



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **70 & 72 Kunzea Circuit, Coles Bay**
CT 179042/4 & CT 179042/5

PROPOSAL: **Convenience Store**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer.

Representations must be received before midnight on 24 June 2026

APPLICANT: **Jeremy Edward Meadowcroft**

DATE: **16/12/2025**

APPLICATION NO: **DA 2025 / 227**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Electrical and Process Control		
Contact person: (if different from applicant)	Jeremy Meadowcroft		
Address:	24 Harold street		
Suburb:	Coles Bay	Post Code:	7215
Email:	epchobart@gmail.com	Phone: / Mobile:	0418126024
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	70 and 72 Kunzea cct		
Suburb:	Coles Bay	Post Code:	7215
Size of site: (m ² or Ha)	1578		
Certificate of Title(s):	179042-4 179042-5		
Current use of site:	VACANT LAND		



General Application Details *Complete for All Applications*

Description of proposed use or development:	Convenience Store
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No <input checked="" type="checkbox"/>

For all Non-Residential Applications

Hours of Operation	7.30am to 8pm
Number of Employees	8
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.



Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature: 		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.



Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
179042		5
EDITION	DATE OF ISSUE	
3	26-Feb-2024	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN
Lot 5 on Sealed Plan 179042
Derivation : Part of 665 Acres Gtd. to S W Roberts and Johnson
Sinclair
Prior CT 177640/302

SCHEDULE 1

N149386 TRANSFER to ELECTRICAL & PROCESS CONTROL PTY LTD
Registered 26-Feb-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP179042 EASEMENTS in Schedule of Easements
SP179042 COVENANTS in Schedule of Easements
SP179042 FENCING PROVISION in Schedule of Easements
SP179042 SEWERAGE AND/OR DRAINAGE RESTRICTION
SP6472, SP175740, SP176017, SP176316, SP177086 & SP177640
FENCING PROVISION in Schedule of Easements
SP107890, SP139308 & SP143490 FENCING COVENANT in Schedule of
Easements

SEARCH OF TORRENS TITLE

VOLUME 179042	FOLIO 4
EDITION 2	DATE OF ISSUE 11-Mar-2021

SEARCH DATE : 16-Feb-2026

SEARCH TIME : 09.33 am

DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN
 Lot 4 on Sealed Plan [179042](#)
 Derivation : Part of 665 Acres Gtd. to S W Roberts and Johnson
 Sinclair
 Prior CT [177640/302](#)

SCHEDULE 1

[M869267](#) TRANSFER to ELECTRICAL & PROCESS CONTROL PTY LTD
 Registered 11-Mar-2021 at noon

SCHEDULE 2

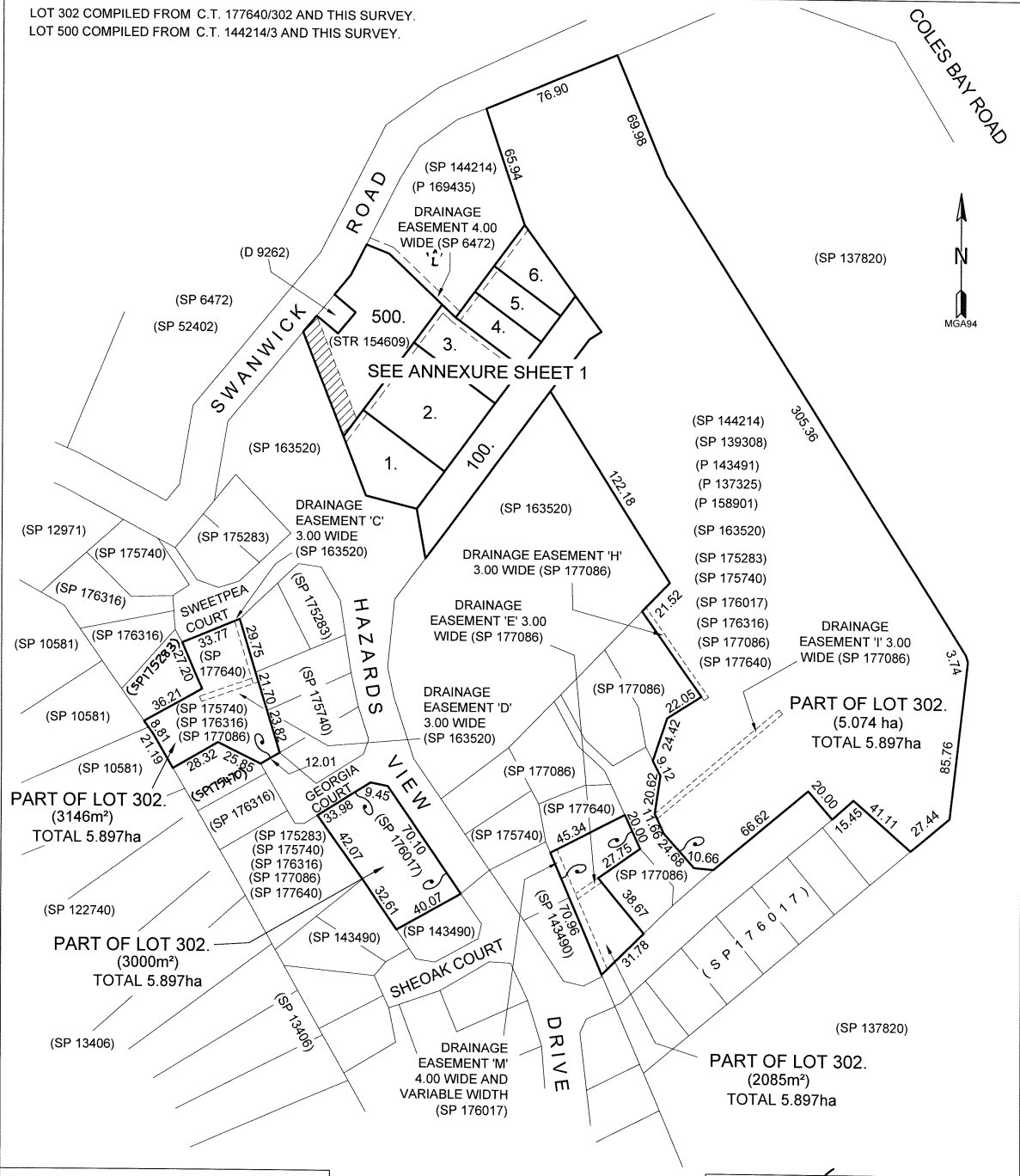
Reservations and conditions in the Crown Grant if any
[SP179042](#) EASEMENTS in Schedule of Easements
[SP179042](#) COVENANTS in Schedule of Easements
[SP179042](#) FENCING PROVISION in Schedule of Easements
[SP179042](#) SEWERAGE AND/OR DRAINAGE RESTRICTION
[SP6472](#), [SP175740](#), [SP176017](#), [SP176316](#), [SP177086](#) & [SP177640](#)
 FENCING PROVISION in Schedule of Easements
[SP107890](#), [SP139308](#) & [SP143490](#) FENCING COVENANT in Schedule of
 Easements
[C434769](#) AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 19-May-2003 at noon
[E153042](#) AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 26-Oct-2018 at noon
[E166139](#) AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 05-June-2019 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

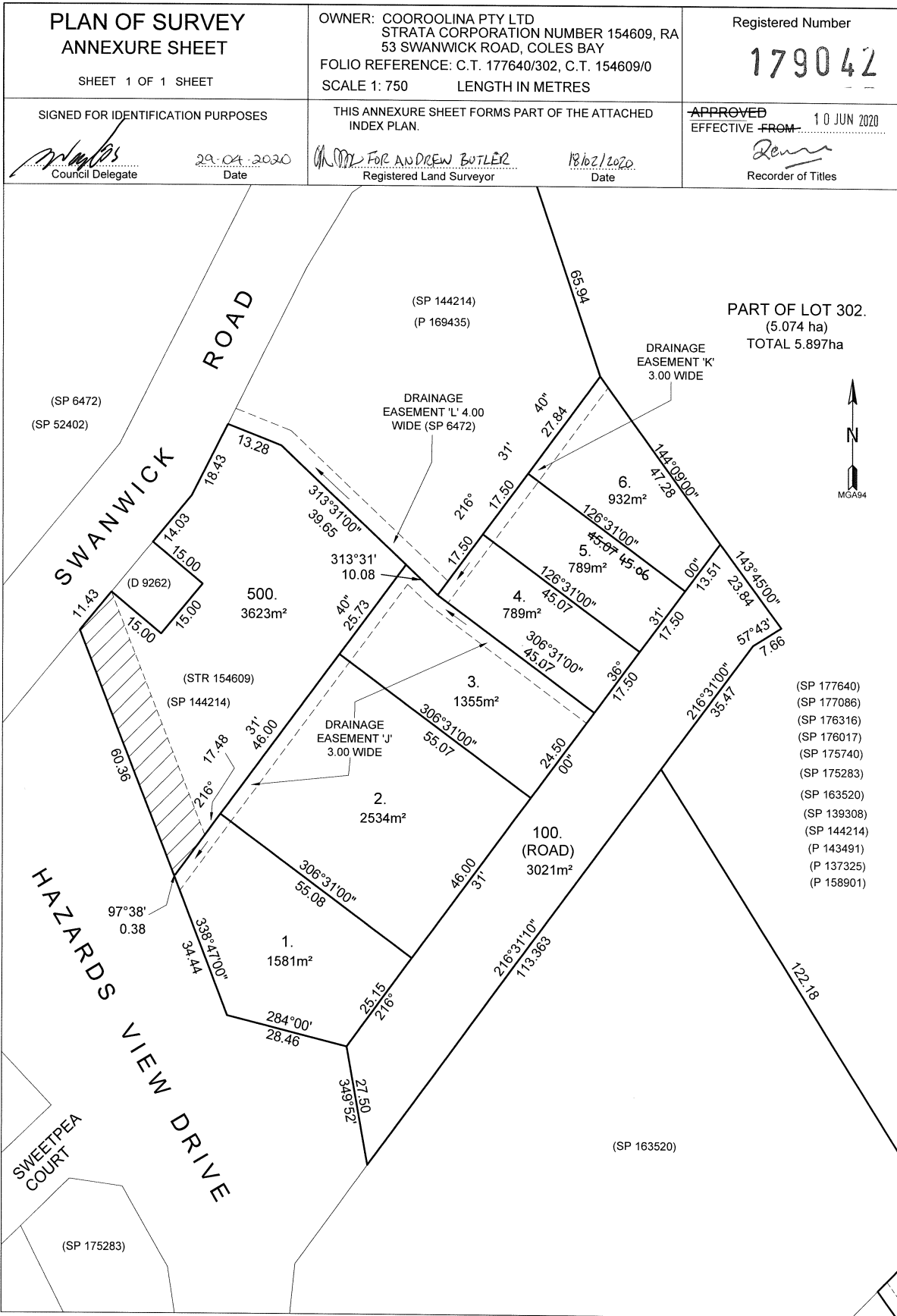
OWNER: COOROOLINA PTY LTD STRATA CORPORATION NUMBER 154609, RA 53 SWANWICK ROAD, COLES BAY FOLIO REFERENCE: C.T. 177640/302, C.T. 154609/0		PLAN OF SURVEY GLAMORGAN - MEREDITH EAST COAST SURVEYING		REGISTERED NUMBER SP179042
GRANTEE: PART OF 665 ACRES GTD. TO S.W. ROBERTS AND JOHNSON SINCLAIR				APPROVED EFFECTIVE FROM 10 JUN 2020 <i>Renner</i> Recorder of Titles
BY SURVEYOR: ANDREW JOHN BUTLER LOCATION: Parish of MEREDITH, Land District of GLAMORGAN SCALE 1: 2000 LENGTHS IN METRES		LAST PLAN No. S.P. 177640, STR 154609	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
MAPSHEET MUNICIPAL CODE No. (6033-11) 112	LAST UPI No			

LOT 302 COMPILED FROM C.T. 177640/302 AND THIS SURVEY.
LOT 500 COMPILED FROM C.T. 144214/3 AND THIS SURVEY.



Mr. A. J. Butler
ANDREW BUTLER
REGISTERED LAND SURVEYOR
DATE 18/02/2020

M. Roberts
COUNCIL DELEGATE
DATE 29.04.2020



PROPOSED CONVENIENCE STORE

LOTS 4 & 5 KUNZEA CIRCUIT COLES BAY 7215

Title:	FOLIO PLAN 179042 LOTS 4 & 5 TO BE CONSOLIDATED
Consolidated Title Area	1578m ²
Floor area	477m ²
Roof area	498m ²

DRAWING SCHEDULE PLANNING APPROVAL

DRAWN BY BRENDEN SULZBERGER LICENCE No. CC812I

250806-DA1 REV B	COVER PAGE & DRAWING SCHEDULE
250806-DA2 REV B	SITE PLAN - SETOUT + PARKING
250806-DA3 REV B	SITE PLAN - PLUMBING
250806-DA4 REV A	FLOOR PLAN
250806-DA5 REV A	ROOF PLAN
250806-DA6 REV B	ELEVATIONS & ENTRY SIGN
250806-DA7 REV A	ELEVATIONS

B	3-6-26	REISSUE FOR DA
A	15-5-26	TITLE INFORMATION
REV	DATE	DESCRIPTION

**COVER PAGE
& DRAWING
SCHEDULE**

**PROPOSED CONVENIENCE STORE
LOTS 4 & 5 KUNZEA CIRCUIT
COLES BAY**

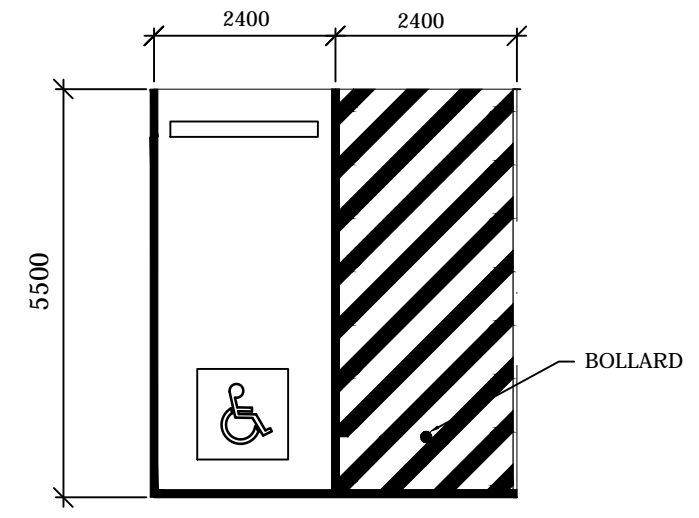
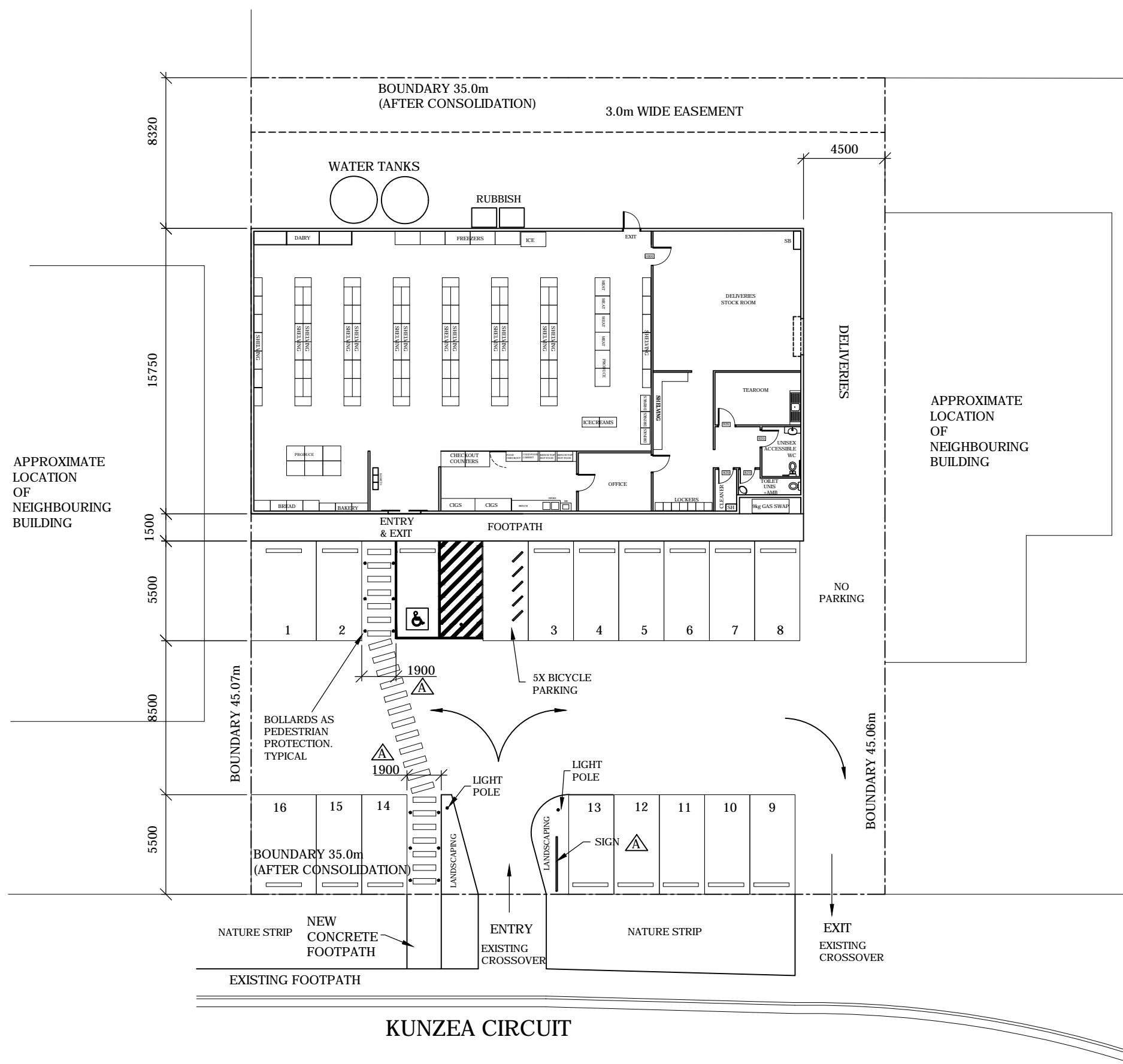
GOWLAND DRAFTING

TELEPHONE: 6343 0282
EMAIL: info@gowlanddrafting.com.au

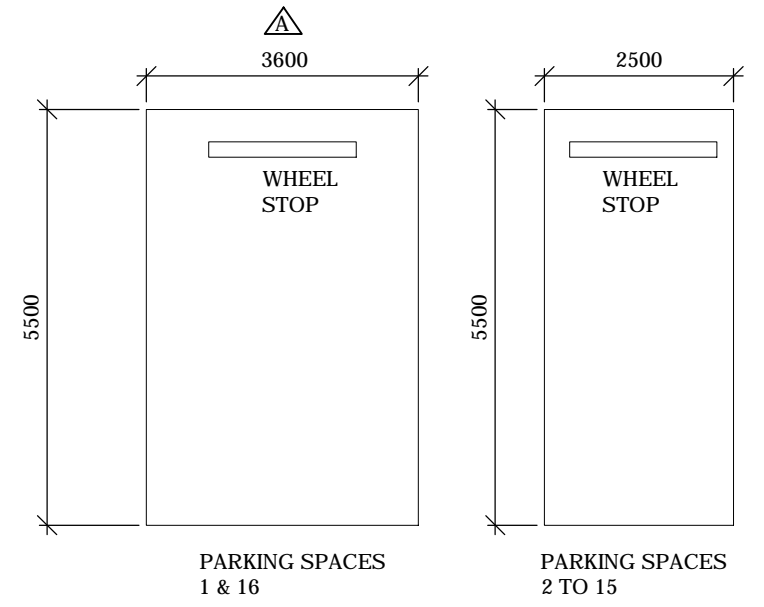
ABN 16 102 865 350

BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	NTS @ A3	
DRAWING NO.	250806-DA1	B



ACCESSIBLE PARKING SETOUT
SCALE 1:100



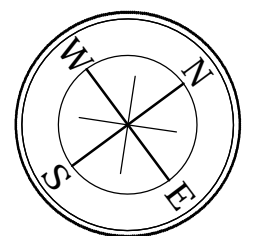
PARKING SETOUT
SCALE 1:100

SITE PLAN - SETOUT & PARKING
SCALE 1:100

B	3-6-26	REISSUE FOR DA
A	15-5-26	TITLE INFORMATION, PEDESTRIAN ACCESS WIDTH, CARPARKS 1 & 16, SIGN AT ENTRY
REV	DATE	DESCRIPTION

**SITE PLAN
SETOUT &
PARKING**

**PROPOSED CONVENIENCE STORE
LOTS 4 & 5 KUNZEA CIRCUIT
COLES BAY**



GOWLAND DRAFTING

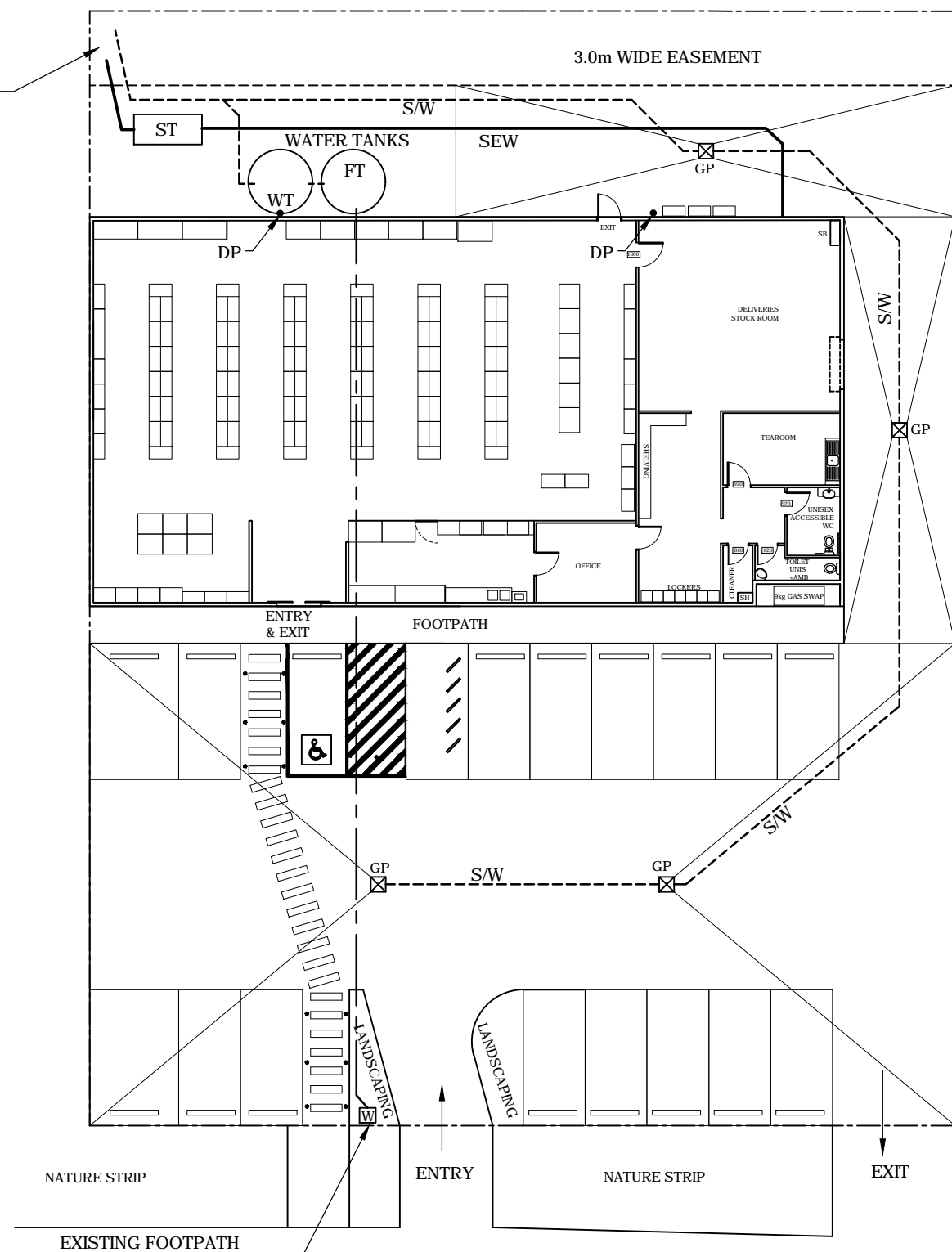
TELEPHONE: 6343 0282
EMAIL: info@gowlanddrafting.com.au

ABN 16 102 865 350

BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:250 @ A3	
DRAWING NO.	250806-DA2	B

SEWER AND STORMWATER LINES TO BE DRAINED TO CONNECTION POINTS



LEGEND
 WT = 10000 LITRE WATER STORAGE TANK TO BE USED AS WATER SOURCE FOR PREMISES.
 FT = 10000 LITRE WATER STORAGE TANK FOR FIRE FIGHTING WATER SUPPLY.
 DP = DOWNPIPE
 GP = GRATED PIT
 S/W = STORMWATER LINE
 SEW = SEWER LINE
 ST = SEPTIC TANK

REMOTE FIRE FIGHTING HYDRANT. WATER DRAWN FROM DEDICATED STORAGE TANK

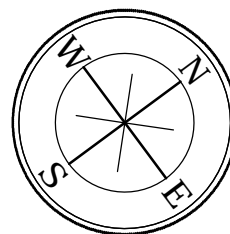
SITE PLAN - PLUMBING
 SCALE 1:100

KUNZEA CIRCUIT

B	3-6-26	REISSUE FOR DA
A	15-5-26	TITLE INFORMATION CARPARKS 1 & 16
REV	DATE	DESCRIPTION

**SITE PLAN
 PLUMBING**

**PROPOSED CONVENIENCE STORE
 LOTS 4 & 5 KUNZEA CIRCUIT
 COLES BAY**



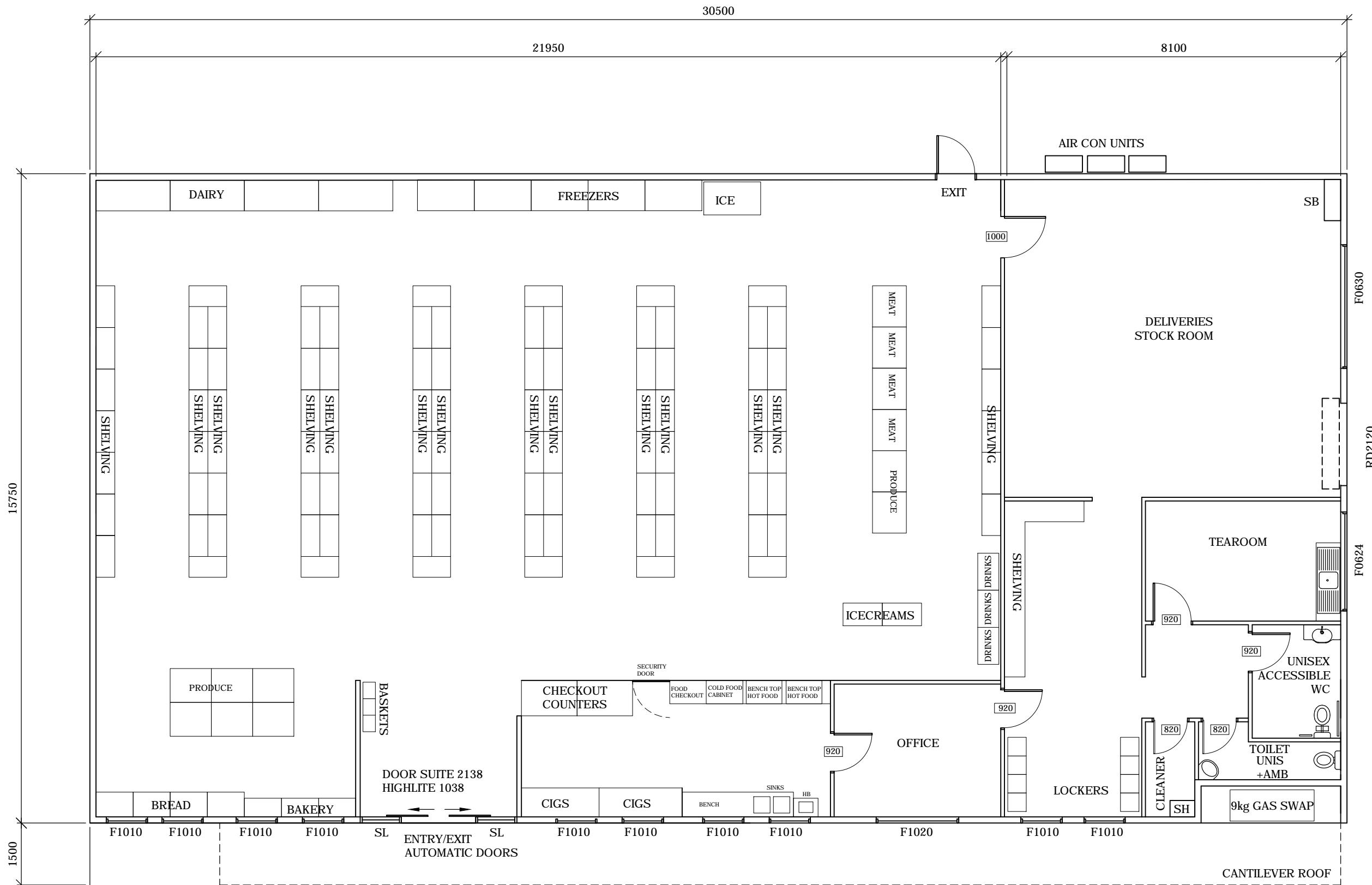
GOWLAND DRAFTING

TELEPHONE: 6343 0282
 EMAIL: info@gowlanddrafting.com.au

ABN 16 102 865 350

BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:250 @ A3	
DRAWING NO.	250806-DA3	B



FLOOR PLAN
SCALE 1:100

REV	DATE	DESCRIPTION
A	3-6-26	FRONT ELEVATION GLAZING

FLOOR PLAN

PROPOSED CONVENIENCE STORE
LOTS 4 & 5 KUNZEA CIRCUIT
COLES BAY

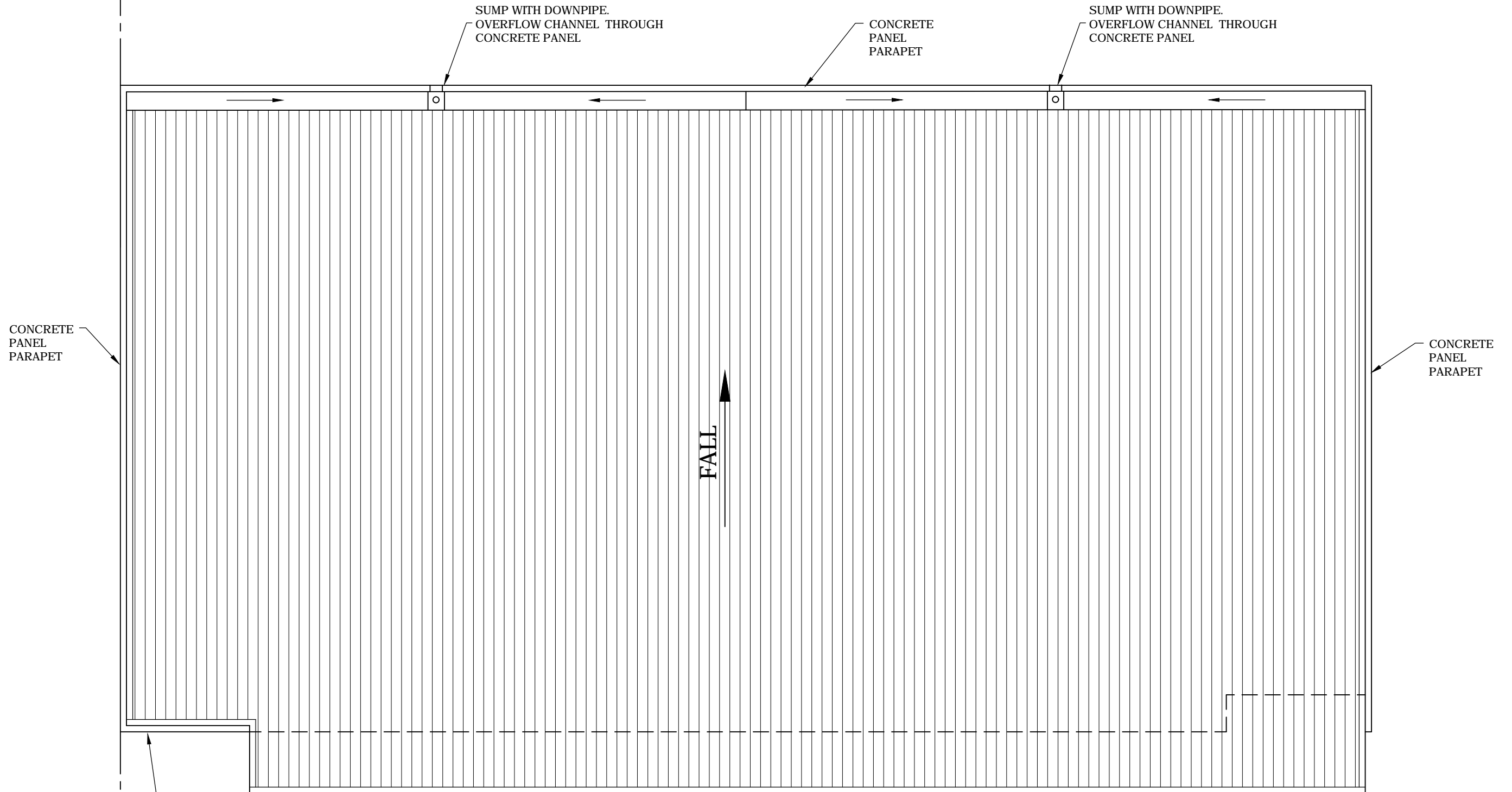
GOWLAND DRAFTING

TELEPHONE: 6343 0282
EMAIL: info@gowlanddrafting.com.au

ABN 16 102 865 350

BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:100 @ A3	
DRAWING NO.	250806-DA4	A



BOUNDARY
 3150
 CONCRETE PANEL PARAPET

ROOF PLAN

SCALE 1:100

KLIPOK ROOF SHEETING
 2° FALL

ROOF PLAN

PROPOSED CONVENIENCE STORE
 LOTS 4 & 5 KUNZEA CIRCUIT
 COLES BAY

GOWLAND DRAFTING

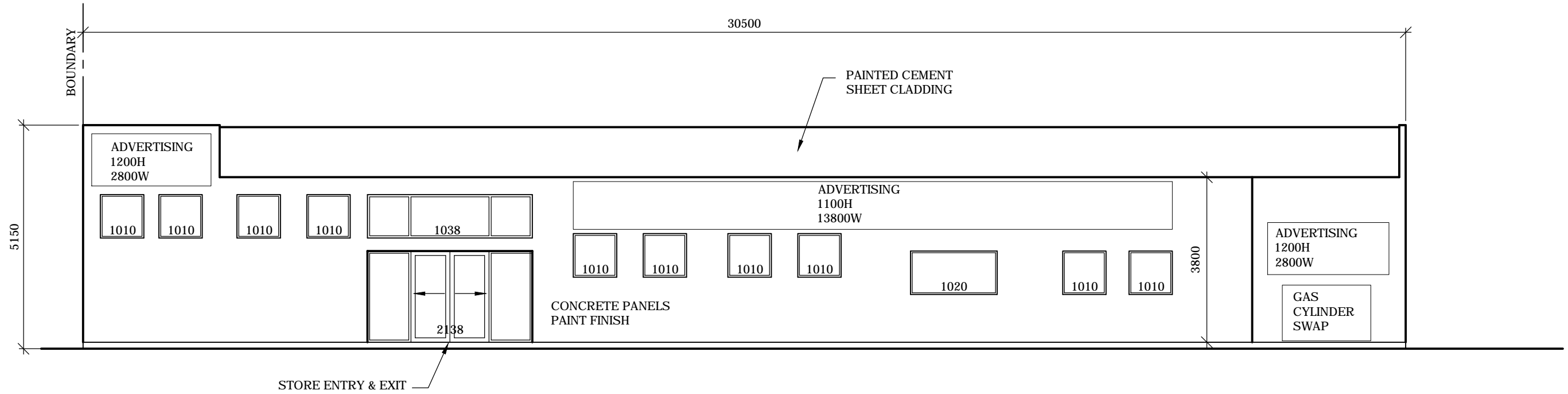
TELEPHONE: 6343 0282
 EMAIL: info@gowlanddrafting.com.au

ABN 16 102 865 350

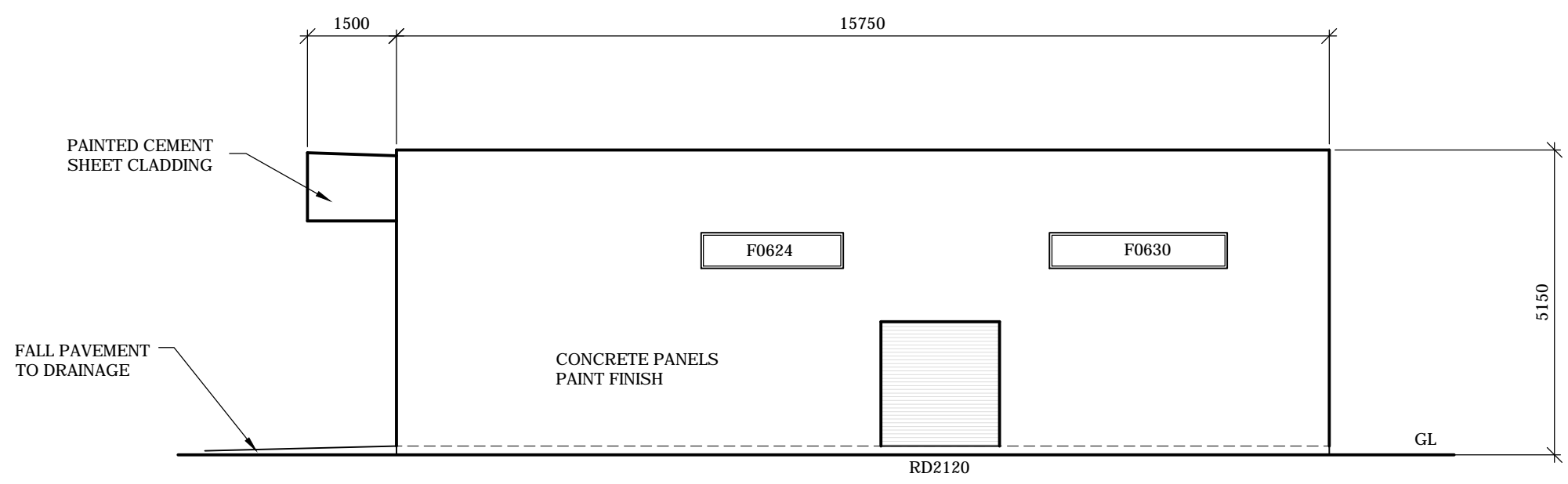
BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

REV	DATE	DESCRIPTION
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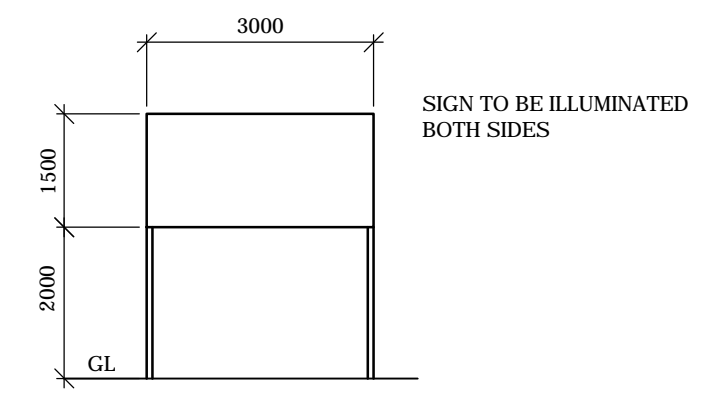
DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:100 @ A3	
DRAWING NO.	250806-DA5	A



SOUTH EAST ELEVATION (FRONT)
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100



SIGN AT CARPARK ENTRY
SCALE 1:100

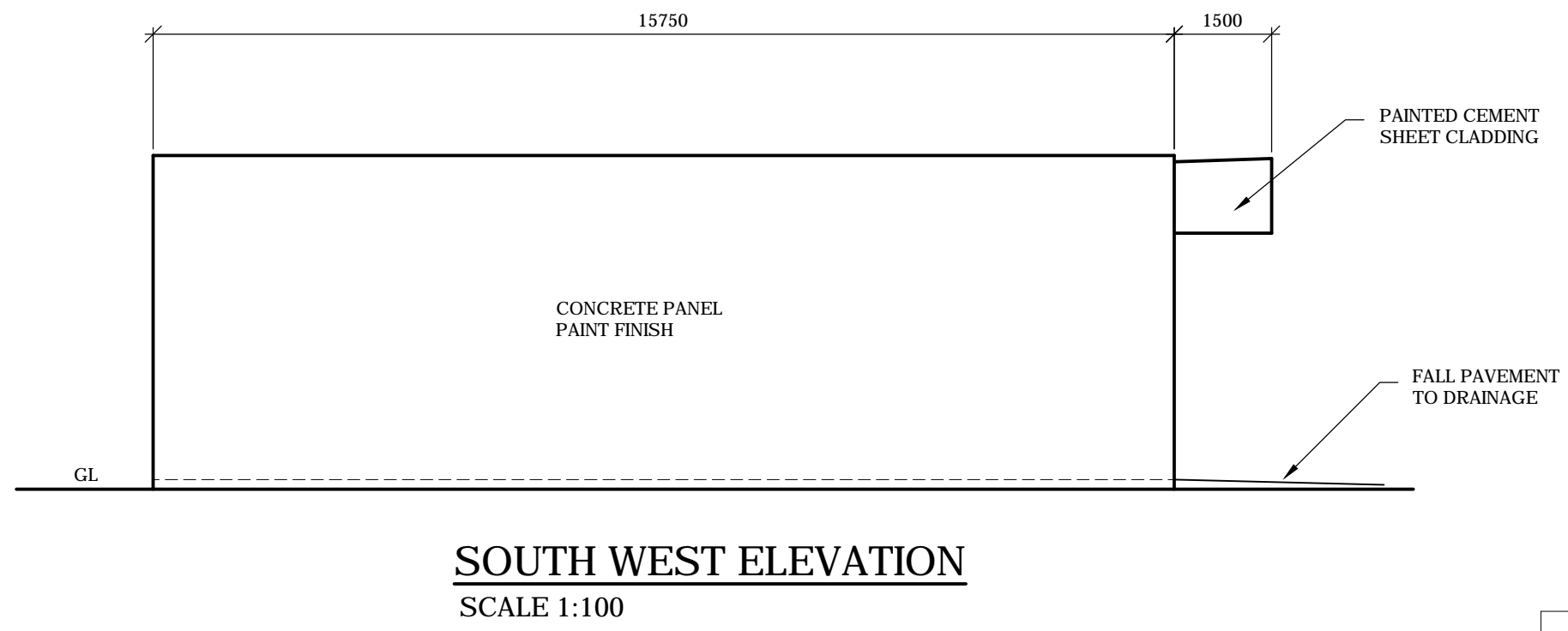
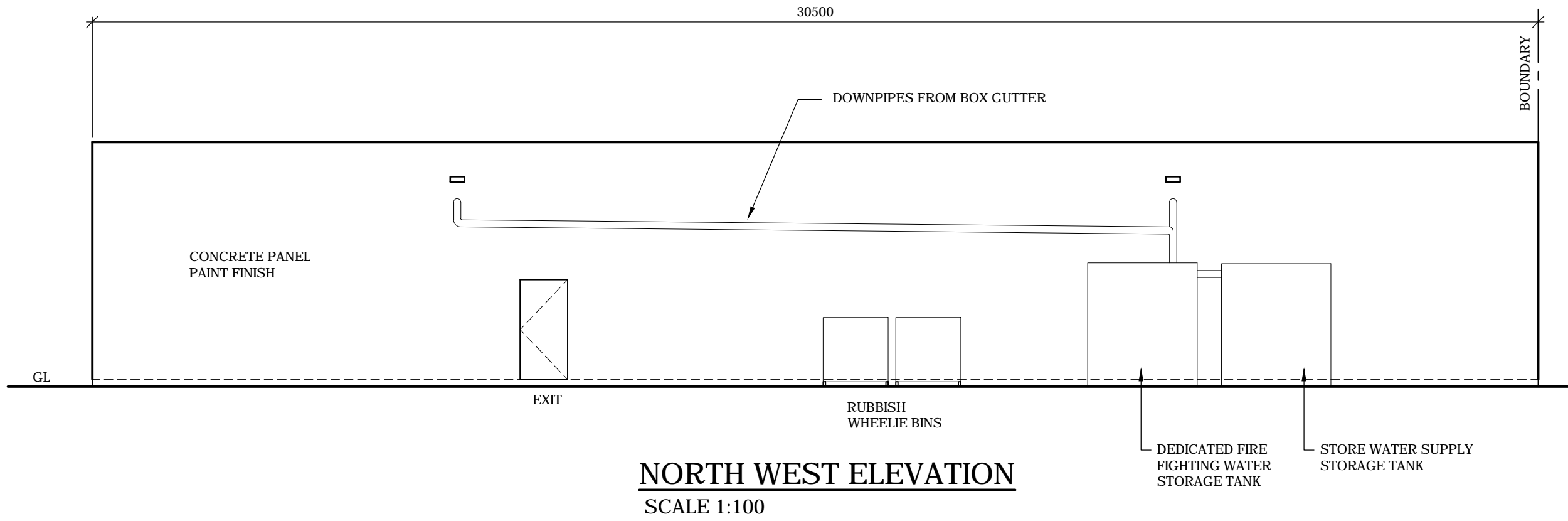
REV	DATE	DESCRIPTION
B	3-6-26	ENTRY DOOR, WINDOWS & SIGNAGE
A	15-5-26	SIGN ELEVATION ADDED

ELEVATIONS

PROPOSED CONVENIENCE STORE
LOTS 4 & 5 KUNZEA CIRCUIT
COLES BAY

GOWLAND DRAFTING
TELEPHONE: 6343 0282
EMAIL: info@gowlanddrafting.com.au
ABN 16 102 865 350
BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:100 @ A3	
DRAWING NO.	250806-DA6	B



REV	DATE	DESCRIPTION
A	3-6-26	REISSUE FOR DA

ELEVATIONS

PROPOSED CONVENIENCE STORE
LOTS 4 & 5 KUNZEA CIRCUIT
COLES BAY

ABN 16 102 865 350

GOWLAND DRAFTING

TELEPHONE: 6343 0282
EMAIL: info@gowlanddrafting.com.au

ABN 16 102 865 350

BUILDING DESIGN & ENGINEERING DRAFTING. RESIDENTIAL & COMMERCIAL

DRAWN	BRENDEN SULZBERGER	
LICENSE No.	CC812I	
DATE	8-12-25	
SCALE	1:100 @ A3	
DRAWING NO.	250806-DA7	A



25th May 2026

1 Cooper Crescent
Riverside TAS 7250
M: 0456 535 746
P: 03 6334 1868
E: Richard.burk@trafficandcivil.com.au

Mr Jeremy Meadowcroft
epchobart@gmail.com

Dear Jeremy,

TRAFFIC IMPACT STATEMENT FOR 70 -72 KUNZEA CIRCUIT, SWANWICK

This traffic impact statement assesses the proposed access in terms of traffic engineering principles, the Tasmanian Planning Scheme – Glamorgan Spring Bay and Department of State Growth (DSG) requirements including:

- review of available sight distances and the speed environment,
- consideration of property access requirements,
- consideration of traffic safety for all road users.

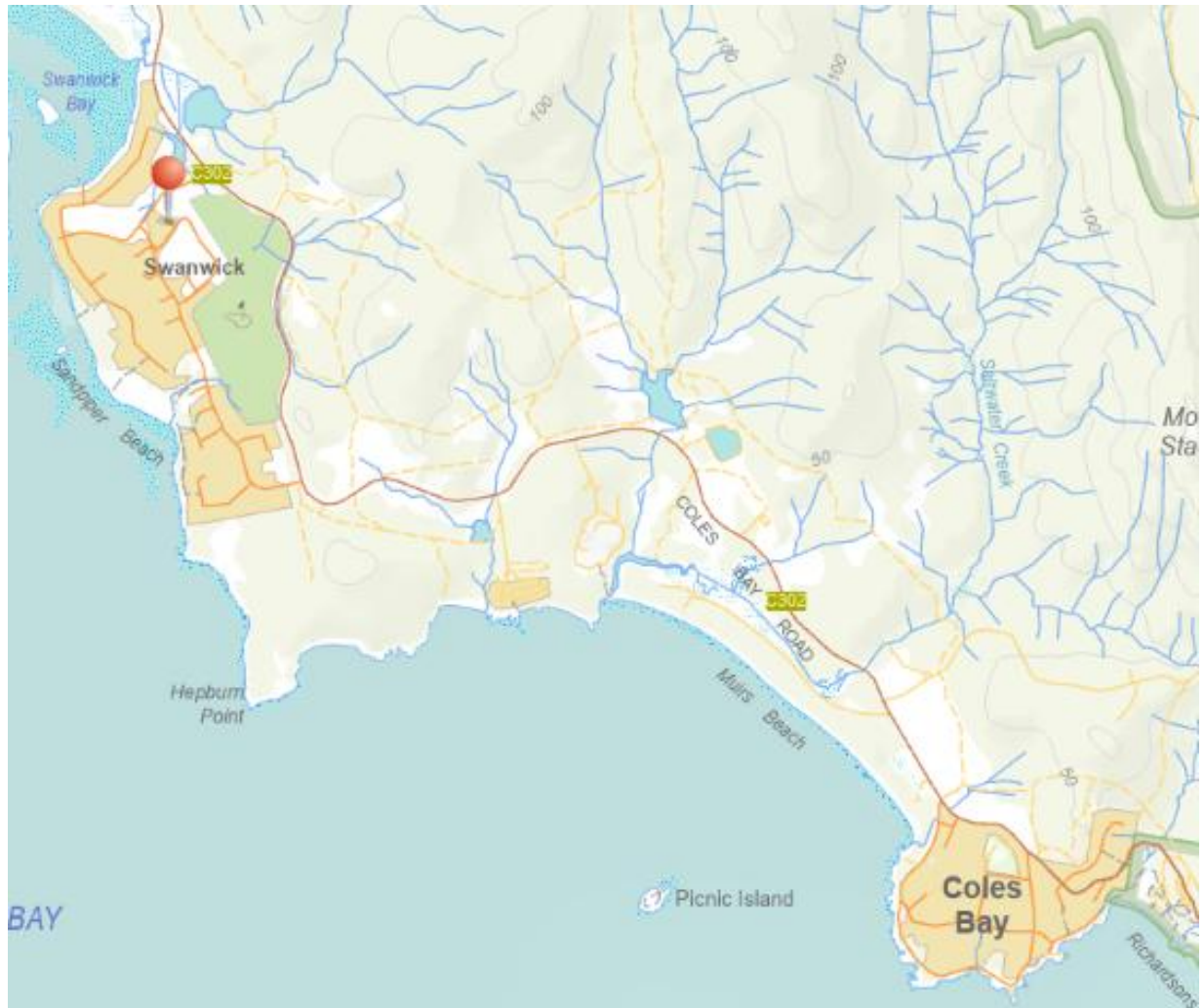


1. Background

1.1 Site Description

70 & 72 Kunzea Circuit, Swanwick is some 400m West of Coles Bay Road. The land consists of cleared blocks. Proposed access is via existing driveways. Figure 1 shows the property location.

Figure 1 – 70-72 Kunzea Circuit property location



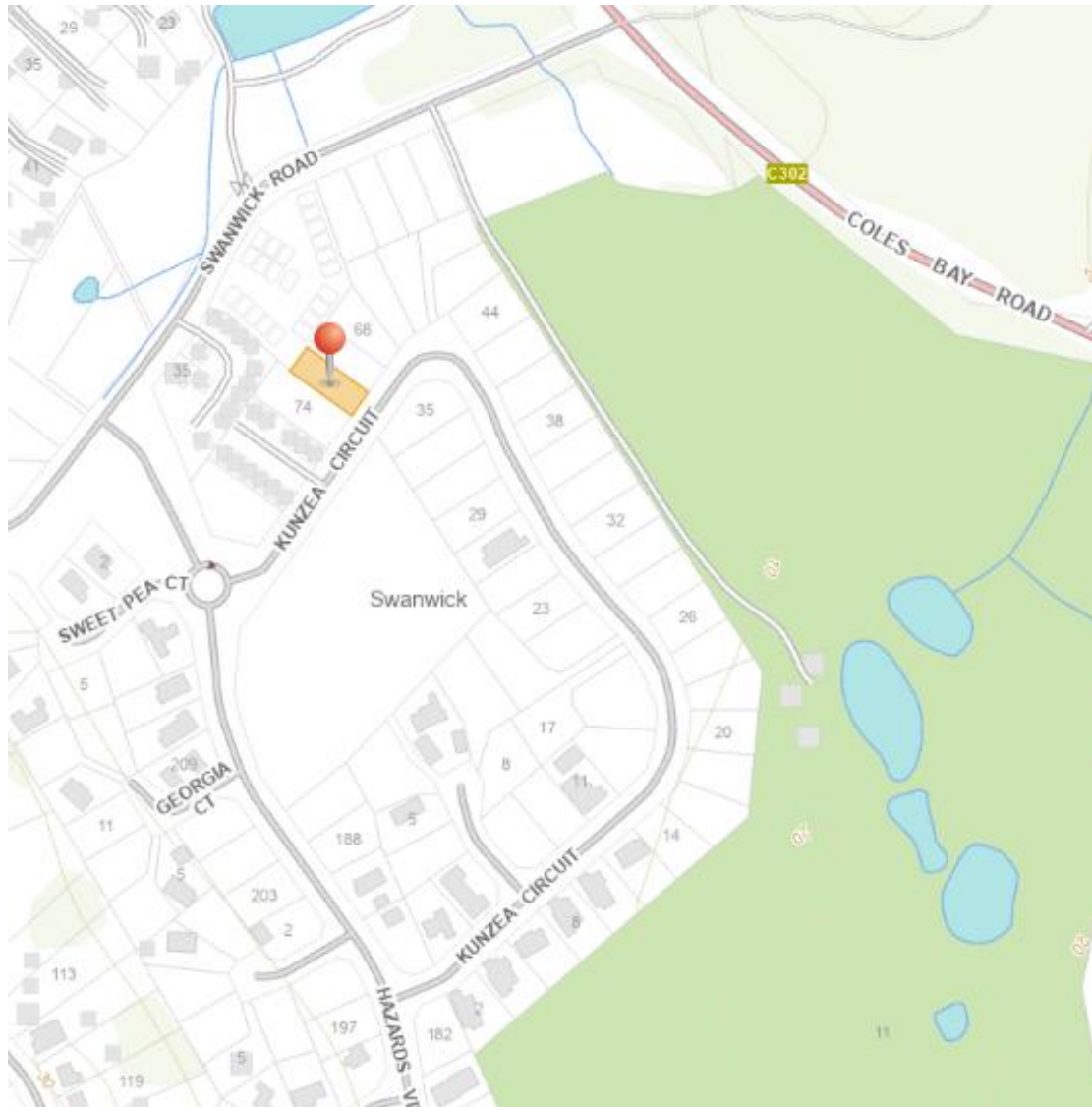
Source: *The List*, DPIPWE



1.2 Proposed Development

The proposal is for a 477m² convenience store. Figures 2 & 3 show the Council Road network and site. Figure 4 & 5 and Appendix A show the proposed plans.

Figure 2 – 70 & 72 Kunzea Circuit, Swanwick property location



Source: *The List*, DPIPWE

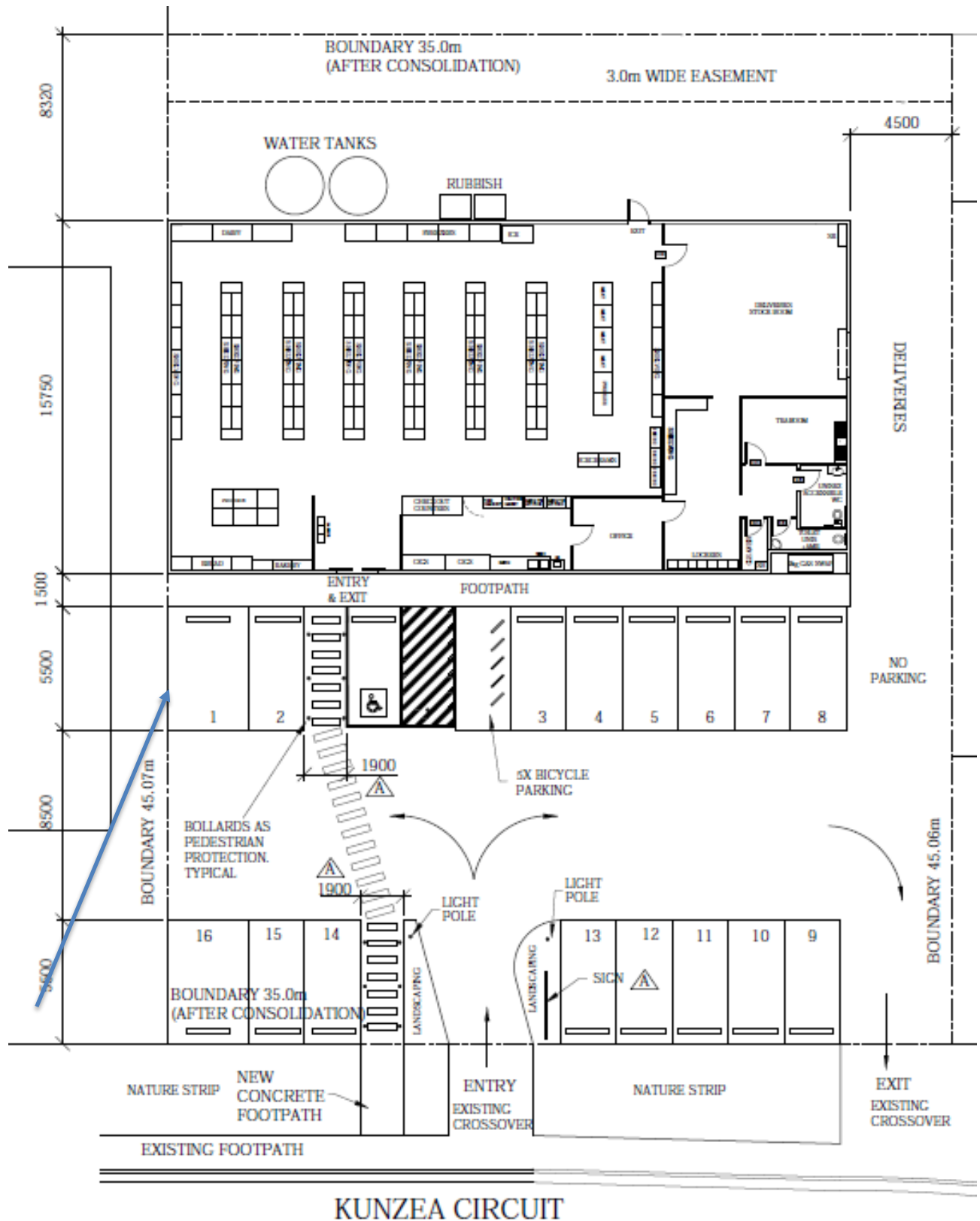


Figure 3 – Aerial view of 70 – 72 Kunzea Circuit, Swanwick



Source: The List, DPIPWE

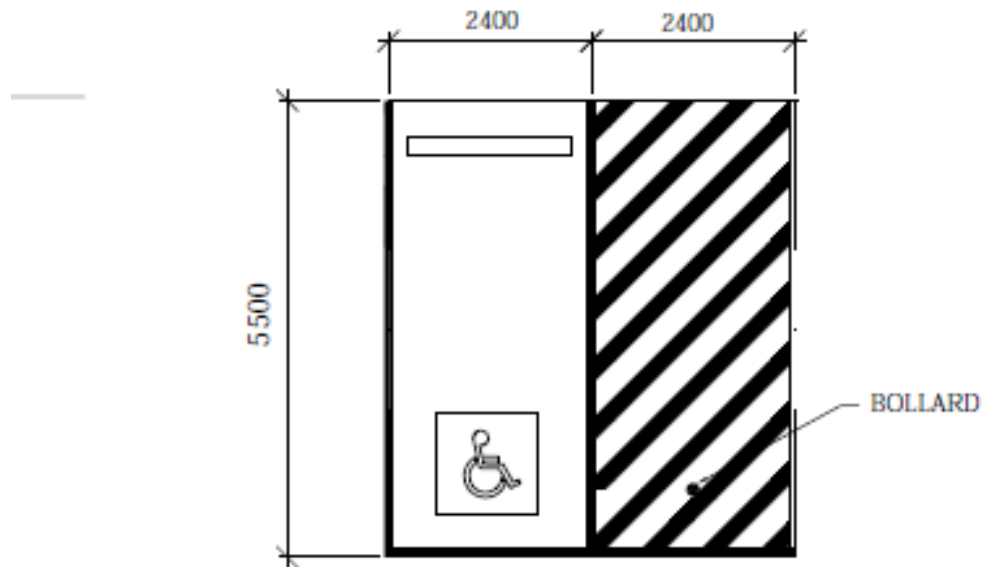
Figure 4 – Proposed Convenience Store (477m²) & carpark at 70 & 72 Kunzea Circuit



The proposed parking involves a blind aisle. According to AS/NZS 2890.1:2004 blind aisles should extend 1m past the parking space when on a boundary. Accordingly, spaces 1 & 16 are 3.6m wide.

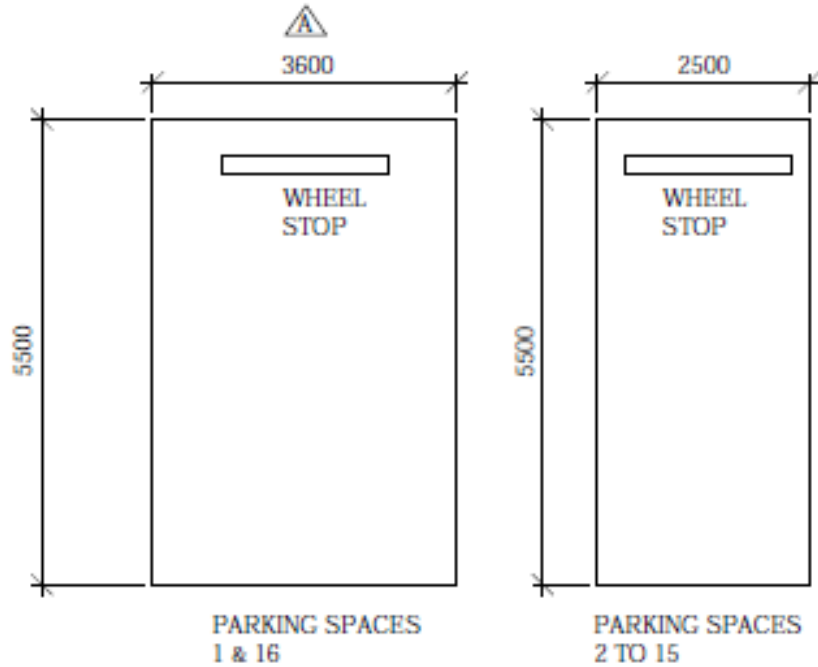


Figure 5 – Key car park dimensions.



ACCESSIBLE PARKING SETOUT

SCALE 1:100



PARKING SETOUT

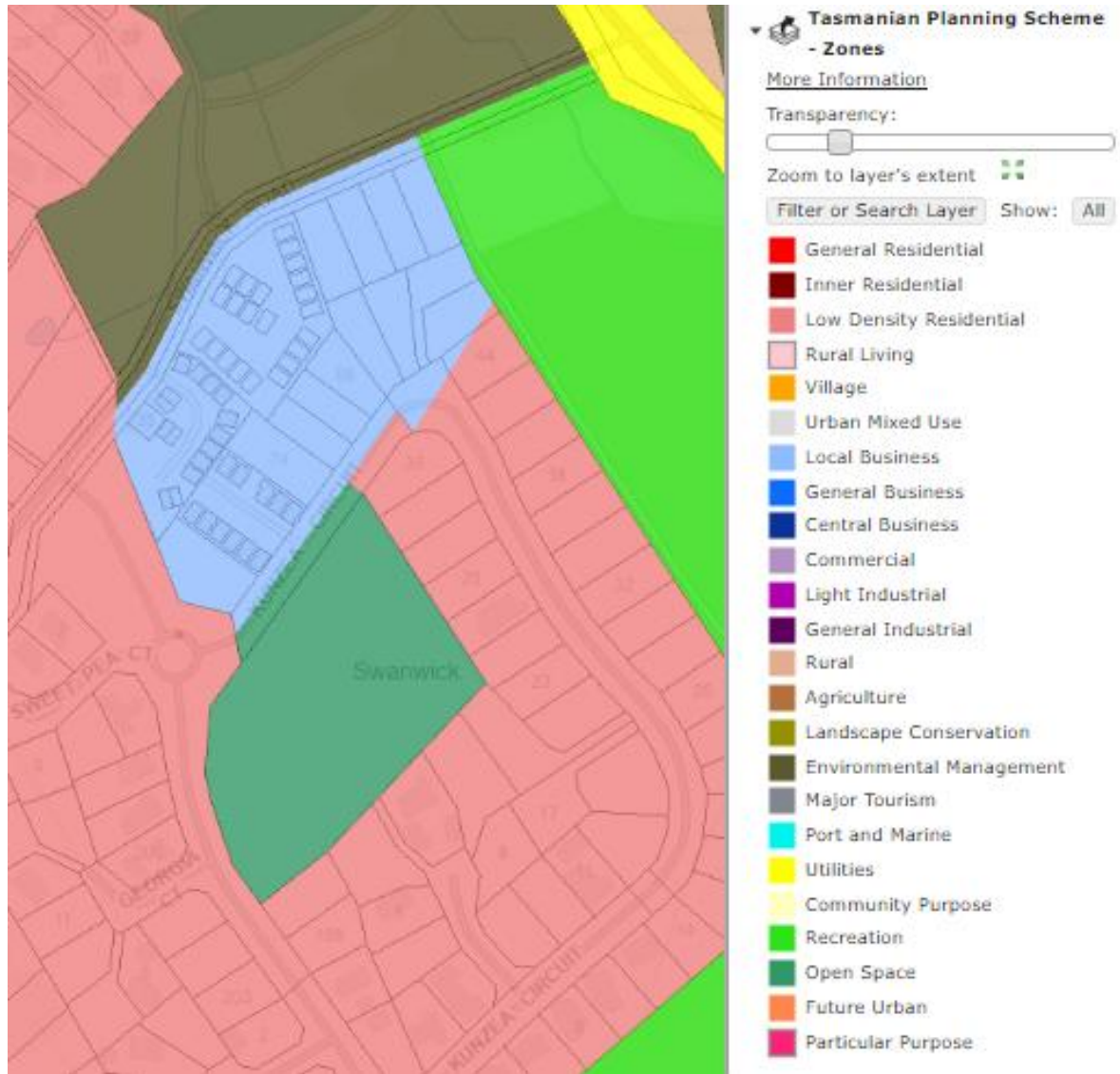
SCALE 1:100



1.3 Council Planning Scheme

Tasmanian Planning Scheme – Glamorgan Spring Bay is shown in Figure 6.

Figure 6 – The development site is zoned Local Business



Source: *The List*, DPIPWE

1.4 Council Road Network Owner Objectives

Glamorgan Spring Bay Council (GSBC) is the manager of Kunzea Circuit. GSBC objectives are to maintain traffic safety and transport efficiency.



2. Existing Conditions

2.1 Kunzea Circuit

Kunzea Circuit is a Residential Street in the Council Road Hierarchy. The sign posted Area Speed Limit is 50 km/h and the street is not part of the Tasmanian 26m B Double network, see Appendix B. The sealed road width is 8.9m wide from face to face of kerb with footpath one side.

2.2 Proposed access to 70 & 72 Kunzea Circuit

The access approaches are shown in Figures 7 - 14.

Figure 7 – Aerial view of accesses to 70 & 72 Kunzea Circuit



Limit fence height to 600mm to maintain sight line to 70 & 72 Kunzea Circuit driveways.

Source: *The List*, DPIPWE

Figure 8 – Eastern approach to properties





Figure 9 – Western approach to properties



Figure 10 – Elevation view of access to 70 Kunzea Circuit



Figure 11 – Elevation view of access to 72 Kunzea Circuit





Figure 12– Looking right along Kunzea Circuit from 72 Kunzea Circuit



**Sight distance
right is 100m.**

Figure 13– Looking left along Kunzea Circuit from 70 Kunzea Circuit



**Sight distance
left is 40m.**

Figure 14– Side view of accesses to 70 & 72 Kunzea Circuit





2.3 Traffic Activity

Kunzea Circuit (some 56 lots with 12 developed)

- Estimated AADT of 50 vpd (2026)
- Estimated AADT of 200 vpd (2036)

2.4 Traffic Generation

Existing 70 & 72 Kunzea Circuit

Estimated traffic generation for existing properties is:

- AM Peak: 2 vph
- PM Peak: 2 vph
- AADT: 12 vpd

Proposed Convenience Store

NSW Guide to Transport Impact Assessment 2024 has been referenced for traffic generation estimation purposes where relevant.

The proposal is to for a 477m² GFA Convenience Store. For small suburban shopping centres in the 0 – 1,000m² range for Gross Leasable Floor Area (GLFA) NSW guidelines traffic generation rates are:

- AM Peak - 0.192* GLFA
- PM Peak - 0.259 *GLFA
- AADT - 2.022*GLFA

Accordingly estimated traffic due to the proposal is:

- AM Peak: 92 vph
- PM Peak: 122 vph
- AADT: 964 vpd

Estimated change in traffic activity

Estimated traffic generation for existing property is:

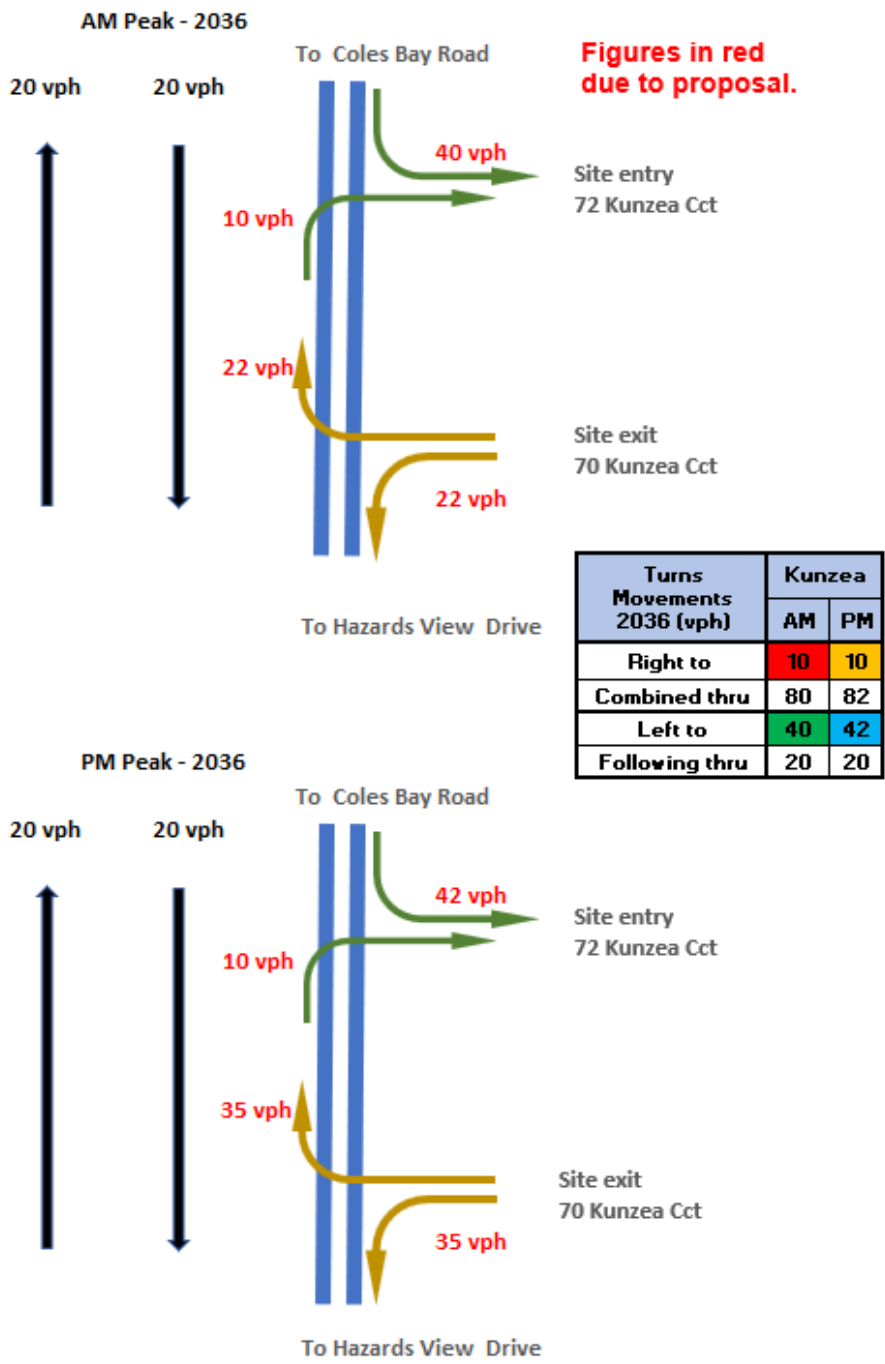
- AM Peak: 90 vph
- PM Peak: 120 vph
- AADT: 952 vpd

2.5 Traffic Assignment

Estimated traffic assignment 2036 for full development of the site, see Figure 15.



Figure 15 – 70 and 72 Kunzea Crt access 2036



2.6 Road Safety Review

From review of Kunzea Circuit approaches to the development site no traffic safety concerns were identified. The proposed access arrangements are considered suitable and safe for the proposed use and estimated traffic. Limiting the front fence height to 600mm along the road boundary at the bend in the road by 35 Kunzea Circuit is recommended to preserve forward sight distance for through traffic, see Figure 7.



2.7 Safe System Assessment

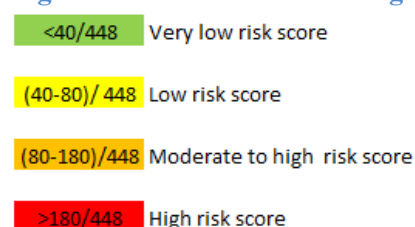
The Kunzea Circuit approaches to the proposed access have been assessed with the Austroads Safe System assessment framework. This framework involves consideration of exposure, likelihood and severity to yield a risk framework score. High risk crash types and vulnerable road user crash types are assessed for each site and aggregated to provide an overall crash risk. Crash risk is considered in terms of three components:

- Exposure (is low where low numbers of through and turning traffic) i.e. 1 out of 4
- Likelihood (is low where the infrastructure standard is high) i.e. 1 out of 4
- Severity (is low where the speed environment is low) i.e. 1 out of 4

The Austroads Safe System Assessment process enables the relative crash risk of an intersection or road link to be assessed. Road users are considered along with the most common crash types. The crash risk score is an indication of how well the infrastructure being assessed satisfies the *safe system objective which is for a forgiving road system where crashes do not result in death or serious injury.*

From safe system assessment, the Kunzea Circuit accesses were found to be well aligned with the safe system objective with a crash risk score of - 10/448. The score is very low because the situation is low speed with low traffic activity. See Figure 16 and Appendix C for assessment details.

Figure 16 – Austroads SSA alignment between crash score & risk



2.8 Sight Distance Assessment

The existing accesses satisfy sight distance criteria, see Figure 17.

Figure 17 – Sight Distance summary

Junction Major Rd - Minor Rd	Speed Limit (km/h)	Speed Environment (km/h)	Austroads	Current Provision	AS / NZS 2890.1	
			Road frontage sight distance			
			SISD (m)	Available		Minimum SSD
Left(m)	Right(m)					
70 Kunzea access	50	50	97	40	120	45
72 Kunzea access	50	50	97	60	100	45

Austroads SISD compliant

AS / NZS 2890.1 SSD compliant



2.9 Junction warrant

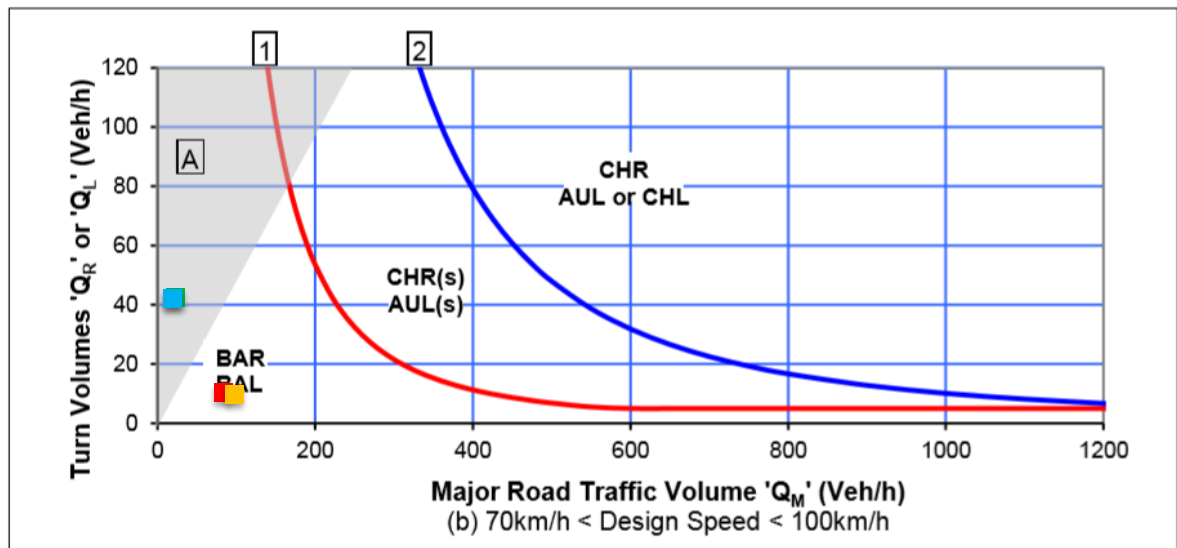
Junction layout requirements are based on Austroads Guidelines which take into account the standard of the road, speed limit, through & side road traffic i.e. Austroads Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings – 2020.

Existing 72 Kunzea Circuit / proposed site entry

Figure 18 shows that technically in accordance with Austroads junction warrants Basic Right (BAR) and Basic Left (BAL) turn facilities are the default standard.

However, as the through traffic on Kunzea Circuit is very low, the existing simple access layout is adequate for the situation.

Figure 18 – Austroads Warrant for 72 Kunzea Circuit site entry 2036.



Source: Austroads GTM Part 6-2020

Turns Movements 2036 (vph)	Kunzea	
	AM	PM
Right to	10	10
Combined thru	80	82
Left to	40	42
Following thru	20	20



2.10 Impacts on the environment and road users

The proposal will have negligible impact on road users provided the recommendations are implemented.

Environment

- No adverse environmental impacts are anticipated in terms of:
 - Noise, vibration, visual impact and residential amenity
 - Ecological Impacts, Heritage and Conservation
- Additional street lighting is not required.

Road users

- Public Transport – No impact.
- Delivery Vehicles - No impact.
- Pedestrians and Cyclists - No impact.



3. TPS – Glamorgan Spring Bay

3.1 Parking and Sustainable Transport Code C2

C2.5.1 Car parking numbers

Acceptable Solution A1: *The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:*

- (a) The site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash in lieu) must be in accordance with that plan,*
- (b) The site is contained within a parking precinct plan and subject to Clause C2.7,*
- (c) The site is subject to Clause C2.5.5; or*
- (d) It relates to an intensification of an existing use or development or a change of use where:*
 - i. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional onsite car parking is required; or*
 - ii. The number of onsite car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:*

$$N=A+(C-B)$$

N = Number of on-site car parking spaces required

A = Number of existing on-site car parking spaces

B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1

C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1

Table C2.1 required parking for convenience store – General Retail and Hire is 1 space / 30m² of floor area.

Accordingly, for a 477m² floor area 15 car parking spaces are required.

Proposal is to provide 16 car parking spaces, see Figure 4. **A1 is satisfied.**



C2.5.2 Bicycle parking numbers

Acceptable Solution A1: *Bicycle parking spaces must:*

- (a) Be provided on the site or within 50m of the site; and*
- (b) Be no less than the number specified in Table C2.1.*

Table C2.1 required parking for convenience store – General Retail and Hire is 1 space / 100m² of floor area. Accordingly, for a 477m² floor area 5 bicycle parking spaces are required. Proposal is to provide 5 bicycle parking spaces, see Figure 4. **A1 is satisfied.**

C2.5.3 Motorcycle parking numbers

Acceptable Solution A1: *The number of on-site motorcycle parking spaces for all uses must:*

- (a) Be no less than the number specified in Table C2.4. and*
- (b) if an existing use or development is extended or intensified, the number of on-site motorcycle parking spaces must be based on the proposed extension or intensification, provided the existing number of motorcycle spaces is maintained.*

There is no requirement for motorcycle parking spaces where there are less than 21 car parking spaces. **A1 is satisfied.**

C2.5.4 Loading Bays

Acceptable Solution A1: *A loading bay must be provided for uses with a floor area of more than 1000m² in a single occupancy.*

Not applicable as the proposed floor area is 477m².

C2.6.1 Construction of parking areas

Acceptable Solution A1: *All parking, access ways, manoeuvring and circulation spaces must:*

- (a) be constructed with a durable all-weather pavement,*
- (b) be drained to the public stormwater system, or contain stormwater on the site; and*
- (c) excluding all uses in the Rural Zone, Agricultural Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone, and Public Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.*

A sealed pavement is proposed for all parking areas. All trafficable areas will be drained to the public stormwater drainage system. **A1 is satisfied.**



C2.6.2 Design and layout of parking areas

Acceptable Solution A1.1: *Parking, accessways, manoeuvring and circulation spaces must All parking, access ways, manoeuvring and circulation spaces must either:*

(a) *comply with the following:*

- i. *have a gradient in accordance with Australian Standard AS 2890 Parking facilities.*
Satisfied.
- ii. *Provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces.* Satisfied. See Appendix D for turning template checks for:
 - Carpark – B99 Austroads car
 - Loading Bay – 8.8m rigid truck
- iii. *Have an access width not less than the requirements in Table C2.2.*

As 15 car parking spaces are required, the driveway width required for two-way flow is 4.5m for the first 7m from the road and 3m thereafter.

The proposal involves One way (4.0m) entry & exit (4.5m). Access width is satisfied.

- iv. *Have car parking space dimensions satisfying Table C2.3.*
14 spaces 2.5m wide and 2 spaces 3.6m wide and all 5.5m long 90-degree parking spaces are proposed with 8.5m of manoeuvring width, see Figure 5.

The proposed parking involves a blind aisle. According to AS/NZS 2890.1:2004 blind aisles should be extended 1m past the parking space when on a boundary. Accordingly, spaces 1 & 16 are 3.6m wide.

- v. *Have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces.*
Satisfied.
- vi. *Have a vertical clearance of not less than 2.1 metres above the parking surface.*
Satisfied.
- vii. *Excluding a single dwelling, be delineated by line marking or other clear physical means.* Satisfied.

(b) *comply with Australian Standard AS2890 – Parking Facilities Parts 1-6.* Satisfied.

A1.1 is satisfied.



Acceptable Solution A1.2

Parking spaces provided for use by persons with a disability must satisfy the following:

- (a) Be located as close as practical to the main entry point to the building. Satisfied.*
- (b) be incorporated into the overall car park design. Satisfied.*
- (c) be designed and constructed in accordance with Australian/ New Zealand Standard AS/NZS 2890.6-2009 Parking facilities - Off-street parking for people with disabilities.*

A1.2 is satisfied.

C2.6.3 Number of accesses for vehicles

Acceptable Solution A1: The number of accesses provided for each frontage must:

- (a) be no more than 1; or*
- (b) no more than the existing number of accesses whichever is greater.*

The proposal involves use of the two-way accesses as One-Way Entry and Exit.

A1 is satisfied.

C2.6.5 Pedestrian access

Acceptable Solution A1.1: Applies to uses that require 10 or more car parking space must:

- (a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways/ parking aisles, by:*
 - i. a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or*
 - ii. protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and*

(b) be signed & line marked at points where pedestrians cross access ways or parking aisles.

Compliant footpaths are proposed, see Figure 4. Car parking spaces will be delineated with pavement markings. **A1.1 is satisfied.**

C2.6.6 Loading Bays

Acceptable Solution A1: The area and dimensions of loading bays and access way areas must be designed in accordance with Australian Standard AS 2890.2-2002, Parking facilities, Part 2: Offstreet commercial vehicle facilities, for the type of vehicles likely to use the site.

The loading bay is accessible by 8.8m rigid truck reversing to enter from Kunzea Circuit. See turning template check in Appendix D. The driveway is of sufficient width (4.5m) and grade (less than 5%) for proposed access. **A1.1 is satisfied.**



3.2 Road and Railway Assets Code C3

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction.

Acceptable Solution A1.1: Not applicable as the roads are not Category 1.

Acceptable Solution A1.2 – *For a road, excluding a Category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.*

This Traffic Impact Statement provides advice to Council to inform Road Authority decision making regarding the proposal.

Acceptable Solution A1.3: Not applicable as no rail-line is impacted.

Acceptable solution A1.4:

Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing will not increase by more than:

- (a) The amounts in Table C3.1*
- (b) Allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road; and*

Kunzea Circuit functions as a low speed low AADT residential street and as such is classed *other road* for purposes of Table C3.1 with acceptable increase in AADT of 20% or 40 vpd whichever is the greater.

For the current situation the acceptable increase in AADT is 40vpd.

The proposal is estimated to increase traffic by 952 vpd. **A1.4 is not satisfied.**

Performance Criteria P1: *Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:*

- (a) any increase in traffic caused by the use.*
- (b) the nature of the traffic generated by the use.*
- (c) the nature of the road.*
- (d) the speed limit and traffic flow of the road.*
- (e) any alternative access to a road.*
- (f) the need for the use.*
- (g) any traffic impact assessment; and*
- (h) any advice received from the rail or road authority.*



Traffic generated by the proposal is due to customers primarily with light vehicles. The proposed access arrangements are considered suitable for the situation.

Kunzea Circuit is a new road in excellent condition. The standard and alignment of the road are considered acceptable for the situation.

There is no alternative access to the property, and the proposal is justified on commercial grounds.

It is suggested that due to the increase in traffic due to the proposal, an increase of 952 vpd, the fence line on the inside of the bend on Kunzea Circuit be limited to 600mm to maximise forward sight distance for traffic approaching the proposal from the East, see Figure 7.

Turning template checks for light vehicles and deliver vehicles are attached in Appendix D and demonstrate that the existing driveways, parking and loading spaces cater for turning path requirements for the design vehicles as follows:

- Carpark – B99 Austroads car
- Loading Bay – 8.8m rigid truck

This TIA finds no reason to disallow the proposal, and the road will continue to operate safely and efficiently. **P1 is satisfied.**

A1.5: Vehicular traffic must be able to enter and leave a major road in a forward direction.

A1.5 is satisfied.

C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area

Not applicable as the proposal does not involve sensitive use.

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

Not applicable as the proposal does not involve sensitive use.



4. Recommendations and Conclusions

This traffic impact statement (TIS) has been prepared to assess the proposed Convenience Store at 70 & 72 Kunzea Circuit, Swanwick.

Existing road conditions have been reviewed including the existing access, speed environment and available sight distances.

It is assessed that the proposal will generate 964 vpd with 92 vph and 122 vph during the AM and PM peaks respectively which will have a minor impact on traffic safety and capacity for all road users.

Evidence is provided that the proposal satisfies Tas. Planning Scheme – Glamorgan Spring Bay - Parking & Sustainable Transport Code C2 and Road & Railway Assets Code C3.

Recommendations:

- **Council limit front fence height to 600mm on the bend at 35 Kunzea Circuit**
- **Developer sign and pavement mark the proposed entry & exit to suit One-Way operation with the following traffic management facilities:**

Entrance:

- *Pavement arrow (thermoplastic material)*
- *No Exit sign to prevent cars exiting through the entrance*
- *Shape driveway entrance and landscaping as shown in Appendix D to cater for B99 car entering the carpark.*



R2-8A

Carpark:

- *Pavement arrows (thermoplastic material) to show internal vehicle flow direction.*

Exit:

- *Pavement arrow (thermoplastic material)*
- *No Entry & Authorised Vehicles Expected signs to prevent cars entering through the exit but allow delivery vehicles.*



R2-4A



R9-4A

Traffic Impact Statement



Overall, it has been concluded that the proposal will not create any traffic issues and traffic will be able to continue to operate safely and efficiently along Kunzea Circuit in the vicinity of the proposal. Based on the finding of this report and subject to the recommendations above, the proposal is supported on traffic grounds.



5. Assessor Credentials

Richard Burk is a qualified Traffic and Civil Engineer with over 39 years of experience with State and Local Government in the Roads and Traffic industry in Tasmania. Visit www.trafficandcivil.com.au.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'R Burk', is positioned above the printed name.

Richard Burk

Director

Traffic and Civil Services

M: 0456 535 746

P: 03 63341868

E: Richard.burk@trafficandcivil.com.au

Appendices

Appendix A – Concept Plans

Appendix B – Tas. 26m B Double Network

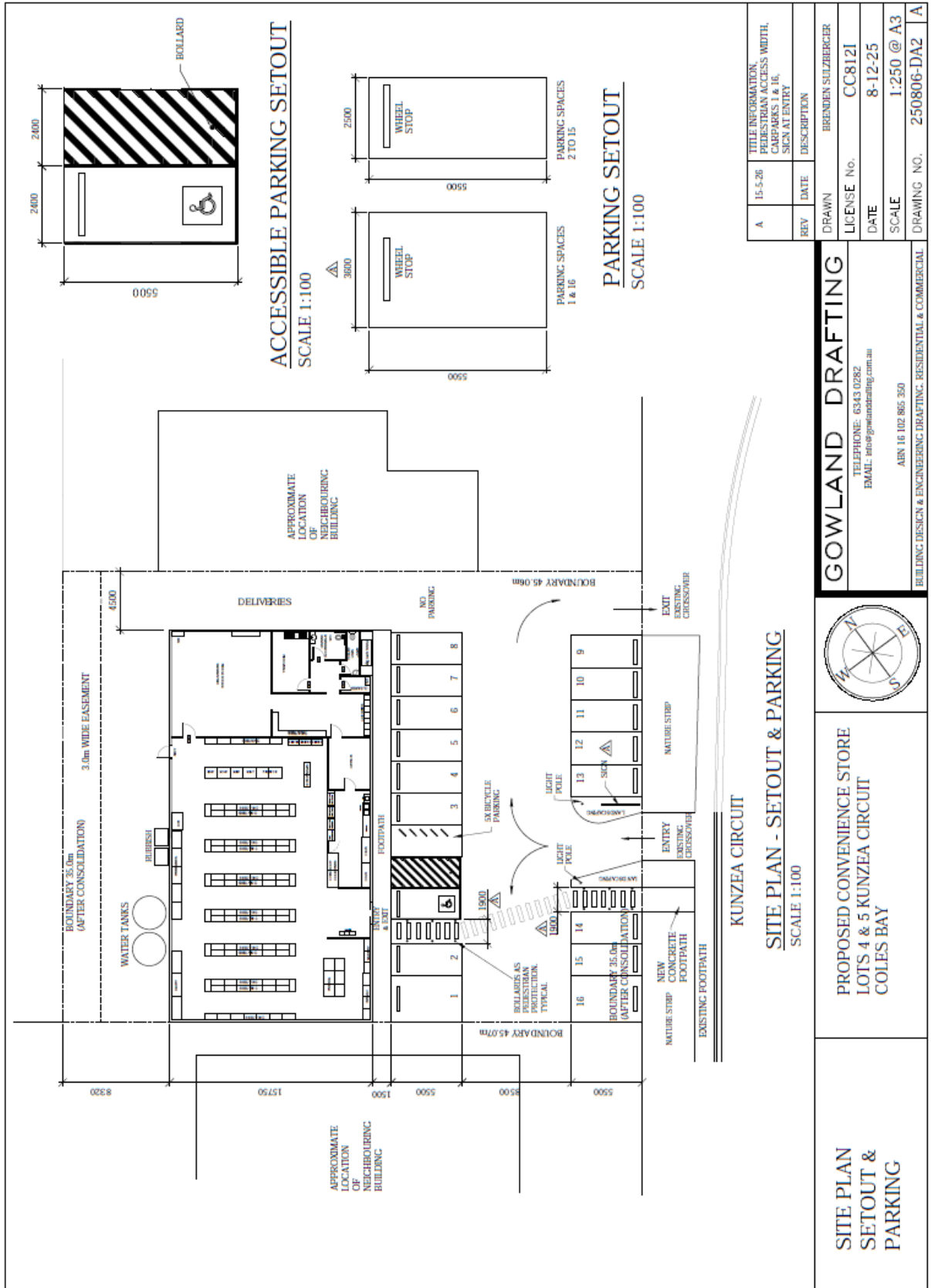
Appendix C – Safe System Assessment

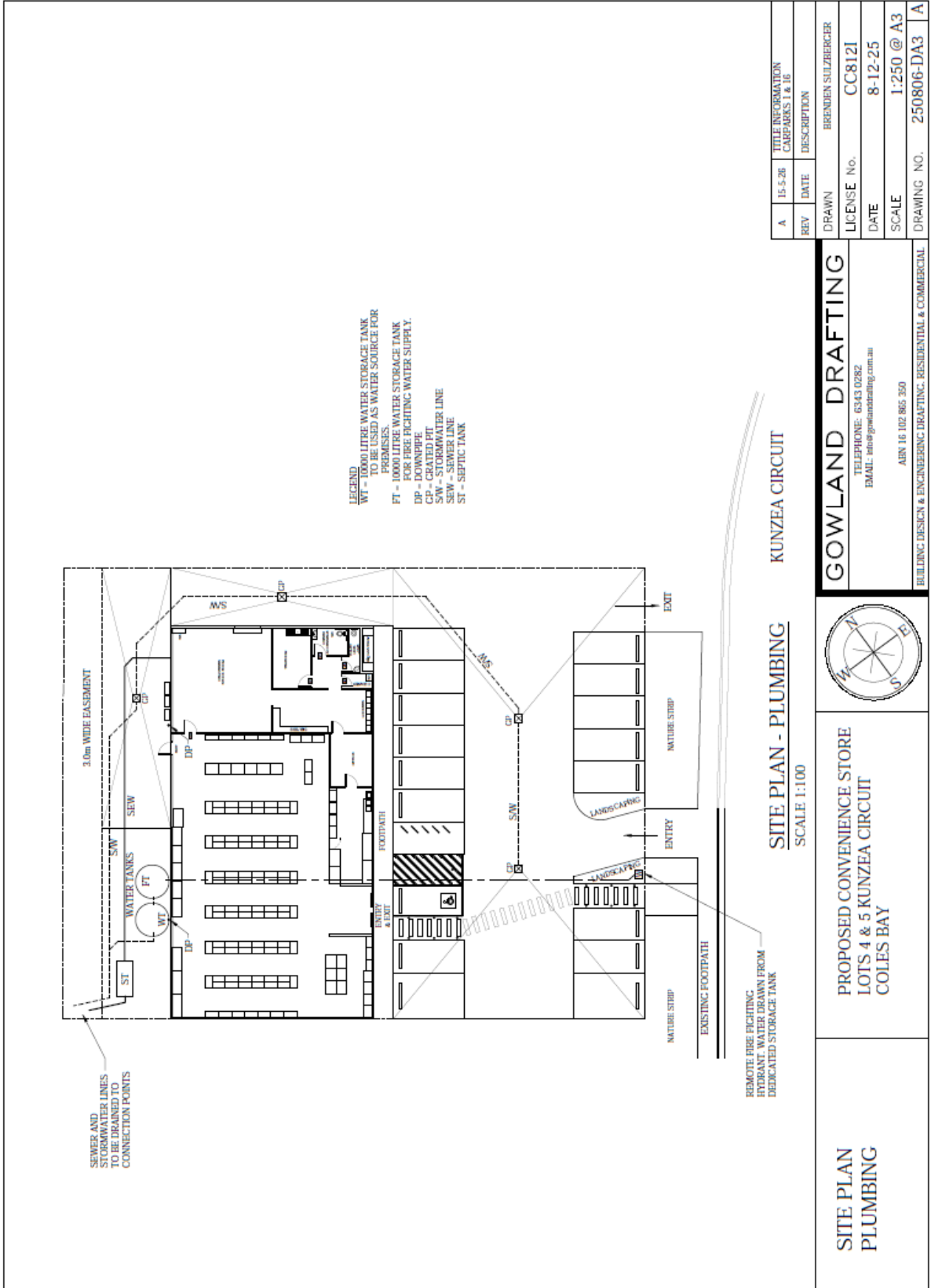
Appendix D – Turning Template Checks



Appendix A – Concept Plans

<p>PROPOSED CONVENIENCE STORE</p> <p>LOTS 4 & 5 KUNZEA CIRCUIT COLES BAY 7215</p>		<p>Title: FOLIO PLAN 179042 LOTS 4 & 5 TO BE CONSOLIDATED</p> <p>Consolidated Title Area 1578m² Floor area 477m² Roof area 498m²</p>		<p>DRAWING SCHEDULE PLANNING APPROVAL</p> <p>DRAWN BY BRENDEN SULZBERGER LICENCE No. CC8121</p> <p>250806-DA1 REV A COVER PAGE & DRAWING SCHEDULE 250806-DA2 REV A SITE PLAN - SETOUT + PARKING 250806-DA3 REV A SITE PLAN - PLUMBING 250806-DA4 FLOOR PLAN 250806-DA5 ROOF PLAN 250806-DA6 REV A ELEVATIONS & ENTRY SIGN 250806-DA7 ELEVATIONS</p>		<p>GOWLAND DRAFTING</p> <p>TELEPHONE: 6343 0282 EMAIL: info@gowlanddrafting.com.au ABN 16 102 862 350</p>		<p>15.5.26 TITLE INFORMATION</p> <p>REV DATE DESCRIPTION</p> <p>DRAWN BRENDEN SULZBERGER</p> <p>LICENSE No. CC8121</p> <p>DATE 8-12-25</p> <p>SCALE NTS @ A3</p> <p>DRAWING NO. 250806-DA1 A</p>	
<p>COVER PAGE & DRAWING SCHEDULE</p>		<p>PROPOSED CONVENIENCE STORE LOTS 4 & 5 KUNZEA CIRCUIT COLES BAY</p>		<p>GOWLAND DRAFTING</p> <p>TELEPHONE: 6343 0282 EMAIL: info@gowlanddrafting.com.au ABN 16 102 862 350</p>		<p>15.5.26 TITLE INFORMATION</p> <p>REV DATE DESCRIPTION</p> <p>DRAWN BRENDEN SULZBERGER</p> <p>LICENSE No. CC8121</p> <p>DATE 8-12-25</p> <p>SCALE NTS @ A3</p> <p>DRAWING NO. 250806-DA1 A</p>			

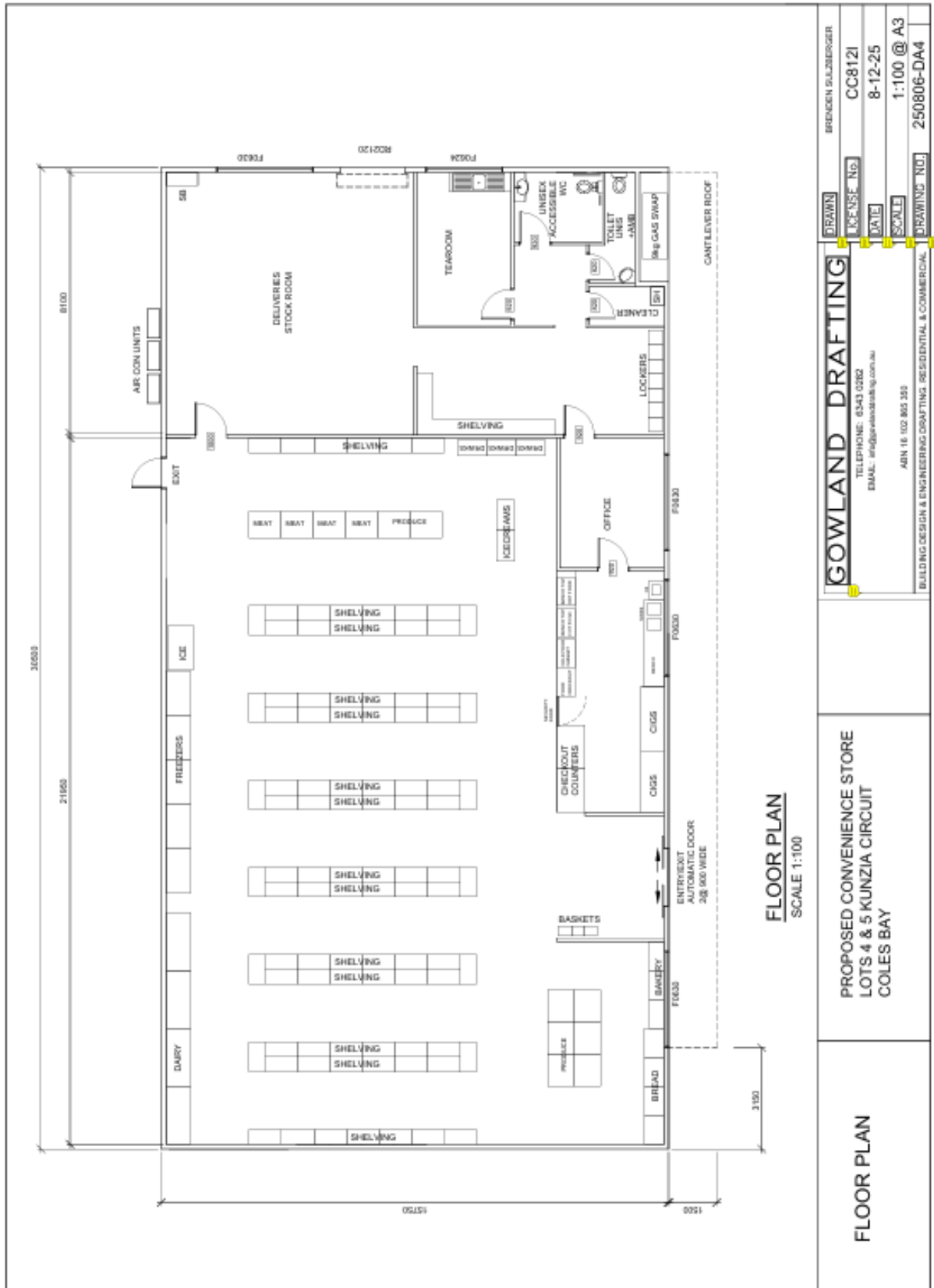


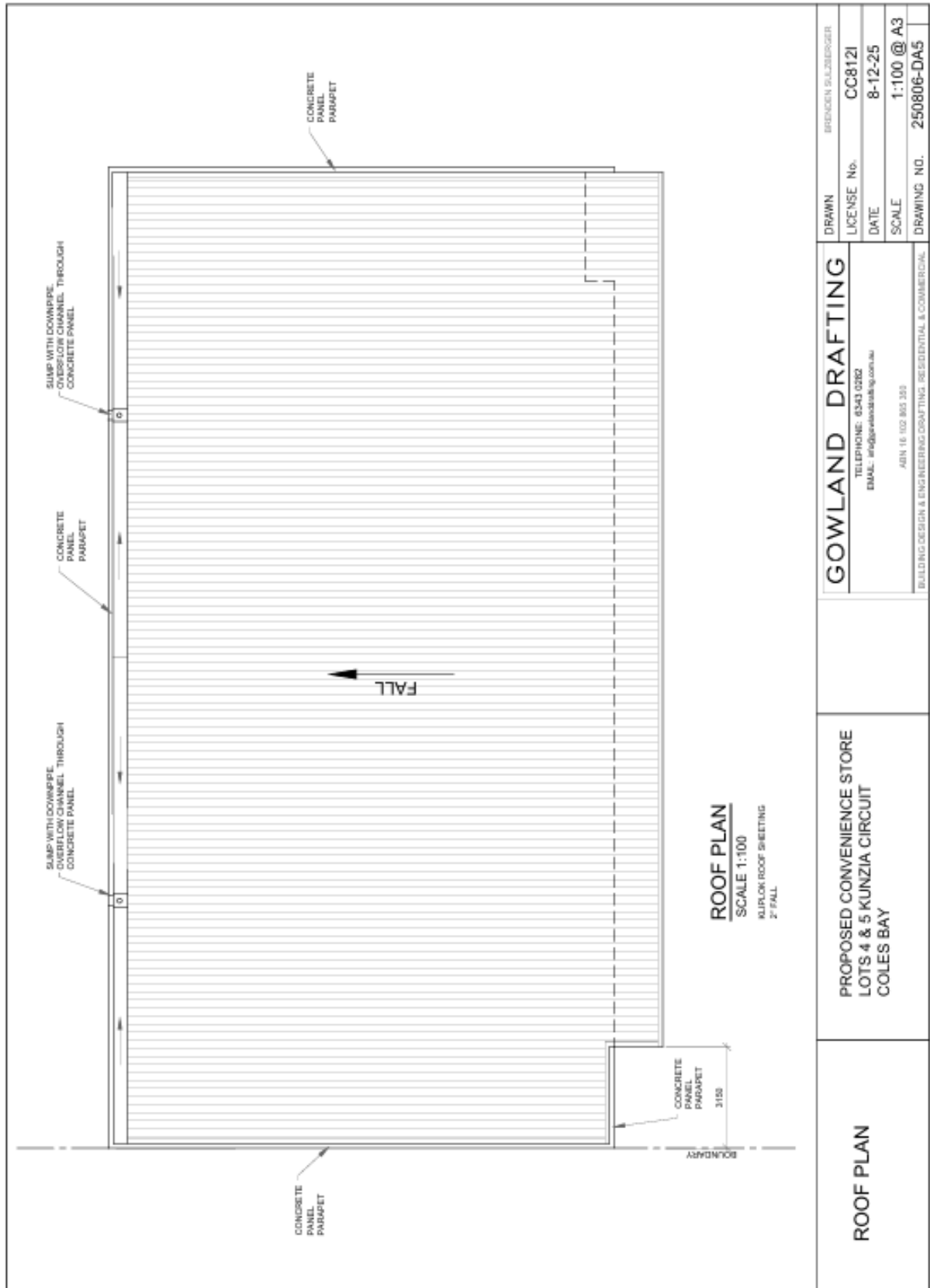


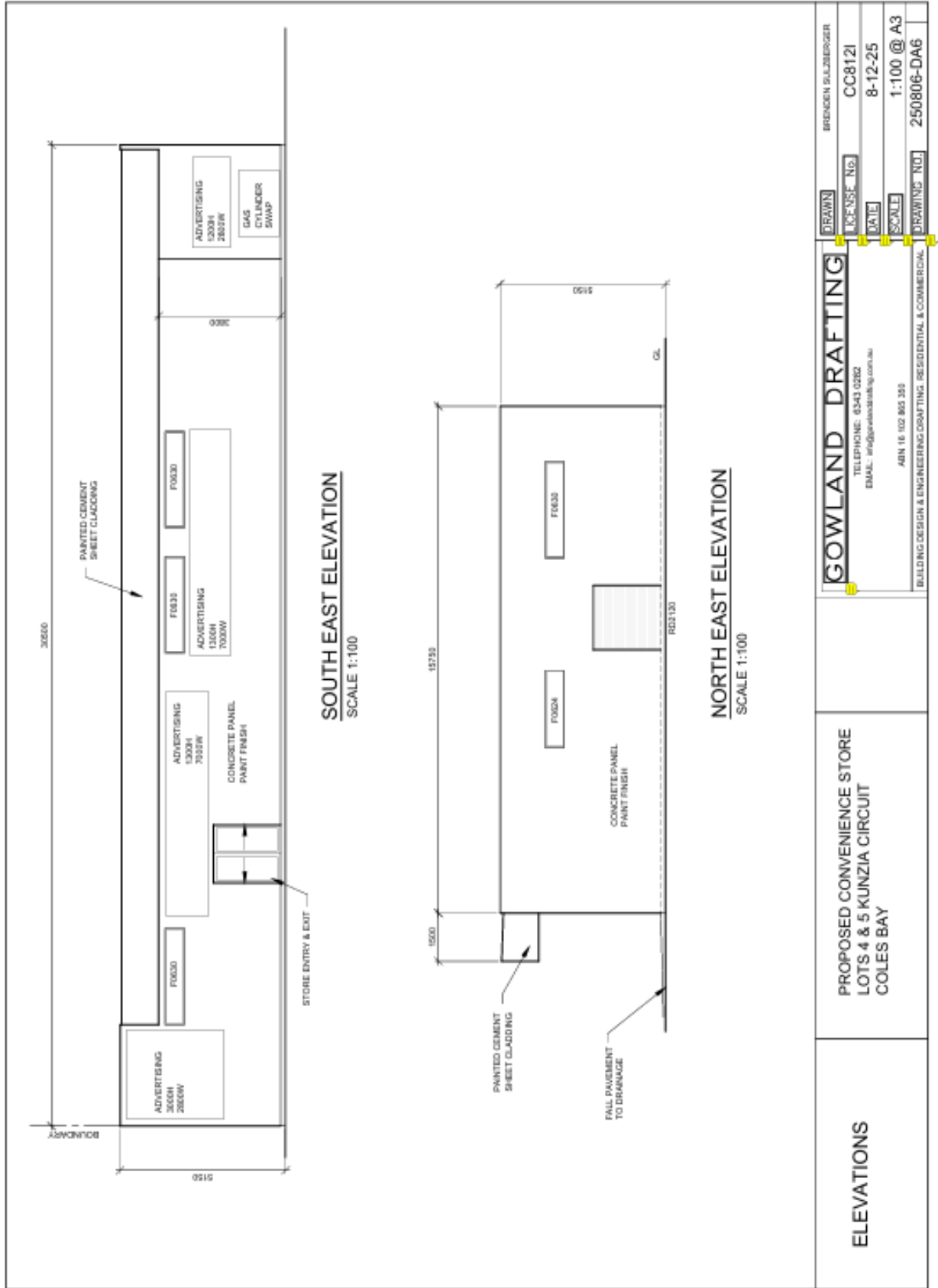
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DRAWN		BRENDEN SUIZBERGER
LICENSE No.		CC8121
DATE		8-12-25
SCALE		1:250 @ A3
DRAWING NO.		250806-DA3

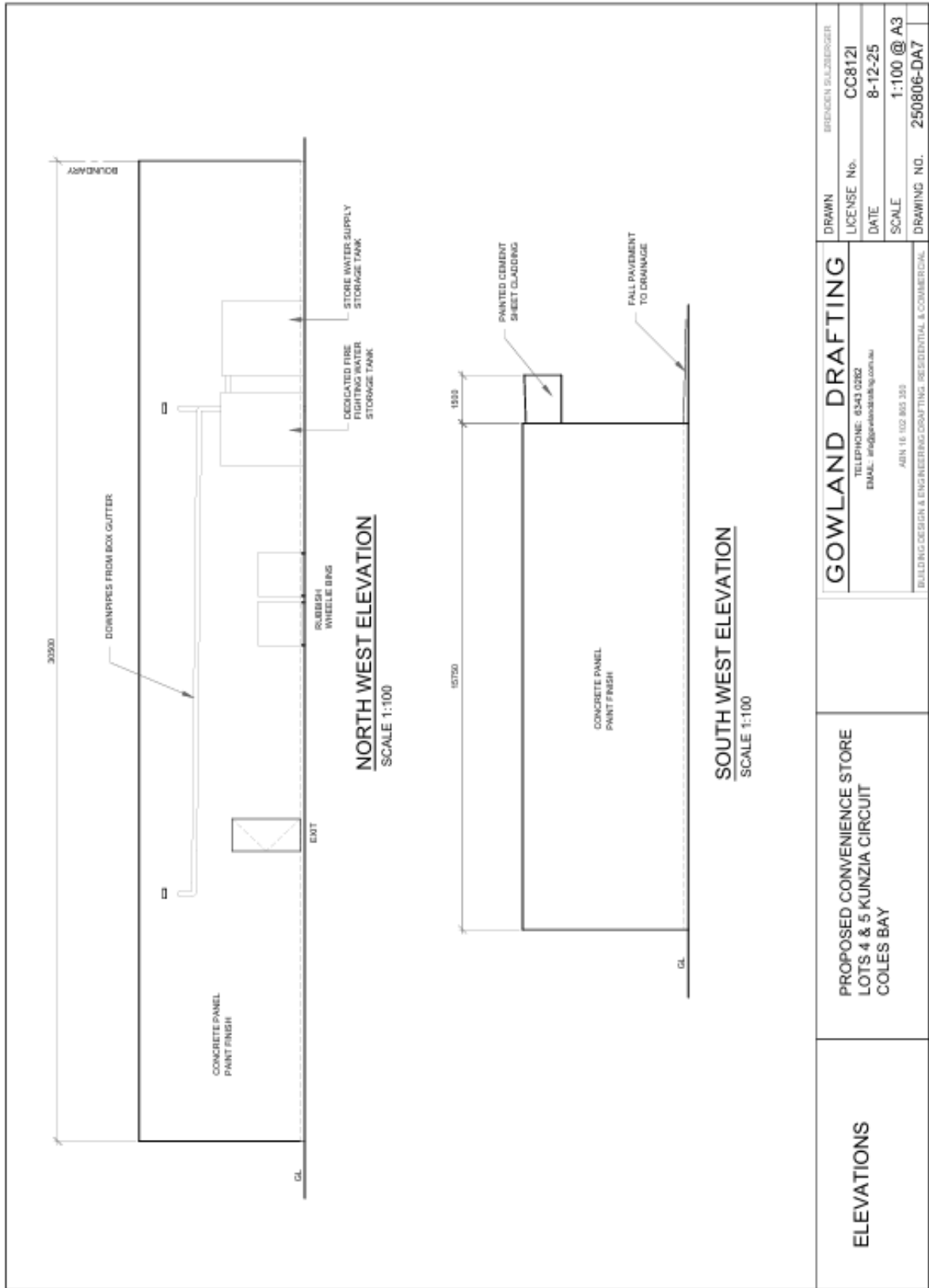
GOWLAND DRAFTING
 TELEPHONE: 0343 0282
 EMAIL: info@gowlanddrafting.com.au
 AIN 16 102 865 360
 BUILDING DESIGN & ENGINEERING DRAFTING, RESIDENTIAL & COMMERCIAL







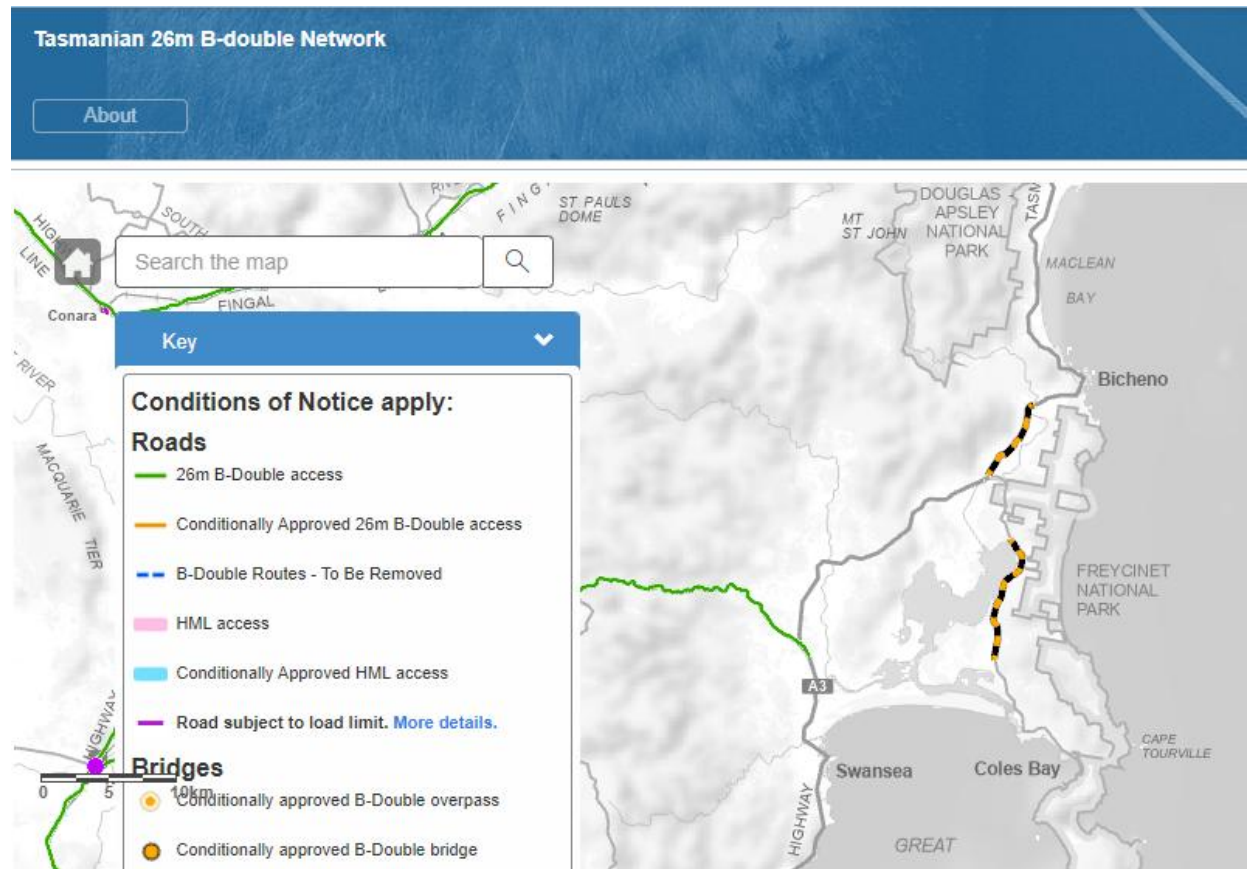




ELEVATIONS	PROPOSED CONVENIENCE STORE LOTS 4 & 5 KUNZIA CIRCUIT COLES BAY	GOWLAND DRAFTING		DRAWN BRADEN SULLINGER
		TELEPHONE: 6543 0262 EMAIL: info@gowlanddrafting.com.au ABN 16 102 803 393	LICENSE No. CC8121	LICENSE No. CC8121
			DATE 8-12-25	DATE 8-12-25
			SCALE 1:100 @ A3	SCALE 1:100 @ A3
			DRAWING NO. 250806-DA7	DRAWING NO. 250806-DA7



Appendix B – Tas. 26m B Double Network



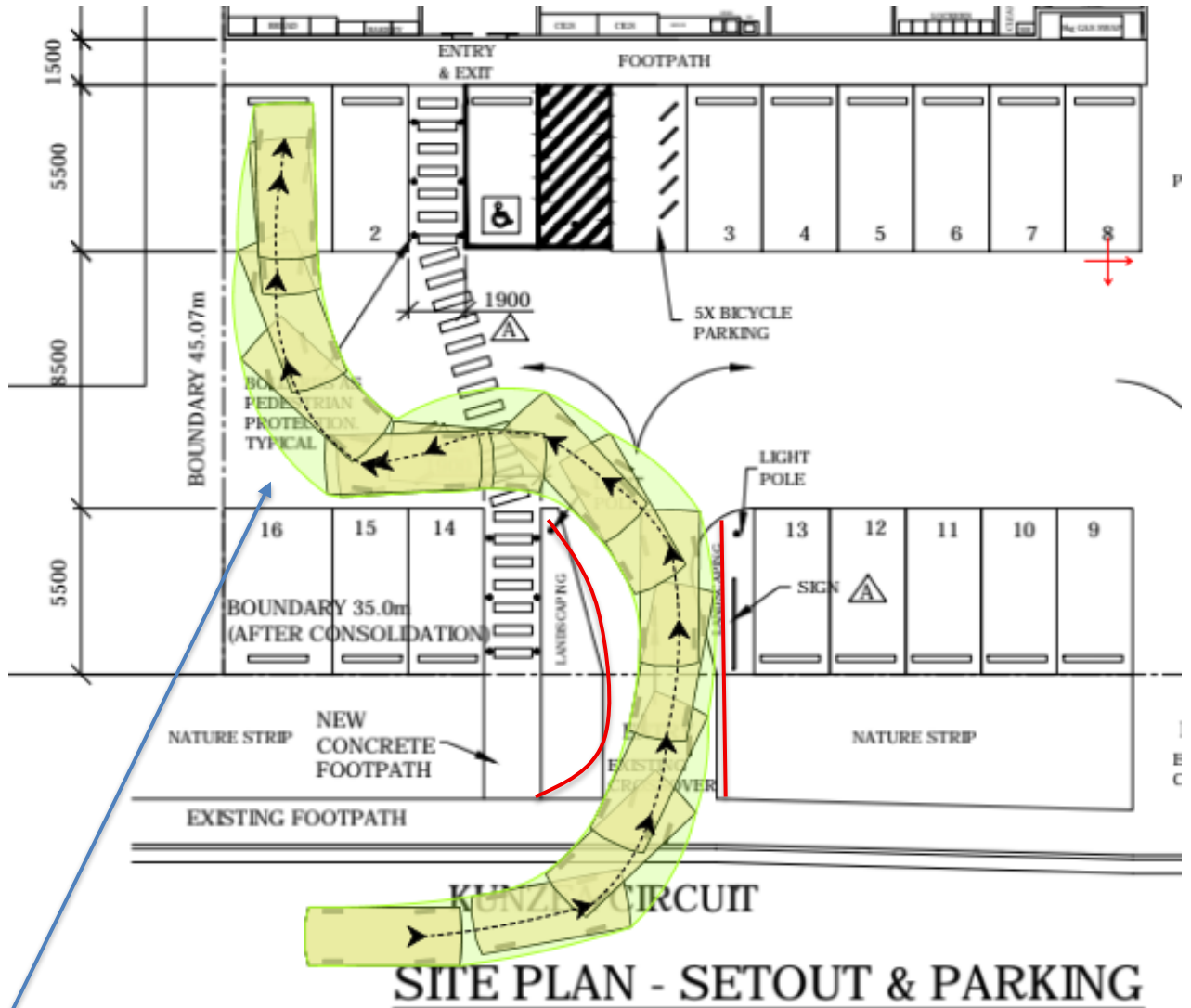


Appendix C – Safe System Assessment

Safe System Assessment		Kunzea Circuit approaches to 70 & 72 Kunzea Circuit						
Exposure	Run-off-road	Head-on	Intersection	Access to #70 & Pedestrian	Cyclist	Motorcyclist		
Justification (AADT 50 vpd)	Low traffic volume	Low traffic volume	Low traffic volume at Hazards View Drive roundabout	Proposed access, low traffic and no activity crashes.	Low pedestrian activity	Low cyclist activity	Low motorcyclist activity	
Score / 4	1	1	1	1	1	1	1	
Likelihood	Urban residential street with sharp bend and 8.9m width and kerb & channel	Urban residential street with sharp bend and 8.9m width and kerb & channel	Roundabout	Simple access layout	Footpath one side of the road	Footpath one side of the road	Urban residential street with sharp bend and 8.9m width and kerb & channel	
Score / 4	1	1	1	1	1	1	1	
Severity (30 km/h speed environment)	Low speed environment	Low speed environment	Low speed environment	Low speed environment	Low speed environment	Low speed environment	Low speed environment	
Score / 4	1	1	1	1	2	2	2	
Product	Total Score /64	1	1	1	2	2	2	
	Total /448						10	

Appendix D – Turning Template Checks

Austrads B99 Car Entering

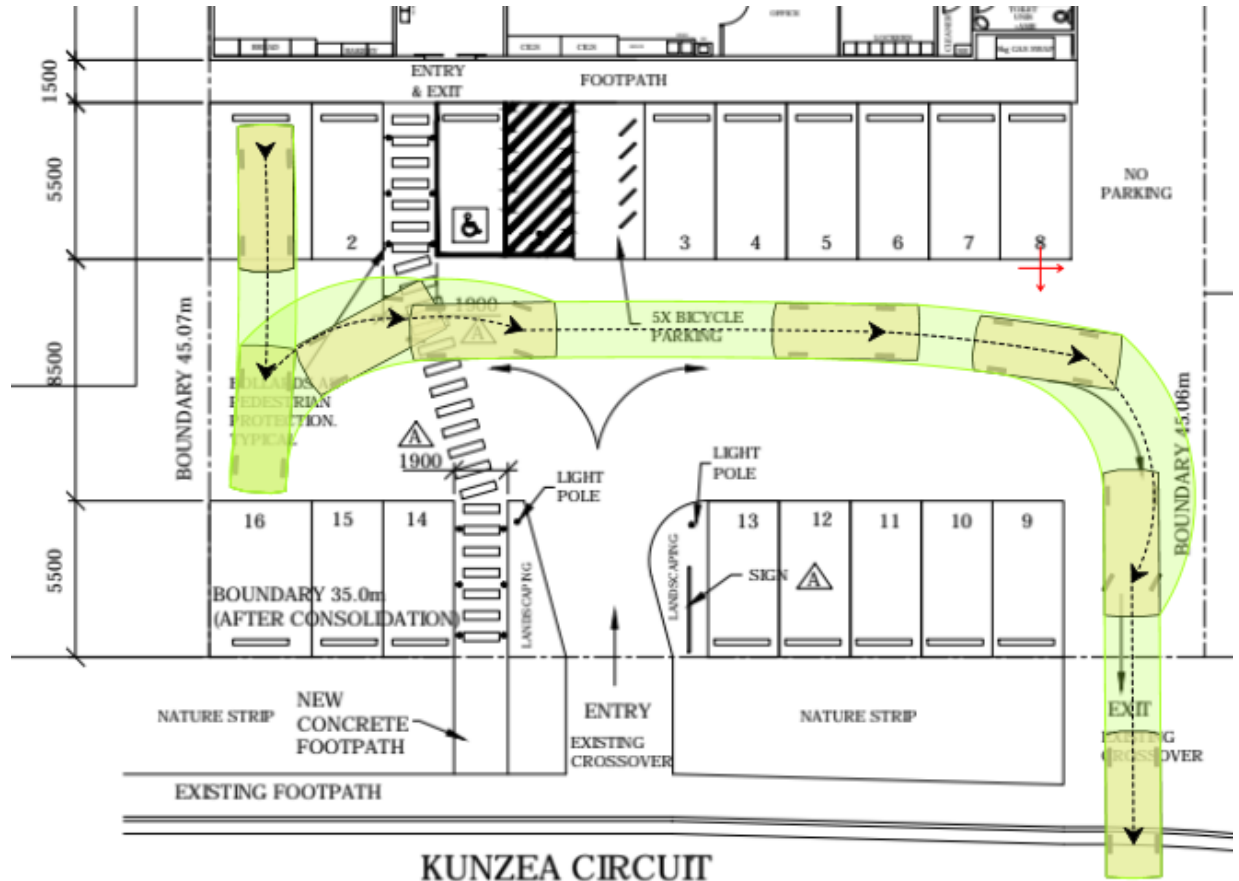


The proposed parking involves a blind aisle. According to AS/NZS 2890.1:2004 blind aisles should extend 1m past the parking space when on a boundary. This is why spaces 1 & 16 are 3.6m wide.

For entering purposes, the B99 car requires the full driveway width. The recommended driveway edges are shown in red line within the cloud.

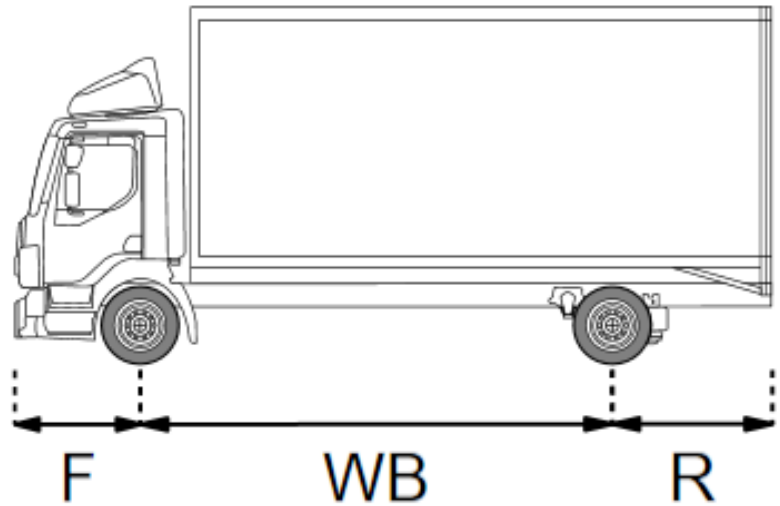
The B99 car is the car that 99% of cars are that size or less in Australia.

Austrroads B99 Car Exiting



SITE PLAN - SETOUT & PARKING

Austrroads Medium Rigid Truck



Overall values of Medium Rigid Vehicle

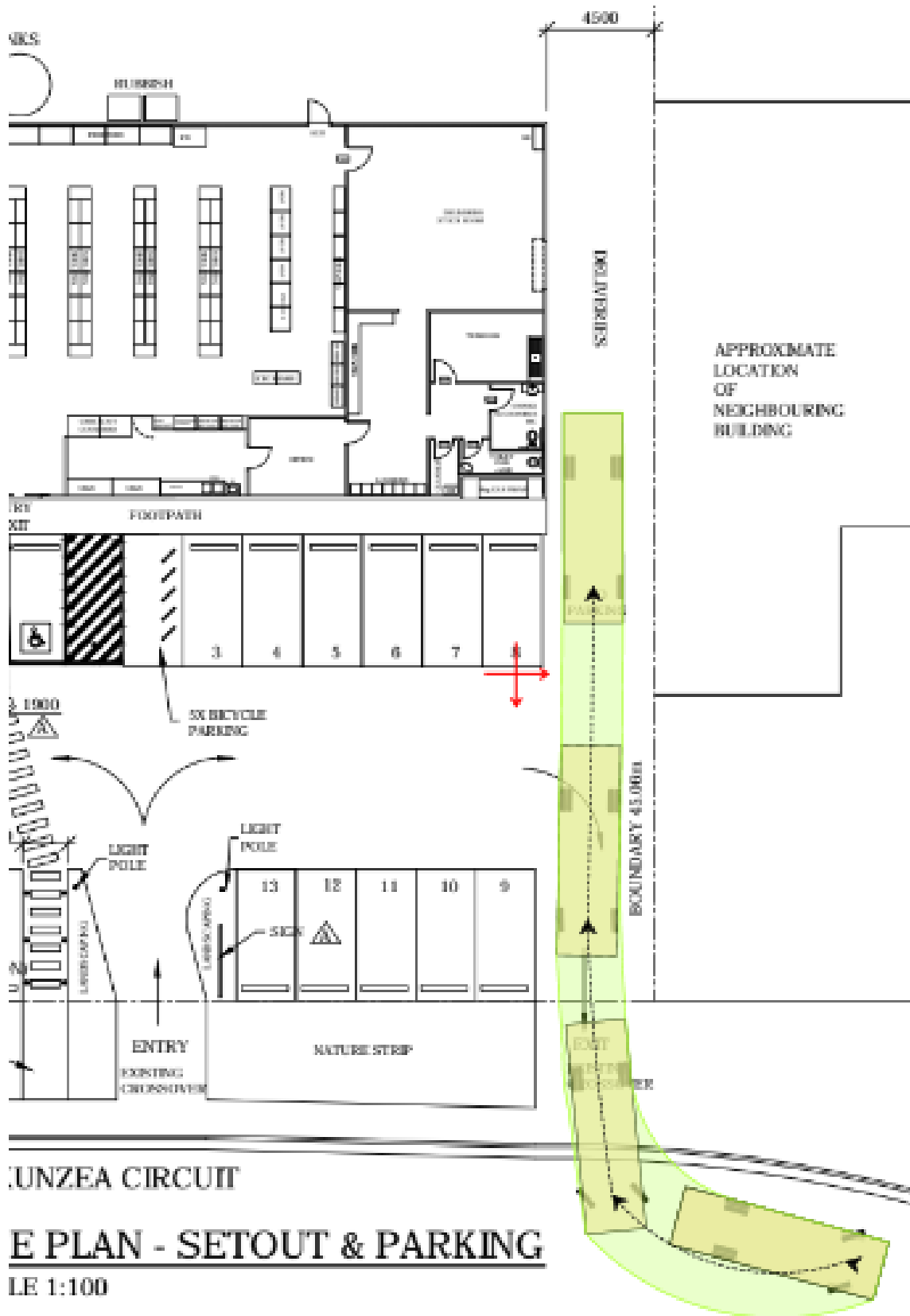
Length: 8.80 m	Steering angle: <input type="text" value="34.01"/> °
Max width: 2.50 m	Turn radius (curb to curb): <input type="text" value="10"/> m
Lock to lock: <input type="text" value="4"/> s	Turn radius (wall to wall): <input type="text" value="10.83"/> m

Dimensions

Front: <input type="text" value="1.5"/> m	Width: <input type="text" value="2.5"/> m
Wheel base: <input type="text" value="5"/> m	
Rear: <input type="text" value="2.3"/> m	



Austrroads MRV Entering by Reverse In



Traffic Impact Statement

