



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: RA10137 Tasman Highway, Little Swanport
CT 118343/1, 220630/1

PROPOSAL: Partial Demolition, Additions and Alterations to
Dwelling

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on Thursday 11 December 2025.

APPLICANT: Poppy Taylor/ Taylor & Hinds Architects
DATE: 12/11/2025
APPLICATION NO: DA 2025 / 202

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:		
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	Yes / No	

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 118343	FOLIO 1
EDITION 9	DATE OF ISSUE 07-Apr-2025

SEARCH DATE : 11-Nov-2025

SEARCH TIME : 11.16 AM

DESCRIPTION OF LAND

Parish of RAVENSDALE, Land District of PEMBROKE

Lot 1 on Plan 118343

Being the land described in Indenture of Conveyance 58/0281

Excepting thereout Proclamation 1/0810 [104R/13 LO] 1 acre 1

rood 0 perches, 233 square metres being Lot 3 on plan 20147

per Conveyance 59/0453 and 95.4 square metres being Lot 101 on

diagram 23439 per Conveyance 62/3928

Derivation : Part of 1280 acres granted to John Hawkins

Derived from W3088

SCHEDULE 1

N193786 TRANSFER to KIRSTY JANE WILLOWS and PAUL JOHN WILLOWS
Registered 06-Jul-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

C503144 INSTRUMENT creating Restrictive Covenants pursuant to
section 34 Nature Conservation Act 2002 (affecting
part of the said land within described) Registered
02-Sep-2004 at noon

N247105 MORTGAGE to MyState Bank Limited Registered
07-Apr-2025 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

FILE NUMBER W3088 GRANTEE PART OF 1280 Ac GTD TO JOHN HAWKINS		CONVERSION PLAN		REGISTERED NUMBER P 118343	
LOCATION PEMBROKE RAVENSDALE		CONVERTED FROM 58/0281		APPROVED 11 JUL 1995 <i>Michael Bin</i> Recorder of Titles	
NOT TO SCALE		LENGTHS IN METRES		MAPSHEET MUNICIPAL CODE No. 112	
LAST UPI No. 3000011		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		DRAWN PD	

SKETCH BY WAY OF ILLUSTRATION ONLY

EXCEPTED LANDS

PROC 1/810 (104R/13 L.O.) 1A-1R-OP
 59/0453 3. (P20147) 233m²
 62/392B 101. (D23439) 95.4m²

A-183

a. 70 Cremorne Avenue, Cremorne, TAS 7024.
e. contactus@taylorandhinds.com.au
w. www.taylorandhinds.com.au
p. +61 3 62877024

Glamorgan Spring Bay Council - Planning

9 Melbourne Street,
Triabunna, TAS, 7190.

11 Nov 2025

Dear Planning Officer,

Please find attached the documentation for a Planning Application for alterations and additions to Ravensdale Homestead:

10137 Tasman Highway, Little Swanport, TAS 7190

(C.T.: 118343/1, Property Identification Number 9716668)

The following report outlines the approach to the provisions of the *Tasmanian Planning Scheme (TPS)*.

1.0 DESIGN STATEMENT

The proposed development is for restoration work and alterations/additions to the existing (c1830s) Heritage listed Homestead. The proposal responds to the clear need for an upgrade to contemporary living standards of the Homestead which will ultimately serve as the primary residence for the owners, and a central part of the working farm.

The proposed new addition is sited on the Southern side of the Homestead so not to impact the significant Northeastern and Northwestern Heritage elevations. The siting of the addition formalises a new entry into the dwelling and establishes a parking area to the approach side of the house. The addition comprises of a new verandah, mud room, laundry and courtyard which consolidates a new servicing wing to the Homestead.

The new work is proposed to be a finely detailed, sandstone addition with a galvanised roof, consistent with the existing material palette. The proposal also includes the wholesale replacement of the Homestead's existing roof sheeting for weathertightness and maintains the original roof profile.

Due to the age of the existing Homestead, access to natural light in the interiors is limited. Alterations to the existing fabric in the form of skylights have been proposed to increase access to daylight amenity within these interior spaces. The later-addition unsympathetic atrium structure is proposed for demolition and a finely detailed contemporary alternative is planned to bring natural lighting into the core of the home.

2.0 EXISTING SITE

The site is a 492.2-hectare lot at 10137 Tasman Highway, Little Swanport. The site consists of multiple existing outbuildings and structures for agricultural use. Two dwellings exist on the site, one of which, 'Dovedale Cottage' will have no work undertaken. The other dwelling, the 'Homestead', is the site of the proposed development.

3.0 USE OF PROPOSED DEVELOPMENT

The proposed development is for restoration and additions to an existing Homestead dwelling that is heritage listed. The Homestead is to be occupied as the primary residence of the property owners.

4.0 ZONING

Under the TPS, the proposed development is located on land in the Agriculture Zone (21.0), and 5 overlays have been identified on the title, including:

- Tasmanian Heritage Register
- Landslide Hazard Area (Low)
- Coastal Inundation Hazard
- Waterway and Coastal Protections Areas
- Bushfire Prone Area

The following lists relevant criteria of the TPS, and describes the design response of the proposed development.

21.0 Agriculture Zone

The relevant use and development standards are assessed below.

21.3 Use Standards for Dwellings

21.3.1 Discretionary Use

Standard	Response
P1 A use listed as Discretionary, excluding Residential or Resource Development, must be required to locate on the site, for operational or security reasons or the need to contain or minimise impacts arising from the operation such as noise, dust, hours of operation or traffic movements, having regard to: <ol style="list-style-type: none"> a) access to a specific naturally occurring resource on the site or on land in the vicinity of the site; b) access to infrastructure only available on the site or on land in the vicinity of the site; c) access to a product or material related to an agricultural use; d) service or support for an agricultural use on the site or on land in the vicinity of the site; e) the diversification or value adding of an agricultural use on the site or in the vicinity of the site; and f) provision of essential Emergency Services or Utilities. 	P1 The proposed development is a residential use, therefore, P1 does not apply.
P2 A use listed as Discretionary, excluding Residential, must minimise the conversion of agricultural land to non-agricultural use, having regard to: <ol style="list-style-type: none"> a) the area of land being converted to non-agricultural use; b) whether the use precludes the land from being returned to an agricultural use; c) whether the use confines or restrains existing or potential agricultural use on the site or adjoining sites. 	P2 The proposed development is a residential use, therefore, P2 does not apply.

<p>P3</p> <p>A use listed as Discretionary, excluding Residential, located on prime agricultural land must:</p> <ul style="list-style-type: none"> a) be for Extractive Industry, Resource Development or Utilities, provided that: <ul style="list-style-type: none"> (i) the area of land converted to the use is minimised; (ii) adverse impacts on the surrounding agricultural use are minimised; and (iii) the site is reasonably required for operational efficiency; or b) be for a use that demonstrates a significant benefit to the region, having regard to the social, environmental and economic costs and benefits of the proposed use. 	<p>P3</p> <p>The proposed development is a residential use, therefore, P2 does not apply.</p>
<p>P4</p> <p>A Residential use listed as Discretionary must:</p> <ul style="list-style-type: none"> a) be required as part of an agricultural use, having regard to: <ul style="list-style-type: none"> (i) the scale of the agricultural use; (ii) the complexity of the agricultural use; (iii) the operational requirements of the agricultural use; (iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and (v) proximity of the dwelling to the agricultural use; or b) be located on a site that: <ul style="list-style-type: none"> (i) is not capable of supporting an agricultural use; (ii) is not capable of being included with other agricultural land (regardless of ownership) for agricultural use; and (iii) does not confine or restrain agricultural use on adjoining properties. 	<p>P4</p> <ul style="list-style-type: none"> a) There is an existing dwelling on the site and the proposed development is a small addition to this existing dwelling and will therefore not create any further interference with agricultural use of the land.

21.4.1 Building Height

Standard	Response
<p>A1</p> <p>Building height must be not more than 12m.</p>	<p>A1</p> <p>The proposed development is not more than 12 meters high. The existing residence is 7.1m at its highest point. The proposed new works is 5.4m at its highest point.</p>

21.4.2 Setbacks

Standard	Response
A1 Buildings must have a setback from all boundaries of: <ul style="list-style-type: none"> a) Not less than 5m; or b) If the setback of an existing building is within 5m, not less than the existing building. 	A1 The proposed development's smallest setback to the boundary is 162 meters.
A2 Buildings for a sensitive use must have a setback from all boundaries of: <ul style="list-style-type: none"> a) Not less than 200m; or b) If the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building. 	A2 The proposed development is of a sensitive use as it is a residential use. <ul style="list-style-type: none"> a) The proposed development is setback from the boundaries less than 200 meters. b) The existing homestead dwelling is within 200 meters of the boundary, with its smallest distance to the boundary being 162 meters. The proposed development's smallest distance to the boundary is 168 meters.

21.4.3 Access for new dwellings

Standard	Response
A1 New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.	A1 The proposed development will utilize the existing access road and crossover onto the Tasman Highway.

4.0 CODES

The site is subject to the following Overlays of the TPS:

C6.0 Local Historic Heritage Code

Please refer to the attached Heritage Impact Assessment completed by Purcell Architecture dated 06 Nov 2025.

C7.0 Natural Assets Code

This code applies to the subject site as it contains a Waterway and Coastal Protection Area.

The waterway on the subject site is a 'Class 1' waterway which means the protection area must be 40 metres wide either side of the waterway.

The proposed development is located 117 metres away from the closest Waterway and Coastal Protection Area.

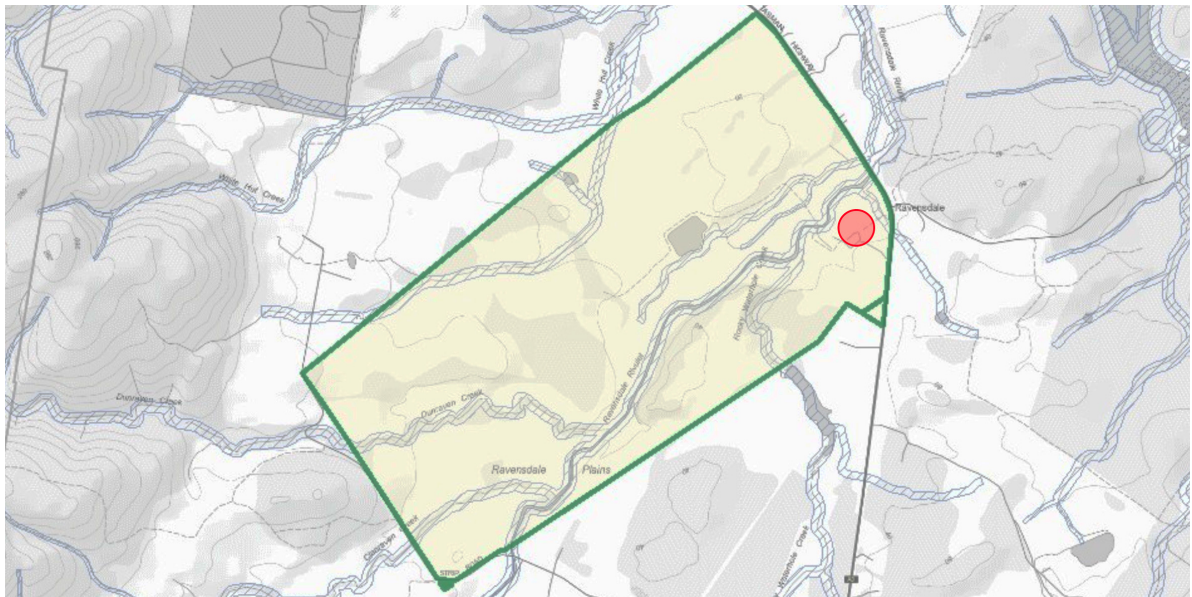


Figure 3: Figure 3 shows the area of the proposed development in red and the area of the Class 1 Waterway and Coastal protection Area in blue.

C11.0 Coastal Inundation Hazard Code

The proposed development is not located in the Coastal Inundation zone that sits on the subject site.

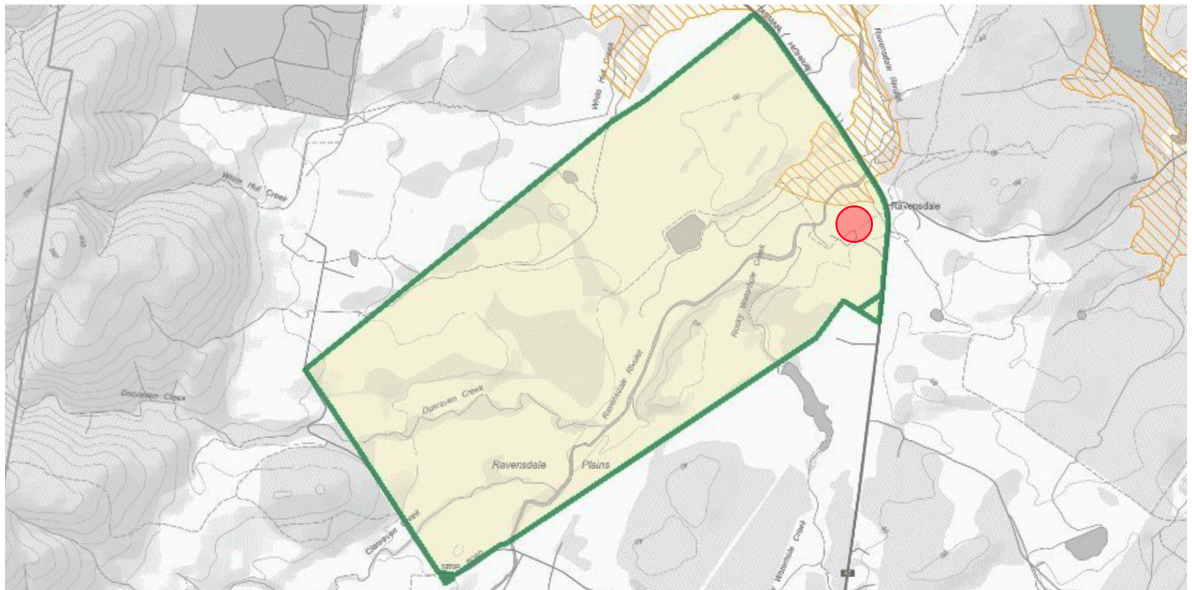


Figure 4: Figure 4 shows the area of the proposed development in red and the area of the Coastal Inundation Hazard zone in orange.

C13.0 Bushfire-Prone Area Code

The Bushfire-Prone Area Code does not apply does not apply to the proposed development as it is not a vulnerable use or a hazardous use.

C15.0 Landslip hazard Zone

The location of the proposed development sits in an 'low' landslip hazard band which under C15.4.1, is exempt from this code.

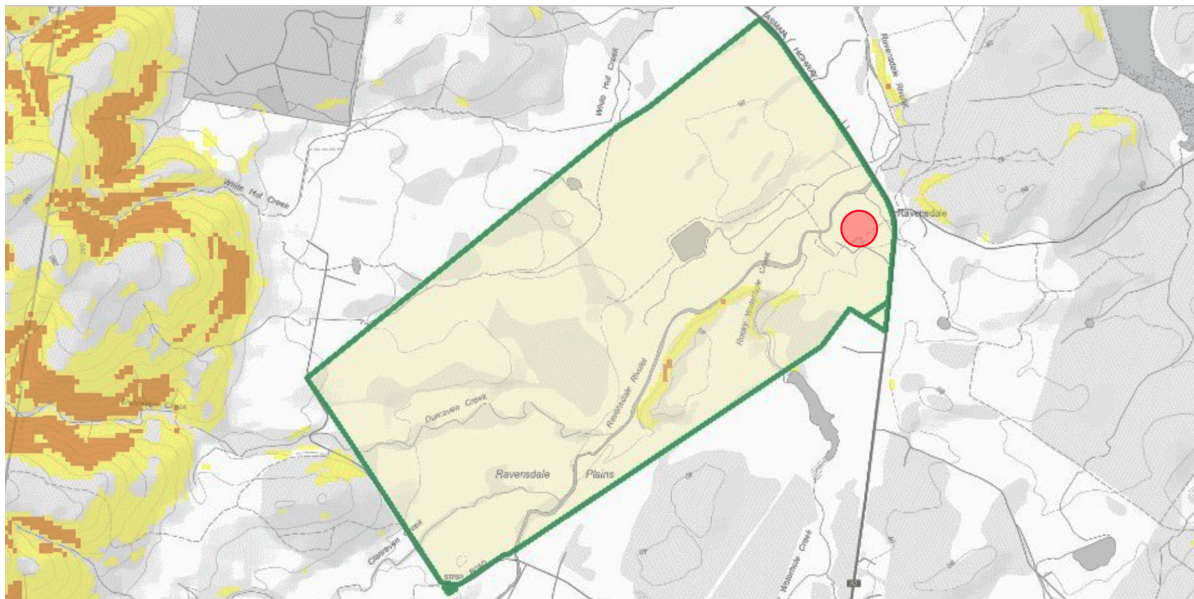


Figure 5: Figure 5 shows the area of the proposed development in red and the area of the Landslip Hazard zone in yellow and orange.

I trust the above addresses the relevant clauses of the Planning Scheme

Please do not hesitate to be in touch if you require any further information.

Yours Truly,

P. T. Jr.

POPPY TAYLOR | PRINCIPAL, TAYLOR & HINDS ARCHITECTS

Ravensdale Estate

10137 Tasman Highway, Little Swanport TAS 7190

Heritage Impact Assessment

06 November 2025

Date	Issue	Revision	Reviewed	Approved
06/11/2025	00	Draft	LBS	TS
06/11/2025	01	Final	LBS	TS

Lucy Burke-Smith

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Purcell Architecture Australia Pty Limited

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 Warriewood, NSW 2102
 Australia

ABN: 43 636 400 327

ARB Tas Registered Architect Firm: F157

Nominated Architect: Lucy Burke-Smith TAS:898/CC6606

ACKNOWLEDGMENT OF COUNTRY

Purcell pays respects to the original owners of the land upon which we work, the Paredererme people.

We acknowledge the Tasmanian Aboriginal community as the continuing custodians of Lutruwita (Tasmania) and honour Aboriginal Elders past and present.

We value the history, culture and strength of the Tasmanian Aboriginal community, and commit to listen deeply to Story and be respectful of Country in our collaborations with First Nations Peoples.

Lutruwita milaythina Pakana – Tasmania is Aboriginal land.

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1.0 INTRODUCTION

1.1 Background

Paul and Kirsty Willows commissioned Purcell to prepare this Heritage Impact Assessment (HIA) to accompany a Development Application for the proposed alterations and additions (Proposal) to the Ravensdale Homestead (Place) at 10137 Tasman Highway, Little Swanport TAS 7190 (Site), with Title Reference 118343/1.

The Place is Permanently Registered as State Significant in the Tasmanian Heritage Register (THR) with THR ID 1538. The Place is not identified as Locally Significant in GSB-Table C6.1 Local Heritage Places of the Tasmanian Planning Scheme - Glamorgan Spring Bay Local Provisions Schedule (TPS-GSB).

GSB-Tables C6.2 Local Heritage Precincts, C6.3 Local Historic Landscape Precincts, C6.4 Places or Precincts of Archaeological Potential, and C6.5 Significant Trees, are not used in the Glamorgan Spring Bay Local Provisions Schedule.

The following documentation details the Proposal assessed in this HIA:

- Architectural Drawings, prepared by Taylor and Hinds, dated 17/10/2025 (see Appendix A, page 15 for details).

Lucy Burke-Smith (Partner), and Xiaohan Yang (Intern), of Purcell prepared this report. Lucy Burke-Smith visited the Place on 19 August 2025 and completed a physical inspection of the exterior and interior, setting, and context. Unless otherwise cited, all images were taken at this site visit.

1.2 Limitations

This HIA is limited to an assessment of the potential statutory built heritage impacts of the Proposal to the setting, context, and significant fabric of the registered built features on the Place. This HIA is based on the current statutory heritage, and development, controls, and non-statutory guidelines, applicable to the local heritage listed Place at 10137 Tasman Highway, Little Swanport TAS 7190. Desk-based research, and client-provided information to date form the basis of this report, no new archival research was undertaken. It does not consider the proposed works' responsiveness to the wider provisions of the Tasmanian Planning Scheme - State Planning Provisions (TPS-SPP), beyond that of the performance criteria relevant to the scope of works as outlined in C6.0 Local Historic Heritage Code.

All references to heritage, or heritage impacts, are to registered, built heritage only. This report does not consider potential heritage impacts of the Proposal, including, without limitation, to landscape, vegetation, sub-surface, archaeological, movable, or indigenous heritage.

1.3 Terminology

The conservation terminology used in this report is of a specific nature and is defined within The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013, (the Burra Charter).

1.4 References

This HIA references the following documents:

- The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013.
- Tasmanian Heritage Council, 'Works Guidelines for Historic Heritage Places' v2. October 2025.
- Tasmanian Planning Scheme - State Planning Provisions, The Glamorgan Spring Bay Local Provisions Schedule (TPS-GSB 2025).

2.0 UNDERSTANDING THE SITE

2.1 Location

The Site's address is 10137 Tasman Highway, Little Swanport TAS 7190 (Title Reference: 118343/1). It is located on the east coast of Lutruwita/Tasmania. Ravensdale Homestead (the Place) sits at the east corner of the Site, close to the highway.

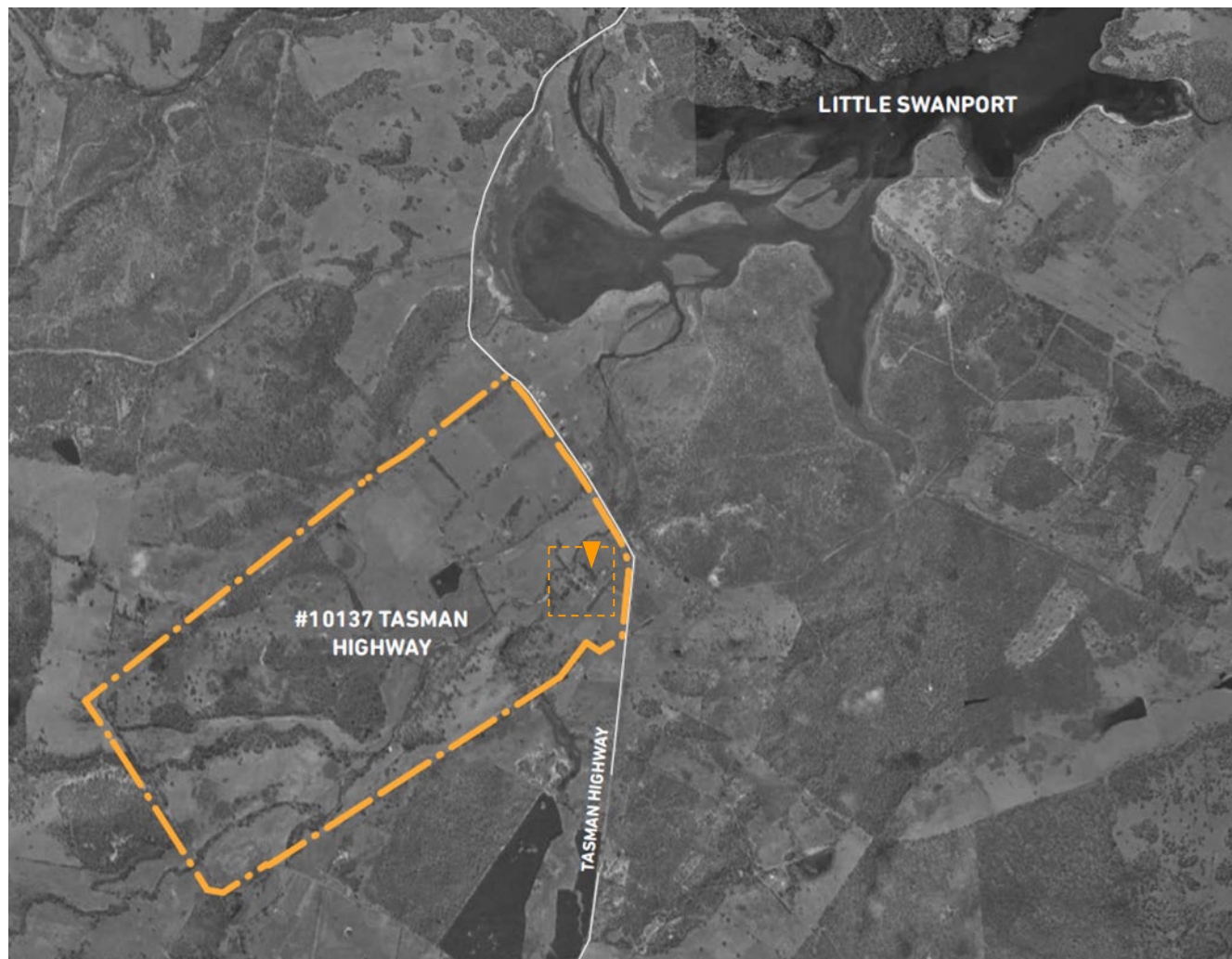


Figure 1: Aerial view, the approximate Site boundary outlined in orange and the Homestead pointed by the arrow. See Figure 2 for inset plan of the surrounding of the Homestead (area outlined in orange dashes). (Source: Taylor and Hinds, Architectural Drawings, Drawing A01-1 Rev. PRE, (2024, October 28), modified by Purcell)

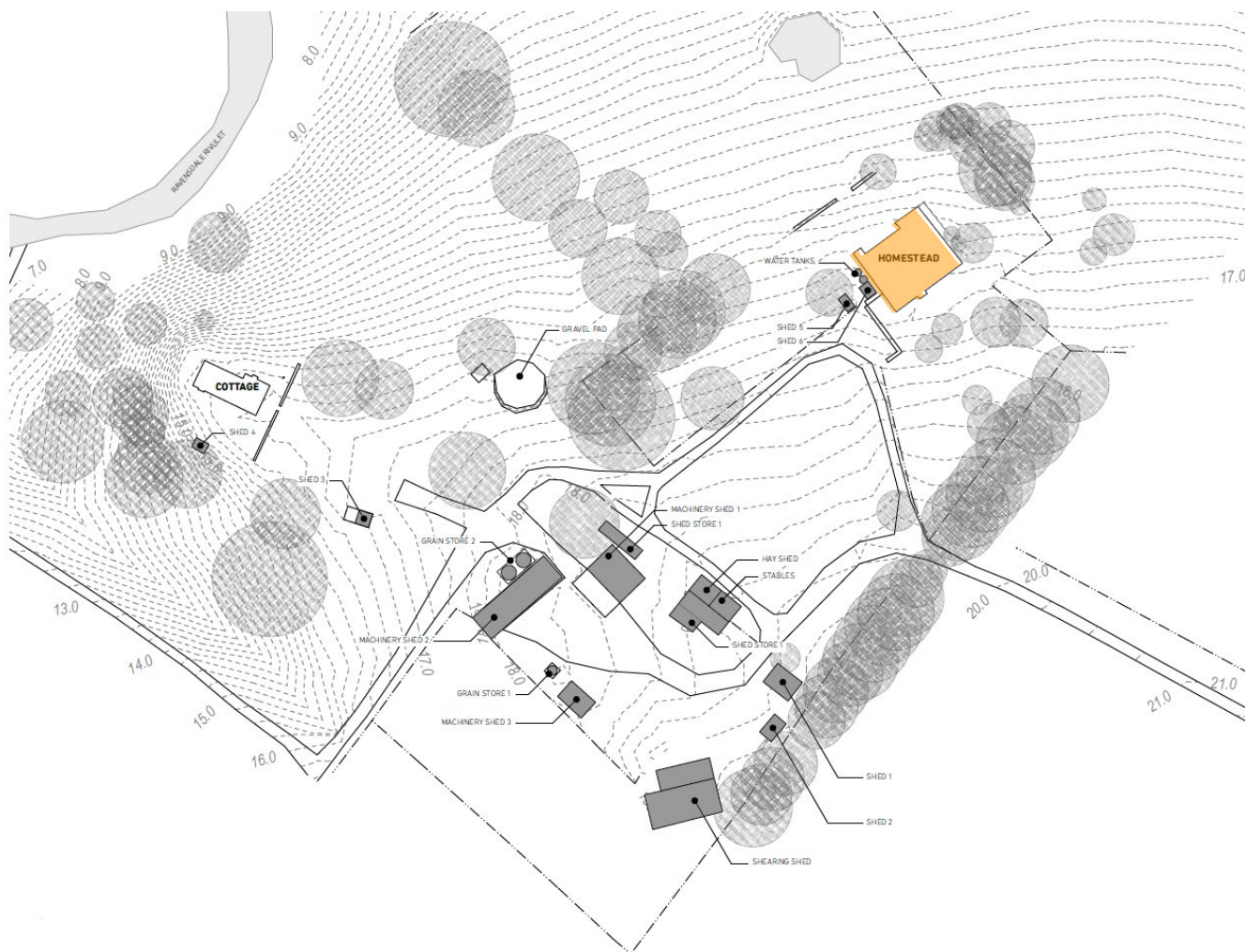


Figure 2: Site plan of the surrounding of the Homestead (the Place), the Homestead shaded in orange. (Source: Taylor and Hinds, *Architectural Drawings*, Drawing A03 Rev. PRE, (2024, October 28), modified by Purcell)

2.2 Historic overview and description

The place is the traditional lands of the Parederme people of the Palawa Nation and has the Tasmanian Aboriginal Place Name of LOE.TUM PINE.DER: the place where Lieutenant Hawkins farm. The place was subject to the Black Line military operation, October – November 1830 and was used as a supply depot for the operation.

The Ravensdale property was first developed around 1825 by Lt. John Hawkins, an officer at the Maria Island Penal Station, before passing the following year to James Hobbs, who had arrived with Governor Collins in 1803. Hobbs later sold the land to Police Magistrate William Noyes in the 1840s, during which time a mill at Ravensdale was recorded. After several transfers, the property was acquired in 1842 by Abraham Morey, who relocated the mill and whose tenure saw it described in 1871 as comprising both a substantial stone mill and a large wooden barn. By the 1880s, ownership had shifted to E.T. Castle, who continued milling operations until machinery was removed in 1898 for reuse in Swansea. Surviving heritage fabric includes the homestead, stables, the cottage “Dovedale,” historic plantings, road alignments, early fencing, and the broader landscape setting, all of which contribute to the site’s historic significance. Though the original mills have not been located, oral histories recall an old oyster bay pine woolshed and the remains of early European settlement, indicating strong archaeological potential across the property.

The Mercury described the property as follows in a sale listing 18 March 1861:

...containing 3,305 acres with an interest in 18,000 acres rented from the Crown. A large substantial built dwelling house of cur stone, flour mill, stables, barn, cottages, shepherds’ huts, shearing shed, a large garden stocked with choice fruit trees etc. It forms altogether a most perfect establishment for the residence of the country gentlemen desirous of possessing a fine estate situate in a most delightful country, & where the certainty of making a fortune is combined with the advantage of good society.¹

¹ Mercury, 18 March 1861 p4, c3.

The place was later described in 1988 by Mr & Mrs Cameron to the Glamorgan Spring Bay Historical Society:

Originally built in a U shape with an open courtyard which is now enclosed. One section was servants quarters with a large fireplace and baker's oven (now a Kitchen), & a bedroom. The old dairy is now a bathroom, & a room added above. In the 'schoolroom' hall & bedroom the floor is of pit sawn oyster bay pine, as the boards taper hep have been laid in such as way narrow & wide. The window frames are oyster bay pine shaped to fit the stone wall; the glass is original with a bubble in one pane. The upstairs rooms are additional, the bannisters are painted cedar. The original front door faced North West. The two main doors are large, with the original locks, one only open with a key from the outside the original brass one, the other door (N.W) has a sideways lever but no key for the brass latch.²

The following chronology, collated from the Glamorgan Spring Bay Historical Society and Spring Bay, Tasmania: A Social History, further outlines the historic development and use of Ravensdale since Colonial settlement.

YEAR OCCUPIED	PERSON/FAMILY OCCUPIED	NOTES
1825	John Hawkins	Construction began
1826-1846	James and Mary Ann Hobbs	1830: Supply Depot for The Black Line 1840s – 1940s: Farm with apple orchard 1842: 13 Convict labourers at Ravensdale
1846-1858	William Taylor Noyes	1840s – 1940s: Farm with apple orchard
1859-1861	Joseph & Joseph Solomon	1840s – 1940s: Farm with apple orchard
1866-1880	Abraham Morey	1840s – 1940s: Farm with apple orchard 1867: Post Office – Abraham Morey was Post Master
1885	Edward Castle	1840s – 1940s: Farm with apple orchard
1890	Henry John Salier	1840s – 1940s: Farm with apple orchard
1905-1910	A Ferguson	1840s – 1940s: Farm with apple orchard 1910: Eucalyptus Oil harvested from leased Ravensdale land
1915-1931	LA & P Mitchelmore	1840s – 1940s: Farm with apple orchard 1929-1931: School (using only one of the rooms) Following this time, teachers of the school (now across the road) stayed at the Homestead
1935	Allan Crosby, Roy Castle	1840s – 1940s: Farm with apple orchard
1940	JV Smith	1840s – 1940s: Farm with apple orchard
1945	JT Smith	
1950	VC Smith	
Source: Taylor + Hinds		

2.3 Images of the Place and its context



Figure 3: Ravensdale c.1963. Note the reduced height of the garden bed fronting the verandah (Source: TA NS3195-269-5)



Figure 4: Ravensdale c.1963. (Source: TA NS3195-269-7)



Figure 5: Ravensdale c.1990. Note introduced blade wall (Source: GSBHS 383F3)



Figure 6: North west elevation with introduced blade wall, non-original garden beds and tank stands (Source: Taylor + Hinds)



Figure 7: North east verandah with outrigger rafters and closely spaced battens. Presumed to have been previously finished with timber shingles (shakes) (Source: Taylor + Hinds)



Figure 8: North west verandah appears to be modified from a lined eaves detail to later include a verandah (Source: Taylor + Hinds)



Figure 9: Roof interior of original built form. Notched roof beams to the foreground of the image are assumed to be from previous rafters, corresponding with the far end hip (Source: Taylor + Hinds)



Figure 10: Atrium nominated for demolition (Source: Taylor + Hinds)



Figure 11: Non-original linings to attic nominated for removal. Floor linings nominated for removal and creation of double height rooms (Source: Taylor + Hinds)



Figure 12: School room with exposed stone walls and cement pointing. (Source: Taylor + Hinds)

2.4 Statutory Listings

2.4.1 Historic Cultural Heritage Act 1995 (TAS)

The Place (Title Reference 118343/1) is Permanently Registered as State Significant on the Tasmanian Heritage Register, with THR ID 1538.³ The THR Datasheet identifies that the Site meets the following criteria from the *Historic Cultural Heritage Act 1995*:

- d) **The Place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.**

Ravensdale is of historical heritage significance because of its ability to demonstrate the principal characteristics of a single storey (with attic) sandstone Old Colonial Georgian rural homestead with associated outbuildings.

The THR Datasheet is included at Appendix B.

2.4.2 Tasmanian Planning Scheme – Glamorgan Spring Bay Local Provisions Schedule (TPS-GSB)

The Place is not identified as Locally Significant in GSB-Table C6.1 Local Heritage Places of the TPS-GSB.⁴

The following tables are not used in this Local Provisions Schedule:⁵

- GSB-Table C6.2 Local Heritage Precincts;
- GSB-Table C6.3 Local Historic Landscape Precincts;
- GSB-Table C6.4 Places or Precincts of Archaeological Potential; and
- GSB-Table C6.5 Significant Trees.

The C6.0 Local Historic Heritage Code of the State Planning Provisions does not apply as the site is a registered place entered on the Tasmania Heritage Register and the Proposal does not include 'the lopping, pruning, removal or destruction of a significant tree'.

2.5 Non-Statutory Listings

The Site is included on the Register of the National Estate (Non-statutory archive), with the following Description, Condition and Integrity, and Statement of Significance:⁶

Description:

Large house probably built in two or more stages. It has a one and a half storey wing with two pitched gable roof and later dormers, six panel door, twelve pane windows and one storey verandah. Also, one storey section with hipped roof, twelve pane windows, verandah, and central six panel door with Regency transom light. Walls of rough tooled stone also small barn/stable building of squared rubble with dressed quoins. Garden and avenues of poplars enhance house considerably.

³ THC, THR Datasheet, THR ID 1538.

⁴ TPS-GSB, GSB-Table C6.1 Local Heritage Places.

⁵ TPS-GSB, GSB-Code Lists, GSB-C6.0 Local Historic Heritage Code.

⁶ Department of Climate Change, Energy, the Environment and Water (DCCEEW), 'Place Details: Ravensdale, Tasman Hwy, Little Swanport, TAS, Australia' [website], accessed 21/08/2025

Condition and Integrity:

Many windows are now missing their glazing bars. Later additions and dormer windows should be removed.

Statement of Significance:

An elongated stone vernacular house built before 1850 with later integrated additions. A stone barn of the same period is located near the house. The approach along an avenue of poplar trees enhances the visual value of the house.

The Tasmanian National Trust no longer maintains a publicly available list of Tasmanian Heritage places.

3.0 HERITAGE IMPACT ASSESSMENT

3.1 Proposed Works

The following overview of the proposed works is summarised from the documents and drawings prepared by Taylor and Hinds, October 2025:

Internally

- *Removal of the non-significant atrium structure, internal partitions, joinery, stairs, floor coverings, fixtures & fittings*
- *Isolated demolition of internal masonry walls*
- *Creation of new openings to support enhanced circulation & egress*

Externally

- *Removal of an elevated water tank & platform, two small sheds (immediately west of the homestead), and peripheral landscape elements*
- *Addition of a new verandah and service court to wrap the south-west elevation providing internal and external amenity*

Appendix A, Architectural Drawings, prepared by Taylor and Hinds dated 17 October 2024 of the DA package has further details of the proposal.

3.2 Guidance Documentation

This assessment follows the best practice management framework for historic sites contained in:

- The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013.
- Tasmanian Heritage Council, 'Works Guidelines for Historic Heritage Places' v2 October 2025

3.3 Assessment Methodology

This assessment follows the provision of preliminary heritage advice through an iterative design process, intended to mitigate potential impact to the significance and values of the place. It is based on observations made during a site visit and a review of the design proposal. The assessment considers the potential for detrimental impacts as a result of the proposal, as well as all mitigation measures proposed, within the context of the *Historic Cultural Heritage Act 1995 and the TPP-Local Historic Heritage Code*. Proposed works have been assessed for their impact to the heritage value of the Heritage Place as identified in its Statement of Significance, and the place's setting and context. The Proposal has also been considered against non-statutory guidelines published by Australia ICOMOS. Direct (fabric) and indirect (visual) impacts are both considered in this assessment.

3.4 Assessment against the Works Guidelines for Historic Heritage Places

The Site is identified as a Heritage Place under the *Historic Cultural Heritage Act 1995*. The following table assesses the Proposal against the relevant Works Guidelines for Historic Heritage Places, 2025.

1. MAINTENANCE AND REPAIR OF BUILT ELEMENTS		
1.1	<div>Repair by select replacement</div> <div><i>Selectively replacing sections or units of historic fabric that are broken or decayed, where:</i></div> <div><div><div>- the sections or units are demonstrably defective, and</div><div>- repair that retains the affected fabric is not feasible, and</div><div>- dismantling work is kept to a necessary minimum, and,</div><div>- substantial areas of the original fabric will be retained i.e. the replacement is partial, and - the new work will</div></div></div>	<div>The proposal will include selective replacement of sections of historic building material for the purpose of remediation of fabric which is 'demonstrably defective'.</div> <div>This work will account for general maintenance and repair including splicing of timbers, loose drummy and delaminating lath and plaster finishes and isolated replacement of sandstone units in unit dimensions and detail to match existing.</div>

<p><i>substantially match the material, detail, form, colour and finish of the original.</i></p> <p><i>NOTE: For stonework, select replacement is considered to be inclusive of replacement with natural stone, synthetic stone, or mortar i.e. plastic repair, which substantially matches the original work.</i></p> <p><i>Total dismantling and rebuilding of a roof, wall or floor structure that is not historic fabric and the work will not impact on abutting historic fabric.</i></p> <p><i>Total dismantling and rebuilding of a section of masonry or timber framed wall or floor that is historic fabric, where the wall is demonstrably defective, repair is not feasible, and the new work will match the material, detail or finish of the original. A photographic record of the wall may be required prior to the dismantling work.</i></p>	<p>Consistent with the Works Guidelines it is intended that 'the new work will match the material, detail, colour or finish of the existing'.</p>
<p>1.3 Roofs – cladding replacement</p> <p><i>Totally replacing early or original roof claddings where the roof cladding is demonstrably defective, the defects are widespread i.e. not limited to a few locations, and repair is not feasible, and</i></p> <p><i>For tiled roof claddings that are of an uncommon type such as slate, terracotta or iron, the replacement material matches the original like-for-like, or</i></p> <p><i>For early or original corrugated galvanised iron sheet cladding (whether or not it has been painted), the replacement material is corrugated galvanised cladding (not Zinalume or Colorbond), although not necessarily painted; and the cladding units e.g. sheet lengths, will match the existing lengths, at least on prominent roof planes.</i></p> <p><i>With any replacement of early or original roof claddings, elements such as ridge capping, flashings, barge boards and fascia boards, vents and skylights, that are still in serviceable condition are retained, and the profiles and details of any new elements are to match existing or an earlier form.</i></p> <p><i>NOTE: The Heritage Council may use its discretion to allow a change of material e.g. Colorbond, Zinalume or faux slate, where it is satisfied that this change will result in negligible impact on the heritage values of the place.</i></p> <p><i>Removing a roof cladding (including associated details) that detracts from the place's heritage values and replacing this with a cladding that is more in-keeping with the place's heritage values.</i></p>	<p>Some roof planes retain evidence of previous timber shingle cladding with the roofscape being currently clad in galvanised iron.</p> <p>The proposal includes the wholesale replacement of the existing roof sheeting, removal of non-original and intrusive skylights and replacement of others.</p> <p>The work will rectify inadequately detailed and executed flashings and cappings to standard best practice detailing and ensure the long-term integrity and water shedding capacity of the roof. Galvanised iron sheeting is considered an appropriate replacement material.</p> <p>While the intention is to generally replicate the sheet lengths and pattern of alignment it is noted that in some instances sheet lengths are precariously short (see Figures 3 & 6, junction of gable to verandah) and will be avoided in the interests of weathertightness.</p>
<p>1.4 Roofs – gutters and downpipes</p> <p><i>For original gutters and/or downpipes that have distinctive characteristics (e.g. cast-iron downpipes, ornamental rainwater heads) contributing to the heritage values of the place, like-for-like replacement of existing elements that are defective and unable to be repaired</i></p> <p><i>Replacement of gutters and downpipes that are of a generic form, involving minor changes to materials, profiles and/or configuration and fixing of these elements where replacement fabric is in keeping with the place's</i></p>	<p>Rainwater goods will be universally replaced to ensure and increase the water shedding capacity of the roof. Replacement profiles will match existing, and locations will be maintained, and discreetly supplemented where calculations, or evidence of failure is determined.</p>

<p><i>heritage character e.g. Colorbond steel gutters and downpipes instead of painted galvanized iron.</i></p> <p><i>NOTE: In most cases, PVC gutters and/or downpipes are not an acceptable substitute for sheet-metal gutters and downpipes.</i></p> <p><i>Modification of concealed gutters and downpipes e.g. box gutters, where the new work is concealed.</i></p> <p><i>Reconstruction of gutters and/downpipes to match an earlier known significant form.</i></p>	
<p>1.5 Verandahs</p> <p><i>In relation to a verandah that is historic fabric:</i></p> <ul style="list-style-type: none"> - <i>Scarfig or splicing in new timber to bottoms of verandah posts and replacing post skirtings where the existing timberwork has decayed. The new material should match the profile and form of the original.</i> - <i>Replacing deteriorated timber verandah decking with new timber of the same profile, finish and installation detail as the original.</i> - <i>Replacing or repairing deteriorated or defective sub-floor structure to a verandah, to match the existing materials, form and character of the existing structure, or matching an earlier historic form; where subfloor deposits of potential archaeological value are not disturbed,</i> - <i>Minor modifications to a verandah to reinstate original form or detail for which unambiguous information as to the original form and detail is available.</i> 	<p>Scarfig in of new timber to bottoms of verandah posts is required in select locations where the timber is currently decayed beyond repair and maintenance.</p> <p>While it is noted that new material should match the profile and form of the original there is little evidence of the original detail to the northeast verandah and conjecture will be required for reconstruction. In these instances, reference will be made to extant detailing evident on site, or details typical of the period.</p>
<p>1.10 Services, fixtures and fittings</p> <p><i>Services upgrade to replace defective wiring or plumbing, but not involving the removal of fittings that contribute to the heritage character of the place e.g. block-mounted light switches, electrical outlets, tap ware.</i></p> <p><i>Disconnection, de-activation or bypassing of defective or redundant fixtures and fittings that are historic fabric, where the non-functioning elements are retained in situ and not materially altered e.g. conversion of an analogue tower clock to an electrical mechanism.</i></p> <p><i>Replacement of an electrical meter box, where the new meter box is located discreetly so as not to intrude of the heritage character of the place.</i></p> <p><i>Upgrade work that results in the modification of fixtures or fittings that are not historic fabric, changing the nature of their mechanisms, or their total replacement with new fixtures or fittings that are consistent with the heritage character of the place.</i></p> <p><i>Removing and/or replacing deteriorated fixtures and fittings (e.g. kitchen or bathroom cabinets and taps) that are not historic fabric, where there will be no damage to significant elements including walls, floors and skirtings.</i></p>	<p>Existing base building services across plumbing, electrical and date services will be upgraded, generally employing existing, or concealed reticulation routes.</p> <p>Historic switching and associated equipment will be made redundant and retained in-situ, or where deemed safe, reused.</p> <p>Existing kitchen and bathroom fixtures and fittings are non-significant and will be removed and replaced.</p>

6. DEMOLITION AND RELOCATION OF BUILT ELEMENTS	
<p>6.3 Partial demolition</p> <p><i>Advice for appropriate outcomes:</i></p> <p><i>This should be avoided or minimised as far as practicable, to retain the heritage values of the place.</i></p> <p><i>Partial demolition may be justifiable where it can achieve a greater conservation benefit; for example, where the partial demolition will allow for the sustainable use and conservation of the more significant parts of the place.</i></p> <p><i>Where partial demolition is unavoidable, the historic parts and details i.e. spaces and fabric, that are of greatest heritage value should be retained in situ; and, where that is not practicable, the historic parts should be salvaged and relocated to where they can still exist in a meaningful way.</i></p> <p><i>Where an internal wall or other structural element is removed, it is desirable to keep vestiges i.e. traces, of the removed element as evidence of the past form of the building. Vestiges may be patches in the floor, wall ribs and ceiling bulkheads. In most cases the retention of vestigial elements is preferable to the complete removal of historic fabric.</i></p> <p><i>Where the fabric proposed to be removed is significant and has the potential to be reinstated or meaningfully reused at the place, or if it has archaeological value i.e. as an artefact, it should be stored in good condition at the place.</i></p>	<p>The proposal includes partial demolition which is not considered to detract from the principal characteristics of the place, and ability to read its historic development.</p> <p>Consistent with the Works Guidelines 'partial demolition may be justifiable where it can achieve a greater conservation benefit'. We argue that the benefit is for the continued historic use of the place to contemporary living standards.</p> <p>The scope of demolition is assessed as follows:</p> <ul style="list-style-type: none"> - The stone and glass blade wall and raised garden beds to the north west elevation post date the 1963 archival photos and pre date the c.1990s archival photos (Figures 5 & 6). This element can be removed without detracting from the significance of the place. - Non-original linings to attic ceilings (Example at Figure 11) can be removed without impact to fabric. - The demolition of timber boarded ceiling linings (assessed as later fabric) over Kitchen 01 and the Laundry will not result in the loss of significant fabric. While the spatial experience will change this is not considered to detract from the principal characteristics of the place and will not be visible from the building exterior. - The partial demolition of the stone wall dividing the Laundry and Kitchen will result in the removal of early fabric but will not be detrimental to the ability to interpret the construction and original plan configuration. Vestiges of this wall between the Laundry and Kitchen are to be retained consistent with the Works Guidelines objective to retain 'evidence of the past form of the building'. - The stair from the Atrium to the existing Bathroom 02 (Figure 10) is nominated for demolition. This element is rudimentary in detail and supportable given the enhanced functionality and conflicting interface with the adjacent original door and windows. - Non-original details and alterations, including joinery, bathroom fixtures and fittings and fireplace modifications can be removed without detracting from the significance of the place.
<p>6.4 Total demolition</p> <p><i>Demolishing or removing non-significant structures e.g. modern outbuildings, that are separate from the heritage structures where this work will not markedly impact on the ability to understand the historical evolution of the place.</i></p>	<p>Non-original structures including outbuildings, drystone walls, tank stands and tanks (Figure 6) are nominated for total demolition. These elements are contributory to the place, but demolition is not assessed as impacting the principal characteristics of the place, or ability to understand the historic evolution of the place.</p> <p>Salvage of materials from tank stands for reuse in later maintenance is proposed, with other tank stands at Ravensdale to be prioritise for the reuse of this material where practical.</p>

7. EXCAVATION AND ARCHAEOLOGICAL INVESTIGATION	
<p>7.2 Excavation and ground disturbance</p> <p><i>Excavation for civil engineering work, building construction or laying new services i.e. trenching for pipes or cables, in areas that have no archaeological value.</i></p> <p><i>Works in areas known to have archaeological value where:</i></p> <ul style="list-style-type: none"> - <i>a qualified archaeologist has determined that there is a low risk of disturbing significant archaeological remains or will be present to monitor the excavation and ensure that significant deposits are avoided, or</i> - <i>deposits identified as being non-significant are excavated under the supervision of a qualified archaeologist to ensure works do not encroach on and disturb significant archaeological remains, or</i> - <i>unanticipated finds are needing to be dealt with after consultation with Heritage Tasmania.</i> 	<p>The assessment of archaeological potential is beyond the scope of this report.</p> <p>The place has not been assessed as having significant archaeological value. All excavation should be managed in accordance with the Tasmanian Heritage Council <i>Practice Note No 2. Managing Historical Archaeological Significance in the Works Process</i>, Tasmanian Heritage Council, v4 November 2014.</p> <p>Any unanticipated finds should be managed in accordance with the Practice Note and consultation with Heritage Tasmania</p>
9. ALTERATIONS ADDITIONS AND EXTENSIONS	
<p>9.1 Internal alterations (generally)</p> <p><i>Alterations that involve disturbance or removal of historic fabric such as walls, floors, ceilings, fireplaces, stairs, joinery, or decorative plasterwork that contributes to the heritage values of the place.</i></p> <p><i>Advice for appropriate outcomes:</i></p> <p><i>Alterations should be limited to fabric that has a relatively low level of significance, rather than fabric that has a relatively high level of significance.</i></p> <p><i>Retain internal fabric of the place that contributes to its heritage value. This fabric may include:</i></p> <ul style="list-style-type: none"> - <i>the overall room layout, particularly corridors that demonstrate original circulation patterns,</i> - <i>fireplaces and chimney breasts,</i> - <i>the floor, wall and ceiling linings of timber, plaster or other materials,</i> - <i>significant details such as skirtings, door and window architraves, cornices and ceiling roses,</i> - <i>significant fixtures such as historic staircases, fireplace mantels, dado rails, panelling, doors, windows sashes, and built-in shelving or cupboards, and/or</i> - <i>rare and important decorative finishes such as painted surfaces that imitate stone or wood, rare and unusual wallpapers, and the pit-saw surface markings of original floorboards.</i> <p><i>Where alterations involve the removal of historic fabric that divides internal spaces, vestiges i.e. traces, should be kept of the fabric that is removed. For example, keep wall nibs and ceiling bulkheads to demonstrate the</i></p>	<p>Disturbance and removal of historic fabric is addressed in 6.3 Partial Demolition (above), including observations on the retention of vestiges, consistent with the principles of the Works Guidelines.</p> <p>The internal fabric that contributes to the significance of the place is retained.</p> <p>Consistent with the Works Guidelines the proposal also retains the significant external characteristics and form of a place including:</p> <ul style="list-style-type: none"> - Room layout and pattern of circulation. - Fireplaces and chimney breasts. - A sufficiently representative sample of the floor, wall and ceiling linings. - Significant joinery details. - Significant fixtures. - Rare and importance decorative finishes.

<p><i>former location of a wall rather than completely removing the wall.</i></p> <p><i>Work should be planned to retain significant details such as stairs, fireplaces, ornamental ceilings, panelling, doors and windows, fixtures and fittings.</i></p> <p><i>Where significant internal elements are to be removed, it is preferable that they be kept on-site in a secure location, so that they can be returned to their original location at a future date if required.</i></p>	
<p>9.2 Internal partitions</p> <p><i>Installing new internal partitions or walls in significant spaces or in a manner that is likely to damage significant fabric or alter the heritage character of a significant interior space.</i></p> <p><i>Advice for appropriate outcomes:</i></p> <p><i>Avoid dividing or breaking up spaces that are of relatively high significance. If a space has some significance but must be divided, use walls or partitions that do not extend to ceiling, or partitions that have their upper part made of glass.</i></p> <p><i>Partitioning rooms into smaller spaces should be carefully considered and planned in such a way as to retain significant elements e.g. by keeping chimney breasts and fireplace mantels in one space and not dividing them between separate rooms. Partitions should be designed to be reversible so they can be removed later if required, enabling recovery of the space without need for the restoration or reconstruction of significant historic fabric.</i></p> <p><i>Partition walls should be configured to minimise the need for alteration of significant fabric, including fixtures and fittings.</i></p>	<p>Internal partitions to the ensuite and bathroom are proposed as light weight insertions. Typically, their function is dual, in separating rooms, while concealing service reticulation without undue impact to significant walls by chasing or face fixing.</p> <p>The work will not impact, nor conflict with fenestration or significant architectural detailing such as chimneys or ceiling roses.</p> <p>Design development should seek to mitigate impacts to floors, skirtings and cornices, where present.</p>
<p>9.5 Additions</p> <p><i>Additions to structures that are significant, or to other structures where the work will result in a physical or a visual impact on the significant elements or spaces of the place or any adjoining Registered place.</i></p> <p><i>Advice for appropriate outcomes:</i></p> <p><i>Additions should be subservient to the main historic parts of the place i.e. an addition should not visually dominate the primary historic structure.</i></p> <p><i>Significant public views of a place should be retained when additions or extensions are planned and implemented. Where such works will be publicly visible, care should be taken in the configuration and choice of materials to minimise visual impacts. This may be particularly relevant when considering the height of additions; roof forms, materials and colours; wall materials, textures and colours; and window proportions and arrangements.</i></p> <p><i>Position additions so that significant spaces or view lines are not intruded on, and so that trees, gardens or garden features are retained.</i></p>	<p>The additional built form will not physically or visually dominate the historic Homestead, nor adjoining Registered places.</p> <p>The design concept has been informed by an intelligent analysis of the architectural characteristics of the place and its historic development. The proposal seeks to house the bulk of ancillary services to mitigate impact to the significant fabric and plan configuration of the Homestead.</p> <p>The new plan form is set off that of the Homestead. As a separated form it is visibly read as an addition, but linked as an elongated verandah, consistent with the characteristics of the building's typology and period. The atrium is conceived as a glazed element within the existing internal courtyard and does not detract from the ability to read this space as a previously external void.</p> <p>Its overall height retains the prominence of the existing roofscape.</p> <p>The works will not be publicly visible, with the siting of the Homestead being set back from the street and screened by plantings.</p>

<p><i>The design of any new additions should be sympathetic to the heritage character of the place.</i></p> <p><i>Where minor or small-scale additions are proposed, a higher level of conformity with the historic part is desirable. The new fabric can be distinguished from historic fabric by subtle differences e.g. by slight changes in construction, stylistic details, shift in tone or colour, change of material, or a particular treatment of the junction between old and new. New fabric can also be distinguished by incorporating date or marking devices and by keeping records to document the feature as new works.</i></p> <p><i>Where the additions are substantial, it is appropriate that the new work is more easily distinguished from the historic part. This can be achieved through a variety of approaches from traditional i.e. design that is in-keeping with the original, but subtly different, to highly contemporary i.e. design that is a contrast with the original. Poor quality imitation or mimicry of historic building forms and styles should be avoided. Designs that provide a visual contrast between old and new should be visually compatible and sympathetic to the historic parts and should not diminish the place's heritage values.</i></p> <p><i>Take care to avoid ongoing conservation problems at the interface between the historic place and the addition or extension. For example, construction details in new works should avoid breaching damp proof courses or preventing subfloor ventilation in historic parts which may lead to damp issues that may be difficult and costly to remedy post-construction.</i></p>	<p>Materials are consistent with the existing, while being detailed in a contemporary form and will not starkly contrast that of the existing.</p> <p>Detailed investigation of the highly modified stone flag and concrete slab of the Atrium is subject to investigation. Detailed design resolution will follow to mitigate impact to fabric through both demolition and inherent condition and maintenance. While partial demolition of eaves to the courtyard are required this work will support the detailed refinement of this interface while ensuring weathertightness with the box gutter design. Sufficient representative sample of eaves are otherwise retained on site.</p>
<p>11. NEW SERVICES (INCLUDING UPGRADES FOR ENERGY EFFICIENCY)</p>	
<p>11.1 New services (generally)</p> <p><i>Installing modern services, plant and equipment where the work is likely to result in either a physical or visual impact on the heritage character, fabric or spaces of a place i.e. where it will have an adverse impact, visual or physical, on the place's heritage values.</i></p> <p><i>Advice for appropriate outcomes:</i></p> <p><i>Plan for the provision of the full range of anticipated service infrastructure at the design stage of any new development, ensuring that the likely impacts that this infrastructure will have on the heritage values of the affected and any adjoining places are minimised.</i></p> <p><i>Install new services with the least intrusion or impact on the place's heritage values having regard for its significant details and spaces. Where possible, changes should be designed to be reversible.</i></p> <p><i>Avoid or minimise visual impacts by locating new services in areas that do not detract from the public presentation of a place.</i></p> <p><i>With masonry buildings, any fixings into the external walls should be with noncorrosive (non-ferrous) materials</i></p>	<p>In addition to the upgrade of base buildings services, assessed at 1.10 Services, fixtures and fitting a new Mud Room, Laundry and Services Room are proposed, together with a new water tank.</p> <p>These new services are housed within the proposed extension, mitigating the impact of service intensification to the significant fabric and spaces of the Homestead. These services are consistent with the demands and operations of the Homestead as the centre of a working farm.</p> <p>The addition, and services themselves will not result in a visual impact to the public presentation of the place, given that it is set back from the road, and screened by plantings. The services are situated to the rear of the Homestead and will not impact the principal elevations, nor views and vistas from the Homestead over the cultural landscape.</p>

<p><i>and into the mortar joints rather than the face of the stone or brick units.</i></p> <p><i>Penetrations for cables or pipes should be through mortar joints where possible.</i></p> <p><i>Conduits should be kept to a minimum and located alongside other services, and any visible conduits and plant should be painted to blend in with the surface against which it is mounted or positioned.</i></p> <p><i>Where larger penetrations in masonry are to be sealed, a traditional lime-based mortar should be used rather than a Portland cement mortar.</i></p> <p><i>Position operating equipment away from significant fabric to avoid damage from vibration, condensation, airflow etc.</i></p> <p><i>See also section 7.2 'Excavation and ground disturbance' in relation to trenching through areas that are likely to have archaeological potential.</i></p>	
<p>14. OUTDOOR SPACES, BUILT LANDSCAPES, GARDENS AND PLANTS</p>	
<p>14.9 Retaining walls</p> <p><i>Removing or replacing unsympathetic or non- significant retaining walls with materials and detailing sympathetic to the character of the place.</i></p>	<p>As outlined at 6.3 Demolition, the stone and glass blade wall and raised garden beds to the north west elevation post date the 1963 archival photos and pre date the c.1990s archival photos (Figures 5 & 6). This element can be removed without detracting from the significance and character of the place.</p> <p>The proposed seat adjacent the parking area is a discreet and well detailed landscape element, integrated with the architectural design of the additions and sympathetic to the character of place.</p>

3.5 Summary of Assessment

The proposal responds to the guiding principles of the Tasmanian Heritage Council Works Guidelines. The proposed alterations and additions have been crafted with consideration of the historic cultural heritage significance of the place and seeks to retain the principal characteristics of the place, including to a large extent the original and early fabric of the Homestead. The proposal responds to the reasonable need for an upgrade to contemporary living standards and 'ongoing relevance and use' of the Homestead as a central part of a working farm. The proposal is modest in scale, contextual to the wider landscape and setting. The siting of the addition to the rear elevation will not impact the setting and views, either to or from the Homestead. Furthermore, the proposal provides for the place's upkeep, extending to conservation and maintenance works.

The demolition of the atrium structure (Figure 10) will remove a heavily detailed and constructed unsympathetic element from the building and proposes a contemporary alternative. Minor isolated demolition of fabric is proposed which retains sufficient representative samples, and predominance of the place's principal characteristics.

3.6 Recommendations

The following recommendations are outlined to mitigate the impact of the proposal to the historic cultural heritage significance of the place:

- Where significant joinery elements, such as skirting boards are to be removed, fabric should be retained for repair and/or reuse.
- Service upgrades including, but not limited to electrical, fire detection and suppression and plumbing should be further developed and assessed to mitigate impacts to fabric during construction. Generally existing reticulation routes and penetrations should be reused and services consolidated.

- The proposed insertion of the ensuite and fitout of the bathroom has been planned in a manner which facilitates the reticulation of services to new stud framed cavity walls, avoiding chasing or fixing to adjacent significant masonry. Further design development should consider the finish to masonry walls within these wet areas so as to avoid impact to fabric and risk of rising damp.
- The places should be archivally recorded prior to the commencement of works, or following opening up and demolition of detracting elements. This recording should generally be undertaken with reference to Practice Note No 3: Procedure for Recording a Heritage Place, Tasmanian Heritage Council, v2 November 2014.
- The program of excavation should be undertaken in accordance with Practice Note No 2: Managing Historical Archaeological Significance in the Works Process, Tasmanian Heritage Council, v4 November 2014.
- Structural cracking to the southeast elevation and stone chimney (Baker's oven) should be inspected by a structural engineer and remediated as deemed necessary to maintain structural integrity.
- The finish of the interior walls of Room 3 should be subject to detailed design development and to the agreement of Heritage Tasmania.
- Hexagonal fixings should be avoided in replacement of galvanised iron roof sheets. Fixings of rainwater goods should be maintained to masonry joints.
- A long-term program of repointing and stone conservation should be planned and implemented under guidance from an experienced practitioner. The objective is to ensure the integrity and condition of significant fabric and retard deterioration. The program should be prioritised by base line condition and specify lime-based mortars.

APPENDICES

Appendix A Architectural Drawings – Index

AUTHOR	DRAWING NAME	DRAWING NO.	REV	DATE
Taylor and Hinds	COVER, LOCATION PLAN & VISUALISATION	A01	-	17/10/2025
Taylor and Hinds	PROPOSED SITE PLAN – 1:1500	A02	-	17/10/2025
Taylor and Hinds	PROPOSED SITE PLAN – 1:500	A03	-	17/10/2025
Taylor and Hinds	DEMOLITION – GROUND FLOOR PLAN	A04	-	17/10/2025
Taylor and Hinds	DEMOLITION – ATTIC FLOOR PLAN	A05	-	17/10/2025
Taylor and Hinds	DEMOLITION – ROOF PLAN	A06	-	17/10/2025
Taylor and Hinds	PROPOSED – GROUND FLOOR PLAN	A07	-	17/10/2025
Taylor and Hinds	PROPOSED – ATTIC PLAN	A08	-	17/10/2025
Taylor and Hinds	PROPOSED – ROOF PLAN	A09	-	17/10/2025
Taylor and Hinds	ELEVATION – NORTH EAST	B01	-	17/10/2025
Taylor and Hinds	ELEVATION – SOUTH EAST	B02	-	17/10/2025
Taylor and Hinds	ELEVATION – SOUTH WEST	B03	-	17/10/2025
Taylor and Hinds	ELEVATION – NORTH WEST	B04	-	17/10/2025
Taylor and Hinds	ATRIUM SECTIONS	B05	-	17/10/2025
Taylor and Hinds	3D MODEL IMAGES	B06	-	17/10/2025
Taylor and Hinds	MATERIAL KEY	B07	-	17/10/2025

Appendix B THR Datasheet

134 Macquarie Street (GPO Box 618)
Hobart Tasmania 7001
Phone: 1300 850 332 (local call cost)
Email: enquiries@heritage.tas.gov.au
Web: www.heritage.tas.gov.au

Name: Ravensdale
Status: Permanently Registered
Tier: State

THR ID Number: 1538
Municipality: Glamorgan-Spring Bay
Council
Boundary: Whole of Title

Location Addresses

10137 TASMAN HWY, LITTLE SWANPORT 7190 TAS

Title References

118343/1

Property Id

9716668



Untitled
No copyright on file



Untitled
No copyright on file

Statement of Significance: (non-statutory summary)

No Statement is provided for places listed prior to 2007

Why is it significant?:

The Heritage Council may enter a place in the Heritage Register if it meets one or more of the following criteria from the Historic Cultural Heritage Act 1995:

- a) The place is important to the course or pattern of Tasmania's history.
- b) The place possesses uncommon or rare aspects of Tasmania's history.
- c) The place has the potential to yield information that will contribute to an understanding of Tasmania's history.
- d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.

Ravensdale is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey (with attic) sandstone Old Colonial Georgian rural homestead with associated outbuildings.

- e) The place is important in demonstrating a high degree of creative or technical achievement.

- f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.
- g) The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.
- h) The place is important in exhibiting particular aesthetic characteristics.

Heritage approval is required for work that will result in changes to the nature or appearance of the fabric of a Heritage place, both internal and external.

Please refer to the Heritage Council's Works Guidelines (www.heritage.tas.gov.au) for information about the level of approval required and appropriate outcomes.

Heritage Advisors are also available to answer questions and provide guidance on enquiries@heritage.tas.gov.au or Tel 1300850332

This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.

Setting:

No Data Recorded

Description:

Ravensdale is a single storey (with attic) sandstone house in the Old Colonial Georgian style. There are two principal entrances, as if a very early modification has moved the front entry. One entrance has a panelled door under a substantially reconstructed verandah, external decorative stone architraves around the door, double hung small paned windows to either side, and a protruding gable to one end. The gable end has double hung windows at both ground and upper floor levels. The second entrance is under another verandah, is also a panelled door and has double hung small paned windows to each side. Internal joinery is substantially intact from the Colonial Georgian period. The stable is a stone structure with gabled roof and corrugated iron cladding, and a modern extension to one end replacing earlier construction. There is also a c.1930 Dairy/Freezer to the rear of the main house.

History:

No Data Recorded

SYDNEY

Warrane

Office #26

The Commons

388 George Street

Sydney NSW 2000

+61(0) 426 047 474

sydneystudio@purcellau.com

www.purcellarchitecture.com

Nominated Architect: Tracey Skovronek ARN NSW 11029

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Narm

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East Melbourne Victoria 3002

+61(0) 426 047 474

melbournestudio@purcellau.com

www.purcellarchitecture.com

ARBV Registered Architectural Company: 600439

HOBART

Nipaluna

183 Macquarie Street

Ground Floor

Hobart Tas 7000

+61(0) 415 423 497

hobartstudio@purcellau.com

www.purcellarchitecture.com

ARB Tas Registered Architect Firm: F157

Nominated Architect: Lucy Burke-Smith TAS:898/CC6606

Other studio locations:

Hong Kong, Bristol, Cambridge, Canterbury,

Colchester, Edinburgh, London, Manchester,

Norwich, Oxford, York.



ARCHITECTURAL DRAWINGS

PROJECT INFO

TYPOLGY
ALTERATIONS & ADDITIONS

ADDRESS
RAVENSDALE 10137 TASMAN HIGHWAY, LITTLE SWANPORT

LAND TITLE REF
118343/1
P ID: 9716668

TOTAL SITE AREA: 492.2 HECTARES
EXISTING HOMESTEAD FLOOR AREA: 370 m2
PROPOSED ADDITIONAL FLOOR AREA: 58 m2
PROPOSED TOTAL FLOOR AREA: 428m2

CLIMATE ZONE: 7
WIND CLASSIFICATION: TBC
SOIL CLASSIFICATION: TBC
CORROSION ENVIRONMENT: N/A
BAL: TBC
OTHER HAZARDS: N/A

DRAWING INDEX

ID.	REV.	DRAWING
A01	-	COVER, LOCATION PLAN & VISUALISATION
A02	-	PROPOSED SITE PLAN - 1:1500
A03	-	PROPOSED SITE PLAN - 1:500
A04	-	DEMOLITION - GROUND FLOOR PLAN
A05	-	DEMOLITION - ATTIC FLOOR PLAN
A06	-	DEMOLITION - ROOF PLAN
A07	-	PROPOSED - GROUND FLOOR PLAN
A08	-	PROPOSED - ATTIC PLAN
A09	-	PROPOSED - ROOF PLAN
B01	-	ELEVATION - NORTH EAST
B02	-	ELEVATION - SOUTH EAST
B03	-	ELEVATION - SOUTH WEST
B04	-	ELEVATION - NORTH WEST
B05	-	ATRIUM SECTIONS
B06	-	3D MODEL IMAGES
B07	-	MATERIAL KEY



1
A01 LOCATION PLAN
1:25000



2
3D VISUALISTAION

taylor + hinds.

A 70 Cremorne Avenue | Cremorne | TAS | 7024
P 03 62 877 024
E contactus@taylorandhinds.com.au

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Drawings are not to be used for construction purposes until issued by the Architect for construction.



scaling check
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page size
A2

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ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

COVER & LOCATION PLAN

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
revision

A01

-

status
LODGED



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1
A02
PROPOSED SITE PLAN
1:1500

ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

PROPOSED SITE PLAN - 1:1500

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
revision

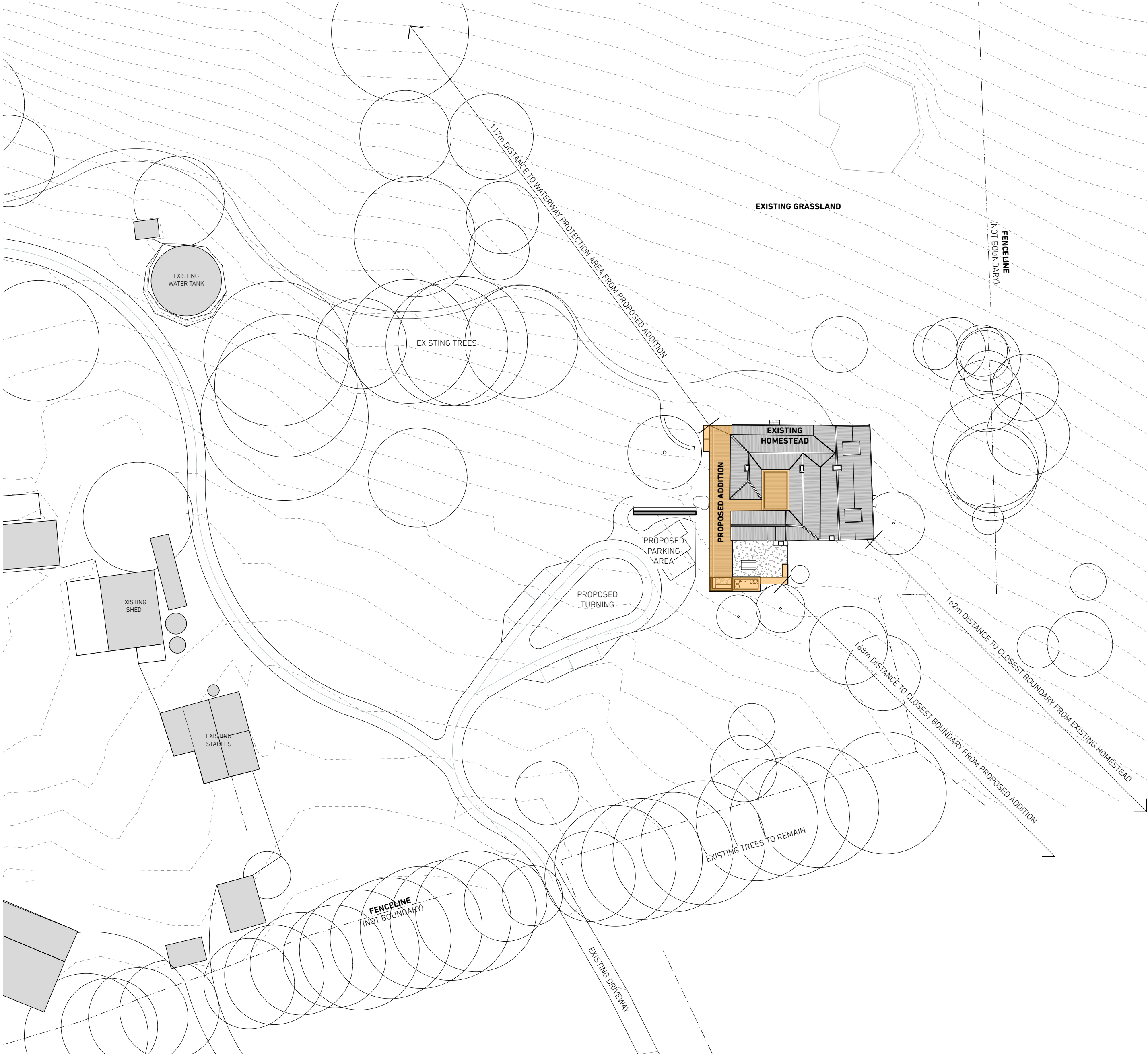
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ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
PROPOSED SITE PLAN - 1:500

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no.
revision

A03
status
LOGGED

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understood all classes of 'General Notes' on sheet G01 prior.

GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

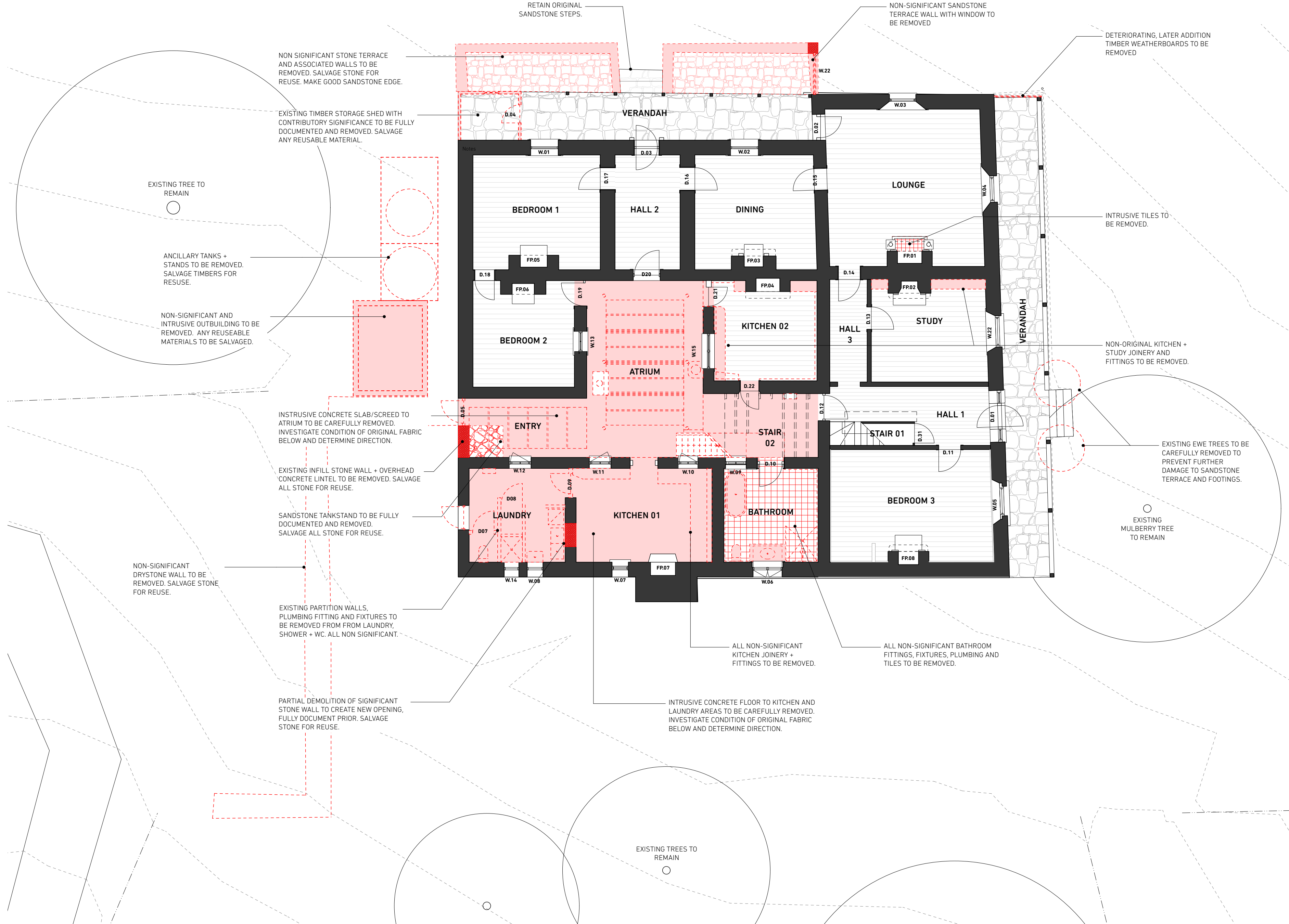
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ALTERATIONS & ADDITIONS
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PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
DEMOLITION - GROUND FLOOR PLAN

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no.
revision

A04

status
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GENERAL ANNOTATION LEGEND

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FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

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E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
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E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

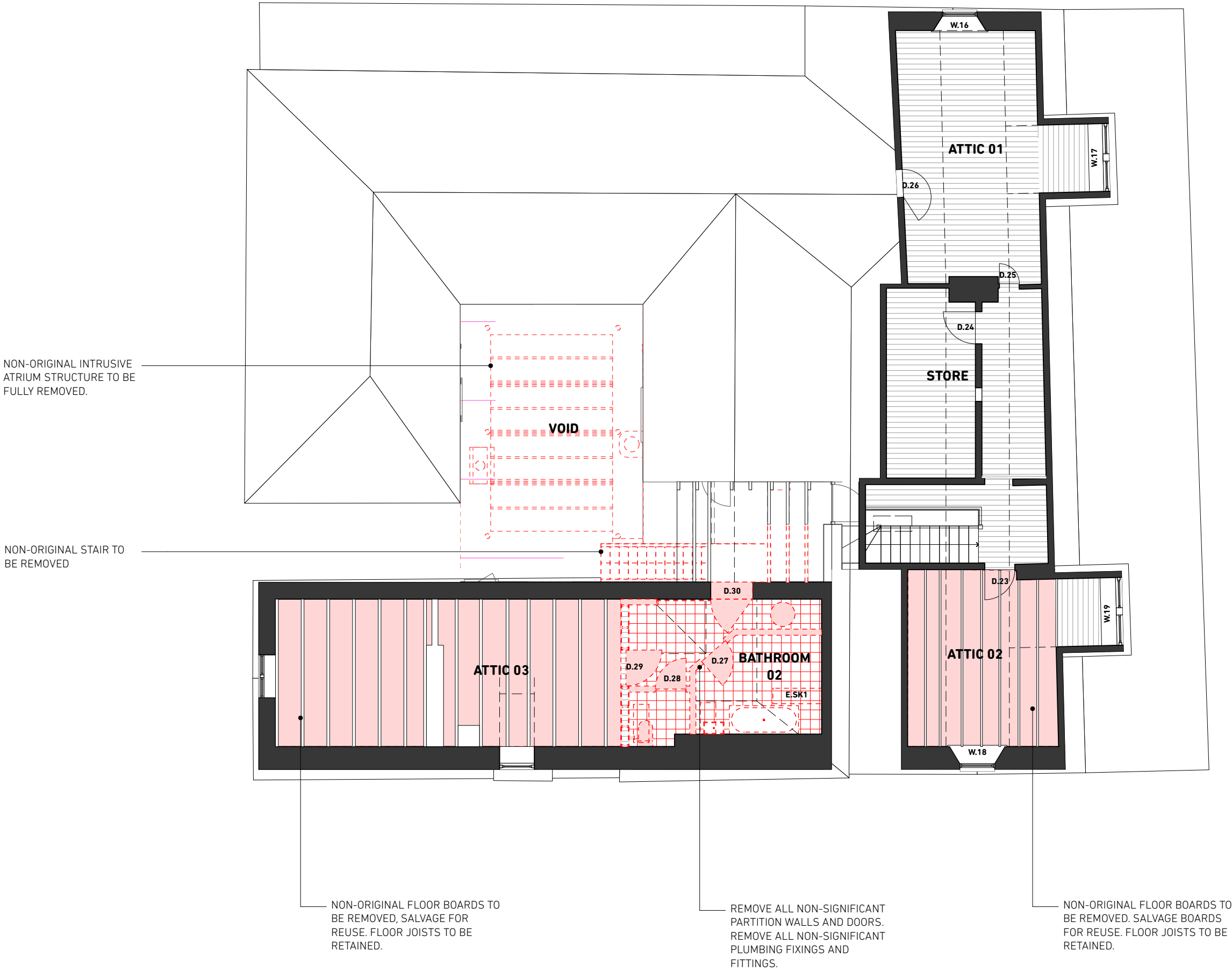
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RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
DEMOLITION - ATTIC PLAN
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
A05
revision
-
status
LOGGED





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page size
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GENERAL ANNOTATION LEGEND

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FX	FIXED
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FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

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E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
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E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

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ST2	STONE PAVING
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GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

project type
ALTERATIONS & ADDITIONS
class
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

DEMOLITION - ROOF PLAN

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
revision

A06

status
LODGED

NON-ORIGNIAL ATRIUM AND
ASSOCIATED STEEL STRUCTURE +
BOX GUTTERS TO BE FULLY
REMOVED.

EXISTING SKYLIGHTS TO BE
REMOVED

EXISTING METAL SHEET ROOFING TO
BE WHOLLY REMOVED THROUGHOUT.
INCLUDING FLASHINGS, CAPPINGS,
AND GUTTERING. STRUCTURE TO
REMAIN

NOT FOR CONSTRUCTION

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GENERAL ANNOTATION LEGEND

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FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

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E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
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GL2	GLAZING - OPAQUE DOUBLE
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C	CARPET + UNDERLAY
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TB2	TIMBER LINING - SALVAGED BOARDS.
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GR1	GRAVEL 1

ISSUE DATE FOR

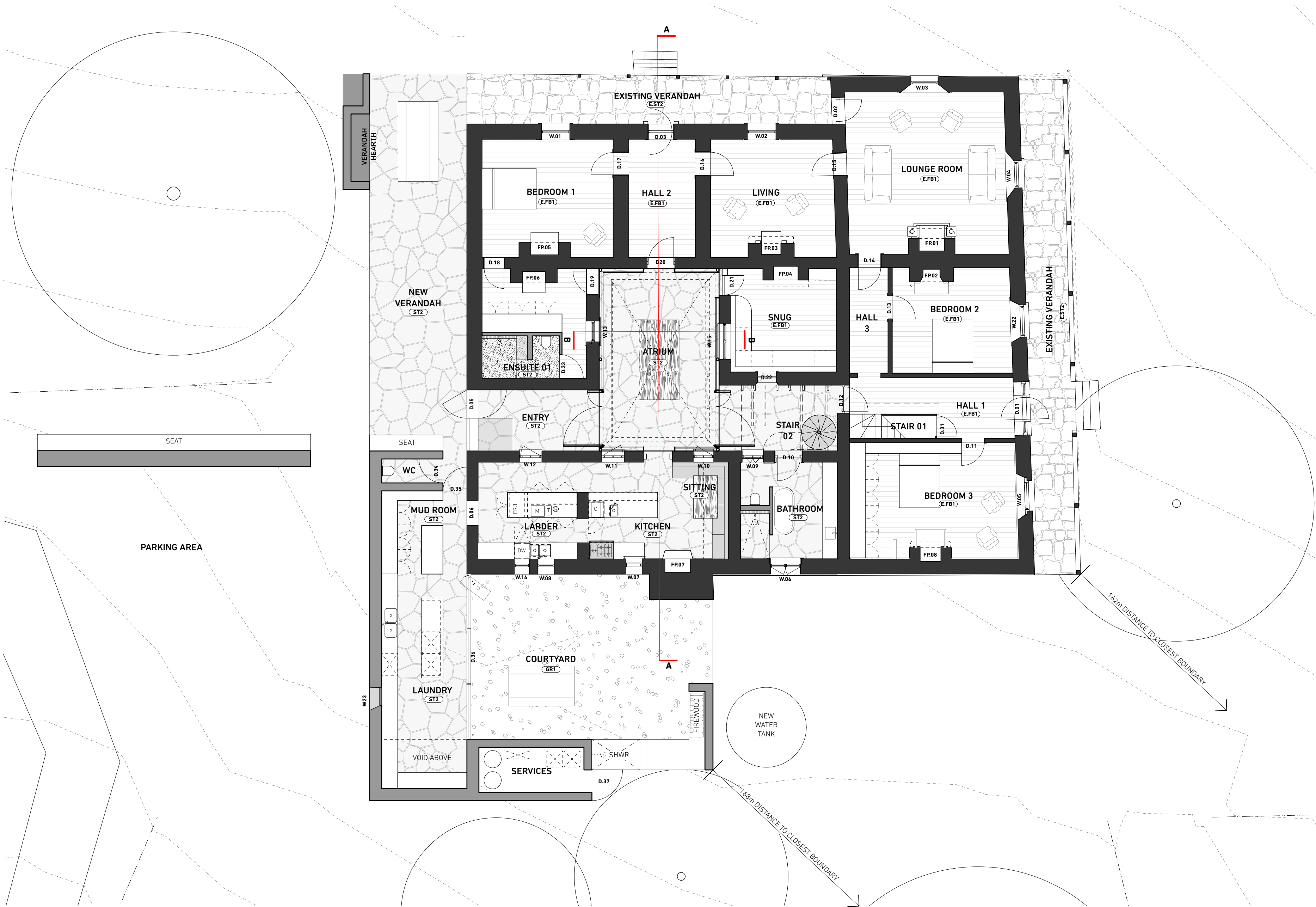
project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
PROPOSED - GROUND FLOOR PLAN

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025

drawing no
A07
revision
-

status
LOGGED





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GENERAL ANNOTATION LEGEND

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FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

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ST2	STONE PAVING
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SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

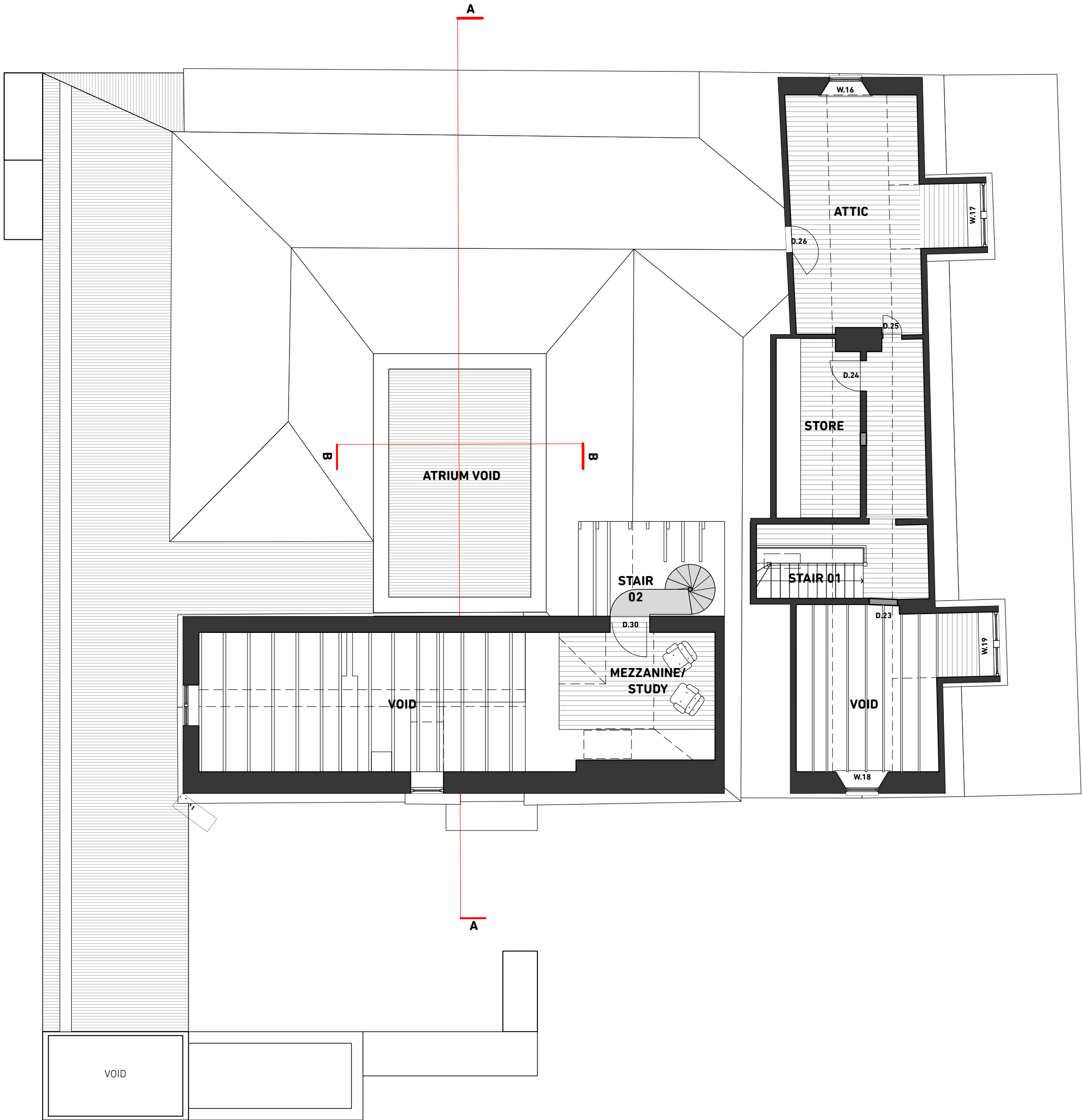
project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
PROPOSED - ATTIC FLOOR PLAN

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
revision

A08

status
LOGGED



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GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

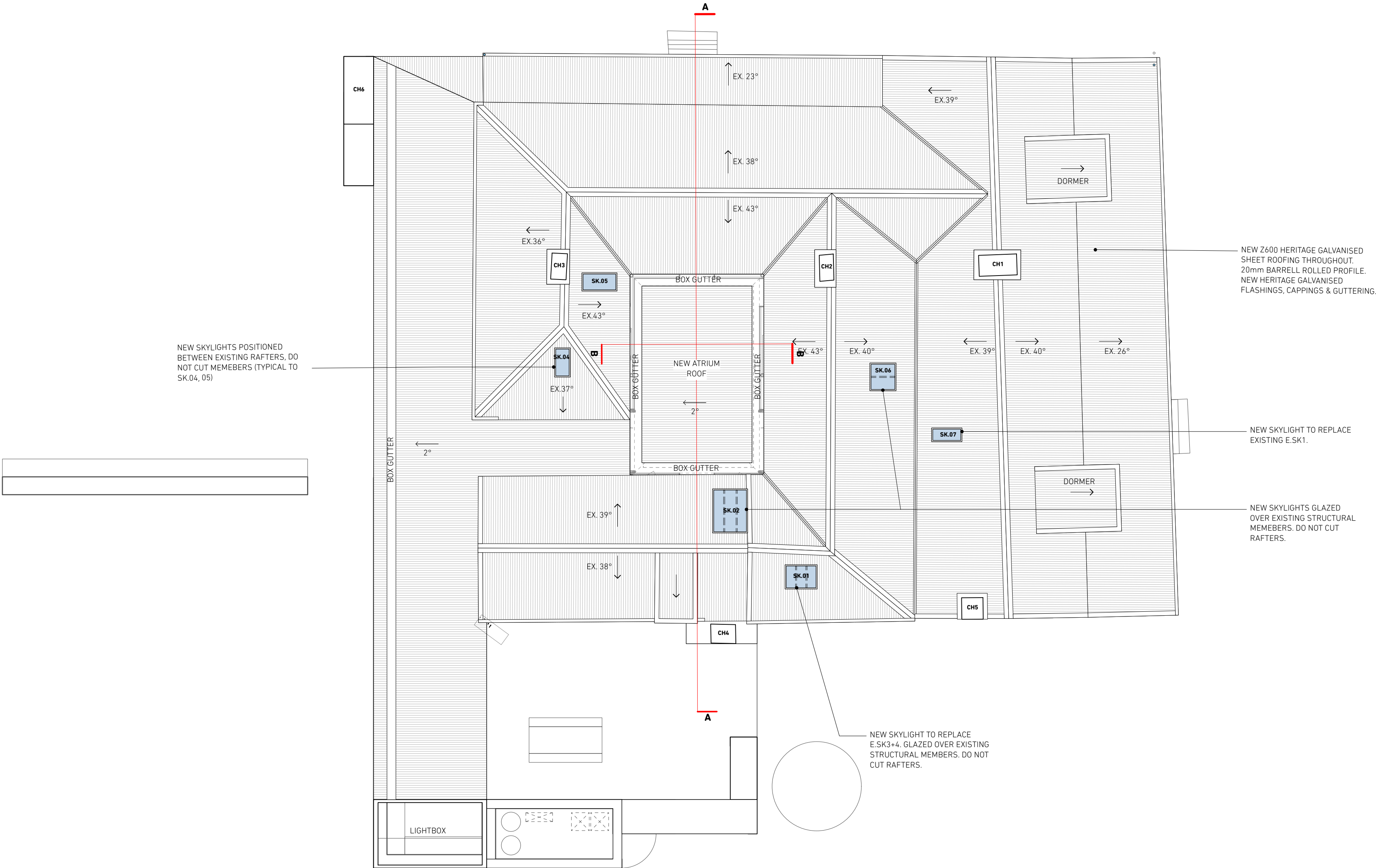
FINISHES LEGEND - PROPOSED

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TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
PROPOSED - ROOF PLAN
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
A09
revision
-
status
LOGGED



NOT FOR CONSTRUCTION

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understood all clauses of 'General Notes' on sheet G01 prior.

GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

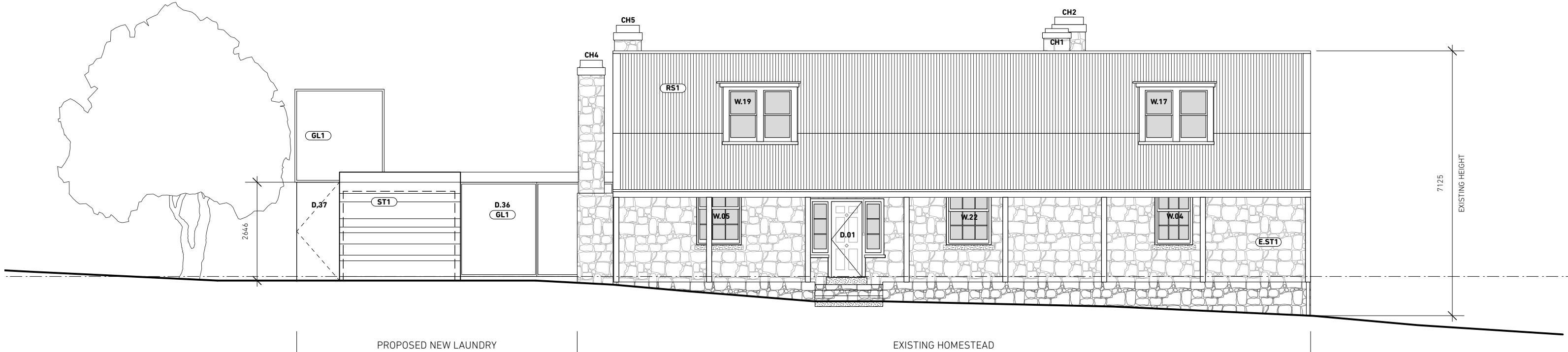
ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
ELEVATION - NORTH EAST
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
B01
revision
-
status
LODGED



1 EXISTING - NORTH EAST ELEVATION
B01 1:100



2 PROPOSED - NORTH EAST ELEVATION
B01 1:100

NOT FOR CONSTRUCTION

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GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

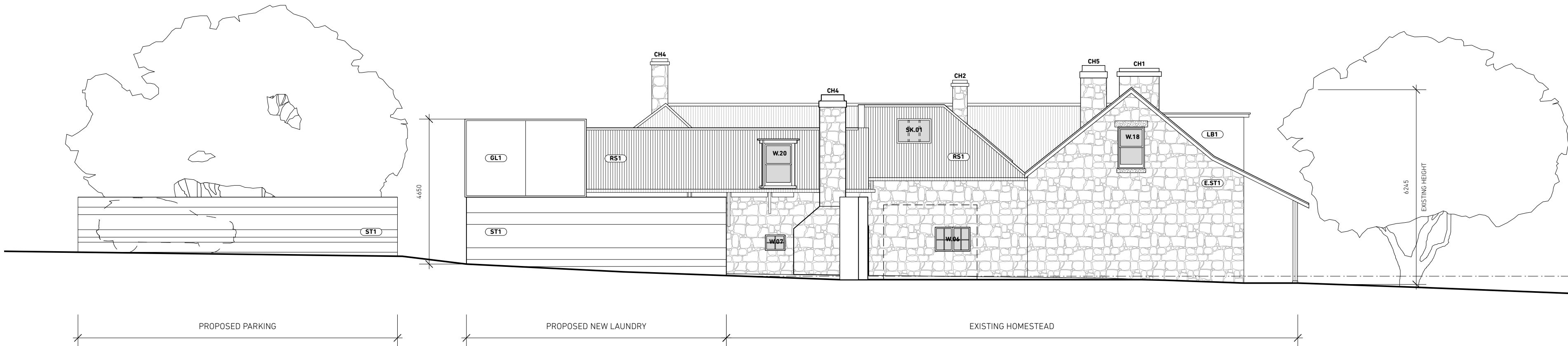
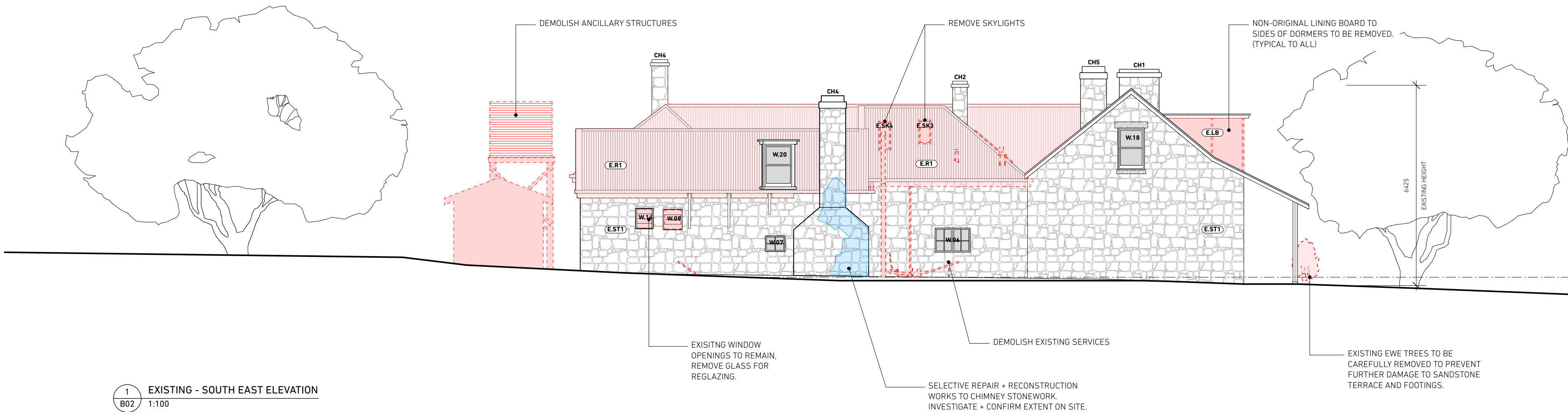
FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
ELEVATION - SOUTH EAST
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
B02
revision
-
status
LODGED



NOT FOR CONSTRUCTION

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understood all clauses of 'General Notes' on sheet G01 prior.

GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE	DATE	FOR

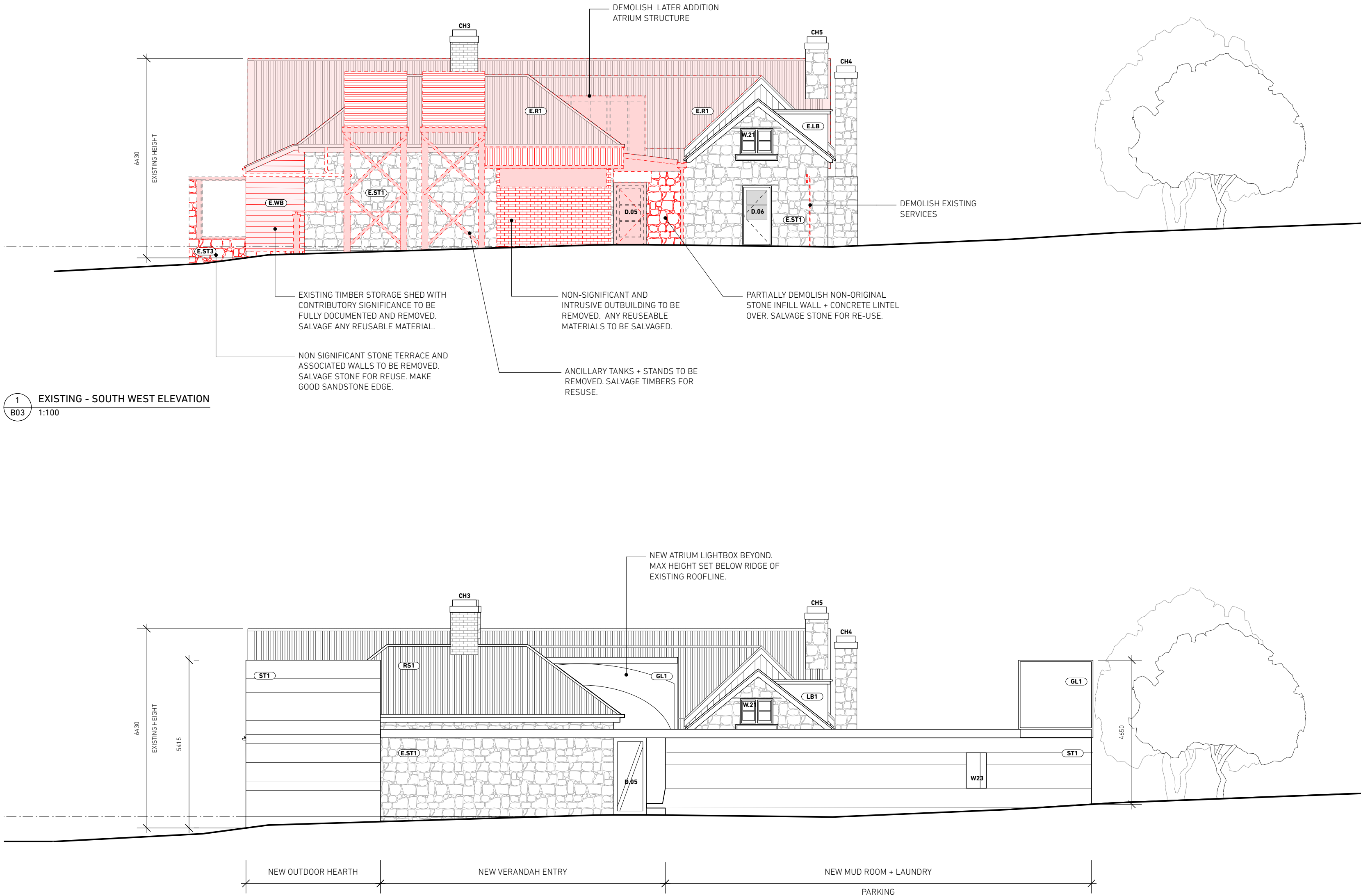
project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

ELEVATION - SOUTH WEST

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no.
B03
revision
-

B03

LOGGED



1
B03
EXISTING - SOUTH WEST ELEVATION
1:100

2
B03
PROPOSED - SOUTH WEST ELEVATION
1:100

NOT FOR CONSTRUCTION

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GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

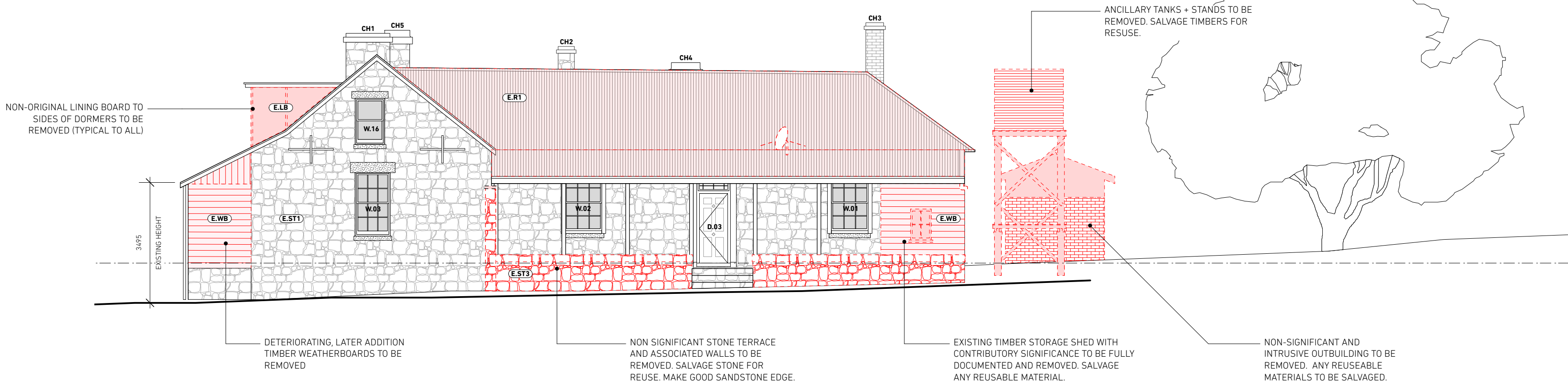
project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

ELEVATION - NORTH WEST

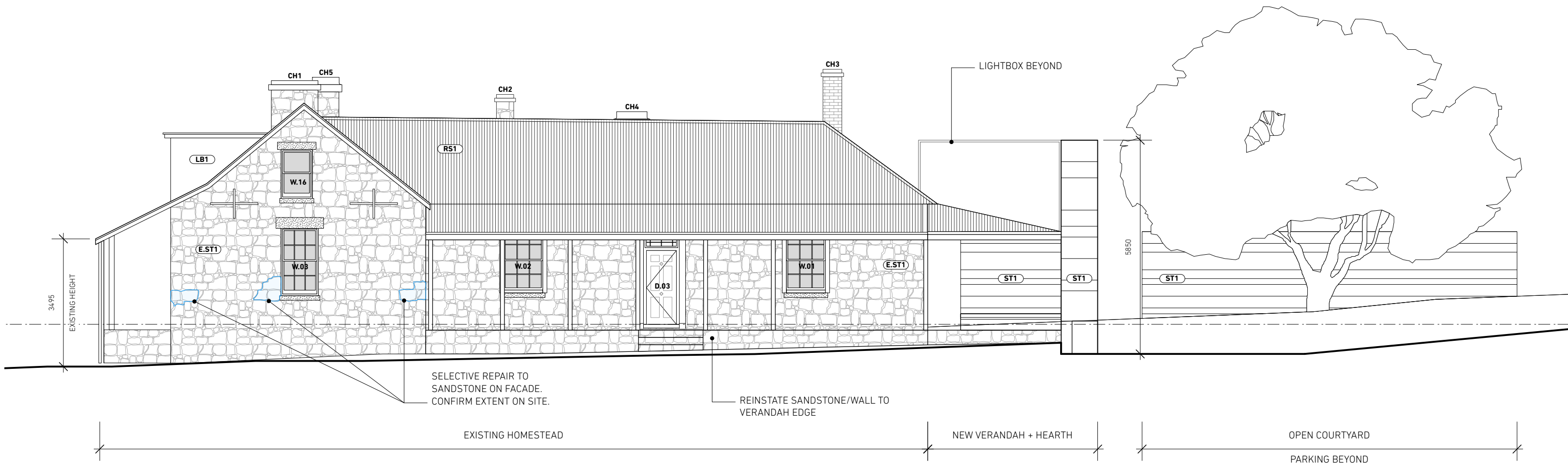
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no.
revision

B04 -

status
LODGED



1 EXISTING - NORTH WEST ELEVATION
B04 1:100



2 PROPOSED - NORTH WEST ELEVATION
B04 1:100

NOT FOR CONSTRUCTION

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GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
FCL	FINISHED CEILING LEVEL
FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
ST3	STONE - BATHROOMS + WET AREAS
RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE DATE FOR

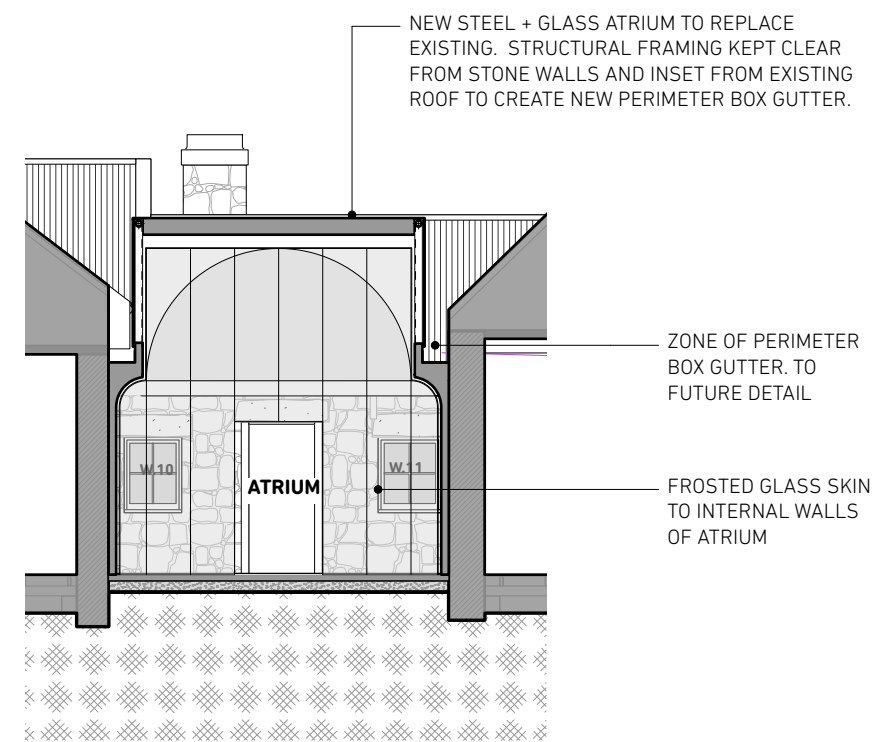
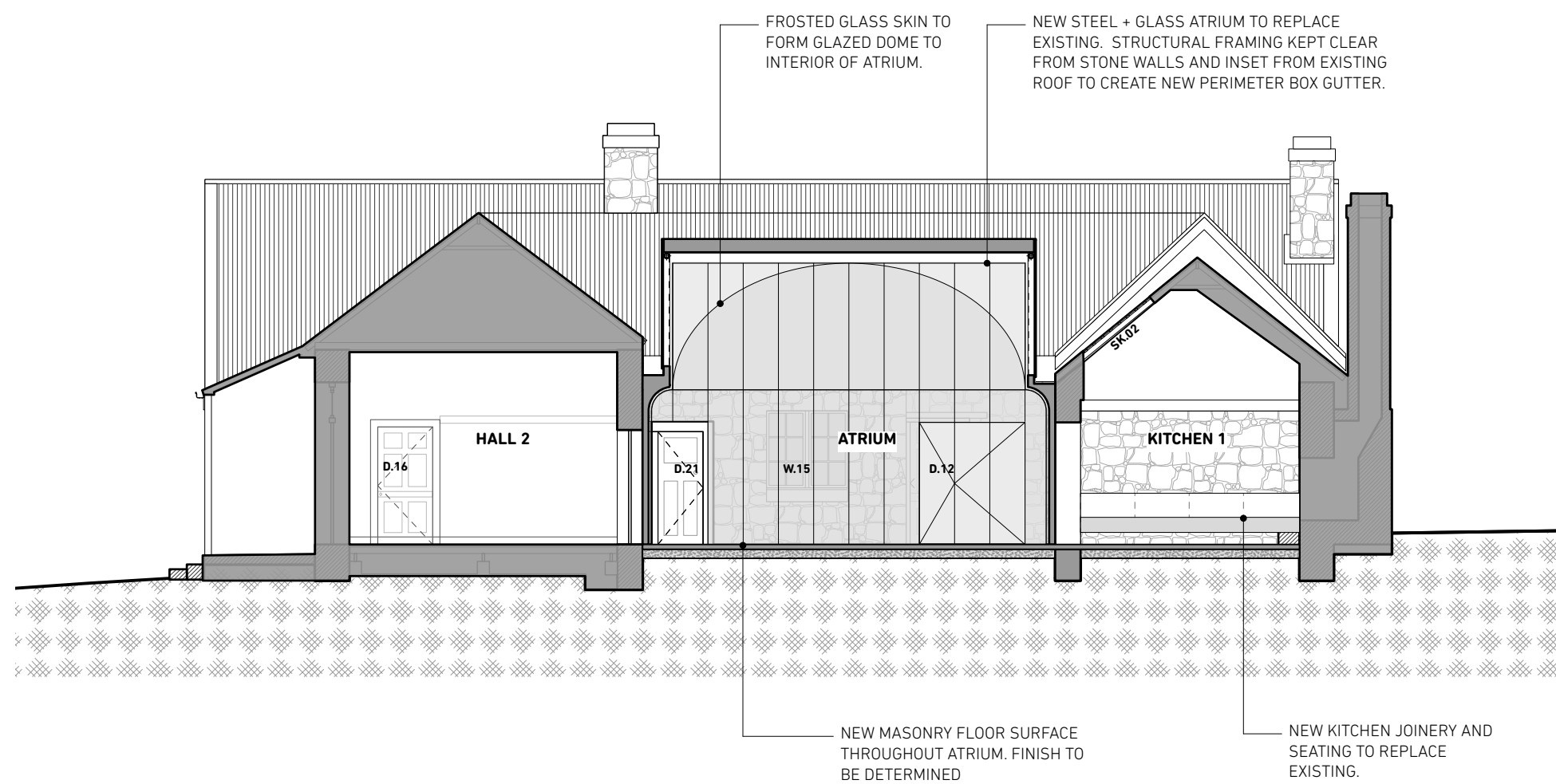
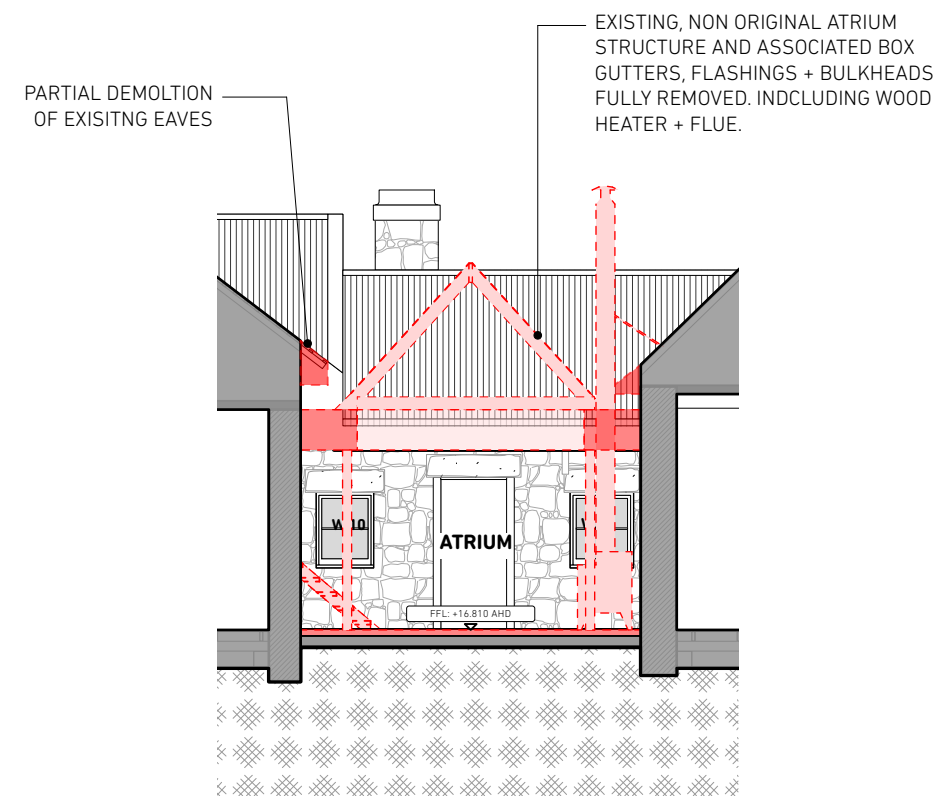
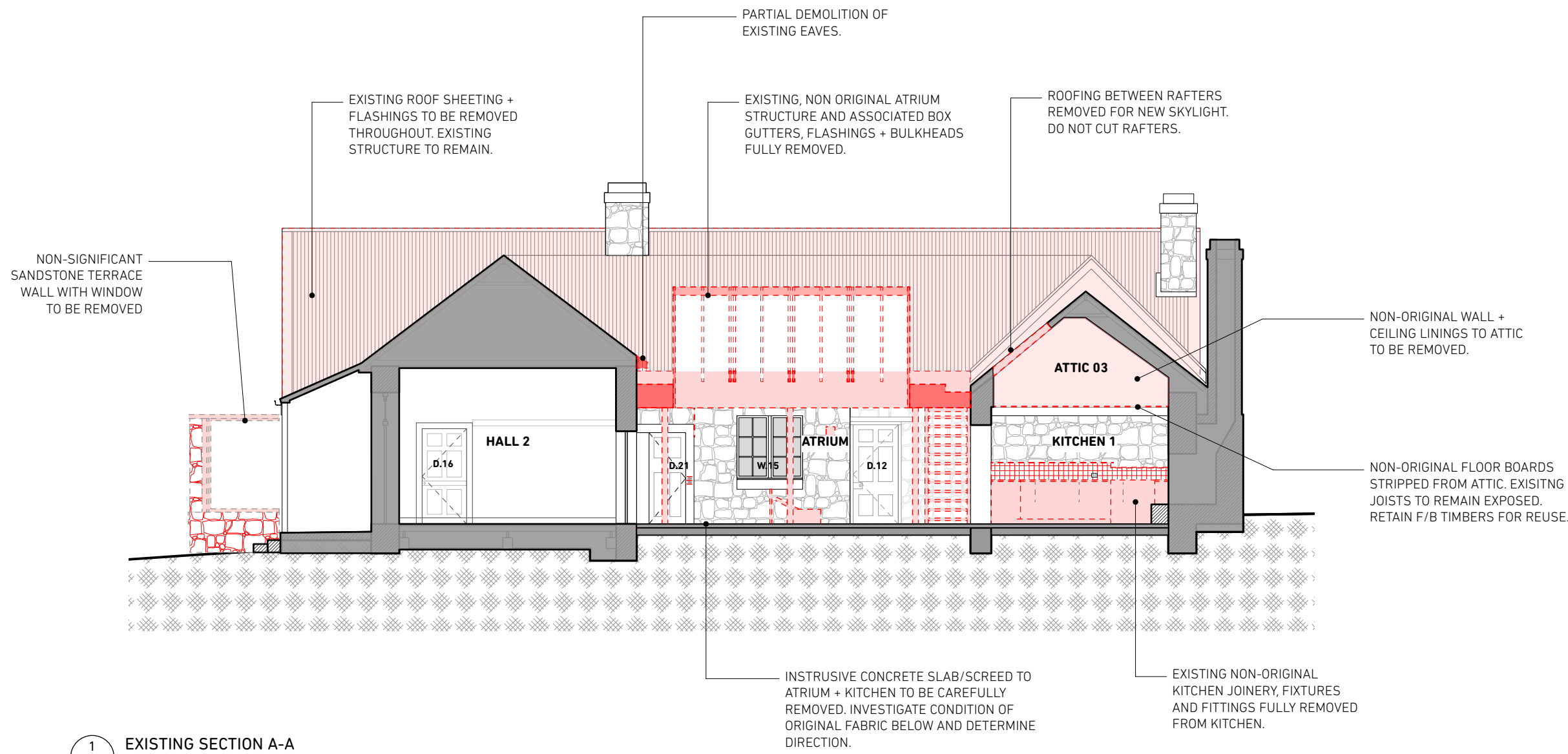
project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
ATRIUM SECTIONS

stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no.
revision

B05 -

status
LODGED



PROPOSED SECTION B-B
1:100

NOT FOR CONSTRUCTION

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GENERAL ANNOTATION LEGEND

ADJ	ADJUSTABLE
FX	FIXED
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FGL	FINISHED GROUND LEVEL
FFL	FINISHED FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CBD	CUPBOARD

FINISHES LEGEND - EXISTING

E.ST1	EXISTING STONE WALL
E.ST2	EXISTING STONE PAVING
E.ST3	EXISTING STONE - NON ORIGINAL
E.CO	EXISTING CONCRETE
E.FB1	EXISTING FLOORBOARDS
E.FB2	EXISTING FLOORBOARDS - NON ORIGINAL PINE
E.C1	EXISTING CARPET
E.T1	EXISTING TILE
E.R1	EXISTING ROOF SHEET
E.WB	EXISTING WEATHERBOARD
E.LB	EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

T1	FLOOR TILE
T2	WALL TILE
ST1	SANDSTONE WALL
ST2	STONE PAVING
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RS1	ROOF SHEETING
GL1	GLAZING - CLEAR DOUBLE
GL2	GLAZING - OPAQUE DOUBLE
LB1	LINING BOARD, PAINTED
C	CARPET + UNDERLAY
TB1	TIMBER LINING - BLACKWOOD
TB2	TIMBER LINING - SALVAGED BOARDS.
SS	STAINLESS STEEL
GR1	GRAVEL 1

ISSUE	DATE	FOR

project type
ALTERATIONS & ADDITIONS
client
PAUL AND KIRSTY WILLOWS
address
RAVENSDALE 10137 TASMAN HIGHWAY

drawing
3D IMAGERY
stage
DEVELOPMENT APPLICATION
date printed
17 Oct 2025
drawing no
B06
revision
-
status
LODGED



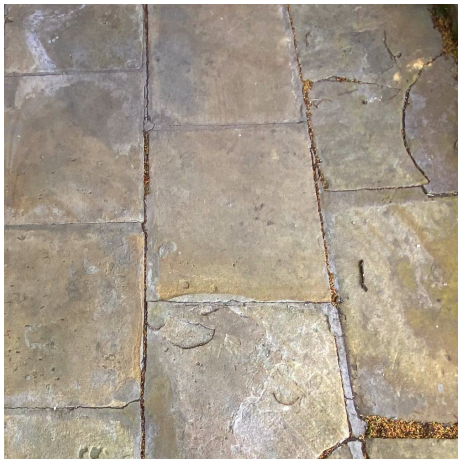
1 MODEL OF PROPOSED REDEVELOPMENT - PLAN VIEW



2 MODEL OF PROPOSED REDEVELOPMENT - AERIAL VIEW



E.ST1
EXISTING SANDSTONE WALL. SELECTIVE REPAIR AS REQUIRED.



E.ST2
EXISTING SANDSTONE PAVING. SELECTIVE REPAIR AS REQUIRED.



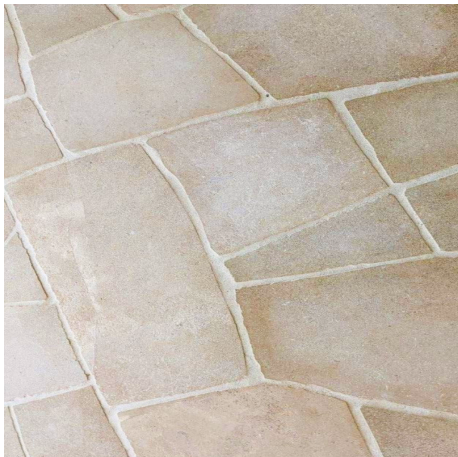
E.FB1
EXISTING FLOORBOARDS. SELECTIVE REPAIR AS REQUIRED. WAX FINISH TO FUTURE SPECIFICATION



RS1
HERITAGE GALVANISED Z600 SHEET ROOFING. 20mm BARRELL ROLLED PROFILE



ST1
NEW ROUGH SAWN FACE SANDSTONE BLOCK WALL



ST2
NEW STONE PAVING. TO FUTURE SELECTION



ST3
NEW INTERNAL FEATURE STONE LININGS. TO FUTURE SELECTION.



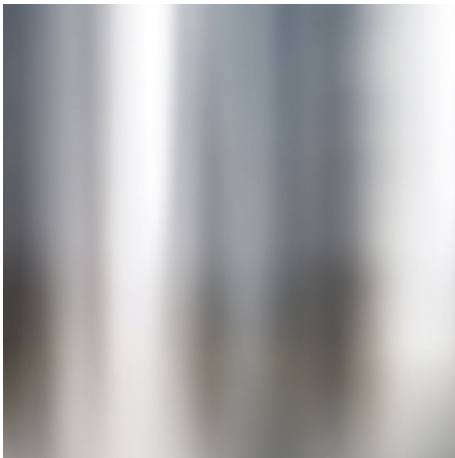
GR1.
LANDSCAPE GRAVEL. TO FUTURE SELECTION.



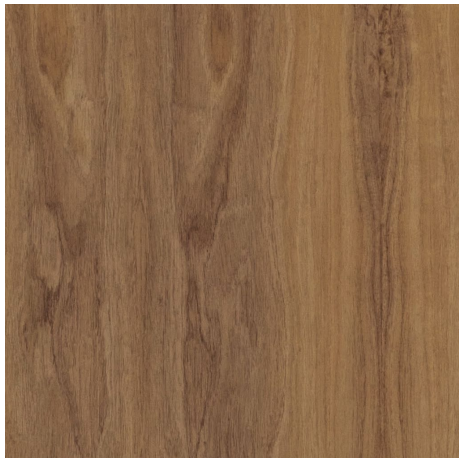
GL1
CLEAR DOUBLE GLAZING.



GL2
OPAQUE DOUBLE GLAZING.



SS
STAINLESS SLEEL JOINERY LINING.



TB1
BLACKWOOD VENEER INTERNAL LINING BOARD. WAX FINISH TO FUTURE SPECIFICATION.



TB2
SALVAGED TAS-OAK BOARDS REPURPOSED. WAX FINISH TO FUTURE SPECIFICATION.

1 MATERIAL KEY

Taylor + Hinds.

A 70 Cremorne Avenue | Cremorne | TAS | 7024
P 03 62 877 024
E contactus@taylorandhinds.com.au

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These drawings show design intent and are suitable as a guide only. The builder shall check and verify all dimensions and verify all error/omissions to the Architect. Do not scale off drawings. Drawings are not to be used for construction purposes until issued by the Architect for construction.

scaling check 0 5 10 20 50mm page size A2

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GENERAL ANNOTATION LEGEND

- ADJ ADJUSTABLE
- FX FIXED
- FCL FINISHED CEILING LEVEL
- FGL FINISHED GROUND LEVEL
- FFL FINISHED FLOOR LEVEL
- NGL NATURAL GROUND LEVEL
- CBD CUPBOARD

FINISHES LEGEND - EXISTING

- E.ST1 EXISTING STONE WALL
- E.ST2 EXISTING STONE PAVING
- E.ST3 EXISTING STONE - NON ORIGINAL
- E.CO EXISTING CONCRETE
- E.FB1 EXISTING FLOORBOARDS
- E.FB2 EXISTING FLOORBOARDS - NON ORIGINAL PINE
- E.C1 EXISTING CARPET
- E.T1 EXISTING TILE
- E.R1 EXISTING ROOF SHEET
- E.WB EXISTING WEATHERBOARD
- E.LB EXISTING LINING BOARD, PAINTED

FINISHES LEGEND - PROPOSED

- T1 FLOOR TILE
- T2 WALL TILE
- ST1 SANDSTONE WALL
- ST2 STONE PAVING
- ST3 STONE - BATHROOMS + WET AREAS
- RS1 ROOF SHEETING
- GL1 GLAZING - CLEAR DOUBLE
- GL2 GLAZING - OPAQUE DOUBLE
- LB1 LINING BOARD, PAINTED
- C CARPET + UNDERLAY
- TB1 TIMBER LINING - BLACKWOOD
- TB2 TIMBER LINING - SALVAGED BOARDS.
- SS STAINLESS STEEL
- GR1 GRAVEL 1

ISSUE	DATE	FOR

project type ALTERATIONS & ADDITIONS
client PAUL AND KIRSTY WILLOWS
address RAVENSDALE 10137 TASMAN HIGHWAY

drawings
MATERIALS
stage DEVELOPMENT APPLICATION date printed 17 Oct 2025
drawing no B07 revision -
status LODGED