



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **Unit 1/37 Jetty Road, Coles Bay
CT 183091/1**

PROPOSAL: **Partial demolition, additions and alterations**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the Chief Executive Officer.

Representations must be received before midnight on 11 December 2025.

APPLICANT: **Engineering Plus**

DATE: **05/11/2025**

APPLICATION NO: **DA 2025 / 194**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:		
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	Yes / No	

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
183091		1
EDITION	DATE OF ISSUE	
3	29-Sep-2025	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Town of COLES BAY
Lot 1 on Strata Plan 183091 and a general unit entitlement
operating for all purposes of the Strata Scheme being a 50
undivided 1/100 interest
Derived from Strata Plan 183091
Derivation : Part of Lot 1 (Sec. A) Gtd. to H.A.W. Parsons.

SCHEDULE 1

N281168 TRANSFER to DAVID BRUCE NADIN and BELINDA WIN NADIN
Registered 29-Sep-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume 183091 folio 0

SEARCH OF TORRENS TITLE

VOLUME 183091	FOLIO 2
EDITION 1	DATE OF ISSUE 28-Apr-2022

SEARCH DATE : 14-Jul-2022

SEARCH TIME : 12.29 PM

DESCRIPTION OF LAND

Town of COLES BAY

Lot 2 on Strata Plan 183091 and a general unit entitlement
operating for all purposes of the Strata Scheme being a 50
undivided 1/100 interest

Derived from Strata Plan 183091

Derivation : Part of Lot 1 (Sec. A) Gtd. to H.A.W. Parsons.

SCHEDULE 1

M923763 TRANSFER to GRANT JAMES PFEIFFER and TRINITY MAREE
PFEIFFER Registered 17-Jan-2022 at 12.01 PM

SCHEDULE 2

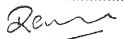
Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property

Folio of the Register volume 183091 folio 0

E287244 MORTGAGE to National Australia Bank Limited
Registered 17-Jan-2022 at 12.02 PM

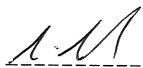
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN of COLES BAY SUBURB/LOCALITY: FOLIO REFERENCE : CT 55545/3 SITE COMPRISES THE WHOLE OF LOT 3 ON PLAN No. D55545	STRATA PLAN SHEET 1 OF 3 SHEETS		Registered Number 183091
	NAME OF STRATA SCHEME 37 JETTY RD COLES BAY		STRATA TITLES ACT 1998 REGISTERED 28 APR 2022  Recorder of Titles
	SCALE 1: 250	LENGTHS IN METRES	

SITE PLAN



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	 Council Delegate	21/3/22 Date	 Registered Land Surveyor	1-12-21 Date
	LODGED BY : EAST COAST SURVEYING			

STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE)	NA
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STRATA PLAN

SHEET 2 OF 3 SHEETS

STRATA TITLES ACT 1998

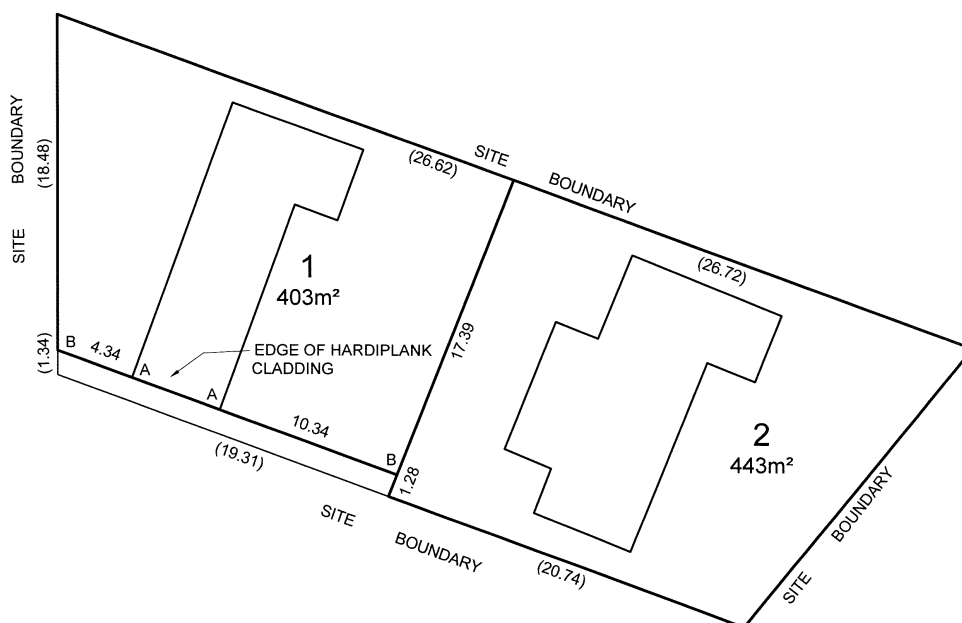
Registered Number

A. M. 21/3/22
Council Delegate Date

183091

GROUND FLOOR

SCALE: 1:250



THE HORIZONTAL LOT BOUNDARIES ARE
SHOWN BY HEAVY UNBROKEN LINES DEFINED
BY:

- SITE BOUNDARIES
- EDGE OF HARDIPLANK CLADDING
- MEASUREMENT WHERE THE BOUNDARY IS OPEN

MEASUREMENTS IN BRACKETS ARE FOR BOUNDARY FIXATION ONLY

THE VERTICAL LOT BOUNDARIES EXTEND FROM 2.0 METRES
BELOW GROUND LEVEL TO 10.0 METRES ABOVE GROUND LEVEL.

AB IS THE PROLONGATION OF EDGE OF HARDIPLANK CLADDING AA

A. M.
Registered Land Surveyor

4.2.22
Date

[illegible]

SEARCH OF TORRENS TITLE

VOLUME 183091	FOLIO 0
EDITION 1	DATE OF ISSUE 28-Apr-2022

SEARCH DATE : 14-Jul-2022

SEARCH TIME : 12.29 PM

DESCRIPTION OF LAND

Town of COLES BAY

The Common Property for Strata Scheme 183091

Derivation : Part of Lot 1 (Sec. A) Gtd. to H.A.W. Parsons.

Prior CT 55545/3

SCHEDULE 1

STRATA CORPORATION NUMBER 183091, 37 JETTY ROAD, COLES BAY

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

DRAWING SCHEDULE

A00	COVER PAGE
A01	SITE PLAN
A02	EXISTING & DEMOLITION PLAN
A03	CONSTRUCTION PLAN
A04	FLOOR PLAN
A05	ROOF PLAN
A06	ELEVATION #1
A07	ELEVATION #2
A08	PERSPECTIVE #1
A09	PERSPECTIVE #2
A10	SHADOW PLANS
A11	PLANNING RESPONSE

PROPOSED EXTENSION & INTERNAL RENOVATION

DAVID BRUCE NADIN
& BELINDA WIN NADIN
UNIT 1 37 JETTY RD
COLES BAY TAS 7215

GLAMORGAN-SPRING BAY COUNCIL

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	10.0 LOW DENSITY GENERAL RESIDENTIAL ZONE
BUILDING CLASS:	CLASS 1B
LAND TITLE REFERENCE NUMBER:	183091/1
DESIGN WIND SPEED:	ASSUMED 'N3'
SOIL CLASSIFICATION:	ASSUMED 'H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	N/A
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	LOW
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED EXTENSION 2	9.96 m ²	1.07
PROPOSED EXTENSION 1	10.06 m ²	1.08
EXISTING VISITOR ACCOMMODATION	110.18 m ²	11.86
	130.20 m ²	14.01

ISSUED FOR DEVELOPMENT APPROVAL



LEGEND	
	SEWER
	WATER
	STORMWATER

DRAINAGE
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
STORMWATER FROM PROPOSED EXTENSION TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

PLANNING APPROVAL

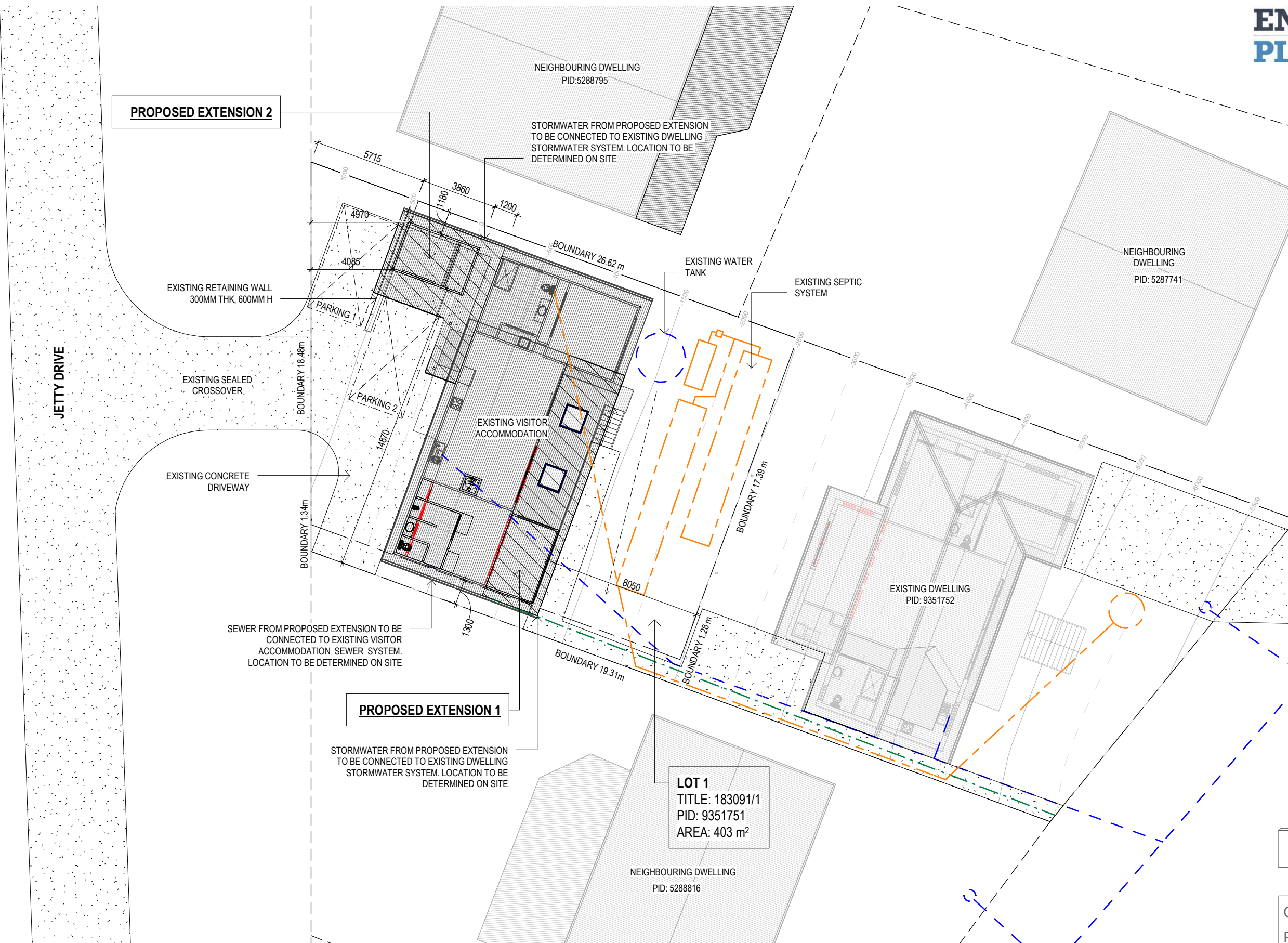
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Client: **D. & B. NADIN**
Project: **PROPOSED EXTENSION & INTERNAL RENOVATION**
Address: **UNIT 1 37 JETTY RD
COLES BAY TAS 7215**

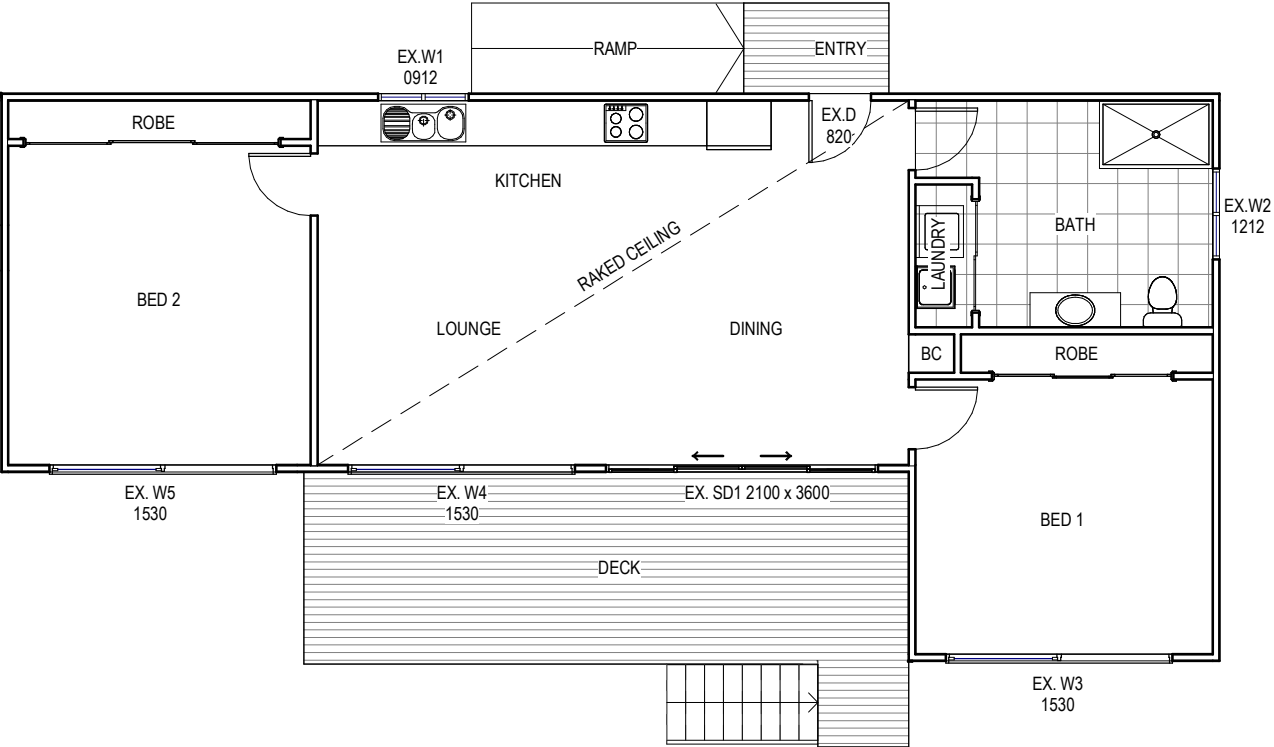
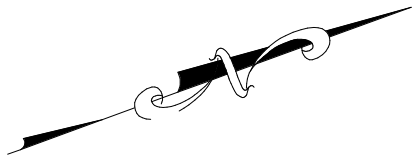
Office: 6331 7021
info@engineeringplus.com.au

Drawing No: **EP-2025-236** A01 / A11
Rev **B**

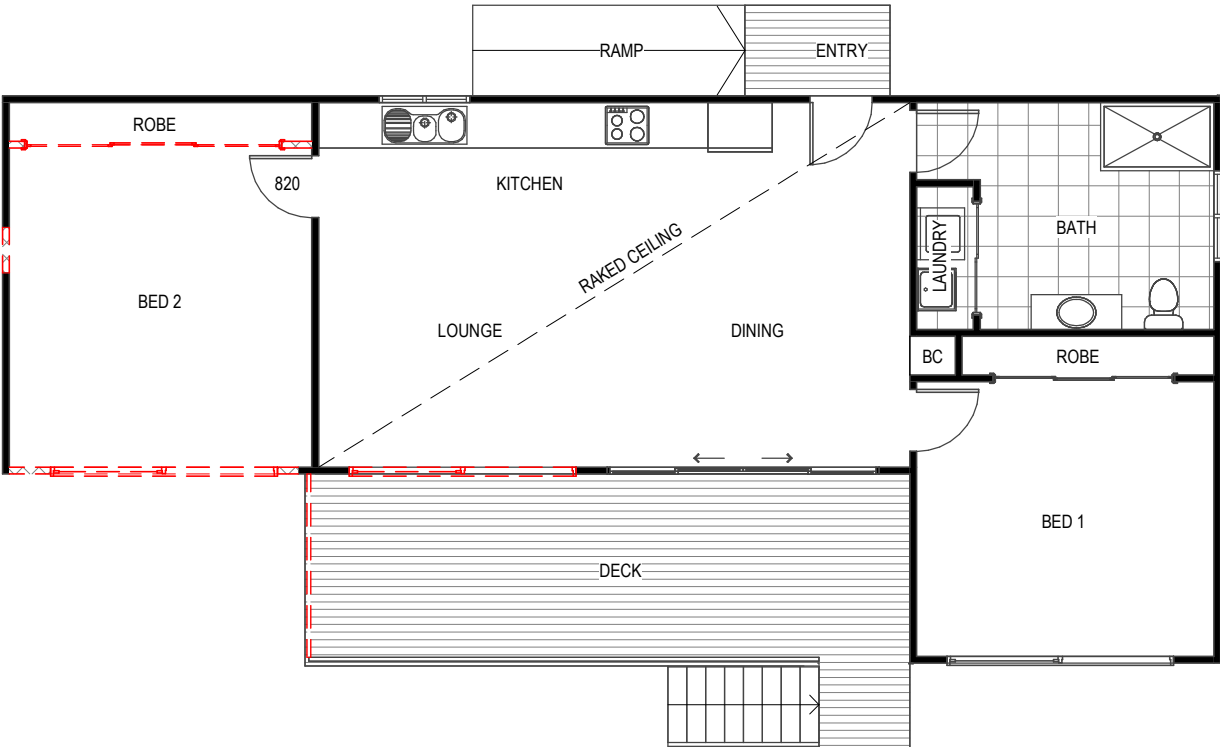
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				Drawn: M.Thach
				Checked: J. Pfeiffer
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
				Accredited Building Designer
				Designer Name: J.Pfeiffer
				Accreditation No: CC2211T
Rev:	Amendment:	Date:	Int:	



SITE PLAN
SCALE 1:200




EXISTING PLAN
SCALE 1 : 100



DEMOLITION PLAN
SCALE 1 : 100

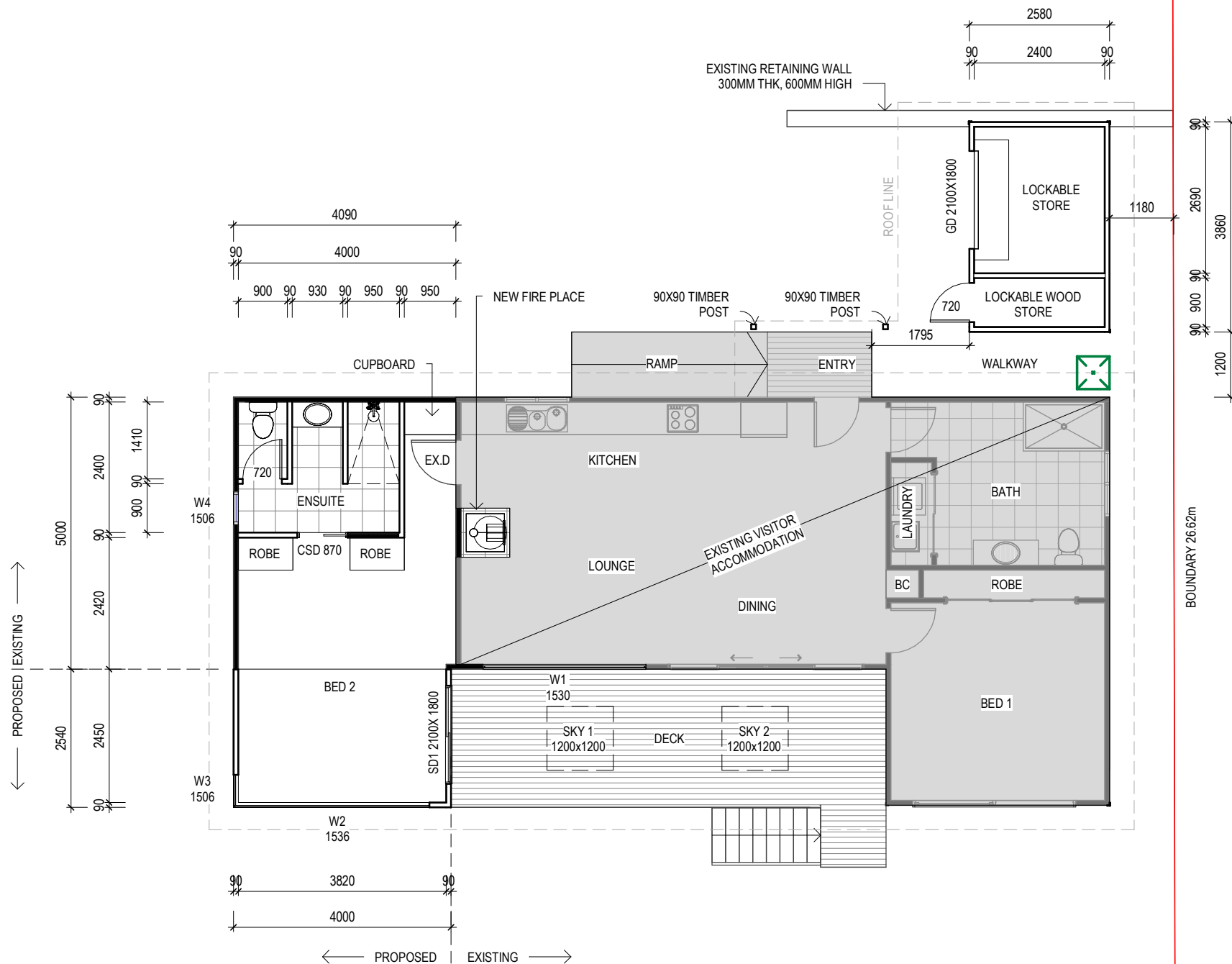
NOTES:	
	- WALLS TO BE REMOVED
	- EXISTING WALLS

				Date Drawn: 19.08.19	Address: UNIT 1 37 JETTY RD COLES BAY TAS 7215 Office: 6331 7021 info@engineeringplus.com.au  ENGINEERING PLUS <small>BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING</small>				
				Drawn: M.Thach					
				Checked: J. Pfeiffer					
				Approved: J. Pfeiffer					
				Scale: As Shown @ A3					
B	RFI	17.11.25	J.N	Accredited Building Designer	Drawing No: EP-2025-236 A02 / A11			Rev B	
A	ISSUED FOR DEVELOPMENT APPROVAL	05.11.25	J.N	Designer Name: J.Pfeiffer					
-	ISSUED FOR REVIEW	23.10.25	J.N	Accreditation No: CC2211T					
-	ISSUED FOR REVIEW	17.10.25	J.N						
Rev:	Amendment:	Date:	Int:						

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Project: PROPOSED EXTENSION & INTERNAL RENOVATION
Address: UNIT 1 37 JETTY RD
COLES BAY TAS 7215



CONSTRUCTION PLAN
SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1500	3000	DG	4.3	0.55
W2	1500	3600	DG	4.3	0.55
W3	1500	600	DG	4.3	0.55
W4	1500	600	DG	4.3	00.5
SD1	2100	1800	DG	4.0	0.61

DISCLAIMER
ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

DEVELOPMENT AREA

Name	Area
EXISTING VISITOR ACCOMMODATION	110.18 m ²
PROPOSED EXTENSION 1	10.06 m ²
PROPOSED EXTENSION 2	9.96 m ²
	130.20 m ²

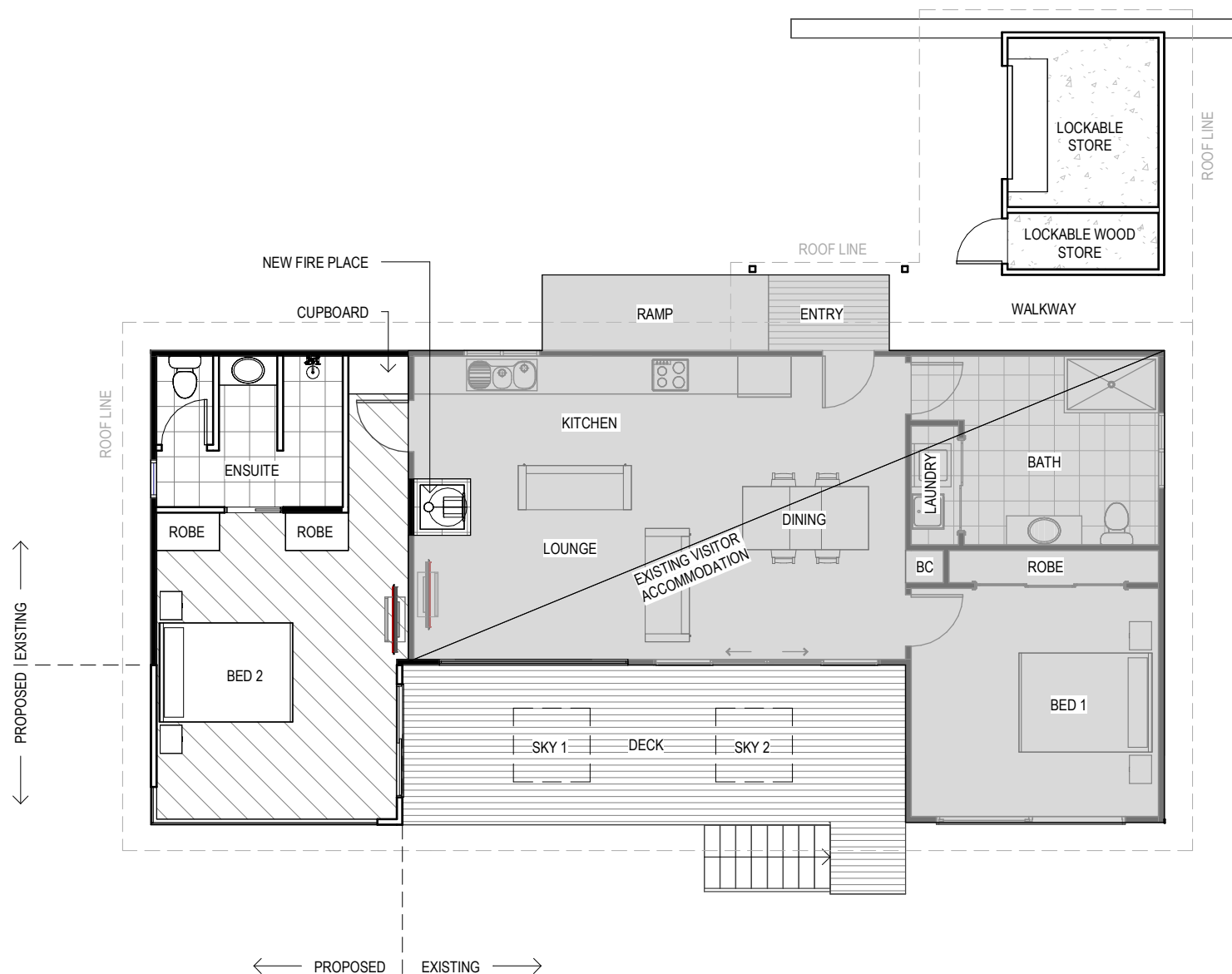
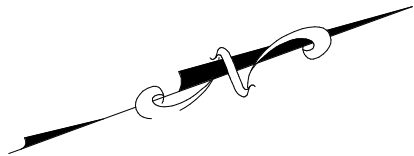
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				Date Drawn: 19.08.19 Drawn: M.Thach Checked: J. Pfeiffer Approved: J. Pfeiffer Scale: As Shown @ A3	
B	RFI	17.11.25	J.N		
A	ISSUED FOR DEVELOPMENT APPROVAL	05.11.25	J.N		
-	ISSUED FOR REVIEW	23.10.25	J.N		
-	ISSUED FOR REVIEW	17.10.25	J.N		
Rev:	Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: EP-2025-236 A03 / A11 Rev B



FLOOR PLAN
SCALE 1 : 100

DEVELOPMENT AREA	
Name	Area
EXISTING VISITOR ACCOMMODATION	110.18 m ²
PROPOSED EXTENSION 1	10.06 m ²
PROPOSED EXTENSION 2	9.96 m ²
	130.20 m ²

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Date Drawn: 19.08.19
Drawn: M.Thach
Checked: J. Pfeiffer
Approved: J. Pfeiffer
Scale: As Shown @ A3
Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

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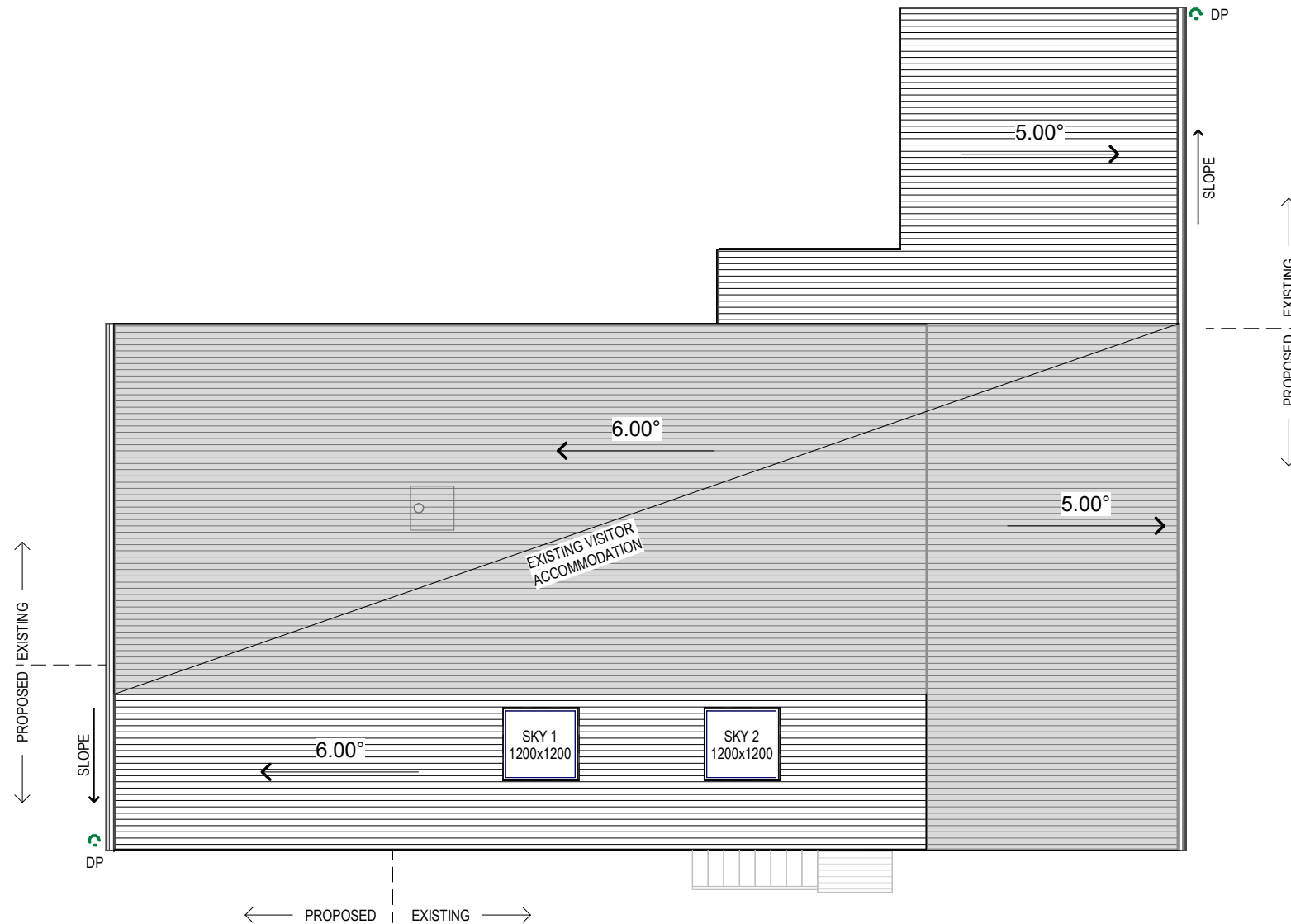
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Office: 6331 7021
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ENGINEERING
PLUS
BUILDING DESIGN
PROJECT MANAGEMENT
CIVIL/STRUCTURAL ENGINEERING

Drawing No:
EP-2025-236 A04 / A11

Rev
B



ROOF PLAN
SCALE 1 : 100

DOWNPIPES - NCC PART 7.4

MAX. 12M GUTTER LENGTH PER DOWNPIPE
LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS
SELECTED IN ACCORDANCE WITH TABLES 7.4.4a TO 7.4.4c

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d
END STOP WEIR
100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP
NOT SUITABLE WHEN END-STOP ABUTS WALL
INVERTED NOZZLE
INSTALLED WITHIN 500mm OF GUTTER HIGH POINT
100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP
FRONT FACE WEIR
200mm CLEAR WIDTH - 20mm CLEAR HEIGHT
INSTALLED MIN. 25mm BELOW FASCIA TOP
RAINHEAD
75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

GUTTERS - NCC PART 7.4

FALL NOT LESS THAN 1:500
SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c
HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

OVERFLOW MEASURES

IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b
FRONT FACE SLOTTED GUTTER
MIN SLOT OPENING 1200mm/ GUTTER m
LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP
CONTROLLED BACK GAP
PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA
ONE PER BRACKET - MIN. 50mm WIDE
GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH NCC PART 7.2.2
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R4.0 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

PLANNING APPROVAL

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Client: D. & B. NADIN
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Address: UNIT 1 37 JETTY RD
COLES BAY TAS 7215

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				Date Drawn: 19.08.19	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: EP-2025-236 A05 / A11	Rev B
				Drawn: M.Thach			
				Checked: J. Pfeiffer			
				Approved: J. Pfeiffer			
				Scale: As Shown @ A3			
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-	ISSUED FOR REVIEW	17.10.25	J.N				
Rev:	Amendment:	Date:	Int:				

EAVE & SOFFIT CONSTRUCTION ABCB VOLUME 2 PART 7.4.5
EAVE WIDTH - 450MM

- SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING
- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
 - FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS

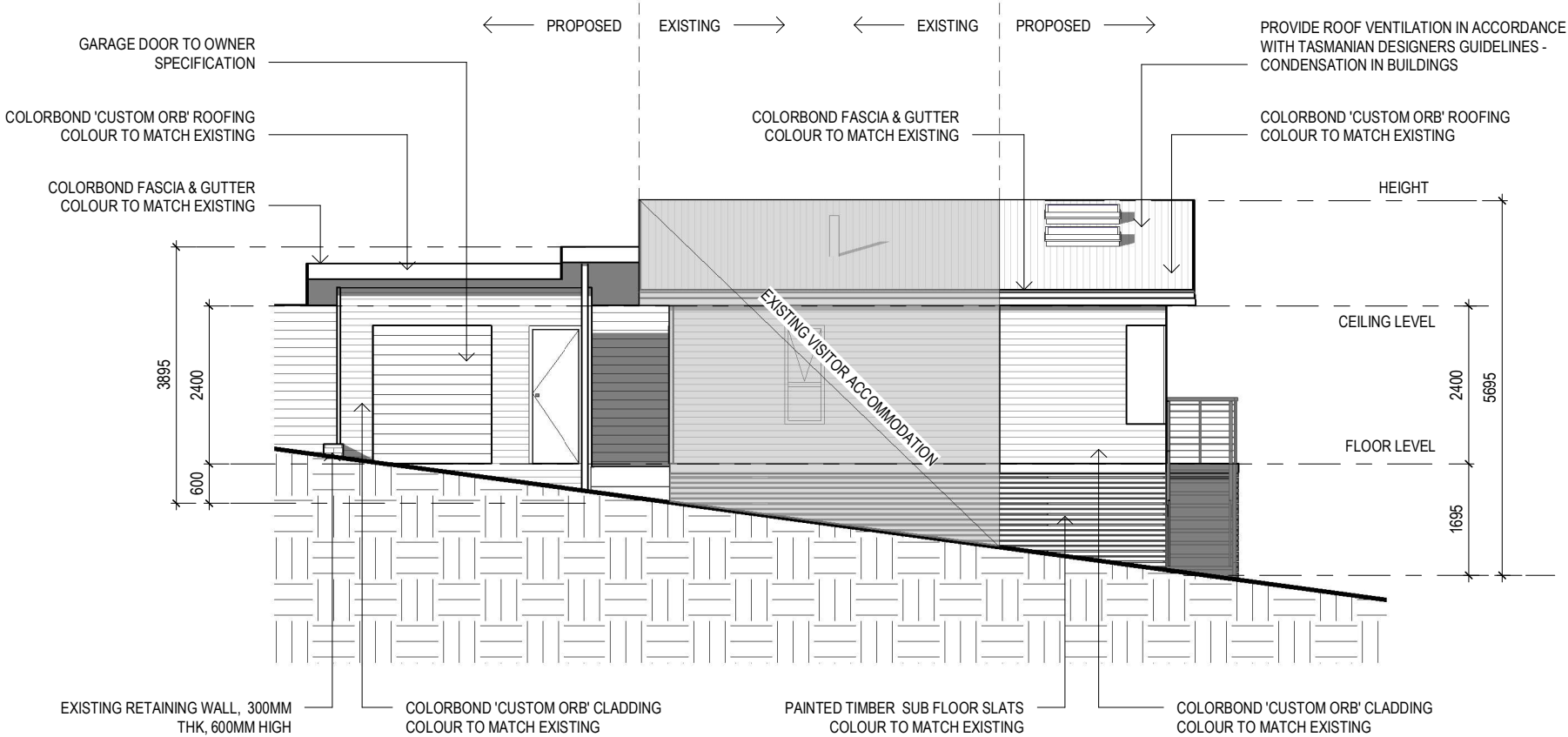
SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

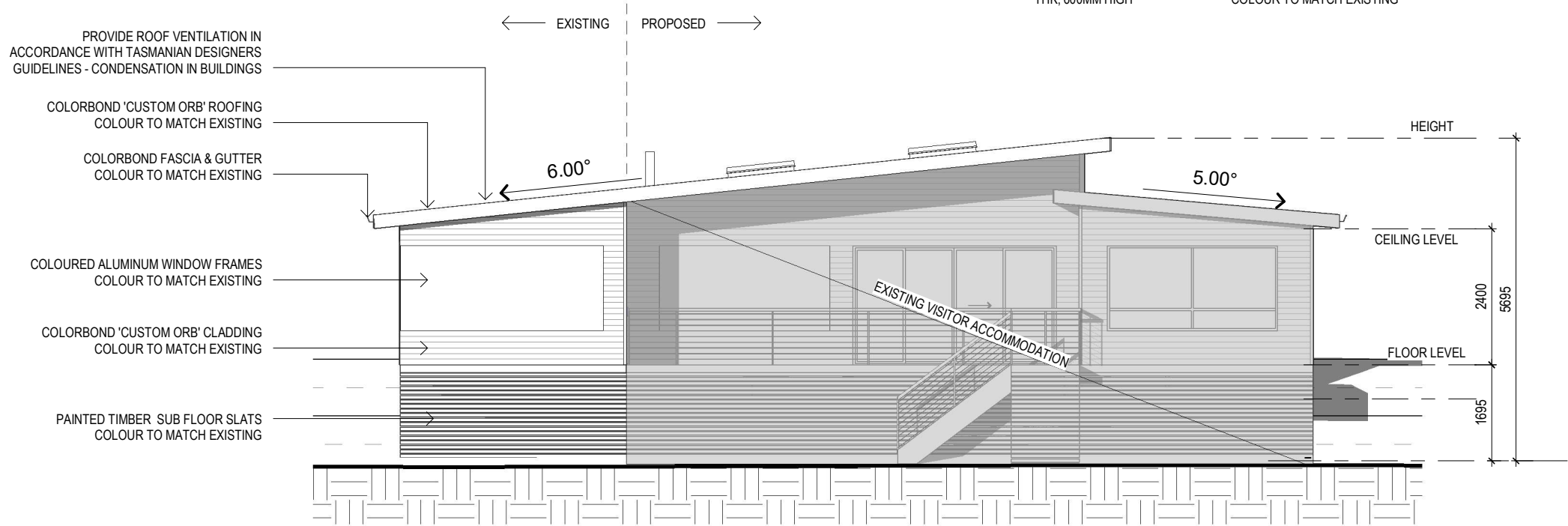
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTH WEST ELEVATION
SCALE 1 : 100



SOUTH EAST ELEVATION
SCALE 1 : 100

PLANNING APPROVAL

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Client: D. & B. NADIN
Project: PROPOSED EXTENSION & INTERNAL RENOVATION
Address: UNIT 1 37 JETTY RD
COLES BAY TAS 7215

Office: 6331 7021
info@engineeringplus.com.au



				Date Drawn: 19.08.19
				Drawn: M.Thach
				Checked: J. Pfeiffer
				Approved: J. Pfeiffer
				Scale: As Shown @ A3
				Accredited Building Designer
				Designer Name: J.Pfeiffer
				Accreditation No: CC2211T
Rev:	Amendment:	Date:	Int:	

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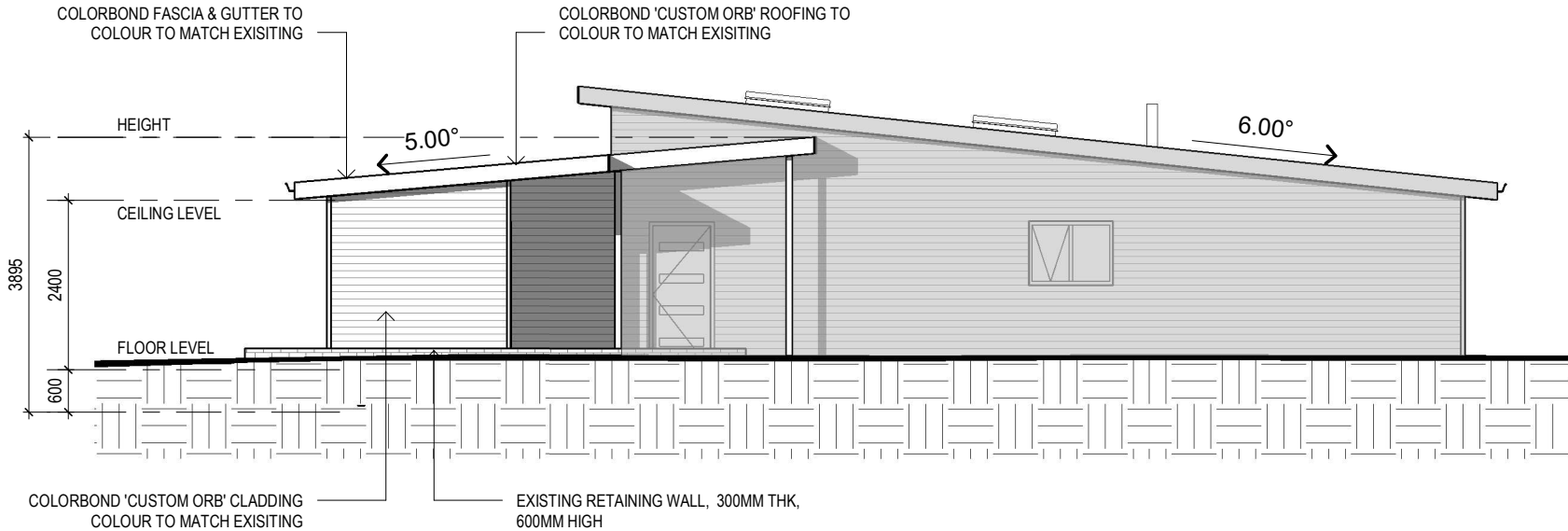
Drawing No: EP-2025-236 A06 / A11 Rev B

SUB FLOOR VENTILATION. ncc vol 2 part 6.2.1

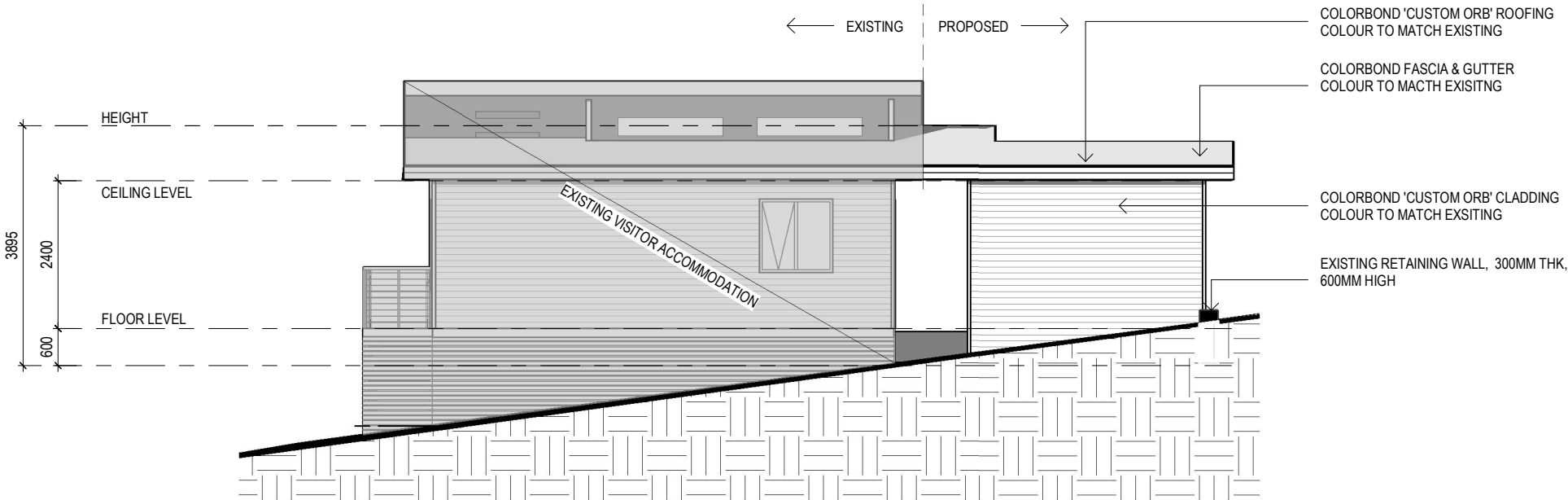
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM2 PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL


ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS
CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.

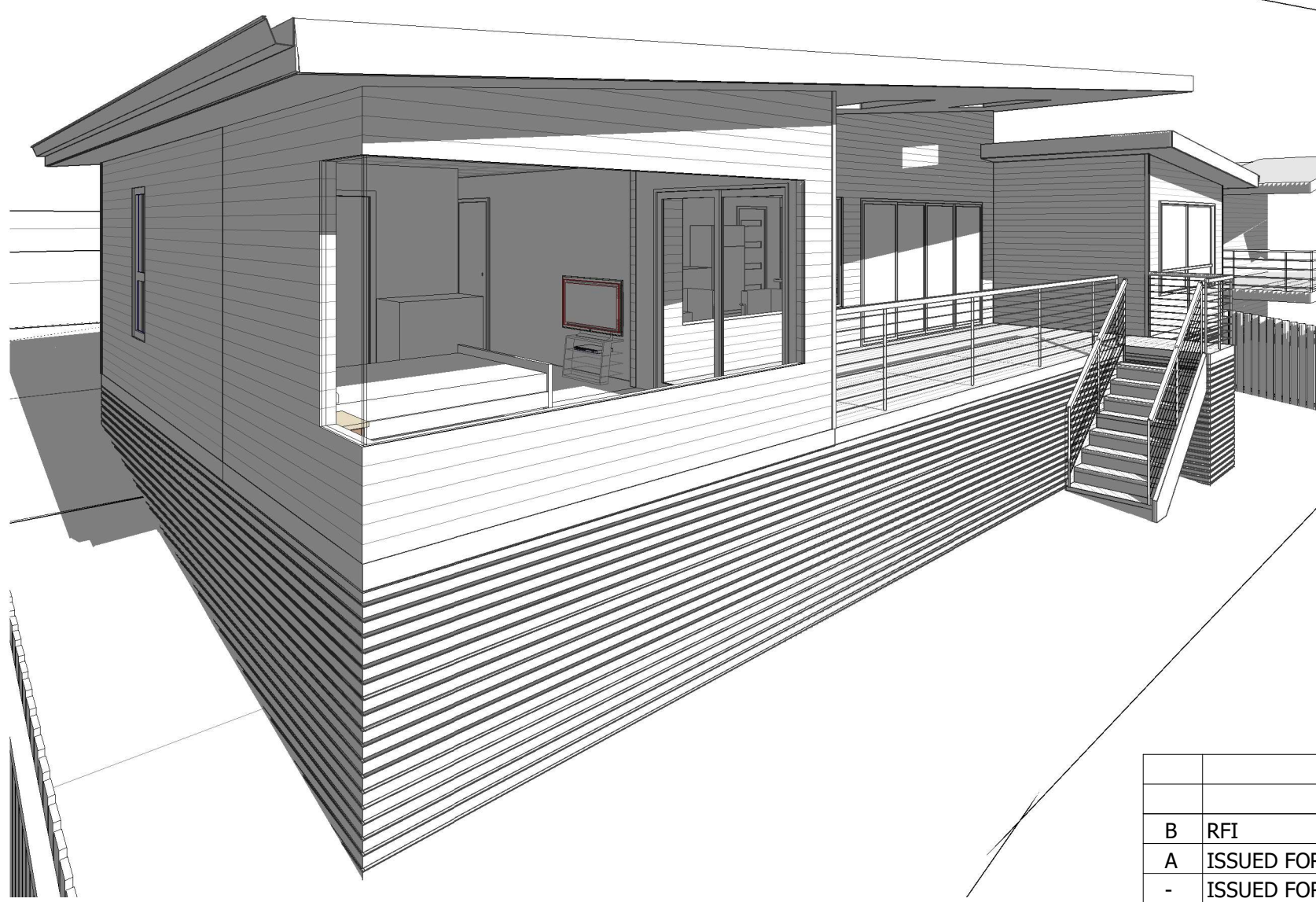
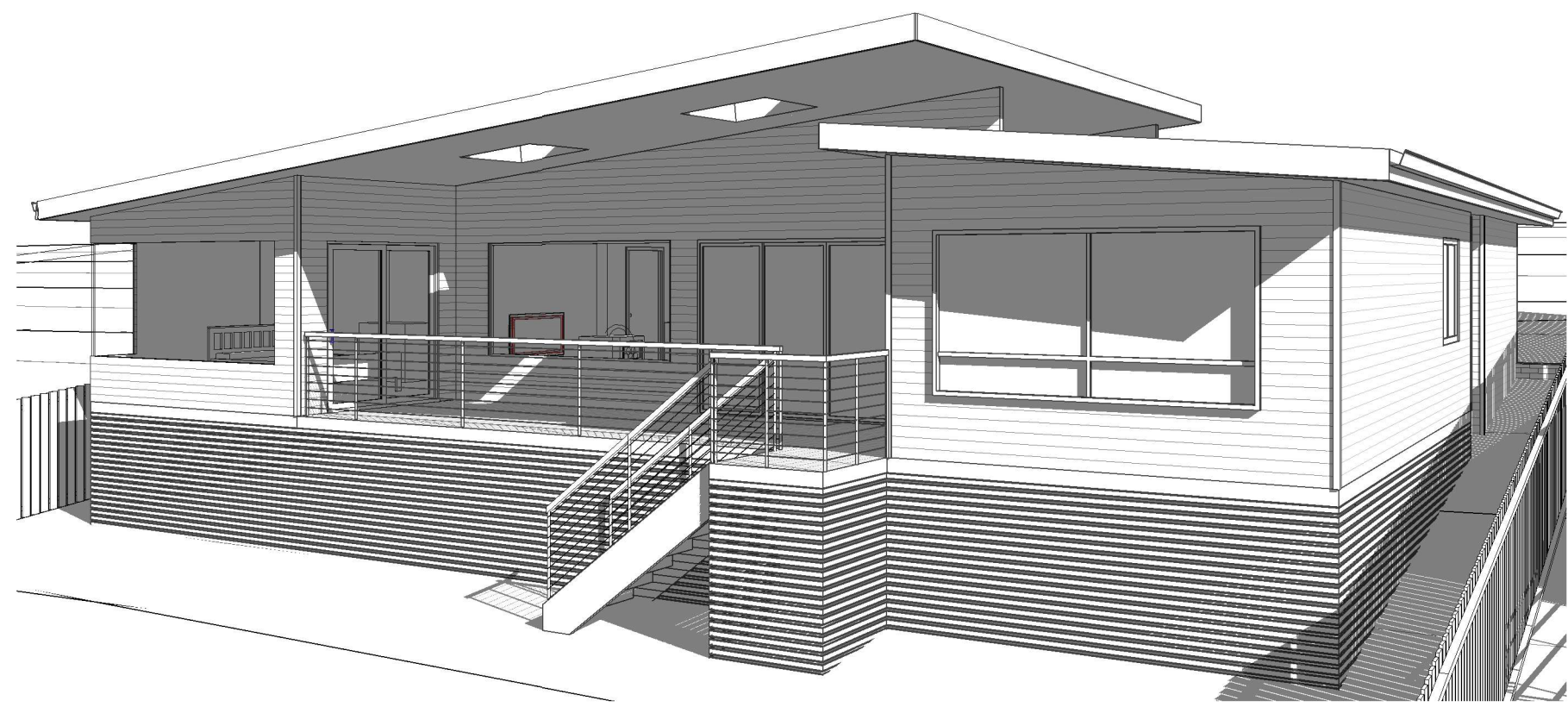


NORTH WEST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

				Date Drawn: 19.08.19 Drawn: M.Thach Checked: J. Pfeiffer Approved: J. Pfeiffer Scale: As Shown @ A3	Address: UNIT 1 37 JETTY RD COLES BAY TAS 7215 Office: 6331 7021 info@engineeringplus.com.au <div>ENGINEERING PLUS BUILDING DESIGN PROJECT MANAGEMENT CIVIL/STRUCTURAL ENGINEERING</div> 		
B	RFI	17.11.25	J.N				
A	ISSUED FOR DEVELOPMENT APPROVAL	05.11.25	J.N				
-	ISSUED FOR REVIEW	23.10.25	J.N				
-	ISSUED FOR REVIEW	17.10.25	J.N	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: EP-2025-236 A07 / A11		Rev B
Rev:	Amendment:	Date:	Int:				



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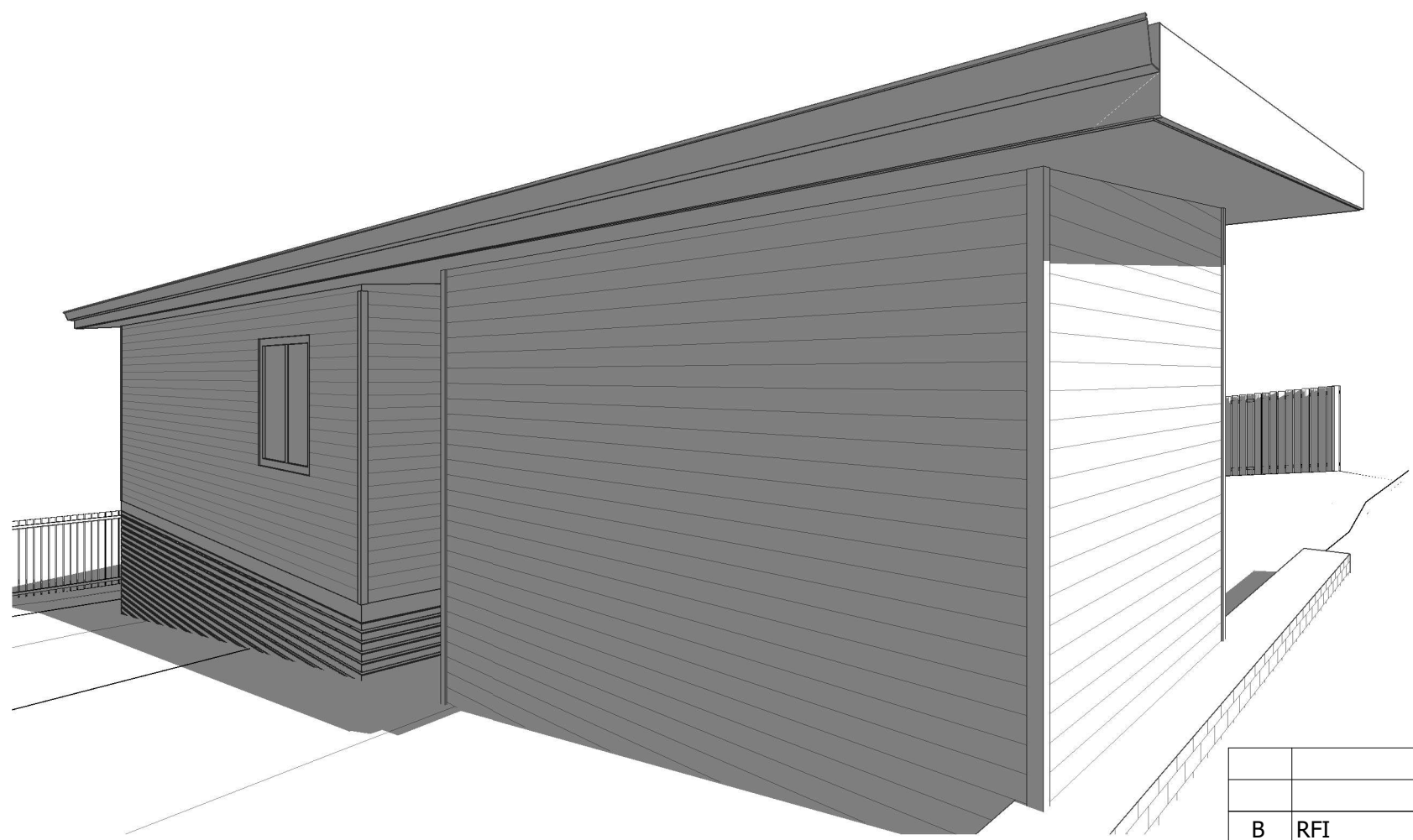
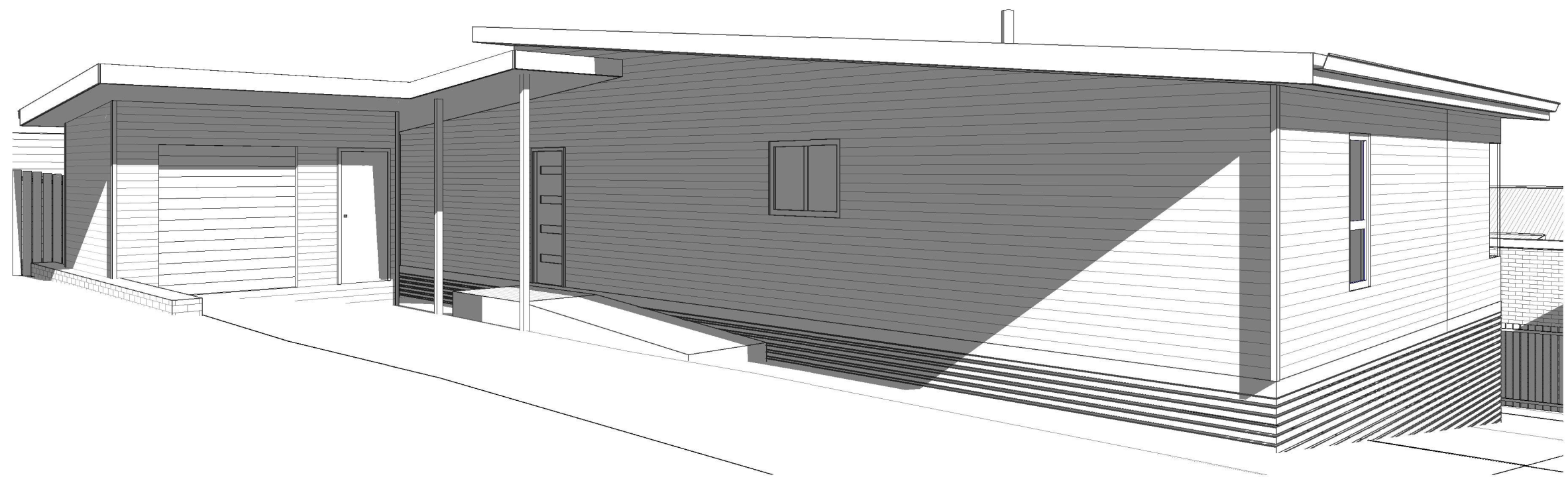
Client: D. & B. NADIN
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Rev:	Amendment:	Date:	Int:

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Accredited Building Designer
Designer Name: J.Pfeiffer
Accreditation No: CC2211T

Drawing No: EP-2025-236 A08 / A11
Rev B



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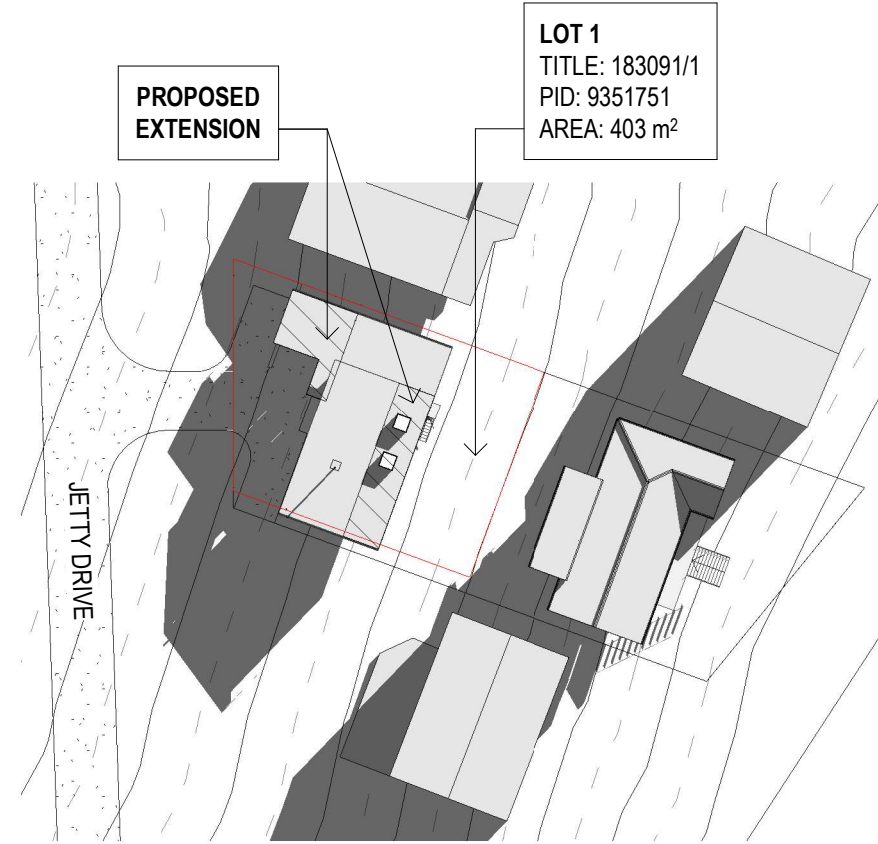
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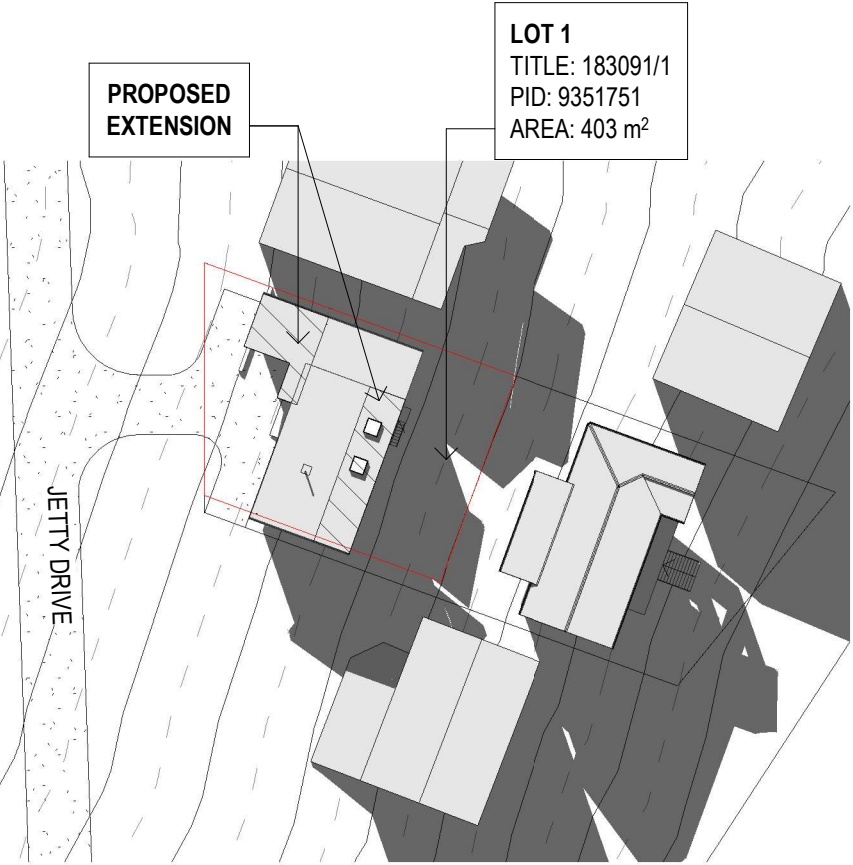
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A		ISSUED FOR DEVELOPMENT APPROVAL	05.11.25	J.N			
-		ISSUED FOR REVIEW	23.10.25	J.N			
-		ISSUED FOR REVIEW	17.10.25	J.N			
Rev:		Amendment:	Date:	Int:			

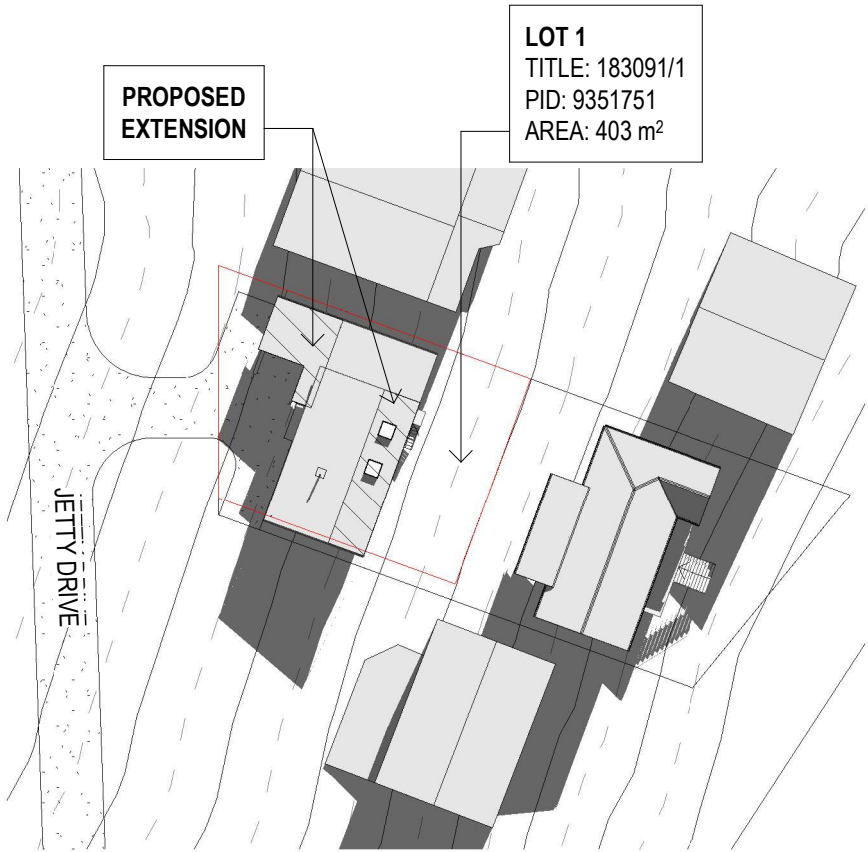
WINTER SOLSTICE - 21.06.25



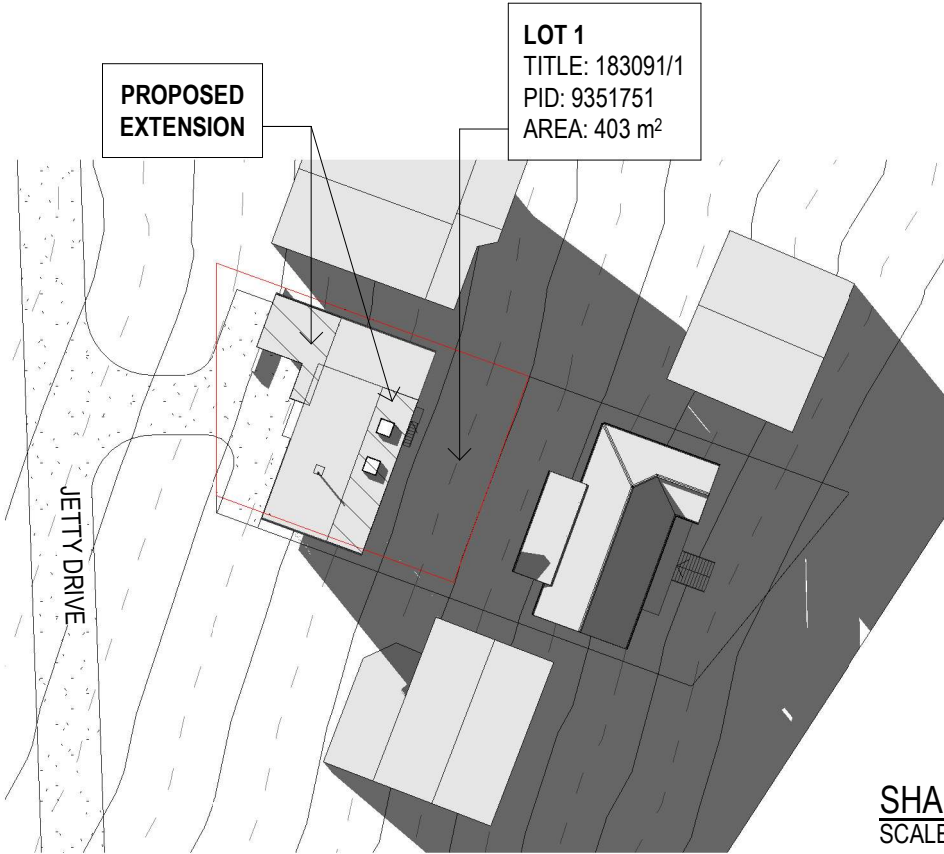
SHADOW PLAN 21.06.2025 9am
SCALE 1 : 600



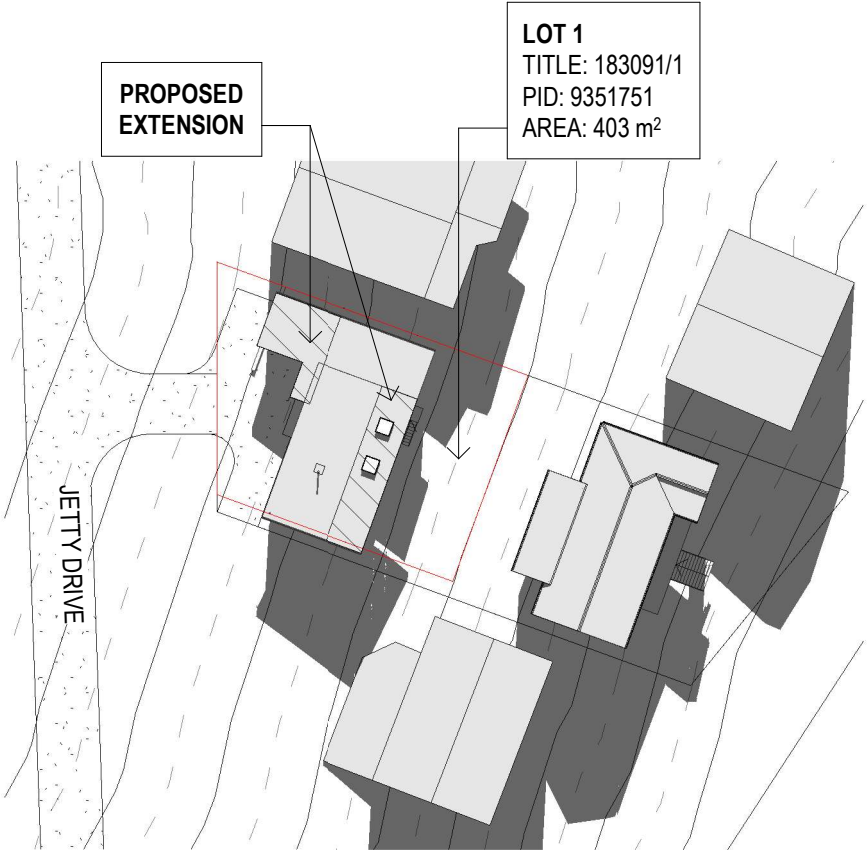
SHADOW PLAN 21.06.2025 1.30pm
SCALE 1 : 600



SHADOW PLAN 21.06.2025 10.30am
SCALE 1 : 600



SHADOW PLAN 21.06.2025 3.00pm
SCALE 1 : 600



SHADOW PLAN 21.06.2025 12pm
SCALE 1 : 600

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Rev:	Amendment:	Date:	Int:	

EP-2025-236 A10 / A11

Drawing No:
Rev
B



PLANNING RESPONSE :
CLAUSE 10.5.1 – LOW DENSITY RESIDENTIAL ZONE

P2 - Compatibility with Streetscape and Character

The siting of a building that is not a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:

- (a) The topography of the site;
RESPONSE: The proposal has been designed to follow the natural topography of the site. No earthworks are required, ensuring the building sits comfortably within the existing landform.
- (b) The setbacks of surrounding buildings;
RESPONSE: The proposed extension is setback approx. 4.1 metres from the frontage boundary. The adjoining property PID5288795 and PID5288787 and PID1554603 along the Jetty road is setback approx. 3.8 m, 3.0 m and 4.0 m. The proposed siting is consistent with the prevailing setback pattern in the area and does not dominate the streetscape.
- (c) The height, bulk and form of existing and proposed buildings;
RESPONSE: The proposed extension is attached to the existing building and continues the same low roof form. In appearance, the extension reads as part of the existing building, consistent with existing context.
- (d) The appearance when viewed from roads and public open space adjacent to the site; and
RESPONSE: The building extension will be viewed as a continuation of the existing structure, using consistent materials, colours and roof form. The overall visual impact from the street and adjacent public areas will be minimal and compatible with surrounding low-scale development.
- (e) The safety of road users.
RESPONSE: The extension does not impact existing sightlines, vehicle access, or pedestrian safety. Existing driveway access remains unchanged, ensuring no adverse impact on road user safety.

Conclusion: The proposal satisfies P2, being compatible with the established streetscape and character of the area.

P3 - Amenity of Adjoining Properties

The siting of a building that is not a dwelling, must not cause unreasonable loss of amenity to adjoining properties, having regard to:

- (a) The topography of the site; AND
(b) The size, shape and orientation of the site;
RESPONSE: The proposal respects the site's existing topography and orientation. The building is located to the side of the existing structure, maintaining generous separation from adjoining dwellings.
- (c) The setbacks of surrounding buildings;
RESPONSE: The proposed setbacks are consistent with adjoining development patterns, maintaining privacy and avoiding overshadowing.
- (d) The height, bulk and form of existing and proposed buildings;
RESPONSE: The low height and modest scale of the extension ensure no unreasonable impact on adjoining properties. The bulk is mitigated through continuation of the existing roofline.
- (e) The existing buildings and private open space areas on the site;
RESPONSE: he extension is positioned to avoid any loss of private open space or functional outdoor area. Existing private open space remains accessible and compliant with the zone standards.
- (f) Sunlight to private open space and windows of habitable rooms on adjoining properties; and
RESPONSE: Given the single-storey form and orientation, the proposal will not cause overshadowing or loss of sunlight to habitable room windows or private open space of adjoining properties.
- (g) The character of development existing on established properties in the area.
RESPONSE: The proposal complements the existing character of low-density residential development and maintains the open landscaped setting typical of the area.

Conclusion: The proposal complies with P3, as it will not cause unreasonable loss of amenity to adjoining properties.

P4 - Site Coverage

The site coverage of a building that is not a dwelling must be consistent with that existing on established properties in the area, having regard to:

- (a) The topography of the site;
RESPONSE: The proposed extension follows the existing topography and integrates with the landform.
- (b) The capacity of the site to absorb runoff;
RESPONSE: Stormwater runoff will continue to be managed via the existing drainage system. The extension is to be constructed over the existing carparking area, which is already an impermeable surface, therefore no change to site drainage capacity occurs.
- (c) The size and shape of the site;
RESPONSE: The site size comfortably accommodates the proposed extension without resulting in overdevelopment, and the design has been planned to ensure the extension remains consistent with the appearance of the existing building.
- (d) The existing buildings and any constraints imposed by existing development;
RESPONSE: The extension connects seamlessly to the existing building and respects existing development constraints and access arrangements.
- (e) The provision for landscaping and private open space;
RESPONSE: Landscaping and private open space areas remain unaffected, as the extension occupies part of the existing carparking area. Adequate open space is retained on site in accordance with zone requirements.
- (f) The need to remove vegetation; and
RESPONSE: No vegetation removal is required. The proposed works occur within previously developed and paved areas.
- (g) The site coverage of adjacent properties.
RESPONSE: Comparison with surrounding lots (PID 5288795, 5288507, 5288787 shows site coverage in the range of approx. 40.58 %, 40.85 &, 32.36%. The subject site's proposed coverage of 41% is consistent with the character of development in the area.

Conclusion: The proposal satisfies P4, as the site coverage is consistent with surrounding development and does not impact runoff, landscaping, or amenity

				Date Drawn: 19.08.19	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: EP-2025-236 A11 / A11	Rev B
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				Checked: J. Pfeiffer			
				Approved: J. Pfeiffer			
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