause an adverse impact on the views of occupants of passing vehicles; and
- (g) **the purpose of any management objectives identified in the relevant Local Provisions Schedule:** The *Glamorgan Spring Bay Council Local Provisions Schedule* was reviewed 10 November 2025. Reference Number GSB-C8.2.1, within GSB-Table C8.2 Scenic Road Corridors lists the Management Objectives for the section of the Tasman Highway within the Glamorgan Spring Bay municipality, as follows:
- I. **to minimise native vegetation clearance adjacent to the road by setting development back from the road:** the existing caravan park is located over ground that has a gravelled surface, surrounded by grass maintained in a mown state. The site visit dated 05 December 2025 noted native vegetation removal is neither required nor proposed and a number of individual native screening plants will be planted to infill the existing screening. Where necessary, these will be pruned and grown to provide a suitable future visual and slight acoustic screen;
 - II. **to provide for, and be sensitive to, views that enhance the traveller experience by setting development back from the road and minimising building bulk within proximity to the road:** the existing caravan park does not have any permanent structures and is partially screened by an assortment of native vegetation plants inside the frontage boundary. The variety of properties on either side of the

Tasman Highway when approaching the development site, contain an assortment of existing structures. Many are associated with the historical farming operations that date back many decades and even 100+ years.

- III. The caravan park is located within the small hamlet of Llanduff, a small hamlet consisting of approximately 5 properties, each with a dwelling. Through the use of minimising the overall building height, using native vegetation screening within the frontage boundary and western side of the park, setting most of the proposed permanent structures back some metres as well as keeping the caravan sites inside the frontage, demonstrates how the developer wishes to be sensitive to and enhance the traveller's experience;
- IV. To avoid signage that is unnecessary, excessive in size or otherwise unreasonably interferes with the landscape character in which they are located: not applicable as no new signage is proposed in this application.
- V. To preference tourism visitor information system (TVIS) signage or other coordinated and branded commercial signage: not applicable as no new signage is proposed in this application.

C9.0 Attenuation Code

Not Applicable

C9.1 Code Purpose

The purpose of the Attenuation Code is:

- C9.1.1:** To minimise adverse impacts on the health, safety and amenity of sensitive use from activities which have the potential to cause emissions.
- C9.1.2:** To minimise the likelihood for sensitive use to conflict with, interfere with, or constrain, activities which have the potential to cause emissions.

C9.2 Application of this Code

C9.2.1: This Code applies to:

- (a) activities listed in Tables C9.1 and C9.2;
- (b) sensitive Uses; and
- (c) subdivision if it creates a lot where a sensitive Use could be established, within an attenuation area;

C9.2.2: The Code does not apply to attenuation areas between the activities listed in Tables C9.1 and C9.2 where those activities occur within the Light Industrial Zone, General Industrial Zone, Port and Marine Zone, and Utilities Zone.

C9.2.3: The Code does not apply to sensitive uses occurring within the Light Industrial Zone, General Industrial Zone, Port and Marine Zone, and Utilities Zone.

C9.2.4: The Code does not apply to a plant nursery or controlled environment agriculture activities occurring within the Rural Zone and Agriculture Zone.

Tables C9.1 and C9.2 were reviewed; this application is for the staged upgrade of the existing 25 site caravan park including the construction of communal bathroom and laundry facilities, wastewater system and vehicle manoeuvring area for the Visitor Accommodation Use. As the Title is not knowingly within the attenuation distances of any of the activities listed in the above Tables, this Code is not applicable.

C10.0 Coastal Erosion Hazard Code

Not Applicable

C10.1 Code Purpose

The purpose of the Coastal Erosion Hazard Code is:

C10.1.1: To ensure that use or development subject to risk from coastal erosion is appropriately located and managed, so that:

- (a) people, property and infrastructure are not exposed to an unacceptable level of risk;
- (b) future costs associated with options for adaptation, protection, retreat or abandonment of property and infrastructure are minimised;
- (c) it does not increase the risk from coastal erosion to other land or public infrastructure; and
- (d) works to protect land from coastal erosion are undertaken in a way that provides appropriate protection without increasing risks to other land.

C10.1.2: To provide for appropriate Use or development that relies upon a coastal location to fulfil its purpose.

C10.2 Application of this Code

C10.2.1: This Code applies to:

- (a) Use and development of land within a coastal erosion hazard area; or
- (b) development identified in a report, that is lodged with an application, or required in response to a request under section 54 of the Act, as located on an actively mobile landform within the coastal zone.

C10.2.2: The Planning Authority may only make a request under clause C10.2.1(b) where it reasonably believes, based on information in its possession, that the land is located on an actively mobile landform within the coastal zone.

C10.2.3: For the purposes of C10.5.1, Residential and Visitor Accommodation are not Use Classes that are reliant on a coastal location.

C10.4 Use or Development Exempt from this Code

C10.4.1: The number of criteria listed as exempt from this Code is extensive and will therefore not be listed. Suffice to say the list was reviewed and none are applicable to this application.

A review of the Planning Scheme mapping confirms the development site is not burdened by the Coastal Erosion Hazard Band, ensuring this Code is not applicable.

C11.0 Coastal Inundation Hazard Code

Not Applicable

This Code has been addressed because the Planning Scheme mapping overlays indicate the site is partially burdened by the low and medium Coastal inundation hazard band.

No development will occur on land identified as an inundation hazard area and no guests will be permitted to use the southern rear parcel of the property.

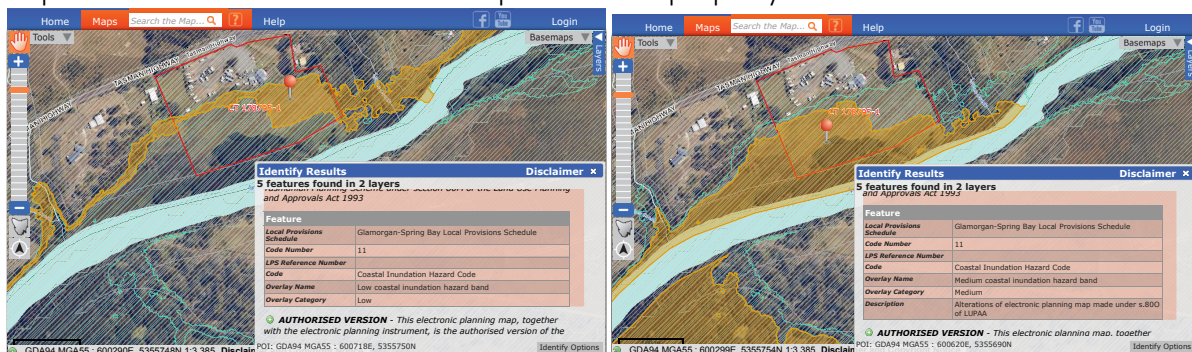


Figure 9: Planning Scheme Mapping demonstrating Low and Medium Coastal Inundation Hazard Code

C11.1 Code Purpose

The purpose of the Coastal Inundation Hazard Code is:

C11.1.1: To ensure that use or development subject to risk from coastal inundation is appropriately located and managed so that:

- people, property and infrastructure are not exposed to an unacceptable level of risk;
- future costs associated with options for adaptation, protection, retreat or abandonment of property and infrastructure are minimised;
- it does not increase the risk from coastal inundation to other land or public infrastructure; and
- works to protect land from coastal inundation are undertaken in a way that provides appropriate protection without increasing risks to other land.

C11.1.2: To provide for appropriate use or development that relies upon a coastal location to fulfil its purpose.

C11.2 Application of this Code

C11.2.1: This Code applies to use and development of land within a coastal inundation hazard area.

C11.2.2: This Code applies to land in a coastal inundation investigation area where a suitably qualified person has provided a land survey showing an AHD for the land that falls within one of the coastal inundation hazard band levels shown in the coastal inundation hazard

bands AHD levels list in the relevant Local Provisions Schedule and the standards relevant to each band apply.

C11.2.3: This Code does not apply to land in a coastal inundation investigation area where a suitably qualified person has provided a land survey showing an AHD for the land in excess of the low hazard band level relevant for that land, as shown in the coastal inundation hazard bands AHD levels list in the relevant Local Provisions Schedule.

C11.2.4: For the purposes of C11.5.1 and C11.5.2, Residential or Visitor Accommodation are not Use Classes that are reliant on a coastal location.

C11.4 Use or Development Exempt from this Code

C11.4.1: The number of criteria listed as exempt from this Code is extensive and have therefore not been listed. Suffice to say, the list was reviewed and none are applicable to this application.

Not Applicable

The amended site plan provided on Drawing Number A01 demonstrates the location of the low and medium coastal inundation hazard areas burdening the development site. Use of the land burdened by these hazard areas is prevented by the existing fence located to the east of the caravan park. In accordance with subclause C11.2.1 of the Planning Scheme, all development and use proposed in this application will occur outside of land identified as being prone to a coastal inundation hazard. Therefore, this subclause is not applicable.

4.5: C12.0 Flood-Prone Areas Hazard Code

C12.1 Code Purpose

The purpose of the Flood-Prone Areas Hazard Code is:

C12.1.1: To ensure that use or development subject to risk from flood is appropriately located and managed, so that:

- (a) people, property and infrastructure are not exposed to an unacceptable level of risk;
- (b) future costs associated with options for adaptation, protection, retreat or abandonment of property and infrastructure are minimised; and
- (c) it does not increase the risk from flood to other land or public infrastructure.

C12.1.2: To preclude development on land that will unreasonably affect flood flow or be affected by permanent or periodic flood.

C12.2 Application of this Code

C12.2.1: This Code applies to development of land within a flood-prone hazard area.

C12.2.2: This Code applies to use of land within a flood-prone hazard area if for:

- (a) a change of use that converts a non-habitable building to a habitable building; or
- (b) a new habitable room within an existing building.

C12.2.3: This Code applies to use in a habitable building, or development of land, identified in a report prepared by a suitably qualified person, that is lodged with an application for a permit, or required in response to a request under section 54 of the Act, as subject to risk from flood or that has the potential to cause increased risk from flood.

C12.2.4: The planning authority may only make a request under Clause C12.2.3 where it reasonably believes, based on information in its possession, that the land is subject to risk from flood or has the potential to cause increased risk from flood.

C12.2.5: This Code does not apply to land subject to the Coastal Inundation Hazard Code.

C12.4 Use or Development Exempt from this Code

C12.4.1: The number of criteria listed as exempt from this Code is extensive and will therefore not be listed. Suffice to say, the list was reviewed and none are applicable to this application.

Not Applicable

The amended site plan provided on Drawing Number A01 demonstrates the locations of the various levels of flooding potentially burdening the development site. This demonstrates the 3 public, Class 10a, non-habitable buildings will be potentially prone to flooding while all new habitable cabins will be outside of that area. Subclause C12.2.1 refers to development within a flood prone area while subclause C12.2.2 refers to the use of land associated with a non-habitable building being converted to a habitable building or a new habitable room within an existing building.

As the habitable development proposed in this application will occur outside land identified as being prone to flooding, this subclause is not applicable.

C13.0 Bushfire-Prone Areas Code

Not Applicable

C13.1 Code Purpose

The purpose of the Bushfire-Prone Areas Code is:

C13.1.1: To ensure that Use and development is appropriately designed, located, serviced, and constructed, to reduce the risk to human life and property, and the cost to the community, caused by bushfires.

C13.2 Application of this Code

C13.2.1: This Code applies to:

- (a) subdivision of land that is located within, or partially within, a bushfire-prone area; and
- (b) a Use, on land that is located within, or partially within, a bushfire-prone area, that is a vulnerable use or hazardous use.

C13.4 Use or Development Exempt from this Code

C13.4.1: The following use or development is exempt from this Code:

- (a) any use or development that the TFS or an accredited person, having regard to the objective of all applicable standards in this Code, certifies there is an insufficient increase in risk to the Use or development from bushfire to warrant any specific bushfire protection measures; and
- (b) adjustment of a boundary in accordance with Clause 7.3 of this Planning Scheme.

The development site is identified as being prone to bushfire and the application does not comply with any of the listed exemptions. However the application does not propose a habitable building, subdivision, a hazardous or vulnerable use within a bushfire-prone area making this Code not applicable.

C14.0 Potentially Contaminated Land Code

Not Applicable

C14.1 Purpose of the Potentially Contaminated Land Code

The purpose of the Potentially Contaminated Land Code is:

C14.1.1: To ensure that Use or development of potentially contaminated land does not adversely impact on human health or the environment.

C14.2 Application of this Code

C14.2.1: This Code applies to a sensitive Use, a Use listed in a Use Class in Table C14.1 as one of the specified Uses, or development, on land that:

- (a) is shown on an overlay map in the relevant Local Provisions Schedule as within an area of potentially contaminated land;
- (b) the Planning Authority knows to have been used for a potentially contaminating activity, by reference to:
 - a. a notice issued in accordance with Part 5A of the *Environmental Management and Pollution Control Act 1994*; or
 - b. a previous permit;
- (c) the Planning Authority reasonably suspects may be contaminated by reference to:
 - a. a notice issued in accordance with Part 5A of the *Environmental Management and Pollution Control Act 1994*; or
 - b. advice from the Director that it is likely that contamination has migrated onto the land; or
- (d) has been identified as having been used, or may have been used, for a potentially contaminating activity, or as land onto which it is likely that contamination from a potentially contaminating activity has migrated:
 - a. in a report lodged with the application; or
 - b. in a report prepared by a site contamination practitioner in response to a request under section 54 of the Act.

C14.2.2: The Planning Authority may only make a request under Clause C14.2.1(d)(ii) where it reasonably believes, based on information in its possession that the land has been used, or may have been used, for one of the potentially contaminating activities listed in Table C14.2, or as land onto which it is likely that contamination from a potentially contaminating activity has migrated.

C14.4 Use or Development Exempt from this Code

C14.4.1: The number of criteria listed as exempt from this Code is extensive and will therefore not be listed. Suffice to say, the list was reviewed and none are applicable to this application.

The development site is located among a number dwellings, beside the Apsley River. Based on this location it is put to the Planning Authority this site has never knowingly been used for any activity that was likely to be potentially contaminating, ensuring this Code is not applicable.

C15.0 Landslip Hazard Code

Not Applicable

C15.1 Code Purpose

The purpose of the Landslip Hazard Code is:

C15.1.1: To ensure that a tolerable risk can be achieved and maintained for the type, scale and intensity and intended life of Use or development on land within a landslip hazard area.

C15.2 Application of this Code

C15.2.1: This Code applies to:

- (a) use or development of land within a landslip hazard area; or
- (b) use or development of land identified in a report, that is lodged with an application, or required in response to a request under section 54 of the Act, as having potential to cause or contribute to a landslip.

C15.2.2: The Planning Authority may only make a request under Clause C15.2.1(b) where it reasonably believes, based on information in its possession, that the use or development of land has the potential to cause or contribute to landslip.

C15.4 Use or Development Exempt from this Code

C15.4.1: The number of criteria listed as exempt from this Code is extensive and will therefore not be listed. Suffice to say, the list was reviewed and none are applicable to this application.

As the development site is not identified on any Planning Scheme mapping or overlays as being prone to landslip or within a landslip hazard area, it is put to the Planning Authority this Code is not applicable to this application.

C16.0 Safeguarding of Airports Code

Not Applicable

C16.1 Code Purpose

The purpose of the Safeguarding of Airports Code is:

C16.1.1: To safeguard the operation of airports from incompatible use or development.

C16.1.2: To provide for use and development that is compatible with the operation of airports in accordance with the appropriate future airport noise exposure patterns and with safe air navigation for aircraft approaching and departing an airport.

C16.2 Application of this Code

C16.2.1: This Code applies to:

- (a) a sensitive Use within an airport noise exposure area and
- (b) development within an airport obstacle limitation area.

C16.4 Use or Development Exempt from this Code

C16.4.1 The following use or development is exempt from this Code:

- (a) development that is not more than the AHD height specified for the site of the development in the relevant airport obstacle limitation area.

As the development site is not identified as being within either an airport noise exposure area or airport obstacle limitation area, it is put to the Planning Authority this Code is inapplicable.

5. State Policies

5.1: State Policy on the Protection of Agricultural Land 2009

The purpose of the *State Policy on the Protection of Agricultural Land 2009* is for the conservation and protection of agricultural land for the sustainable use and development of agriculture and particularly, prime agricultural land (PAL). The development site is located on land zoned Rural Resource and Class 5 under the DPIPWE Modelled Land Capability Classification system. It is put to the Planning Authority the development site has previously been assessed by appropriately qualified professionals as being not suitable for agricultural purposes and is therefore better suited to the establishment of the proposed and future Residential Use. Therefore this Policy has not been addressed.

5.2: State Policy on Water Quality Management 1997

This Policy applies to all surface waters, including coastal and ground waters other than privately owned waters not accessible to the public and are not connected to, or flow directly into, waters that are accessible to the public or waters in tanks, pipes or cisterns. The upgraded

facilities are being placed and built over the existing caravan park, setback a minimum 146m to the north of the Apsley River and 185m west of the minor stream Lynes Creek.

The Geo-Environmental Solutions on-site wastewater assessment dated November 2024 proposed a commercial aerated wastewater treatment system (AWTS) for the proposed works and use based upon a 75 per cent accommodation occupancy. The proposed treatment infrastructure will be located within the southern boundary of the park while the 1,250m² absorption area will be located within the slashed area between the western park vegetation screening and western boundary.

Based upon Dr Cumming's report, it is put to the Planning Authority the quality of all nearby waters will not be adversely impacted by the proposed development in accordance with this Policy.

8. CONCLUSION

This application seeks discretionary Planning approval for the staged upgrade of the existing caravan park at 16494 Tasman Highway, Bicheno, Certificate of Title 178795 Folio 1.

Stage 1 will formalise the existing 25 caravan sites as well as construct the asphalted vehicle driveway and pedestrian buffer / walkways. Two permanent cabins will initially be installed on sites 8 and 9, with the former accessible for persons with a disability; separate toilet, shower and laundry buildings will be constructed in the centre of the vehicle turning area. The remaining 23 sites will be available for caravans and recreational vehicles (RVs), with vehicle parking between the van and driveway. A wastewater system will also be installed for the permanent cabins, the communal toilet and laundry buildings.

Stage 2 will construct permanent cabins on sites 1 through 10 and site 22; sites 11 through 21, 23, 24 and 25 will be solely for caravans and RVs. The 2 cabins on sites 9 and 10 will be the sole cabins accessible for persons with disabilities. The cabins in Stage 2 will be installed on-site approximately 18 months after the caravan sites have been created.

This submission has been written in conjunction with the accompanying documents and demonstrates compliance with the relevant development standards of the *Tasmanian Planning Scheme – Glamorgan Spring Bay*. As the proposal is discretionary on 8 sub-clauses, the application is submitted for assessment and subsequent approval in accordance with Section 57 of the *Land Use Planning and Approvals Act 1993*.

7. Appendices

- Development Application Form;
- Plans for Planning Application:
- Planning Report;
- Soil and Water Report authored by Dr JP Cumming dated November 2024;
- Certificate of Title 178795 – 1:
 - o Folio Text;

- Folio Plan;
- Property Report;

ON-SITE WASTEWATER ASSESSMENT

16494 Tasman Highway

Bicheno

November 2024



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Introduction

Client:	Ray Yang
Date of inspection:	20/08/24
Location:	16494 Tasman Highway, Bicheno
Land description:	Approx. 3.8ha rural lot
Building type:	Proposed amenities building and accommodation
Investigation:	Geoprobe-540UD
Inspected by:	C. Cooper

Background information

Map:	Mineral Resources Tasmania – South East Sheet 1:250 000
Rock type:	Devonian Carboniferous granitoids and related rocks
Soil depth:	Approx. 2.0+m
Planning overlay:	Natural assets code
Local meteorology:	Annual rainfall approx. 700 mm
Local services:	Tank water with on-site wastewater disposal required

Site conditions

Slope and aspect:	Approx. 5% slope to the South-west
Site drainage:	Imperfect subsoil drainage
Vegetation:	Mixed grass species and native bush, cleared areas
Weather conditions:	Fine, approx. <10mm rainfall received in preceding 7 days.
Ground surface:	Slightly moist sandy surface

Investigation

A number of auger holes were completed to identify the distribution of, and variation in soil materials on the site. Representative excavations at the approximate locations indicated on the site plan were chosen for testing and classification according to AS1547-2012 (see profile summaries).

Profile summary

Hole 1 Depth (m)	Hole 2 Depth (m)	Horizon	Description
0 – 0.30	0 – 0.30	A1	Dark Brown SILTY SAND (SW) , single grain, slightly moist, medium dense consistency, clear boundary to
0.40 – 0.60	0.30 – 0.70	A2	Pale Grey SILTY SAND (SW) , single grain, slightly moist, medium dense consistency, ~10% gravels, gradual boundary to
0.60 – 2.0+	0.70 – 2.0+	B2	Light Grey and Reddish Brown SILTY/SANDY CLAY (CL) , moderate polyhedral structure, slightly moist, very stiff consistency, low plasticity, lower boundary undefined.

Soil profile notes

The soil has developed from Devonian granite with sands overlying clay subsoils. The clay fraction is likely to exhibit moderate ground surface movement with moisture fluctuations. The subsoils have a low permeability with good nutrient retention capability for onsite wastewater disposal. The deep topsoils are well suited to irrigation of treated effluent.

Wastewater Classification & Recommendations

According to AS1547-2012 for on-site wastewater management the soil on the property is classified as **SANDY LOAM (Category 2)** and a Design Irrigation Rate (DIR) for secondary treated of 5mm/day. The proposal is to construct an amenities block (showers, toilets, camp kitchen and no laundry) for the use of overnight visitors in campervans/caravans. The proposed amenities block has a calculated peak wastewater loading of 6400L/day, and assuming a 75% accommodation occupancy, the total average wastewater loading is 4800L/day. The peak loading is based on a tank water supply and a maximum occupancy of 80 people @80L/day. It is planned to install an approved commercial AWTS system with an average daily treatment capacity of 6000L and a peak capacity of 7500L/day to service the development. The existing wastewater system servicing the café is not part of this assessment and is to be kept sperate from all works.

Given the average daily wastewater loading of 4800L/day and the DIR of 5mm/day, a minimum irrigation area of 950m² is required, whilst for a peak loading of 6400L/day an area of 1250m² is required. The irrigation area is to be split into 2 x 625m² irrigation zones via a K-rain valve. A 100% reserve area should be set aside for future wastewater requirements. For further detail please refer to the attached plan and Trench summary reports.

The commercial AWTS system must be subject to a regular maintenance schedule. It is recommended the primary septic tank be desludged every 3 years and the system checked/cleaned quarterly. The irrigation area should also be inspected quarterly, and the filter cleaned as required. The amount of water used in the facility should also be monitored, and if consumption increases beyond that predicted in this report then amendments to the system or wastewater flow controls would be required.

The following setback distances are required to comply with the Building Act 2016:

Upslope or level buildings:	3m
Downslope buildings:	3.5m
Upslope or level boundaries:	1.5m
Downslope boundaries:	7.5m
Downslope surface water:	27m

Compliance with Building Act 2016 Guidelines for On-site Wastewater Management Systems is outlined in the attached table.

It is therefore concluded that there is a low and acceptable risk of environmental impact from wastewater management on the site for the current proposal. The wastewater system must be installed in accordance with AS/NZS1547-2012 and operated in accordance with any conditions on the approved plumbing permit, including maintenance requirements.

GES P/L

Land suitability and system sizing for on-site wastewater management

Trench 3.0 (Australian Institute of Environmental Health)

Assessment Report

Site assessment for on-site waste water disposal

Assessment for Ray Yang	Assess. Date	20-Nov-24
	Ref. No.	
Assessed site(s) 19464 Tasman Highway, Bicheno	Site(s) inspected	24-Jul-24
Local authority GSBC	Assessed by	JP Cumming

This report summarises wastewater volumes, climatic inputs for the site, soil characteristics and system sizing and design issues. Site Capability and Environmental sensitivity issues are reported separately, where 'Alert' columns flag factors with high (A) or very high (AA) limitations which probably require special consideration for system design(s). Blank spaces on this page indicate data have not been entered into TRENCH.

Wastewater Characteristics

Wastewater volume (L/day) used for this assessment = 6,400 (using a method independent of the no. of bedrooms)
 Septic tank wastewater volume (L/day) = 2,400
 Sullage volume (L/day) = 4,000
 Total nitrogen (kg/year) generated by wastewater = 20.4
 Total phosphorus (kg/year) generated by wastewater = 16.1

Climatic assumptions for site

(Evapotranspiration calculated using the crop factor method)

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean rainfall (mm)	74	88	86	78	76	91	78	90	69	100	95	91
Adopted rainfall (R, mm)	74	88	86	78	76	91	78	90	69	100	95	91
Retained rain (Rr, mm)	66	79	78	70	68	82	71	81	62	90	86	82
Max. daily temp. (deg. C)												
Evapotrans (ET, mm)	130	110	91	63	42	29	32	42	63	84	105	126
Evapotr. less rain (mm)	64	31	13	-7	-26	-52	-39	-39	1	-6	19	44

Annual evapotranspiration less retained rain (mm) = 3

Soil characteristics

Texture = sandy loam Category = 2 Thick. (m) = 2
 Adopted permeability (m/day) = 3 Adopted LTAR (L/sq m/day) = 5 Min depth (m) to water = 3

Proposed disposal and treatment methods

Proportion of wastewater to be retained on site: All wastewater will be disposed of on the site
 The preferred method of on-site primary treatment: In a package treatment plant
 The preferred method of on-site secondary treatment: Above-ground
 The preferred type of in-ground secondary treatment: None
 The preferred type of above-ground secondary treatment: Surface irrigation
 Site modifications or specific designs: Are needed

Suggested dimensions for on-site secondary treatment system

Total length (m) = 50
 Width (m) = 25
 Depth (m) = 0.2
 Total disposal area (sq m) required = 1300
 comprising a Primary Area (sq m) of: 1,250
 and a Secondary (backup) Area (sq m) of:

Sufficient area is available on site

Comments

Using the DIR of 5mm/day, an irrigation area of 1250m² is required to accommodate the expected wastewater flows. Therefore the system should have the capacity to cope with predicted climatic and loading events.

GES P/L**Land suitability and system sizing for on-site wastewater management**

Trench 3.0 (Australian Institute of Environmental Health)

Site Capability Report**Site assessment for on-site waste water disposal**

Assessment for	Ray Yang	Assess. Date	20-Nov-24
		Ref. No.	
Assessed site(s)	19464 Tasman Highway, Bicheno	Site(s) inspected	24-Jul-24
Local authority	GSBC	Assessed by	JP Cumming

This report summarises data relating to the physical capability of the assessed site(s) to accept wastewater. Environmental sensitivity and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) site limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Expected design area	sq m	10,000	V. high	Very low		
	Density of disposal systems	/sq km	2	Mod.	Very low		
	Slope angle	degrees	1	High	Very low		
	Slope form	Straight simple		High	Low		
	Surface drainage	Imperfect		High	Moderate		
	Flood potential	Site floods 1 in 75-100 yrs		High	Low		
	Heavy rain events	Infrequent		High	Moderate		
	Aspect (Southern hemi.)	Faces E or W		V. high	Moderate		
	Frequency of strong winds	Common		High	Low		
	Wastewater volume	L/day	6,400	High	Very high	Moderate	Other factors lessen impact
	SAR of septic tank effluent		1.7	High	Low		
	SAR of sullage		2.6	High	Moderate		
	Soil thickness	m	2.0	V. high	Very low		
	Depth to bedrock	m	2.0	V. high	Low		
	Surface rock outcrop	%	0	V. high	Very low		
	Cobbles in soil	%	0	V. high	Very low		
	Soil pH		5.5	High	Low		
	Soil bulk density	gm/cub. cm	1.4	High	Very low		
	Soil dispersion	Emerson No.	8	V. high	Very low		
	Adopted permeability	m/day	3	Mod.	Moderate		
A	Long Term Accept. Rate	L/day/sq m	5	High	High		

Comments

The site has good capacity to accept secondary treated wastewater. The high wastewater volume can be managed by ensuring that sufficient storage capacity is available within the treatment unit and through application via surface irrigation.

GES P/L**Land suitability and system sizing for on-site wastewater management**

Trench 3.0 (Australian Institute of Environmental Health)

Environmental Sensitivity Report

Site assessment for on-site waste water disposal

Assessment for Ray Yang	Assess. Date	20-Nov-24
	Ref. No.	
Assessed site(s) 19464 Tasman Highway, Bicheno	Site(s) inspected	24-Jul-24
Local authority GSBC	Assessed by	JP Cumming

This report summarises data relating to the environmental sensitivity of the assessed site(s) in relation to applied wastewater. Physical capability and system design issues are reported separately. The 'Alert' column flags factors with high (A) or very high (AA) limitations which probably require special consideration in site acceptability or for system design(s). Blank spaces indicate data have not been entered into TRENCH.

Alert	Factor	Units	Value	Confid level	Limitation		Remarks
					Trench	Amended	
	Cation exchange capacity	mmol/100g	85	High	Low		
A	Phos. adsorp. capacity	kg/cub m	0.5	High	High		
	Annual rainfall excess	mm	-3	High	Very low		
	Min. depth to water table	m	3	High	Very low		
AA	Annual nutrient load	kg	36.5	High	Very high		
	G'water environ. value Agric sensit/dom irrig			V. high	Moderate		
	Min. separation dist. required	m	5	High	Very low		
	Risk to adjacent bores	Very low		V. high	Very low		
	Surf. water env. value Agric sensit/dom drink			V. high	Moderate		
	Dist. to nearest surface water	m	50	V. high	Very high	Moderate	Other factors lessen impact
	Dist. to nearest other feature	m	100	V. high	Low		
	Risk of slope instability	Very low		V. high	Very low		
	Distance to landslip	m	1000	V. high	Very low		

Comments

The soil on site has a sandy loam texture and a low CEC, therefore the soil system has a moderate capacity to cope with the applied nutrient load from the system. Deep rooted plant species will aid nutrient uptake. Secondary treatment is required.

AS1547:2012 – Loading Certificate – AWTS Design

This loading certificate sets out the design criteria and the limitations associated with use of the system.

Site Address: 1694 Tasman Highway, Bicheno

System Capacity: 6400L/day

Summary of Design Criteria

DIR: 5mm/day.

Irrigation area: 1250m²

Reserve area location /use: assigned – more than 100% available

Water saving features fitted: Standard fixtures

Allowable variation from design flows: 1 event @ 150% daily loading per quarter

Typical loading change consequences: Expected to be minimal due to use of AWTS and large land area

Overloading consequences: Continued overloading may cause hydraulic failure of the irrigation area and require upgrading/extension of the area. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Underloading consequences: Lower than expected flows will have minimal consequences on system operation unless the house has long periods of non occupation. Under such circumstances additional maintenance of the system may be required. Long term under loading of the system may also result in vegetation die off in the irrigation areas and additional watering may be required. Risk considered acceptable due to monitoring through quarterly maintenance reports.

Lack of maintenance / monitoring consequences: Issues of underloading/overloading and condition of the irrigation area require monitoring and maintenance, if not completed system failure may result in unacceptable health and environmental risks. Monitoring and regulation by the permit authority required to ensure compliance.

Other considerations: Owners/occupiers must be made aware of the operational requirements and limitations of the system by the installer/maintenance contractor.

Demonstration of wastewater system compliance to *Building Act 2016 Guidelines for On-site Wastewater Disposal*

Acceptable Solutions	Performance Criteria	Compliance
<p>A1</p> <p>Horizontal separation distance from a building to a land application area must comply with one of the following:</p> <ul style="list-style-type: none"> a) be no less than 6m; or b) be no less than: <ul style="list-style-type: none"> (i) 3m from an upslope building or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building. 	<p>P1</p> <ul style="list-style-type: none"> a) The land application area is located so that <ul style="list-style-type: none"> (i) the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.; and (ii) is setback a sufficient distance from a downslope excavation around or under a building to prevent inadequately treated wastewater seeping out of that excavation 	<p>Complies with A1 (b) (i) Land application area will be located with a minimum separation distance of 3m from an upslope or level building.</p> <p>Complies with A1 (b) (iii) Land application area will be located with a minimum separation distance of 3.5m of downslope building.</p>
<p>A2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with (a) or (b)</p> <ul style="list-style-type: none"> (a) be no less than 100m; or (b) be no less than the following: <ul style="list-style-type: none"> (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to down slope surface water. 	<p>P2</p> <p>Horizontal separation distance from downslope surface water to a land application area must comply with all of the following:</p> <ul style="list-style-type: none"> a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable. 	<p>Complies with A2 (b) (ii) Land application area will be located with a minimum separation distance of 27m of downslope surface water (Actual distance >50m).</p>

<p>A3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with either of the following:</p> <p>(a) be no less than 40m from a property boundary; or</p> <p>(b) be no less than:</p> <p>(i) 1.5m from an upslope or level property boundary; and</p> <p>(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or</p> <p>(iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p>	<p>P3</p> <p>Horizontal separation distance from a property boundary to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p>	<p>Complies with A3 (b) (i) Land application area will be located with a minimum separation distance of 1.5m from an upslope or level property boundary</p> <p>Complies with A3 (b) (iii) Land application area will be located with a minimum separation distance of 7.5m of downslope property boundary (Actual distance >50m).</p>
<p>A4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p>	<p>P4</p> <p>Horizontal separation distance from a downslope bore, well or similar water supply to a land application area must comply with all of the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable</p>	<p>Complies with A4 No bore or well identified within 50m</p>

<p>A5</p> <p>Vertical separation distance between groundwater and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.6m if secondary treated effluent</p>	<p>P5</p> <p>Vertical separation distance between groundwater and a land application area must comply with the following:</p> <p>(a) Setback must be consistent with AS/NZS 1547 Appendix R; and</p> <p>(b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable</p>	<p>Complies with A5 (b)</p> <p>No groundwater encountered</p>
<p>A6</p> <p>Vertical separation distance between a limiting layer and a land application area must be no less than:</p> <p>(a) 1.5m if primary treated effluent; or</p> <p>(b) 0.5m if secondary treated effluent</p>	<p>P6</p> <p>Vertical setback must be consistent with AS/NZS1547 Appendix R.</p>	<p>Complies with A6 (b)</p> <p>No limiting layer identified</p>
<p>A7</p> <p>nil</p>	<p>P7</p> <p>A wastewater treatment unit must be located a sufficient distance from buildings or neighbouring properties so that emissions (odour, noise or aerosols) from the unit do not create an environmental nuisance to the residents of those properties</p>	<p>Complies</p>

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input type="checkbox"/>	Building design	Architect or Building Designer
<input type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input checked="" type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
<input type="checkbox"/>	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

AWTS for amenities block with irrigation

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: Geo-Environmental Solutions	Date: Nov-24
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Geo-Environmental Solutions	Date: Nov-24
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by: Geo-Environmental Solutions	Date: Nov -24
Test reports:	Prepared by: Geo-Environmental Solutions	Date:Nov-24

Standards, codes or guidelines relied on in design process:	
AS1547:2012 On-site domestic wastewater management.	
AS3500 (Parts 0-5)-2013 Plumbing and drainage set.	

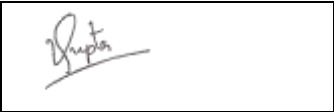
Any other relevant documentation:	
Onsite Wastewater Assessment – 16494 Tasman Highway Bicheno – Nov-24	

Attribution as designer:	
---------------------------------	--

I Vinamra Gupta, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Vinamra Gupta		12/12/2024
Licence No:	685982720		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

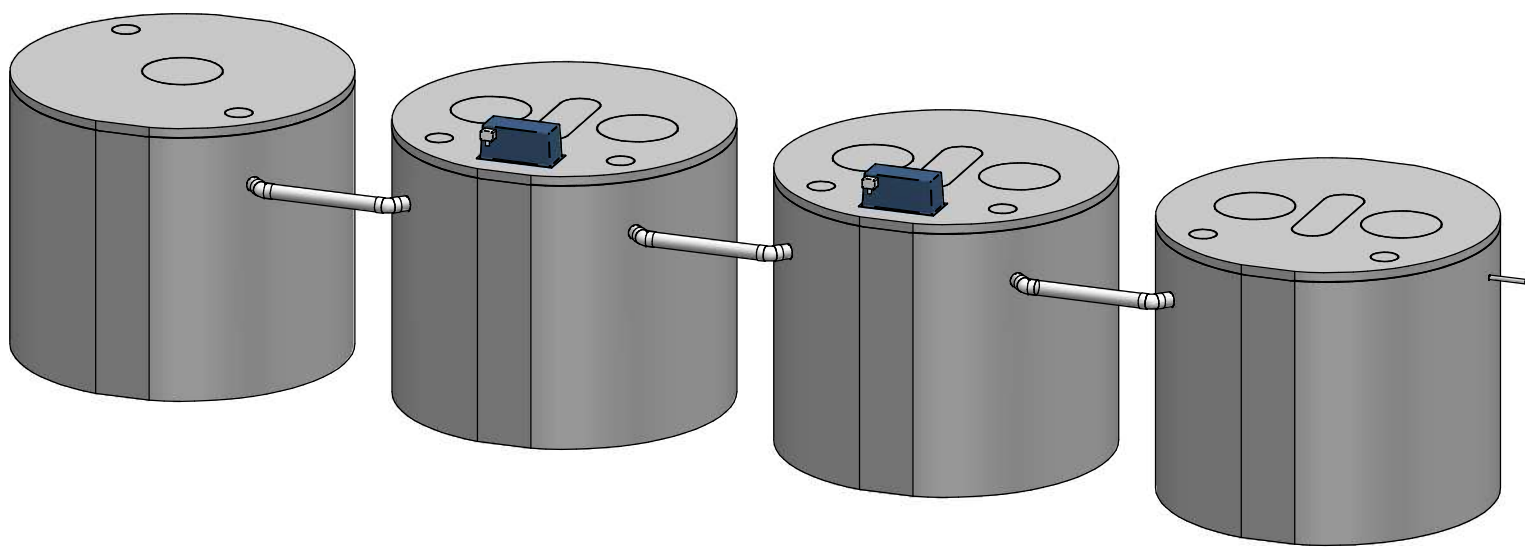
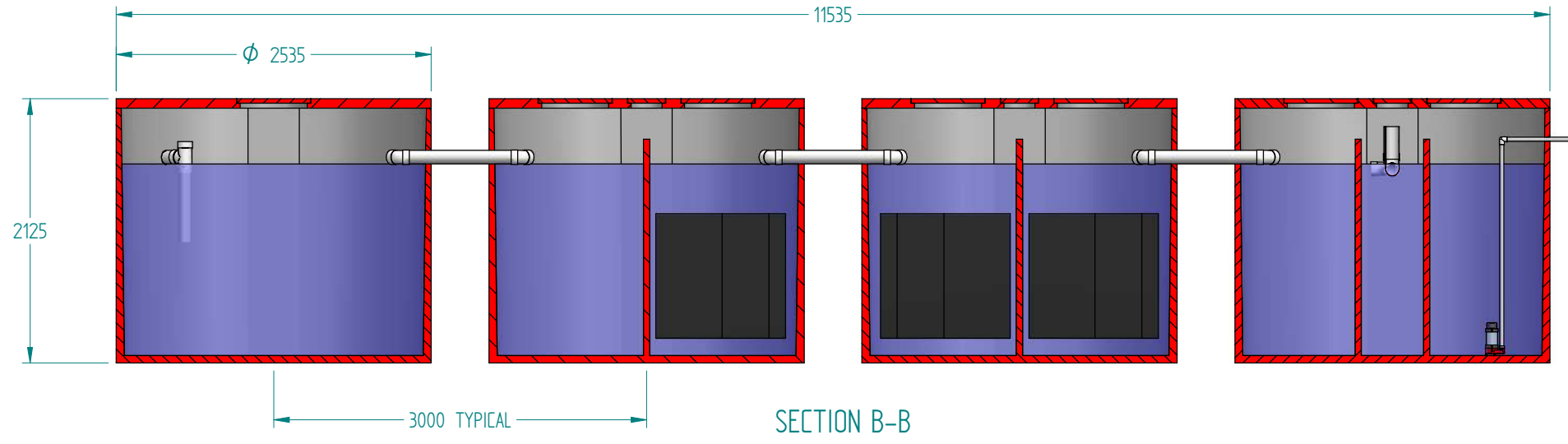
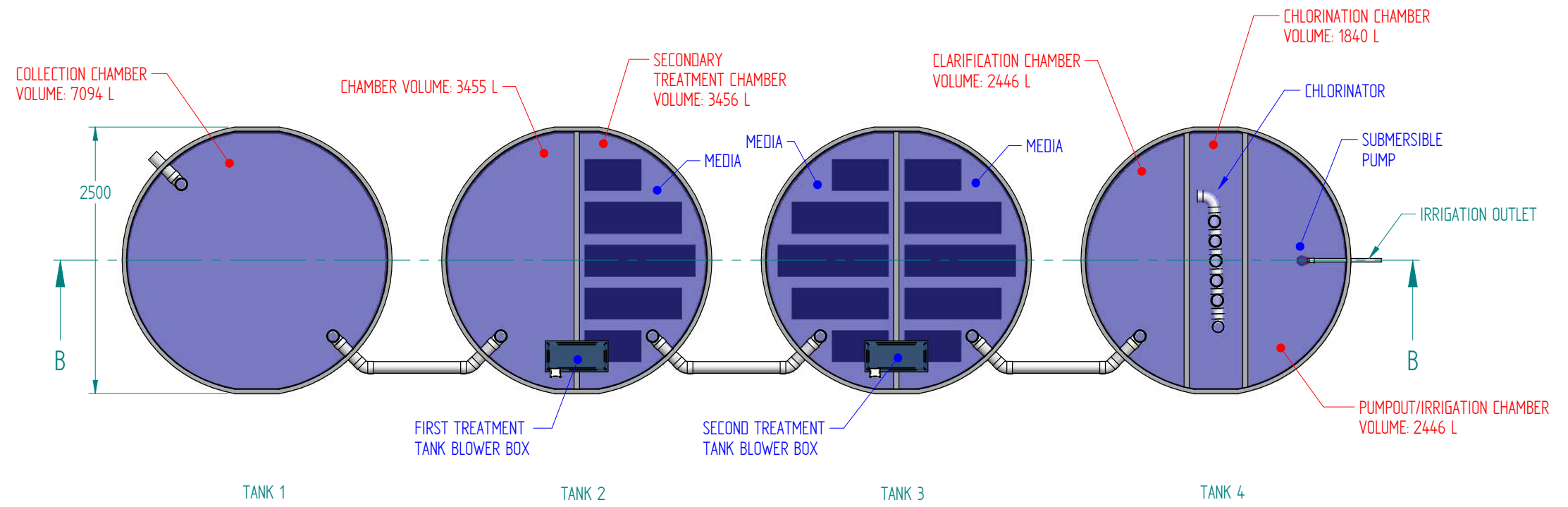
- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Vinamra Gupta..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Vinamra Gupta		12/12/2024



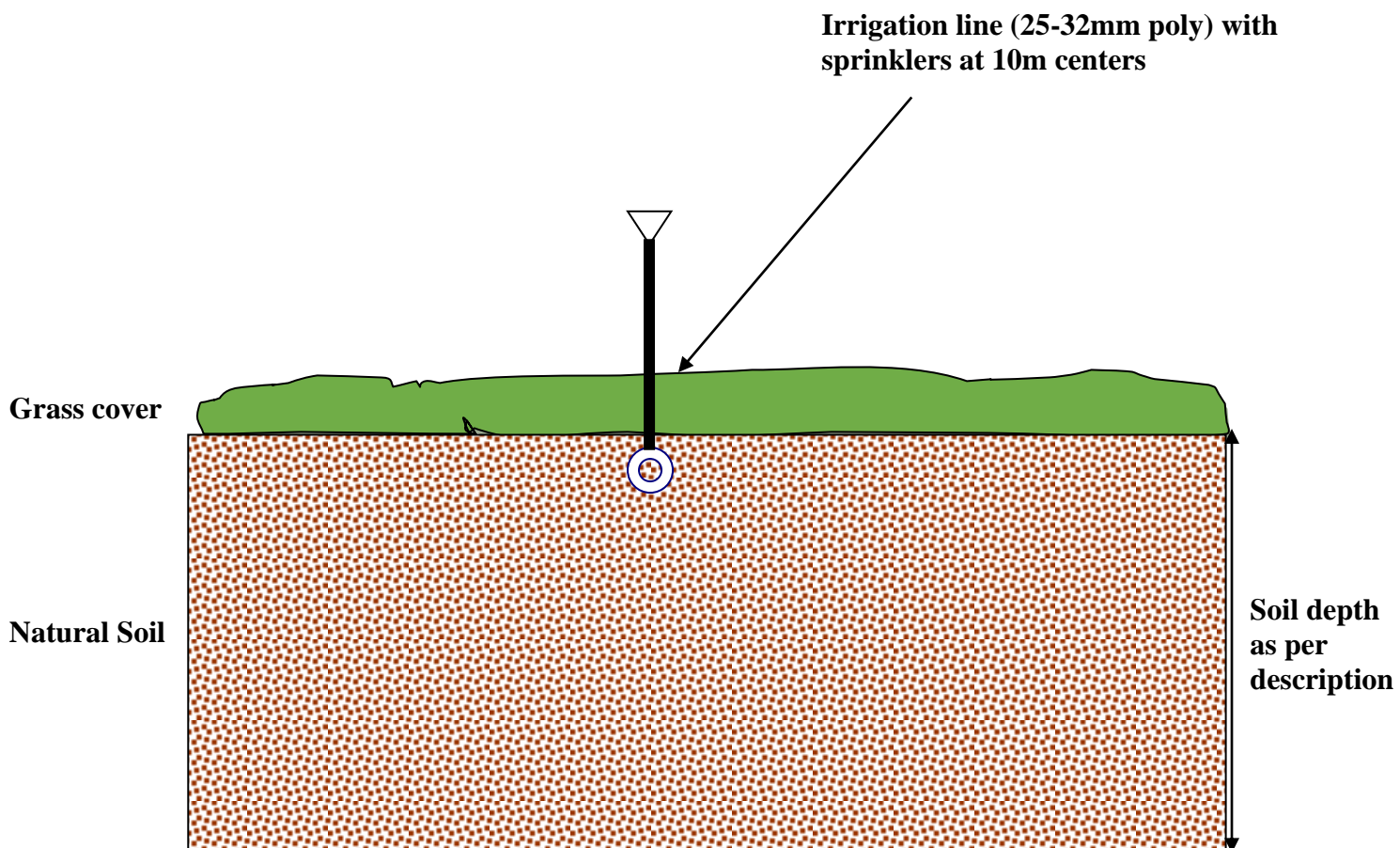
<p>Econocycle AERATED WASTEWATER TREATMENT SYSTEMS</p>	<p>UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS ARE IN MM</p>	PROJECT BELROSE SYSTEM	
		TITLE SYSTEM CERTIFICATION DRAWING	
<p>COPYRIGHT THIS DRAWING AND INFORMATION CONTAINED WITHIN REMAINS THE COPYRIGHT PROPERTY OF ECONOCYCLE AND CANNOT BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION</p>	SCALE DO NOT SCALE	DATE PLOTTED 24/06/2014	SHEET SIZE A3
	DRAWN BY P MCKAY	DRAWING LAST MODIFIED BY P MCKAY	PART# 1124.4210
MODELLED BY P MCKAY	MODEL LAST MODIFIED BY P MCKAY	VERSION 1.0	SHEET No. 1 OF 1

Figure 1 - AWTS

AWTS –surface irrigation within grass

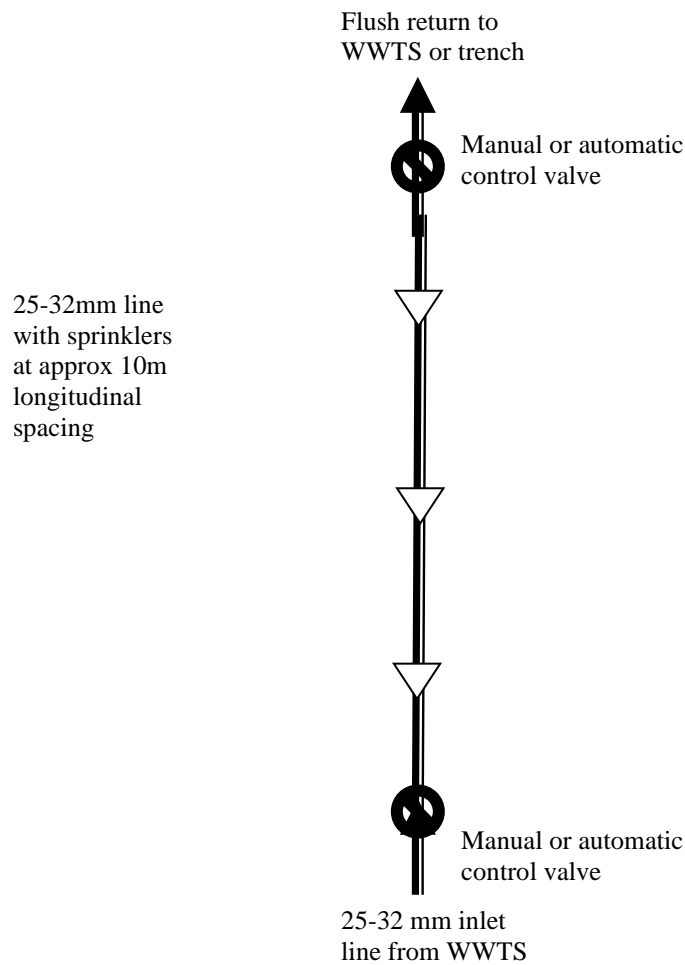
To be used in conjunction with site evaluation report for construction of irrigation areas for use with aerated wastewater treatment systems (AWTS). On dispersive soils gypsum should be added to tilled natural soil at $1\text{Kg}/5\text{m}^2$. For irrigation areas larger than 1000m^2 the irrigation area should be split into multiples of at least 100m^2 with flow automatically switched between each area by a k-rain valve. On steep sites pressure check valves should be utilized on each sprinkler row to ensure even distribution.

Irrigation Area Cross Section



- The distribution lines need to be installed below the soil surface with elevated sprinklers on 1m risers as required

Irrigation Area Plan View



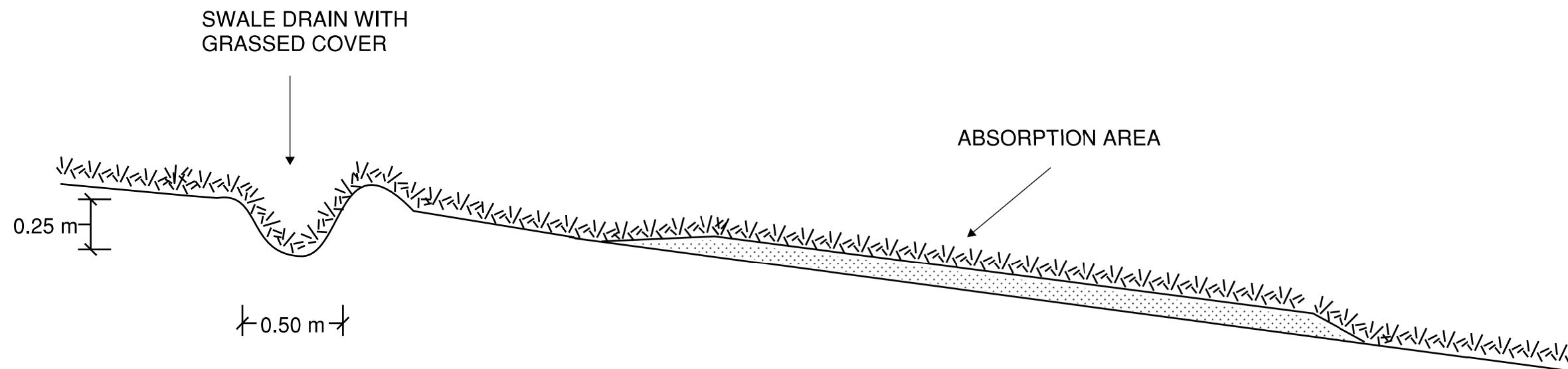
Design specifications:

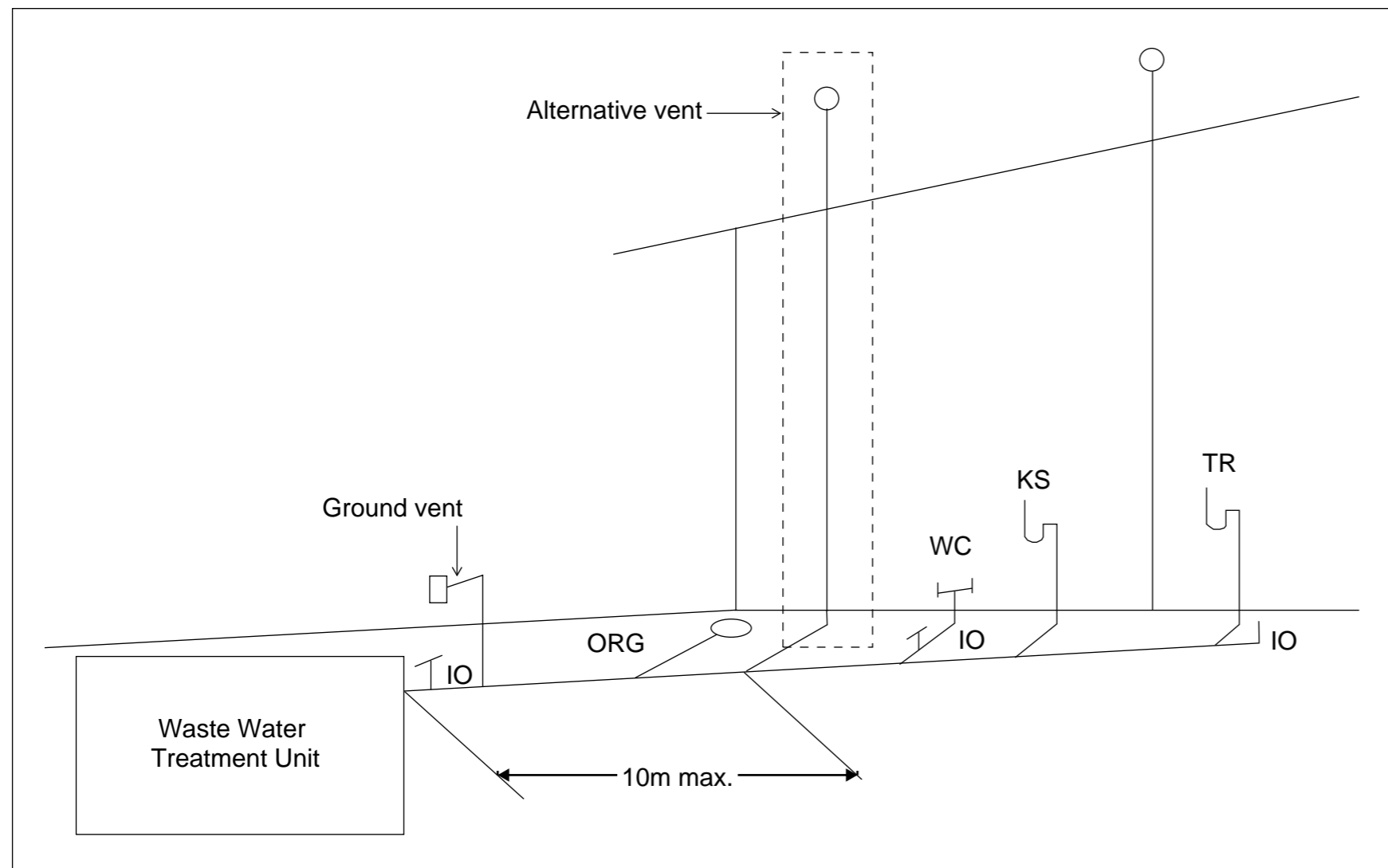
1. Manufacturer's recommendations for spacing of irrigation lines and sprinklers should be followed with a longitudinal spacing of 10m centers.
2. Typical sprinkler flow rates are 0.3-0.8L/sec per 5.56 mm emitter dependant pressure.
3. A flush line must be installed at the lowest point/bottom of the irrigation area with a return valve for flushing back into the treatment chamber of the system (not into the primary chamber as it may affect the performance of the microbial community) or to a dedicated absorption trench.
4. The minimum irrigation pumping capacity should be a 12m head or 120 kpa measured at the highest point of the irrigation area.
5. Pressure check valves to be used on steep sites on each sprinkler line to ensure even distribution

TYPICAL GRASSED SWALE DRAIN CROSS-SECTION

SWALE DRAIN TO BE MIN 0.5M WIDE BY MIN 0.25M DEEP

GRASS COVER TO BE MAINTAINED TO SLOW WATER FLOW AND MINIMISE EROSION





Tas Figure F101.2 Alternative Venting Arrangements

Vents must terminate in accordance with AS/NZS 3500.2

Alternative venting to be used by extending a vent to terminate as if an upstream vent, with the vent connection between the last sanitary fixture or sanitary appliance and the on-site wastewater management system. Use of a ground vent is not recommended

Inspection openings must be located at the inlet to an on-site wastewater management system treatment unit and the point of connection to the land application system and must terminate as close as practicable to the underside of an approved inspection opening cover installed at the finished surface level

Access openings providing access for desludging or maintenance of on-site wastewater management system treatment units must terminate at or above finished surface level

Alternative vent is the preferred arrangement where possible.



GEO-ENVIRONMENTAL

SOLUTIONS

29 Kirksway Place, Battery Point
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Wastewater system:

AWTS Unit with venting according to NCC
Vol 3 Tas C2D6

Surface diversion drain

Surface irrigation area (1250m²)
e.g. 50m x 25m - 2 rows of wobbler
sprinklers on risers at 10m centres

Min 3m from upslope or level buildings
Min 3.5m from downslope buildings
Min 1.5m from upslope or level
boundaries

Min 7.5m from downslope boundary
Min 27m from downslope surface water

Refer to GES report



Do not scale from these drawings.
Dimensions to take precedence
over scale.

Date: 08/11/2024

On-Site Wastewater Management Plan

1:500 @ A3

Sheet 1 of 1
Drawn by: EF