



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **33 Kunzea Circuit, Coles Bay**
CT 182776/113

PROPOSAL: **Change of Use to Visitor Accommodation**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer. Representations must be received before midnight on Thursday 11 December 2025.

APPLICANT: **Peter Malisauskas**
DATE: **10/11/2025**
APPLICATION NO: **DA 2025 / 198**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:			
Estimated value of works: (design & construction)	\$		
Is the property on the State Heritage Register? (Tick one)		Yes	No

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:	<i>Peter Malisaukas</i>	Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
182776		113
EDITION	DATE OF ISSUE	
2	04-Oct-2022	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN

Lot 113 on Sealed Plan 182776

Derivation : Part of 665 Acres Gtd. to S W Roberts and Johnson
Sinclair

Prior CT 179916/302

SCHEDULE 1

M982508 TRANSFER to MOUNT PAUL PTY LTD Registered
04-Oct-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP182776 EASEMENTS in Schedule of Easements

SP182776 FENCING PROVISION in Schedule of Easements

SP6472, SP175740, SP176017, SP176316, SP177086, SP177640,
SP179042 & SP179916 FENCING PROVISION in Schedule of
Easements

SP107890, SP139308 & SP143490 FENCING COVENANT in Schedule of
Easements

SP179042 SEWERAGE AND/OR DRAINAGE RESTRICTION

Priority Final Plan

PLAN OF SURVEY

OWNER: COOROLINA PTY LTD

FOLIO REFERENCE: C.T. 179916/302

GRANTEE: PART OF 665 ACRES GRANTED TO
S.W. ROBERTS AND JOHNSON SINCLAIR

BY SURVEYOR: ANDREW JOHN BUTLER

LOCATION:
LAND DISTRICT OF GLAMORGAN
PARISH OF MEREDITH

SCALE 1:1500@A3 LENGTHS IN METRES



EAST COAST
SURVEYING
CONSULTING SURVEYORS
& LAND PLANNERS

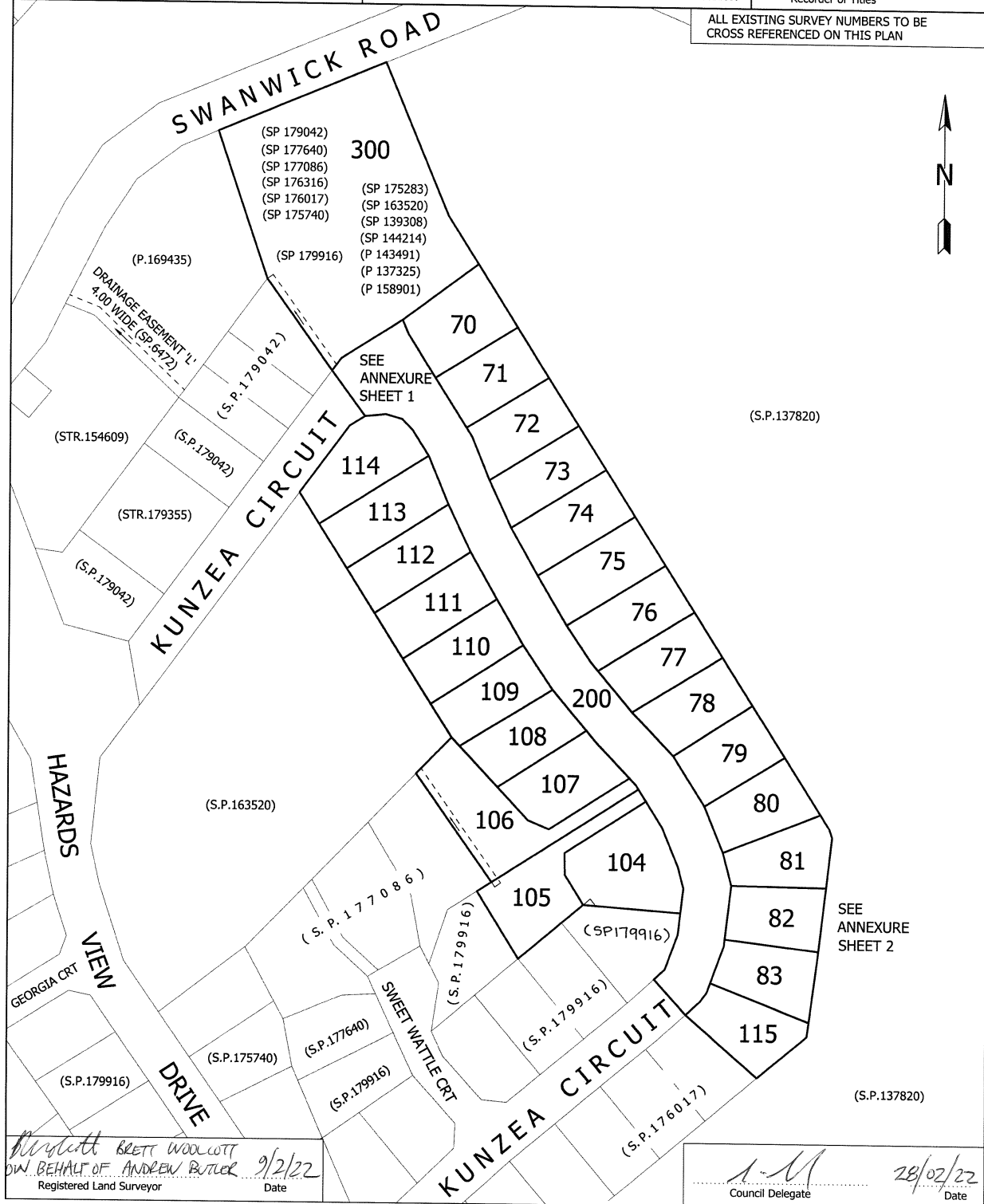
REGISTERED NUMBER

SP182776

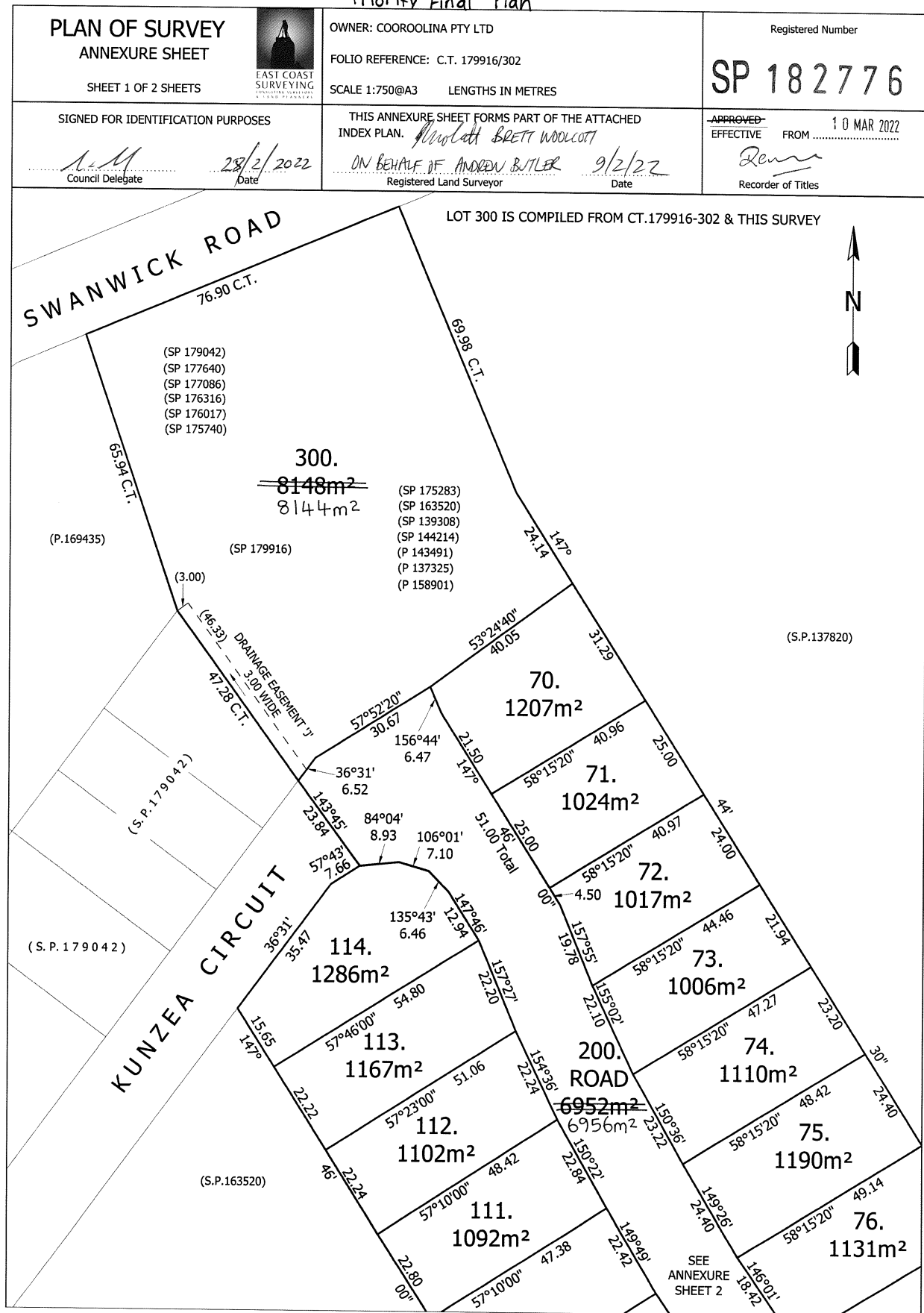
APPROVED
EFFECTIVE FROM 10 MAR 2022

Ren
Recorder of Titles

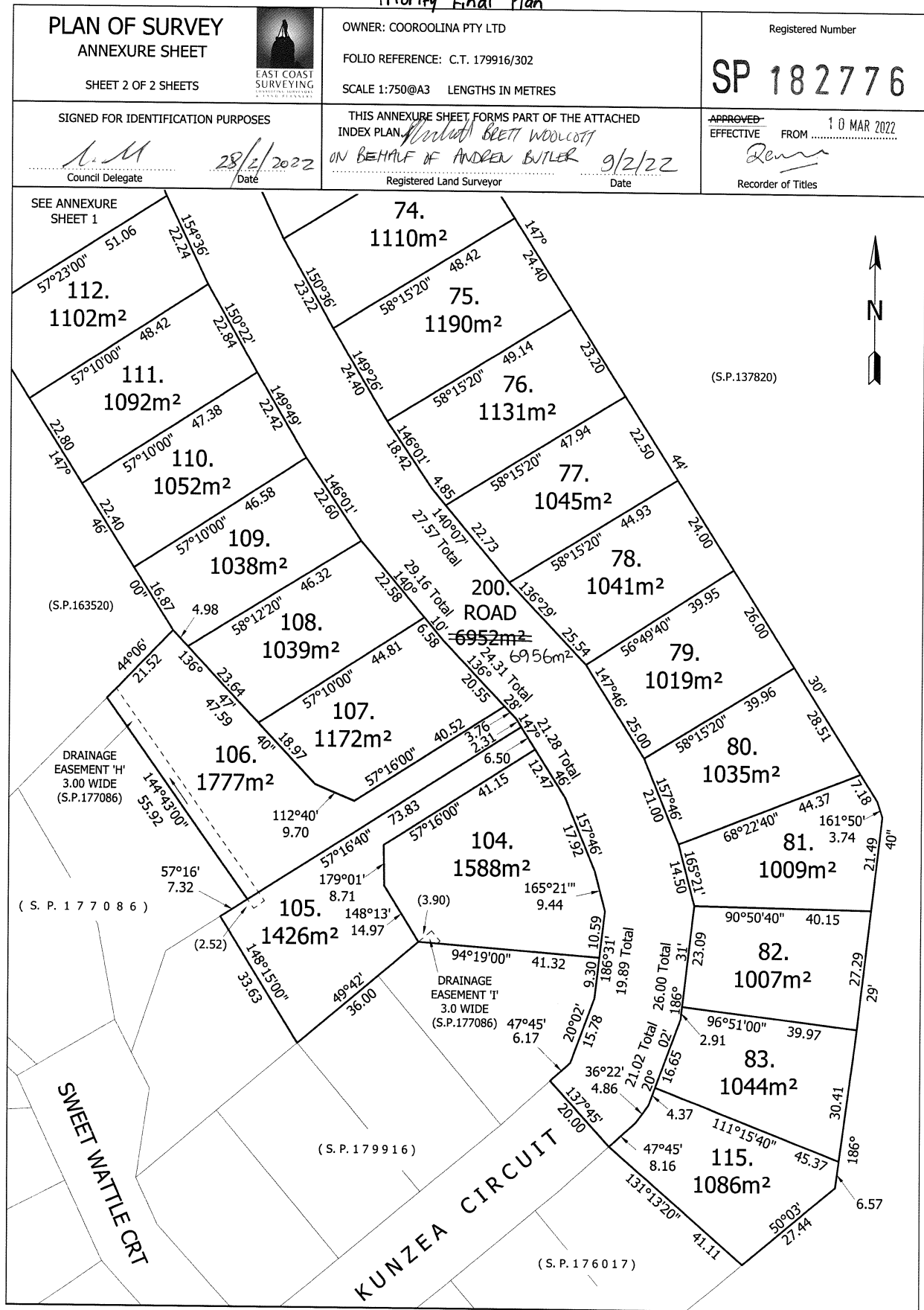
ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN



Priority Final Plan



Priority Final Plan



Peter Malisauskas

Phone: 0409045845

Email: Pete@spectre.net.au

On Behalf of Mount Paul Pty Ltd

8/11/2025

To:

Galmorgan Spring Bay Council

9 Melbourne St Triabunna Tas 7190

planning@freycinet.tas.gov.au

Property Folio: 182766-113

To Whom it may concern,

I wish to submit for planning approval the change of use on the property at 33 Kunzea CCT Swanwick from Residential to Visitors Accommodation for use under Air-Bnb

The Property falls within the 10.0 Low Density Residential Zone which has this use listed as Permitted with the following use standards listed under 10.3.2

To Address the objectives:

- A) There are many short stay and seasonal properties in this area so this would not be out of character with the area.
- B) The Property is currently used as staff accommodation, the general use of the property would be similar.
- C) There would be no impact on either safety or local roads.

A1: A,D) This use would apply to the Existing building which has a floor area of 189m2 as per attached construction plans

P1: A,B) Currently All Surrounding Block are Vacant with the rear adjacent to the community dog park. The Property is Surrounded by large Timber Paling Fences.

C,D) This use case is quite common for the area and of minimal scale and impact.

E,F) There would be no impact from this change of use.

A1(2) and P2 would not apply as the property is not part of a strata scheme.

I Hope this information and the attached documents satisfy any requirements and please reach out to me if you have any questions

10.3.2 Visitor Accommodation

Objective:	That Visitor Accommodation: (a) is compatible with the character and use of the area; (b) does not cause an unreasonable loss of residential amenity; and (c) does not impact the safety and efficiency of local roads or rights of way.	
Acceptable Solutions	Performance Criteria	
A1 Visitor Accommodation must: (a) accommodate guests in existing habitable buildings; and (d) have a gross floor area of not more than 200m ² per lot.	P1 Visitor Accommodation must be compatible with the character and use of the area and not cause an unreasonable loss of residential amenity, having regard to: (a) the privacy of adjoining properties; (b) any likely increase in noise to adjoining properties; (c) the scale of the use and its compatibility with the surrounding character and uses within the area; (d) retaining the primary residential function of an area; (e) the impact on the safety and efficiency of the local road network; and (f) any impact on the owners and users rights of way.	
A1 Visitor Accommodation is not for a strata lot that is part of a strata scheme where another strata lot within that strata scheme is used for a residential use.	P2 Visitor Accommodation within a strata scheme must not cause an unreasonable loss of residential amenity to long term residents occupying other strata lots within the strata scheme, having regard to: (a) the privacy of residents; (b) any likely increase in noise; (c) the residential function of the strata scheme; (d) the location and layout of the strata lots; (e) the extent and nature of any other non-residential uses; and (f) any impact on shared access and common property.	

Thanks

Peter Malisauskas

Peter Malisauskas

On behalf of Mount Paul Pty Ltd

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	01.10.22	CONCEPT PRESENTATION 1	mb	mb
B	10.11.22	CONCEPT PRESENTATION 2	mb	mb

NOTE:

ALL ERRORS OR ANOMALIES ARE TO BE REPORTED TO HONED ARCHITECTURE + DESIGN

DO NOT SCALE OF DRAWINGS

CONFIRM ALL SIZES AND HEIGHTS ON SITE.

ALL CONSTRUCTION IS TO COMPLY WITH BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS

PRELIMINARY



PO BOX 147, LAUNCESTON,
TASMANIA 7250 Ph: 0417541646

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PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

COVER SHEET

DRAWN: MB

CHECKED: MB

SCALE: NTS @ A3

DATE: SEPTEMBER_2022

PROJECT NO. 2226

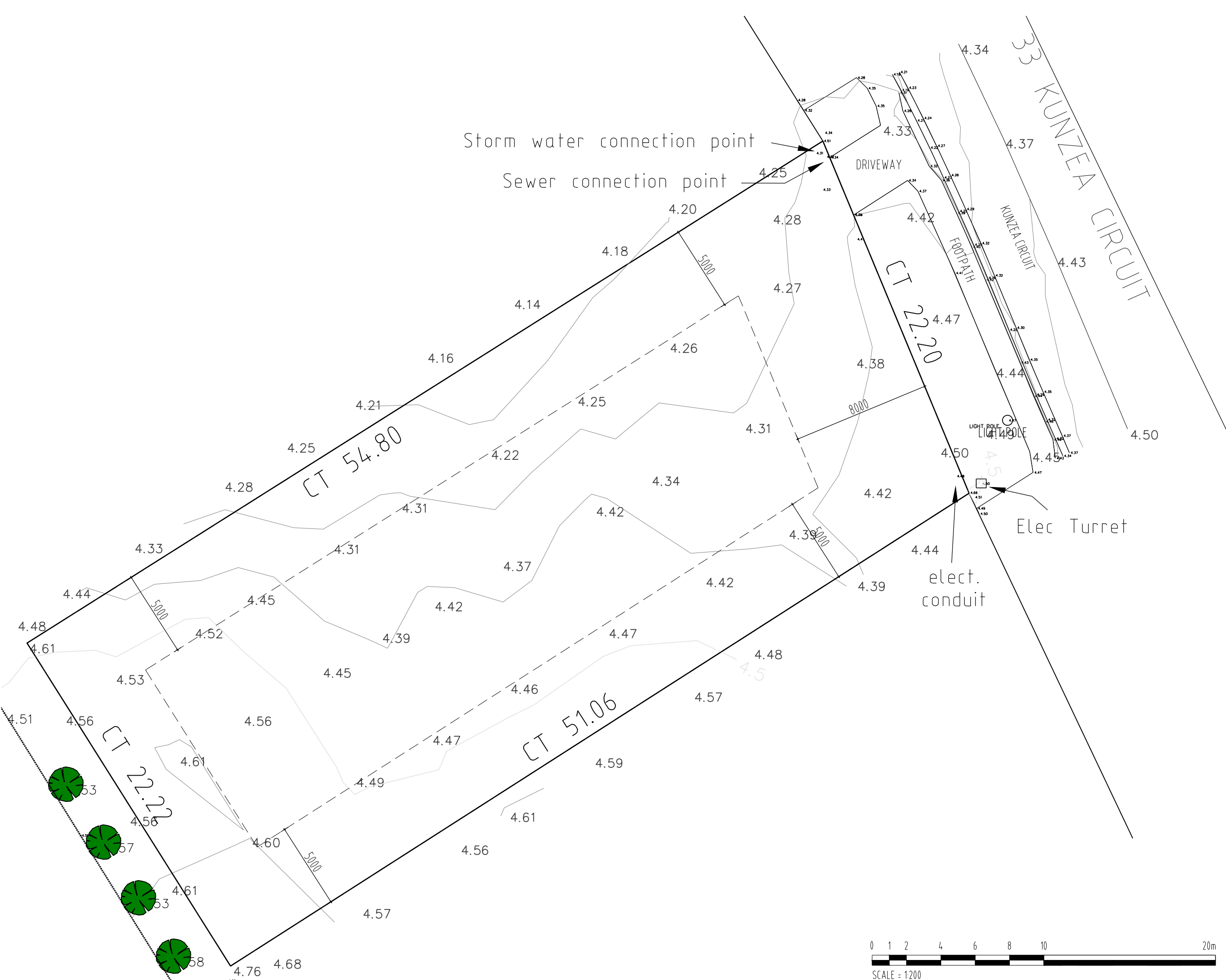
DRAWING NO. A-CD-01 B

CONCEPT DESIGN FOR PROPOSED RESIDENCE 33 KUNZEA CIRCUIT COLES BAY, TASMANIA

NOTE:

ARCHITECT: MICHAEL BERNACKI (929)
ACCREDITATION NUMBER: CC6490
LAND TITLE REF NUMBER: 182776 / 113
FLOOR AREA: REFER TO TABLE
SOIL CLASSIFICATION: REFER TO REPORT
CLIMATE ZONE: 7
BAL: REFER TO REPORT
ALPINE AREA: N/A
CORROSION ENVIRONMENT: N/A
FLOODING: NO
LANDSLIP: NO
DISPERSIVE SOILS: UNKNOWN
SALINE SOILS: UNKNOWN
SAND DUNES: NO
MINE SUBSIDENCE: NO
LANDFILL: NO
GROUND LEVELS: REFER PLAN

DRAWING No.	DRAWING TITLE
A-CD-01	Cover Sheet
A-CD-02	Land Survey
A-CD-06	Option 2 - Level 1 Plan
A-CD-07	Option 2 - Roof Plan
A-CD-08	Option 2 - Site Plan
A-CD-09	Northern Elevation
A-CD-10	Eastern Elevation
A-CD-11	Southern Elevation
A-CD-12	Western Elevation
A-CD-13	3D Perspectives - Sheet 1
A-CD-14	3D Perspectives - Sheet 2
A-CD-15	3D Perspectives - Sheet 3
A-CD-16	3D Perspectives - Sheet 4



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REVISION

No	DATE	DESCRIPTION	BY	CHECK
A	01.10.22	CONCEPT PRESENTATION 1	mb	mb
B	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

LAND SURVEY

DRAWN:

MB

CHECKED:

MB

SCALE:

1500 @ A3

DATE:

SEPTEMBER_2022

PROJECT NO.

2226

DRAWING NO.

A-CD-02

B

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REVISION				
No	DATE	DESCRIPTION	BY	CHECK
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B	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

OPTION 2
LEVEL 1

DRAWN: MB

CHECKED: MB

SCALE: 1:100 @ A3

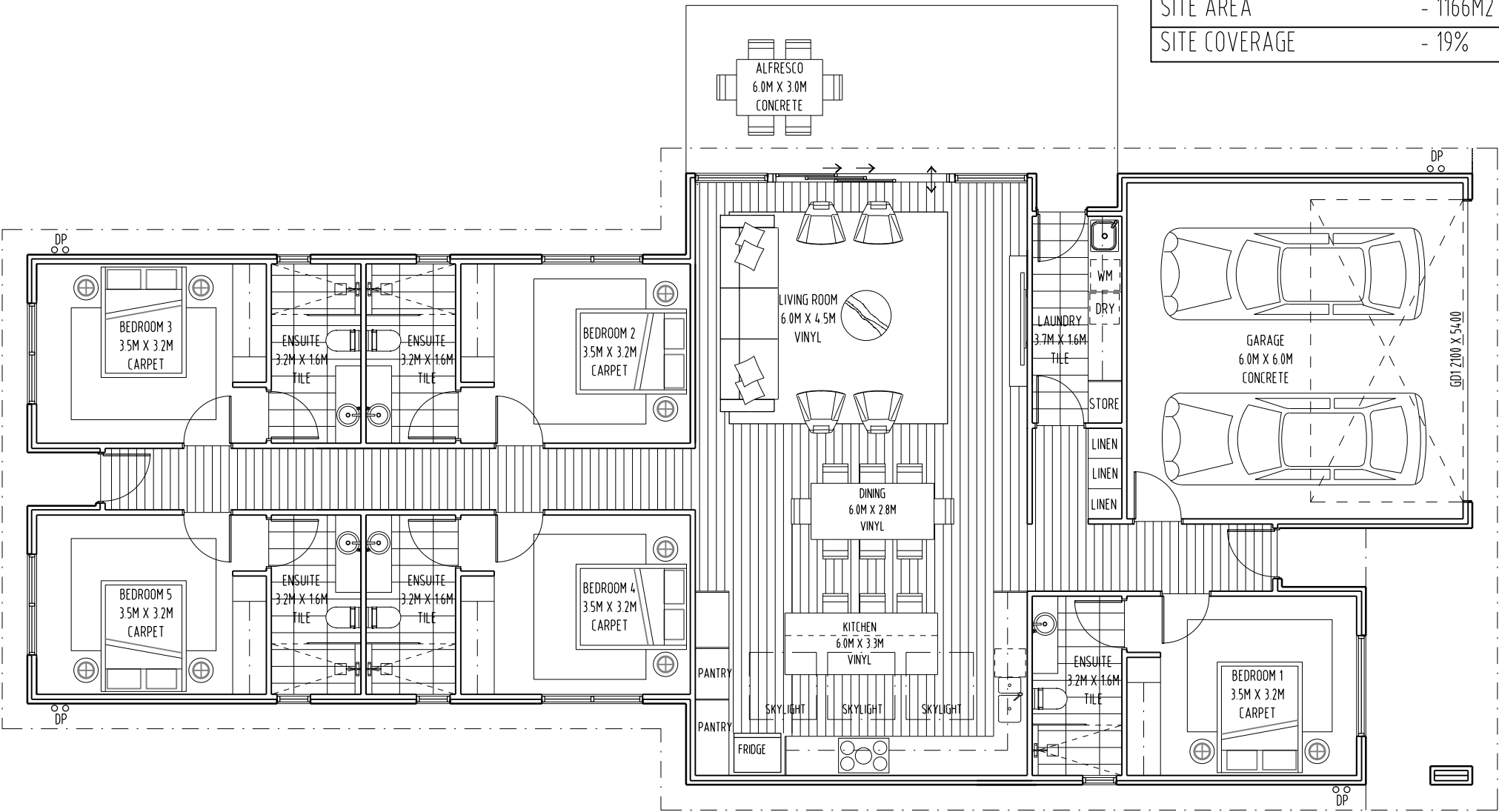
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PROJECT NO. 2226

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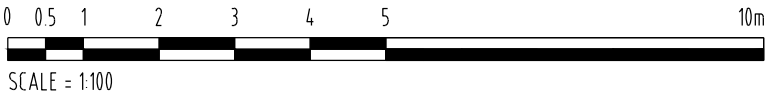
OPTION 2		
HOUSE AREA	- 189M2	= 20.3SQ
GARAGE AREA	- 38M2	= 4.09SQ
TOTAL AREA	- 227M2	= 24.43SQ

SITE AREA	- 1166M2
SITE COVERAGE	- 19%



01 OPTION 2 - LEVEL 1 PLAN

- 1:100





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	01.10.22	CONCEPT PRESENTATION 1	mb	mb
B	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

OPTION 2
ROOF PLAN

DRAWN: MB

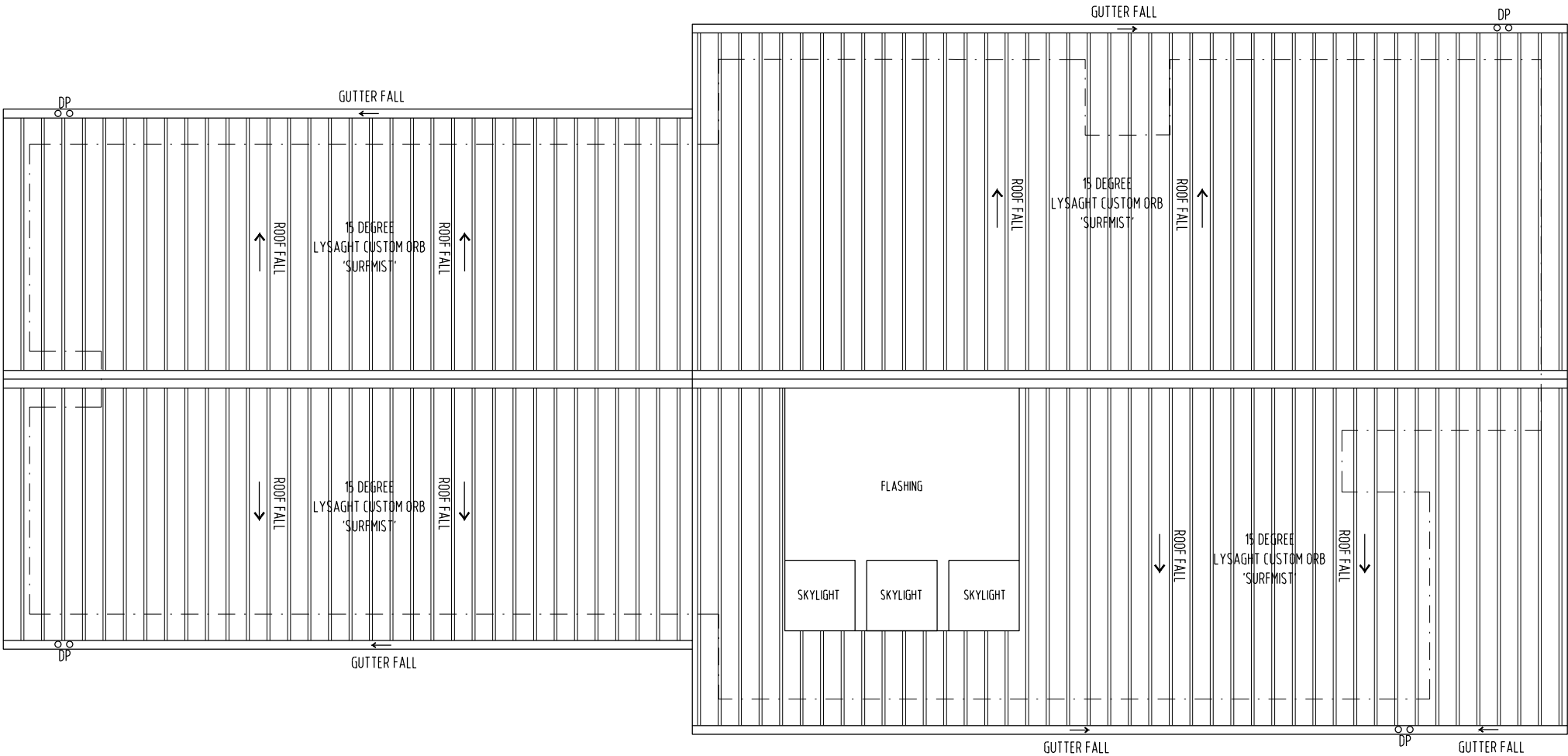
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DATE: SEPTEMBER_2022

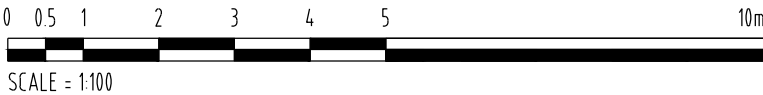
PROJECT NO. 2226

DRAWING NO. A-CD-07 B



01 OPTION 2 - ROOF PLAN

- 1:100





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	01.10.22	CONCEPT PRESENTATION 1	mb	mb
B	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

OPTION 2
LEVEL 1 SITE PLAN

DRAWN: MB

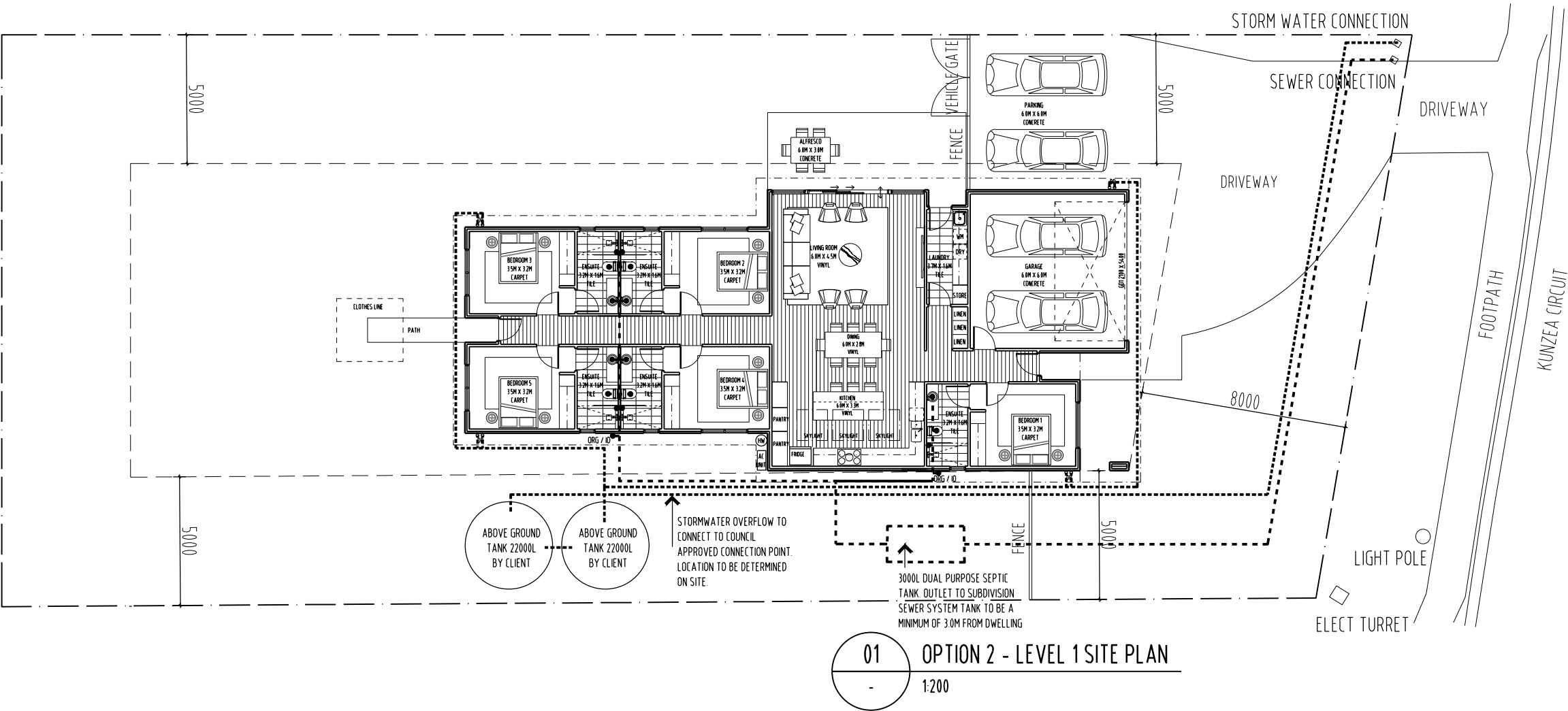
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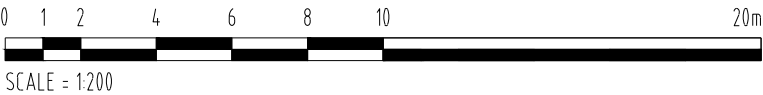
DATE: SEPTEMBER 2022

PROJECT NO. 2226

DRAWING NO. A-CD-08 B



01 OPTION 2 - LEVEL 1 SITE PLAN
1:200



REVISION

No	DATE	DESCRIPTION	BY	CHECK
A	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

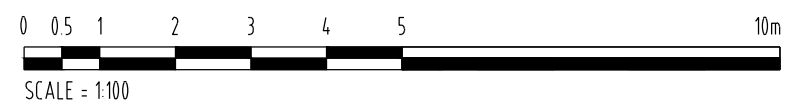
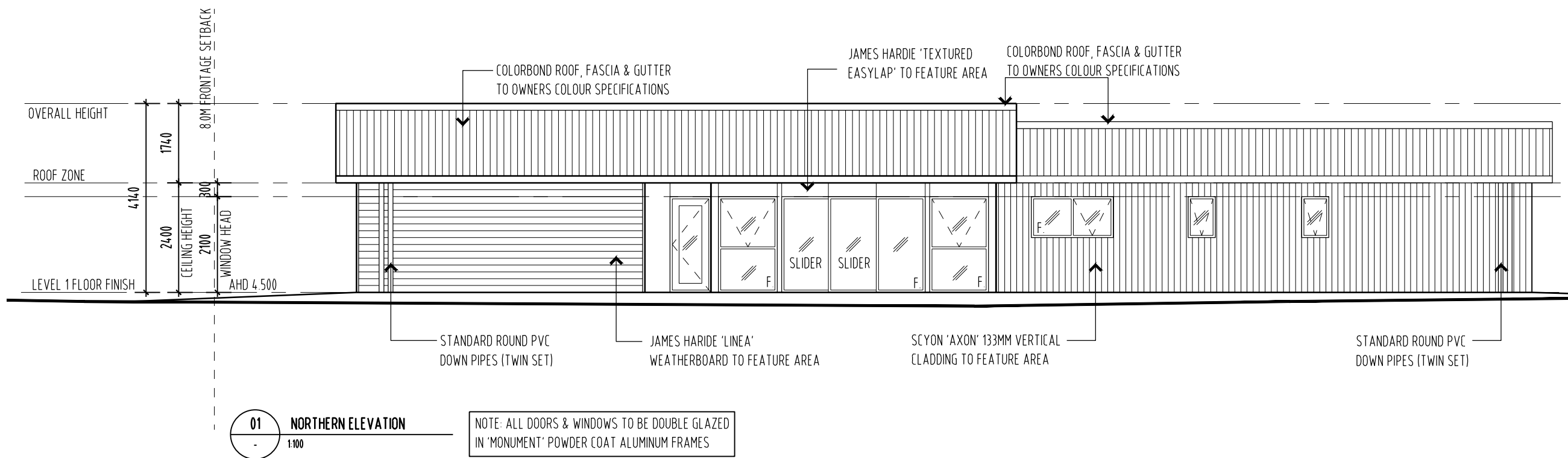
NORTHERN ELEVATION

DRAWN: MB

CHECKED: MB

SCALE:	1:100 @ A3
DATE:	SEPTEMBER_2022
PROJECT NO.	2226
DRAWING NO.	A-(D-09) A

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REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	10/11/22	CONCEPT PRESENTATION 2	mb	mb

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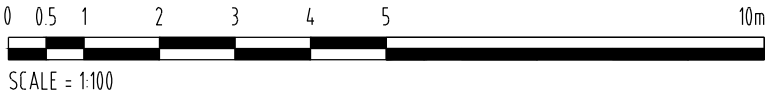
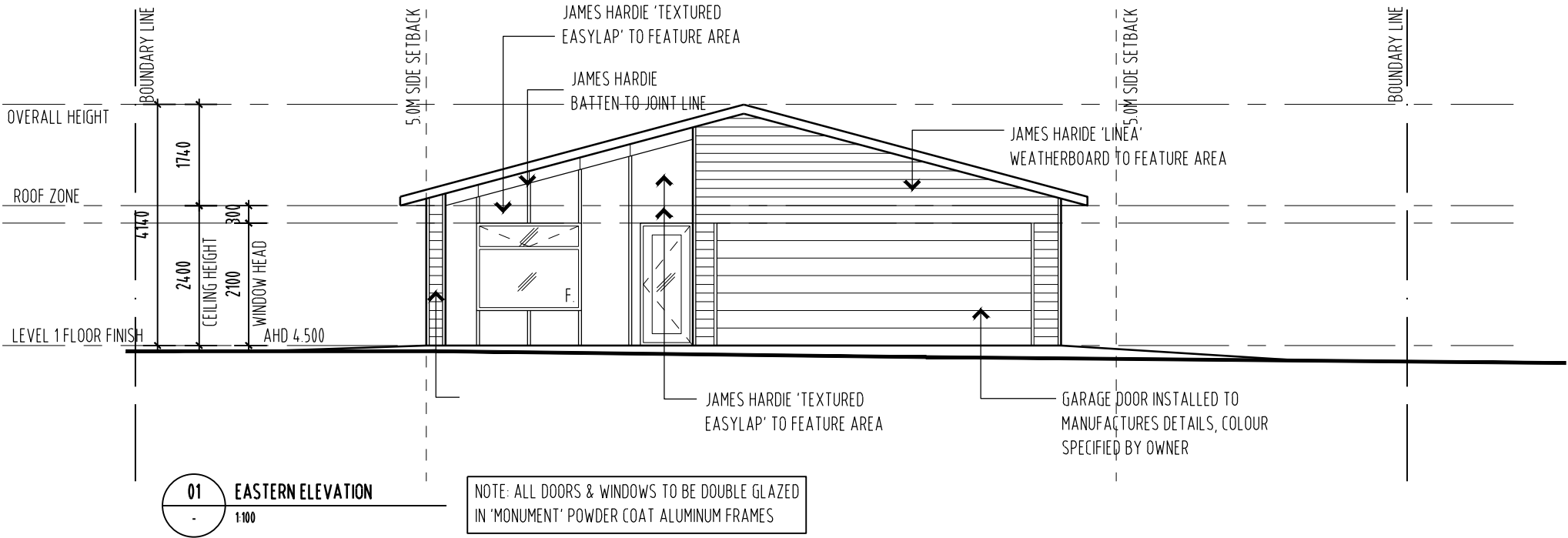
PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

EASTERN ELEVATION

DRAWN:	MB
CHECKED:	MB
SCALE:	1:100 @ A3
DATE:	SEPTEMBER_2022
PROJECT NO.	2226
DRAWING NO.	A-CD-10 A



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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PROJECT NAME:

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33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

SOUTHERN ELEVATION

DRAWN: MB

CHECKED: MB

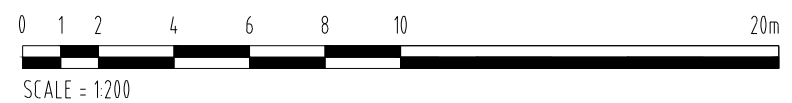
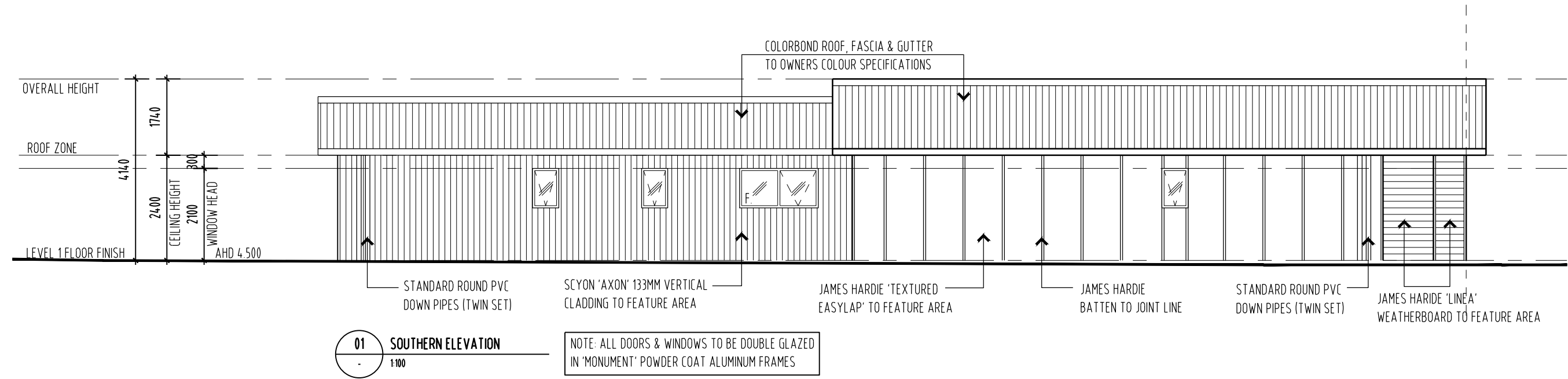
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DATE: SEPTEMBER 2022

PROJECT NO. 2226

DRAWING NO. A-CD-11

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A	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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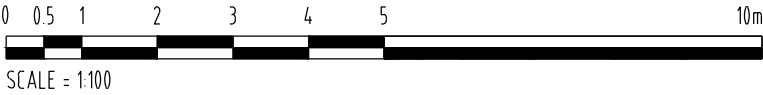
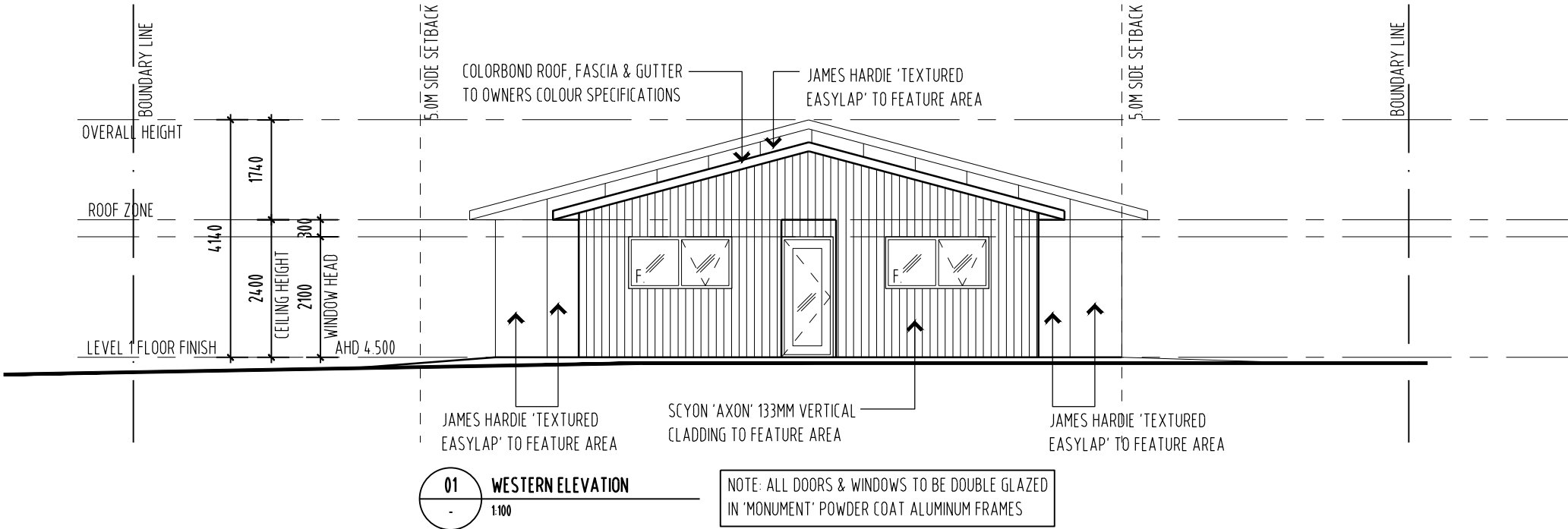
PROJECT NAME:

PRIVATE RESIDENCE
33 KUNZEA CIRCUIT
COLES BAY

DRAWING TITLE:

WESTERN ELEVATION

DRAWN:	MB
CHECKED:	MB
SCALE:	1:100 @ A3
DATE:	SEPTEMBER 2022
PROJECT NO.	2226
DRAWING NO.	A-CD-12 A





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COLES BAY

DRAWING TITLE:

3D PERSPECTIVES
SHEET 1

DRAWN: MB

CHECKED: MB

SCALE: NTS @ A3

DATE: SEPTEMBER 2022

PROJECT NO. 2226

DRAWING NO. A-CD-13 A



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No	DATE	DESCRIPTION	BY	CHECK
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DRAWING TITLE:

3D PERSPECTIVES
SHEET 2

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	SEPTEMBER_2022
PROJECT NO:	2226
DRAWING NO.	A-CD-14



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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COLES BAY

DRAWING TITLE:

3D PERSPECTIVES
SHEET 3

DRAWN:	MB
CHECKED:	MB
SCALE:	NTS @ A3
DATE:	SEPTEMBER 2022
PROJECT NO.	2226
DRAWING NO.	A-CD-15

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	10.11.22	CONCEPT PRESENTATION 2	mb	mb

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COLES BAY

DRAWING TITLE:

3D PERSPECTIVES
SHEET 4

DRAWN: MB

CHECKED: MB

SCALE: NTS @ A3

DATE: SEPTEMBER_2022

PROJECT NO. 2226

DRAWING NO. A-CD-16 A

