



GLAMORGAN/SPRING BAY COUNCIL

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **8 Riverside Drive, Orford**
CT 71799/9

PROPOSAL: **Alterations and Additions to a Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on 12 February 2026.

APPLICANT: **Clint Wills Draftone Tasmania**
DATE: **06/01/2026**
APPLICATION NO: **DA 2026 / 003**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

| Details of Applicant and Owner | | | |
|---|--|------------------|--|
| Applicant: | | | |
| Contact person: (if different from applicant) | | | |
| Address: | | | |
| Suburb: | | Post Code: | |
| Email: | | Phone: / Mobile: | |

Note: All correspondence with the applicant will be via email unless otherwise advised

| | | | |
|-------------------------------------|--|------------------|--|
| Owner (if different from applicant) | | | |
| Address: | | | |
| Suburb: | | Post Code: | |
| Email: | | Phone: / Mobile: | |

Details of Site (Note: If your application is discretionary, the following will be placed on public exhibition)

| | | | |
|--------------------------------------|--|------------|--|
| Address of proposal: | | | |
| Suburb: | | Post Code: | |
| Size of site: (m ² or Ha) | | | |
| Certificate of Title(s): | | | |
| Current use of site: | | | |

General Application Details Complete for All Applications

| | | |
|--|----------|--|
| Description of proposed use or development: | | |
| Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate. | \$ | |
| Is the property on the State Heritage Register? (Circle one) | Yes / No | |

For all Non-Residential Applications

| | |
|--|--|
| Hours of Operation | |
| Number of Employees | |
| Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency | |
| Describe any hazardous materials to be used or stored on site | |
| Type & location of any large plant or machinery used (refrigeration, generators) | |
| Describe any retail and/or storage of goods or equipment in outdoor areas | |

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPAA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

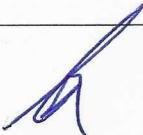
- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

| | | | |
|----------------------|---|-------|----------|
| Applicant Signature: |  | Date: | 6-1-2025 |
|----------------------|---|-------|----------|

Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

| | | | |
|--|--|-------|--|
| Council General Manager or delegate Signature: | | Date: | |
|--|--|-------|--|

If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

| | |
|---------|---------------|
| VOLUME | FOLIO |
| 71799 | 9 |
| EDITION | DATE OF ISSUE |
| 3 | 22-Jan-2007 |

SEARCH DATE : 14-Dec-2025

SEARCH TIME : 10.45 am

DESCRIPTION OF LAND

Town of ORFORD

Lot 9 on Plan [71799](#) (formerly being P1594)

Derivation : Part of Lot 13930 Gtd. to R.A. Fieldwick.

Prior CT [2082/7](#)**SCHEDULE 1**[B633600](#) TRANSFER to BRIAN DWAYNE WALKER**SCHEDULE 2**

Reservations and conditions in the Crown Grant if any

[A216497](#) FENCING COVENANT set forth in Order[C735350](#) MORTGAGE to Australia and New Zealand Banking Group

Limited Registered 05-Sept-2006 at 12.01 pm

[C763745](#) MORTGAGE to Australia and New Zealand Banking Group

Limited Registered 22-Jan-2007 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PROPERTY ID: 5973426**MUNICIPALITY:** GLAMORGAN-SPRING BAY**PROPERTY ADDRESS:** 8 RIVERSIDE DRIVE
ORFORD TAS 7190**PROPERTY NAME:****TITLE OWNER:** 71799/9 : BRIAN DWAYNE WALKER**INTERESTED PARTIES:** BRIAN DWAYNE WALKER**POSTAL ADDRESS:** 8 RIVERSIDE DR
(Interested Parties) ORFORD TAS 7190**MAIN IMPROVEMENTS SUMMARY****Improvements:** DWELLING

| | | |
|---------------------------------------|------------------|---------------------|
| Improvement Sizes (Top 3 by Size): | Improvement: | Area: |
| | DWELLING | 116.0 square metres |
| | GARAGE UNDER | 20.0 square metres |
| | FENCING & PAVING | 1.0 square metres |

**Number of
Bedrooms:** 3**Construction Year
of Main Building:** 1970**Roof Material:** Galvanised Iron**Wall Material:** Weatherboard**Land Area:** 0.0776 hectares**LAST SALES**

| Contract Date | Settlement Date | Sale Price |
|---------------|-----------------|------------|
| 01/02/1993 | 22/03/1993 | \$82,000 |
| 30/03/1987 | 19/05/1987 | \$64,000 |

LAST VALUATIONS

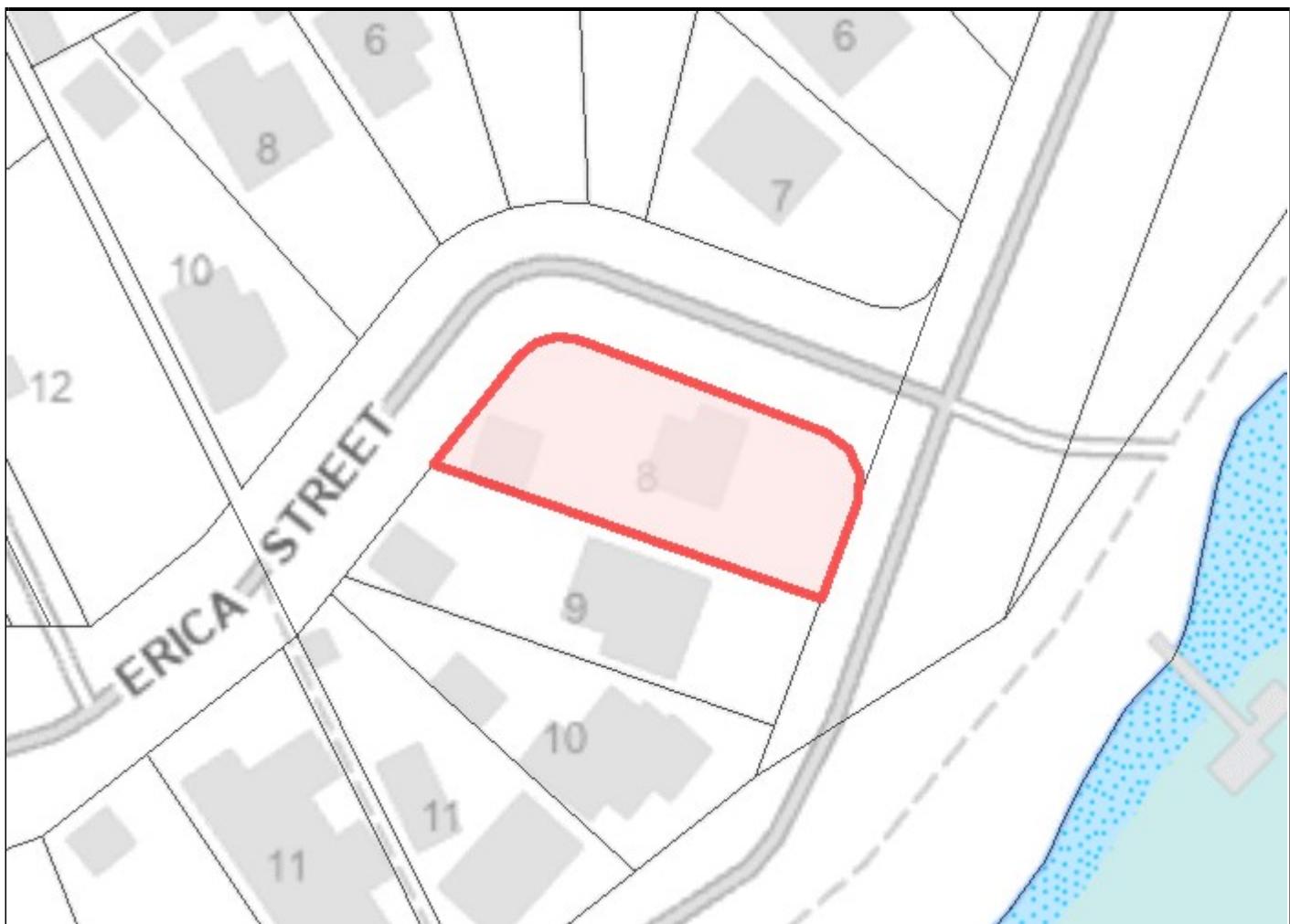
| Date Inspected | Levels At | Land | Capital | A.A.V. | Reason |
|----------------|------------|-----------|-----------|----------|-----------------|
| 15/03/2024 | 01/07/2023 | \$500,000 | \$780,000 | \$31,200 | FRESH VALUATION |
| 11/01/2017 | 01/07/2016 | \$225,000 | \$370,000 | \$14,800 | REVALUATION |

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.

TITLE PRODUCTION & DESPATCH RECORD.

Proprietor *SHORT, R* Program No. *282*Title Reference ... *960/85* Survey Reference *P1594*

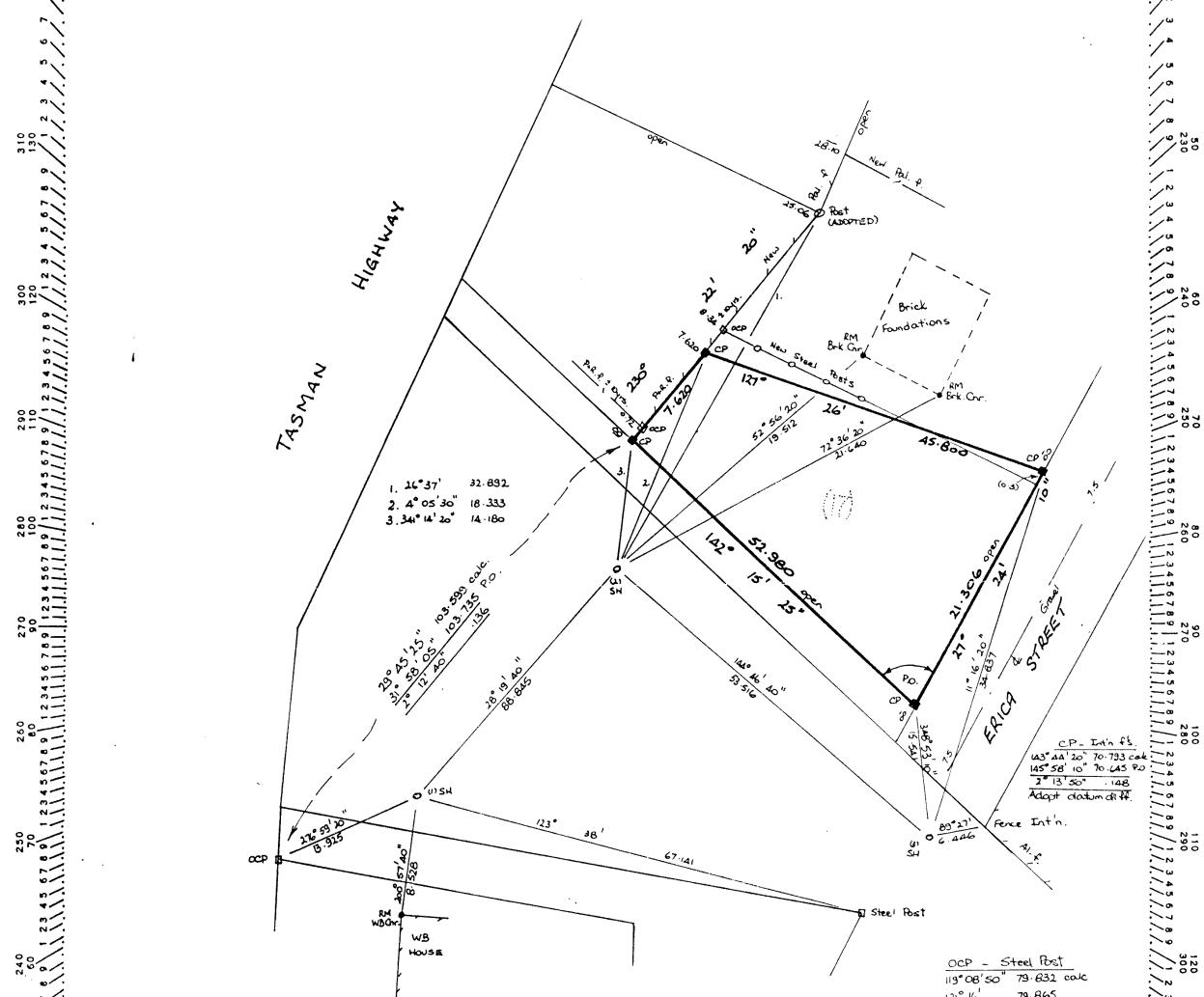
New Certificates of Title (other than those marked "Retained")

despatched to ... *Bank of N. S. Wales*

| Lot No. | New Title | | Caveats to be brought forward | Title Retained for. |
|--------------------------|-------------|------------|-------------------------------------|---------------------|
| | Vol. | Fol. | | |
| 1 | <i>2081</i> | <i>99</i> | | |
| 2 | " | <i>100</i> | | |
| 3 | <i>2082</i> | <i>1</i> | | |
| 4 | " | <i>2</i> | | |
| 5 | " | <i>3</i> | | |
| 6 | " | <i>4</i> | | |
| 7 | " | <i>5</i> | | |
| 8 | " | <i>6</i> | | |
| 9 | " | <i>7</i> | | |
| 10 | " | <i>8</i> | | |
| 11 | " | <i>9</i> | | |
| 12 | " | <i>10</i> | | |
| 13 | " | <i>11</i> | | |
| 14 | " | <i>12</i> | | |
| 15 | " | <i>13</i> | | |
| 16 | " | <i>14</i> | | |
| 17 | " | <i>15</i> | | |
| ROAD(50) & FWAY(6) | " | <i>16</i> | | |
| <i>Acc</i> | " | <i>17</i> | | |
| | | | | |
| | | | | |
| | | | | |

| | |
|-------------------------------|--|
| Owner: SHEPPERD | <i>Brooks Lark and Carrick</i> LAND & ENGINEERING SURVEYORS 9 WARNEFORD STREET, SOUTH HOBART, 7000 TELEPHONE: 23 5666 |
| Title Reference: C.T. 2082-15 | |
| Lot 17, P1594 | |

REPEG SURVEY



SURVEY CERTIFICATE

Anthony Owen Carrick of Hobart

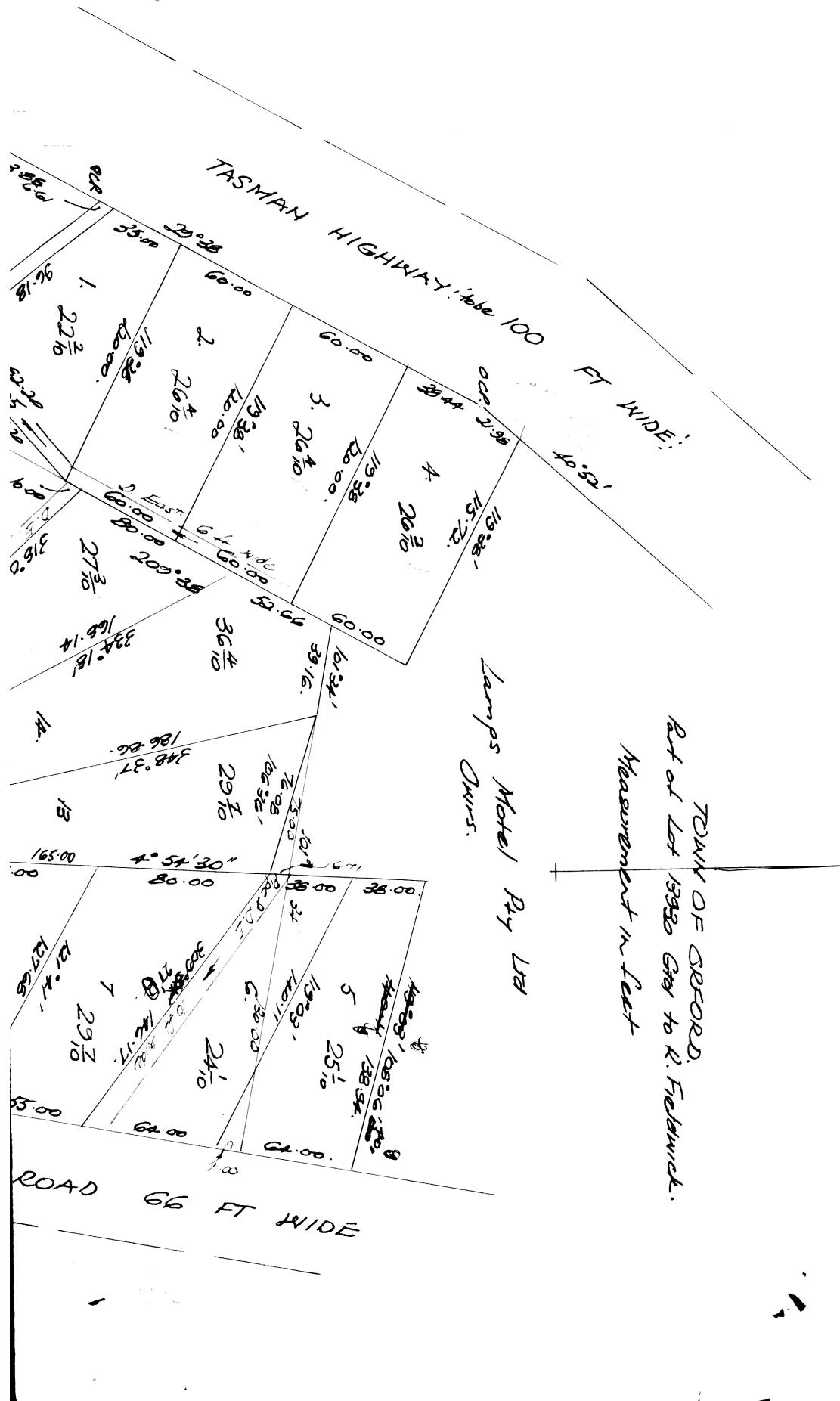
In Tasmania a registered surveyor HEREBY CERTIFY that:

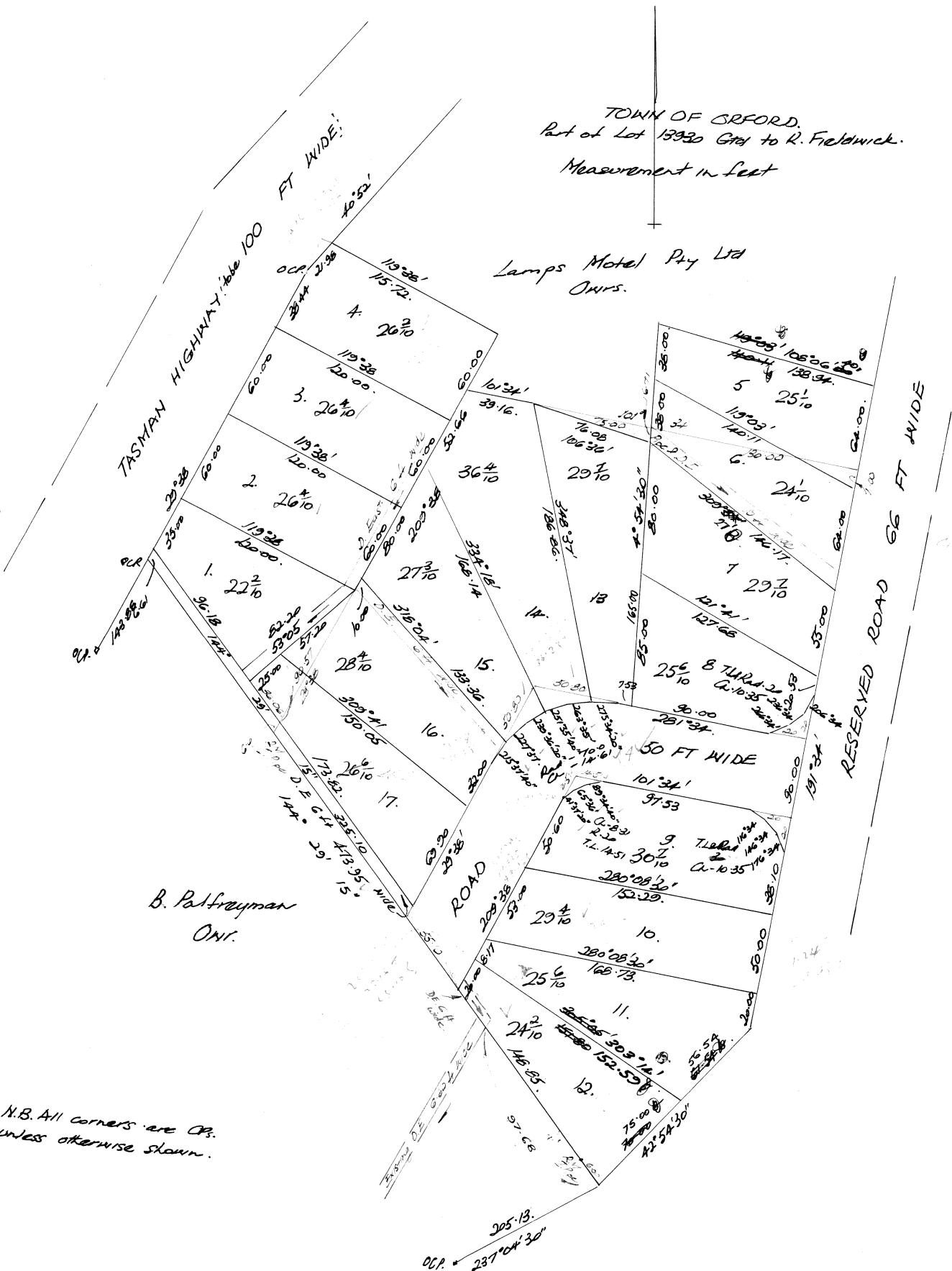
- (a) this survey is based upon the best evidence that the nature of the case admits;
- (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
- (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.

purposes required.
W. J. Banick
REGISTERED SURVEYOR

Date 18/6/87







N.B. All corners are 90° unless otherwise shown.

LAND TITLES OFFICE www.dpiw.tas.gov.aucontact ldrbs@dpiw.tas.gov.au Ph 6233 3585

LTO COVER PAGE
FOR
SURVEY INFORMATION ONLY SURVEY NOTES
DEPOSITED FOR PUBLIC RECORD PER LTO CIRCULAR 1 OF 2007

Surveyor to complete this Section where shown thus * :

The attached survey notes deposit is for public record, and not for titling purposes directly. Would you please file with the MAIN LTO PLAN No. shown below.

***NAME OF REGISTERED SURVEYOR:** John Bamford

*** SURVEY FIRM:** John Bamford & Assoc.

*** MAIN LTO PLAN:** (enter the Volume No. of the main title affected): P. 717 99
leave blank if unsure

*** No. OF PAGES DEPOSITED** - (including this sheet): 3

*** Signed by:**  (Registered Land Surveyor) , 12/3/20
(Date)

SEE ATTACHED SURVEY NOTES FOR SURVEY PURPOSE

*** OPTIONAL SURVEY PURPOSE CONTINUATION** - (*NB: NOT FOR SURVEYOR REPORTING*):-

SIO REFERENCE (ALLOCATED BY LTO) :

178829

WARNING: ALWAYS SEARCH THE CURRENT CADASTRE.

| | | | | | | |
|--|---|--------------------------------|--------------|---|----------|-----|
| SURVEY INFORMATION ONLY SURVEY NOTES DEPOSITED FOR PUBLIC RECORD (SEE LTO CIRCULAR 1 OF 2007) | | Main LTO Plan P.71799 | | SURVEY CERTIFICATE I, JOHN MARTINDALE BAMFORD, of HOBART in Tasmania a Registered Land Surveyor HEREBY CERTIFY that: (a) this survey is based upon the best evidence that the nature of the case admits. (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required. | | |
| SHEET 1 OF 2 SHEETS | | SIO Reference 178829 | |  Signature Date 12 / 3 / 20 | | |
| Owner: D M REES & D L REES | | | | | | |
| Folio Reference: 71799/6 | | | | | | |
| Purpose of Survey: REMARKING THE SUBJECT TITLE BOUNDARY OF 5 RIVERSIDE DRIVE, ORFORD | | | | | | |
| Survey Commenced: 11/10/19 | | Survey Completed: 11/10/19 | | Surveyors Ref: 6894 | | |
| Horizontal Datum: GDA94 | | Bearing Datum: MGA94 | | Combined Scale Factor: 0.999665 | | |
| MGA94 COORDINATE ORIGIN | | | | | | |
| SURCOM | Mark ID: | SPM 9911 | E 571935.795 | N 5288518.472 | EPU 0.04 | |
| AUSPOS | Local coordinated mark: | | E | N | EPU | |
| NRTK | Local coordinated mark: | | E | N | EPU | |
| Single base station CORS CORS provider: SMARTNET | Local comparison information SURCOM Check Mark ID: | | SURCOM: E | | N | |
| | | | Measured: E | | N | EPU |
| | | | Δ E | | Δ N | |
| | Local coordinated mark: | | E | N | | |
| MGA94 BEARING ORIGIN MGA DATUM (2) O.SH in bitumen to (1) O.Spk – 18°19'45" as per SP 154149 | | | | | | |
| BOUNDARY REINSTATEMENT REPORT | | | | | | |
| Comparison (1) has been adopted to adjust the Remark by CL Andrews and reestablish the corner (4c) from (4b) O.Spk as per the Remark. The O.Star at (2c) has been adopted and corner (3c) has been reestablished original distance as per (P.1594) from (2c) along the same bearing line of Riverside Drive established for Lot 1 & Lot 2 on SP 154149. | | | | | | |
| All boundaries open unless otherwise stated Corners are marked with corner pegs (CP) unless otherwise stated Apparent age of old marks is consistent with their attributed origin. Survey carried out using Leica TS16 robotic theodolite & Lecia GPS. | | | | | | |

Soil Test

By:

Date:

BAL Assessment

Rate: Not required: not in bushfire prone area

By:

Date:

Land Survey

By:

Date:

Thermal Assessment

By:

Date:

Corrosion Environment

Class: NCC 2022: Table 6.3.9a and Specifications 3

Alpine Area

Class:

Climate Zone - 7**Soil Classification**

Class:

Wind Speed

N3 Vh,u = 50m/s

Land Title

Folio No: 9

Volume: 71799

Site Coverage

| | | |
|----------------------------|---|----------------------|
| Land | - | 776.00m ² |
| Existing House | - | 80.44m ² |
| Existing Decks & Stairs | - | 60.53m ² |
| Existing Shed | - | 63.00m ² |
| TOTAL (for site coverage)- | | 203.97m ² |
| Site Coverage | - | 26.29% |

Client

Brian Walker

Job

Renovation & Roofed Deck

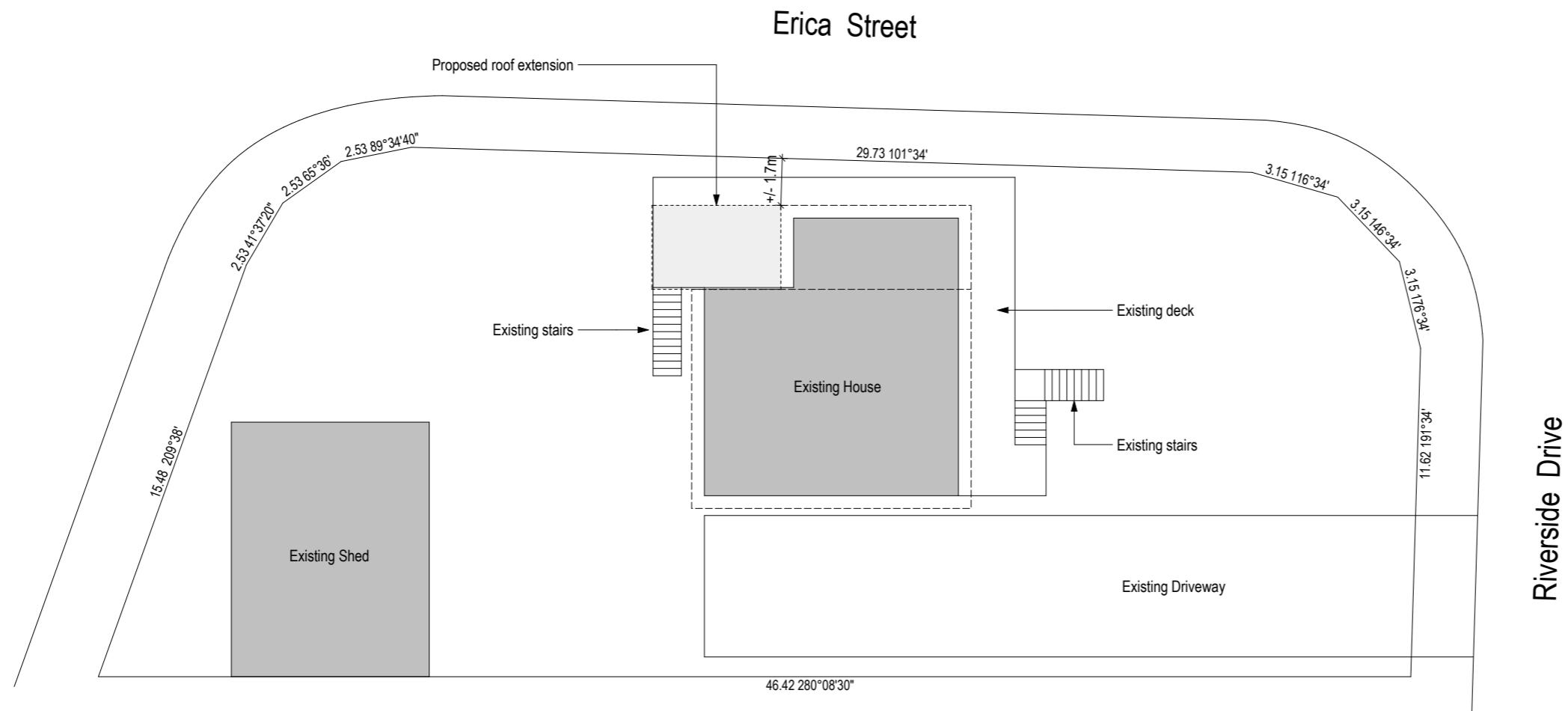
Job address8 Riverside Drive,
Orford**Drawing**Scale: A3
DWG: 1 of 7
Date: 6 January 2026
Job No: 2025-44**Cover**

| Amendments | |
|------------|----|
| Date | By |
| | |

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

| Layout Index | | |
|--------------|------------------------|-----|
| ID | Layout Name | Rev |
| 1 | Cover | |
| 2 | Site Plan | |
| 3 | Floor Plan Level 1 | |
| 4 | Floor Plan Level 2 | |
| 5 | Elevations | |
| 6 | Roof Plan | |
| 7 | Window & Door Schedule | |

Site Plan



| Amendments | |
|------------|----|
| Date | By |

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Client

Brian Walker

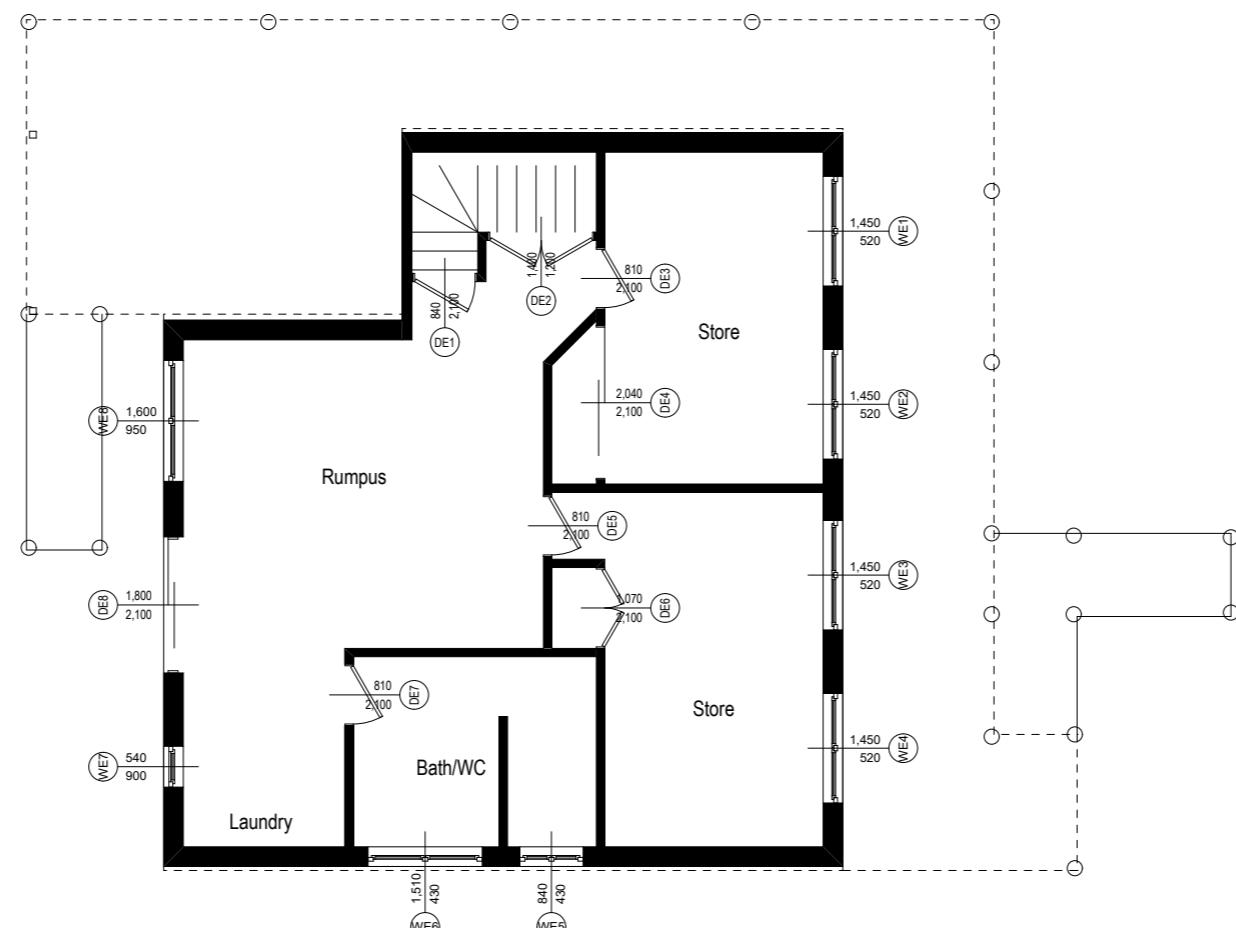
Job

Renovation & Roofed Deck
Job address
3 Riverside Drive,
Duluth

Orford Drawing

Scale: A3 - 1:100
DWG: 3 of 7
Date: 6 January 2026
Job No: 2025-44

Floor Plan Level 1



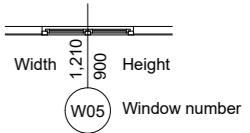
Walls

— Existing Walls

 New Walls

Walls to be removed

Windows



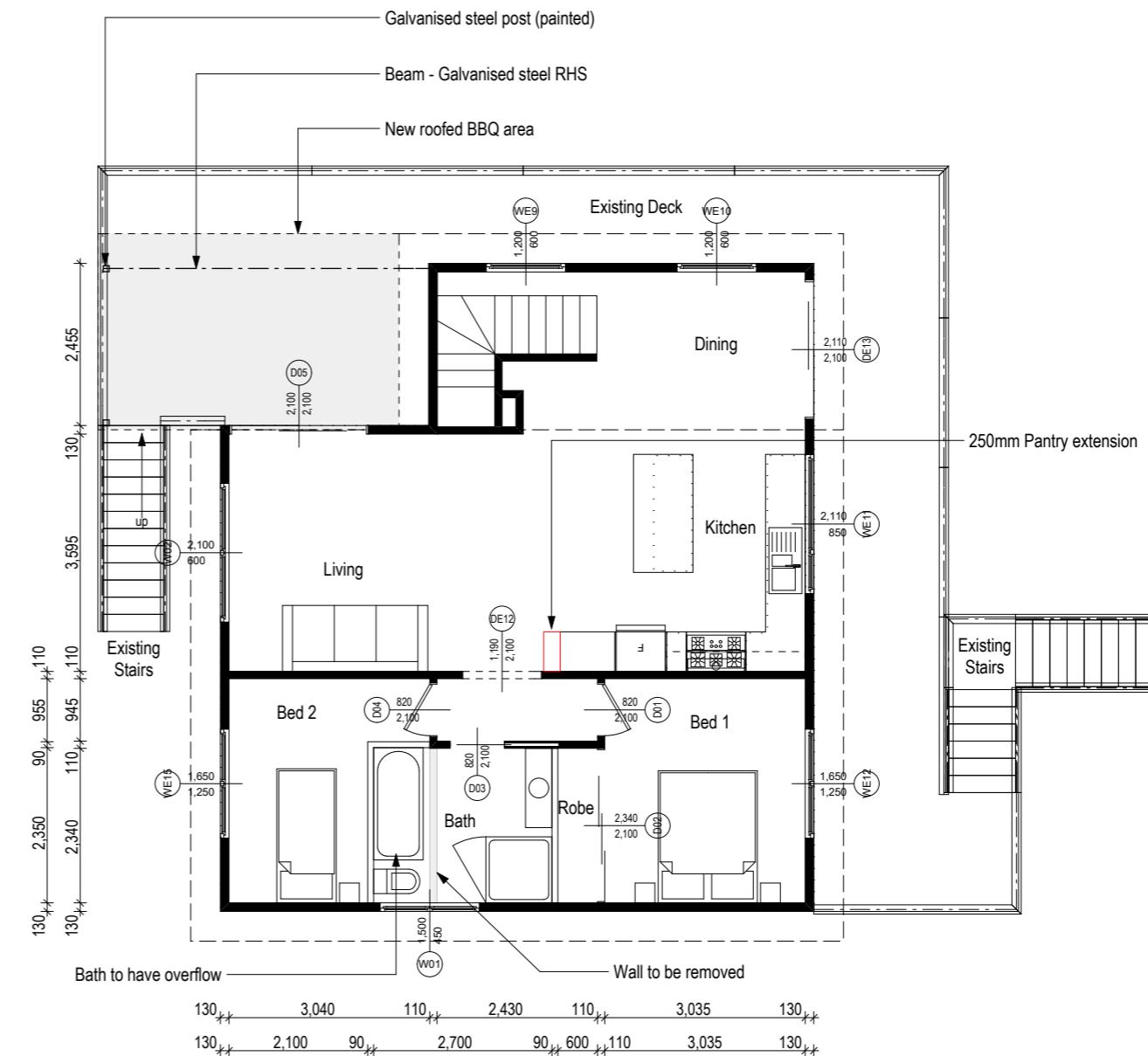
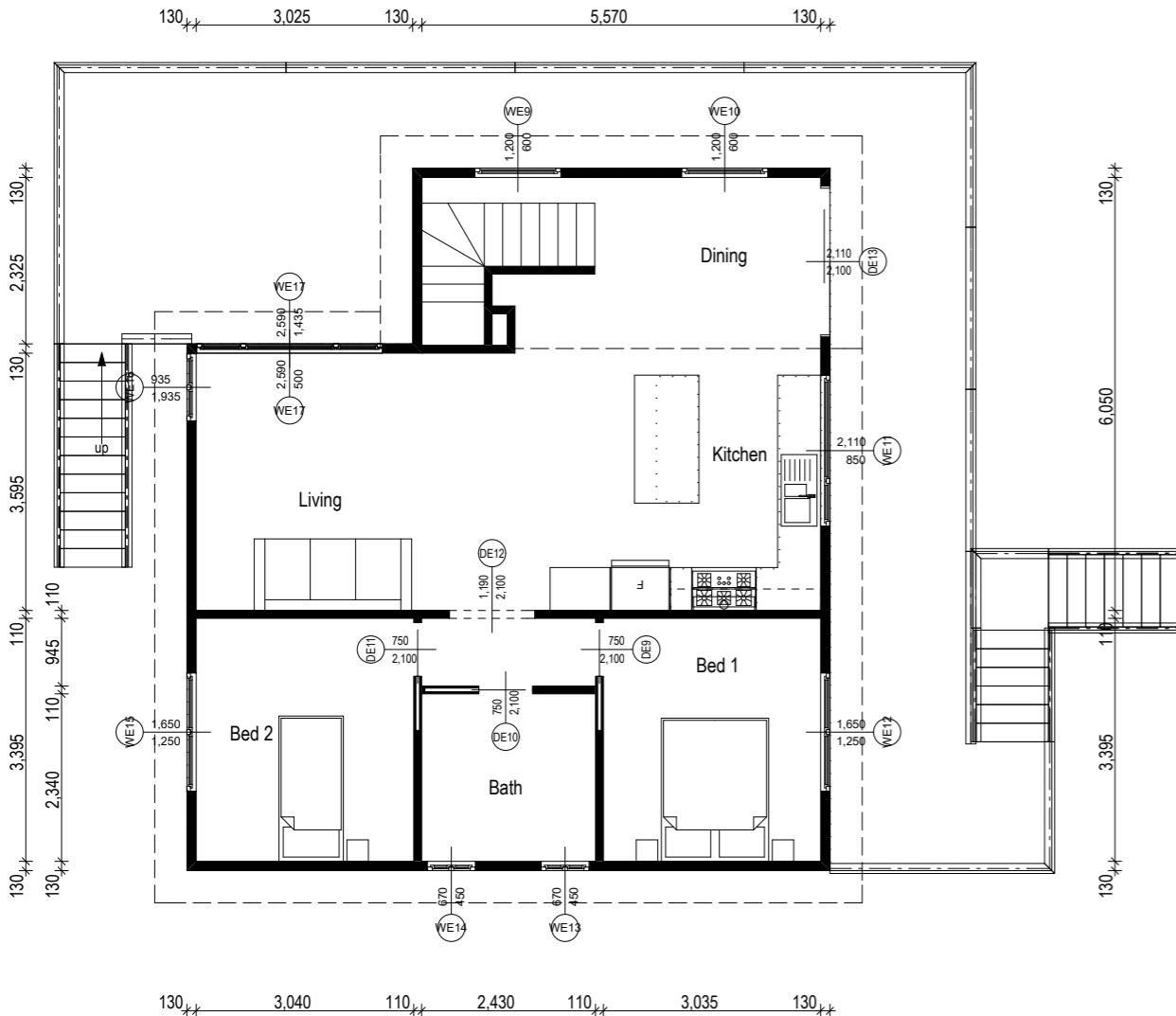
Amendments

Date By

1. **What is the primary purpose of the study?**

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Floor Plan Level 2



Walls

— Existing Walls

— New Walls

— Walls to be removed

Windows

— Width

— Height

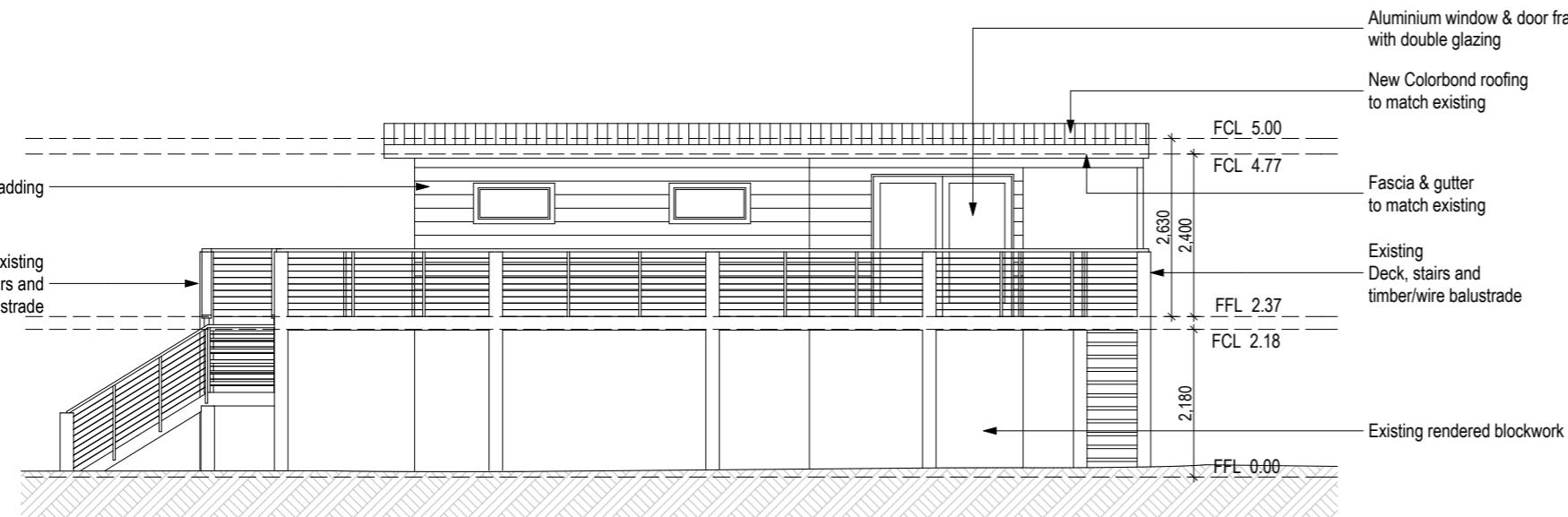
W05 Window number

Amendments

Date By

Elevations

North



Aluminium window & door frames
with double glazing

New Colorbond roofing
to match existing

Fascia & gutter
to match existing
Existing
Deck, stairs and
timber/wire balustrade

Existing rendered blockwork

Elevations



Aluminium window & door frames
with double glazing

New Colorbond roofing
to match existing

Fascia & gutter
to match existing
Existing
Deck, stairs and
timber/wire balustrade

Existing rendered blockwork

Existing weatherboard cladding

East

West

Aluminium window & door frames
with double glazing

Fascia to match existing

Existing weatherboard cladding

Existing
Deck, stairs and
timber/wire balustrade

Existing rendered blockwork

Existing
Deck, stairs and
timber/wire balustrade

Amendments

Date By

Material & Colour Schedule

| Element | Material | Colour |
|----------------------------------|----------------|------------|
| Wall cladding | Weatherboards | White |
| Masonry lower level | Block rendered | Existing |
| Downpipes | Galvanised | Galvanised |
| Roof | CGI Colorbond | Existing |
| Roof Extension to match existing | | |
| Windows & Doors | Aluminium | White |
| Deck | Timber | TBA |
| Deck balustrade | Timber & Wire | Black |

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand. Use written dimensions only. Do not scale from drawings.

South

Part 7.4 Gutters and downpipes

7.4.1 Application

[New for 2022]

Table 7.4.3a: Size of gutter required to drain roof catchment area into one (1) downpipe for various rainfall intensities and roof catchment areas (A, B, C, D, E and F defined in Table 7.4.3b)

| Design rainfall intensity (mm/h) (as per Table 7.4.3d) | Roof catchment area per downpipe — 30 m ² | Roof catchment area per downpipe — 40 m ² | Roof catchment area per downpipe — 50 m ² | Roof catchment area per downpipe — 60 m ² | Roof catchment area per downpipe — 70 m ² |
|--|--|--|--|--|--|
| 120 mm/h | A or C | A or C | A or C | A or C | A or D |
| 140 mm/h | A or C | A or C | A or C | A or D | B or E |

Table 7.4.3b: Gutter sizes for various rainfall intensities

| Gutter type | Gutter description | Minimum cross-sectional area (mm ²) |
|-------------|---------------------------|---|
| A | Medium rectangular gutter | 6500 |
| B | Large rectangular gutter | 7900 |
| C | 115 mm D gutter | 5200 |

Table 7.4.3c: Downpipe selection for gutter types (A, B, C, D, E and F defined in Table 7.4.3b)

| Downpipe section | Gutter type A | Gutter type B | Gutter type C | Gutter type D | Gutter type E |
|------------------|---------------|---------------|---------------|---------------|---------------|
| 75 mm dia. | Yes | Yes | Yes | Yes | No |
| 100 mm x 50 mm | Yes | Yes | Yes | Yes | Yes |

Table 7.4.3d: 5 minute duration rainfall intensities

| State | Locality | Annual exceedance probability, 5% (mm/h) | Annual exceedance probability, 1% (mm/h) |
|-------|----------|--|--|
| TAS | Hobart | 86 | 120 |

Table 7.4.4a: Overflow volume for continuous measure (L/s/m)

| Design 5 minute duration rainfall intensity (mm/h) (from Table 7.4.3d) | Ridge to gutter length — 2 m | Ridge to gutter length — 4 m | Ridge to gutter length — 6 m | Ridge to gutter length — 8 m | Ridge to gutter length — 10 m | Ridge to gutter length — 12 m | Ridge to gutter length — 14 m | Ridge to gutter length — 16 m |
|--|------------------------------|------------------------------|------------------------------|------------------------------|-------------------------------|-------------------------------|-------------------------------|-------------------------------|
| 150 mm/h | 0.08 L/s/m | 0.17 L/s/m | 0.25 L/s/m | 0.33 L/s/m | 0.42 L/s/m | 0.50 L/s/m | 0.58 L/s/m | 0.67 L/s/m |
| 175 mm/h | 0.10 L/s/m | 0.19 L/s/m | 0.29 L/s/m | 0.39 L/s/m | 0.49 L/s/m | 0.58 L/s/m | 0.68 L/s/m | 0.78 L/s/m |
| 200 mm/h | 0.11 L/s/m | 0.22 L/s/m | 0.33 L/s/m | 0.44 L/s/m | 0.56 L/s/m | 0.67 L/s/m | 0.78 L/s/m | 0.89 L/s/m |
| 225 mm/h | 0.13 L/s/m | 0.25 L/s/m | 0.38 L/s/m | 0.50 L/s/m | 0.63 L/s/m | 0.75 L/s/m | 0.88 L/s/m | 1.0 L/s/m |
| 250 mm/h | 0.14 L/s/m | 0.28 L/s/m | 0.42 L/s/m | 0.56 L/s/m | 0.69 L/s/m | 0.83 L/s/m | 0.97 L/s/m | 1.1 L/s/m |

7.4.7 Acceptable dedicated overflow measure per downpipe

[2019: Table 3.5.3.4b]

- For an end-stop weir with—
 - a minimum clear width of 100 mm; and
 - the weir edge installed a minimum 25 mm below the top of the fascia,

the acceptable overflow is 0.5 L/s constructed in accordance with Figure 7.4.7a.
- An end-stop weir is not suitable where the end-stop abuts a wall.
- For an inverted nozzle installed within 500 mm of a gutter high point with—
 - a minimum nozzle size of 100 mm x 50 mm positioned lengthways in the gutter; and
 - the top of the nozzle installed a minimum of 25 mm below the top of the fascia,

the acceptable overflow is 1.2 L/s constructed in accordance with Figure 7.4.7b.
- For a front face weir with—
 - a minimum clear width of 200 mm; and
 - a minimum clear height of 20 mm; and
 - the weir edge installed a minimum of 25 mm below the top of the fascia,

the acceptable overflow capacity is 1.0 L/s constructed in accordance with Figure 7.4.7c.
- For a rainhead with—
 - a 75 mm diameter hole in the outward face of the rainhead; and
 - the centreline of the hole positioned 100 mm below the top of the fascia,

7.4.6 Acceptable continuous overflow measure

[2019: Table 3.5.3.4a]

- For a front face slotted gutter with—
 - a minimum slot opening area of 1200 mm² per metre of gutter; and
 - the lower edge of the slots installed a minimum of 25 mm below the top of the fascia,

the acceptable overflow capacity must be 0.5 L/s/m, constructed in accordance with Figure 7.4.6a.
- For a controlled back gap with—
 - a permanent minimum 10 mm spacer installed between the gutter back and the fascia; and
 - one spacer per bracket, with the spacer not more than 50 mm wide; and
 - the back of the gutter installed a minimum of 10 mm below the top of the fascia,

the acceptable overflow capacity must be 1.5 L/s/m, constructed in accordance with Figure 7.4.6b.
- For the controlled back gap option, the spacer can be a proprietary clip or bracket that provides the required offset of the gutter from the fascia.
- For controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity is 1.5 L/s/m constructed in accordance with Figure 7.4.6c.

7.4.6

Roof and wall cladding

Figure 7.4.6b: Construction of controlled back gap

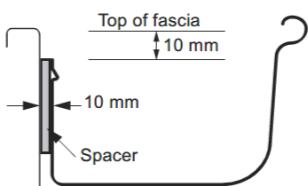


Figure 7.4.6c: Construction of controlled front bead height

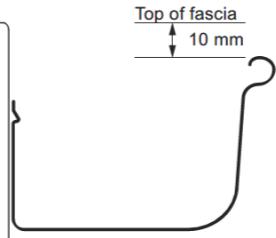
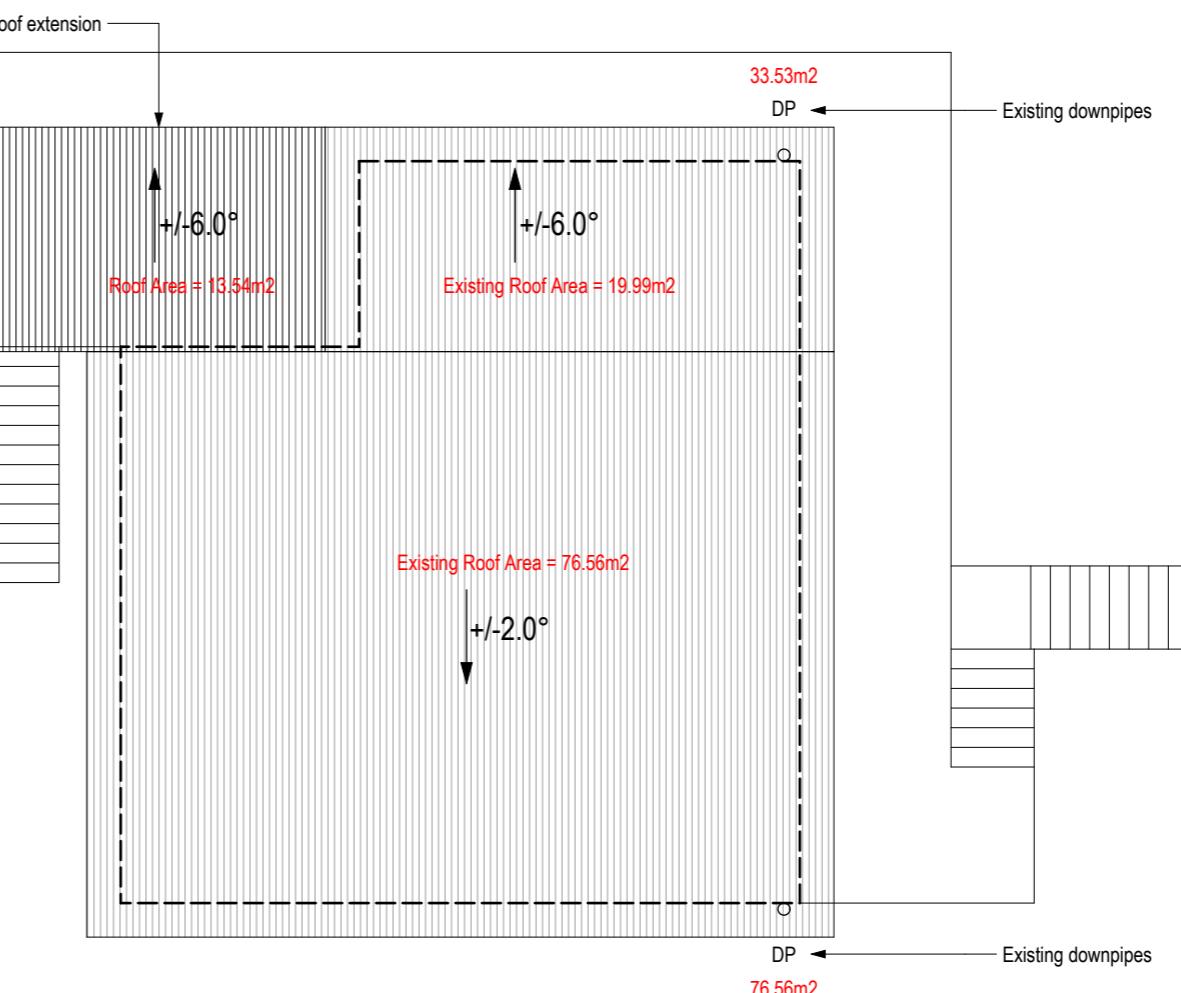


Figure Notes
Front bead of gutter to be a minimum of 10 mm below the top of the fascia.

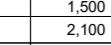
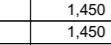
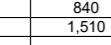
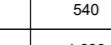
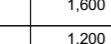
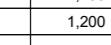
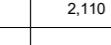
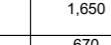
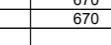
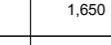
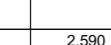
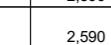


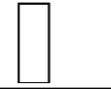
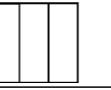
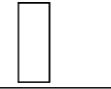
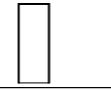
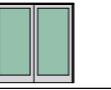
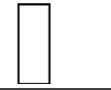
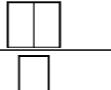
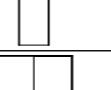
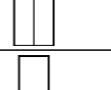
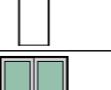
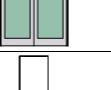
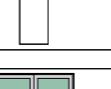
Amendments

Date _____ By _____

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Window & Door Schedule

| Window List | | | | | | | | |
|-------------|---|--------|-------|-------------|----------|-----------|----------------|-------|
| ID | 3D Front View | Height | Width | Head Height | Type | Frame | Glazing | Notes |
| W01 |  | 450 | 1,500 | 2,200 | Top Hung | Aluminium | Clear Double | |
| W02 |  | 600 | 2,100 | 2,200 | Top Hung | Aluminium | Clear Double | |
| WE1 |  | 520 | 1,450 | 2,030 | Top Hung | Aluminium | Clear Single | |
| WE2 |  | 520 | 1,450 | 2,030 | Top Hung | Aluminium | Clear Single | |
| WE3 |  | 520 | 1,450 | 2,030 | Top Hung | Aluminium | Clear Single | |
| WE4 |  | 520 | 1,450 | 2,030 | Top Hung | Aluminium | Clear Single | |
| WE5 |  | 430 | 840 | 2,010 | Top Hung | Aluminium | Obscure Single | |
| WE6 |  | 430 | 1,510 | 2,010 | Top Hung | Aluminium | Obscure Single | |
| WE7 |  | 900 | 540 | 1,830 | Top Hung | Aluminium | Clear Single | |
| WE8 |  | 950 | 1,600 | 1,890 | Sliding | Aluminium | Clear Single | |
| WE9 |  | 600 | 1,200 | 1,970 | Fixed | Aluminium | Clear Single | |
| WE10 |  | 600 | 1,200 | 1,970 | Fixed | Aluminium | Clear Single | |
| WE11 |  | 850 | 2,110 | 2,000 | Top Hung | Aluminium | Clear Single | |
| WE12 |  | 1,250 | 1,650 | 2,000 | Top Hung | Aluminium | Clear Single | |
| WE13 |  | 450 | 670 | 2,000 | Sliding | Aluminium | Clear Single | |
| WE14 |  | 450 | 670 | 2,000 | Sliding | Aluminium | Clear Single | |
| WE15 |  | 1,250 | 1,650 | 2,000 | Top Hung | Aluminium | Clear Single | |
| WE16 |  | 1,935 | 935 | 2,055 | Sliding | Aluminium | Clear Single | |
| WE17 |  | 500 | 2,590 | 620 | Fixed | Aluminium | Clear Single | |
| WE17 |  | 1,435 | 2,590 | 2,055 | Sliding | Aluminium | Clear Single | |

| Door List | | | | | | | |
|-----------|---|--------|-------|-------------|---------|-----------|--------------|
| ID | 3D Front View | Height | Width | Head Height | Type | Frame | Glazing |
| D01 |  | 2,100 | 820 | 2,100 | | | |
| D02 |  | 2,100 | 2,340 | 2,100 | Sliding | | |
| D03 |  | 2,100 | 820 | 2,100 | | | |
| D04 |  | 2,100 | 820 | 2,100 | | | |
| D05 |  | 2,100 | 2,100 | 2,100 | Sliding | Aluminium | Clear Double |
| DE1 |  | 2,100 | 840 | 2,100 | | | |
| DE2 |  | 1,200 | 1,400 | 1,200 | | | |
| DE3 |  | 2,100 | 810 | 2,100 | | | |
| DE4 |  | 2,100 | 2,040 | 2,100 | | | |
| DE5 |  | 2,100 | 810 | 2,100 | | | |
| DE6 |  | 2,100 | 1,070 | 2,100 | | | |
| DE7 |  | 2,100 | 810 | 2,100 | | | |
| DE8 |  | 2,100 | 1,800 | 2,100 | Sliding | Aluminium | Clear Single |
| DE9 |  | 2,100 | 750 | 2,100 | | | |
| DE10 |  | 2,100 | 750 | 2,100 | | | |
| DE11 |  | 2,100 | 750 | 2,100 | | | |
| DE12 | | 2,100 | 1,190 | 2,100 | | | |
| DE13 |  | 2,100 | 2,110 | 2,100 | Sliding | Aluminium | Clear Single |

| Amendments | |
|------------|----|
| Date | By |
| | |

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.