

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Leigh Adams - Adams Building Design		
Contact person: (if different from applicant)	Leigh Adams		
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)	Malcom and Felicity Nicolson		
Address:	4 Sheoak Court		
Suburb:	Coles Bay	Post Code:	7215
Email:		Phone: / Mobile:	
Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	4 Sheoak Court		
Suburb:	Coles Bay	Post Code:	7215
Size of site: (m ² or Ha)	1042.33 m ²		
Certificate of Title(s):	143490 - 25		
Current use of site:	Vacant Lot		

General Application Details *Complete for All Applications*

Description of proposed use or development:	Proposed new Dwelling , Garage & Carport	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No	<input checked="" type="checkbox"/>

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	29/11/2024
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 143490	FOLIO 25
EDITION 6	DATE OF ISSUE 02-Mar-2022

SEARCH DATE : 28-Apr-2022

SEARCH TIME : 05.27 PM

DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN
 Lot 25 on Sealed Plan 143490
 Derivation : Part of 655 acres Gtd. to S. W. Roberts and
 Johnson Sinclair
 Prior CT 139308/104

SCHEDULE 1

M942862 TRANSFER to MALCOLM ALEXANDER NICOLSON and FELICITY
 ANN NICOLSON as tenants in common in equal shares
 Registered 02-Mar-2022 at 12.01 PM

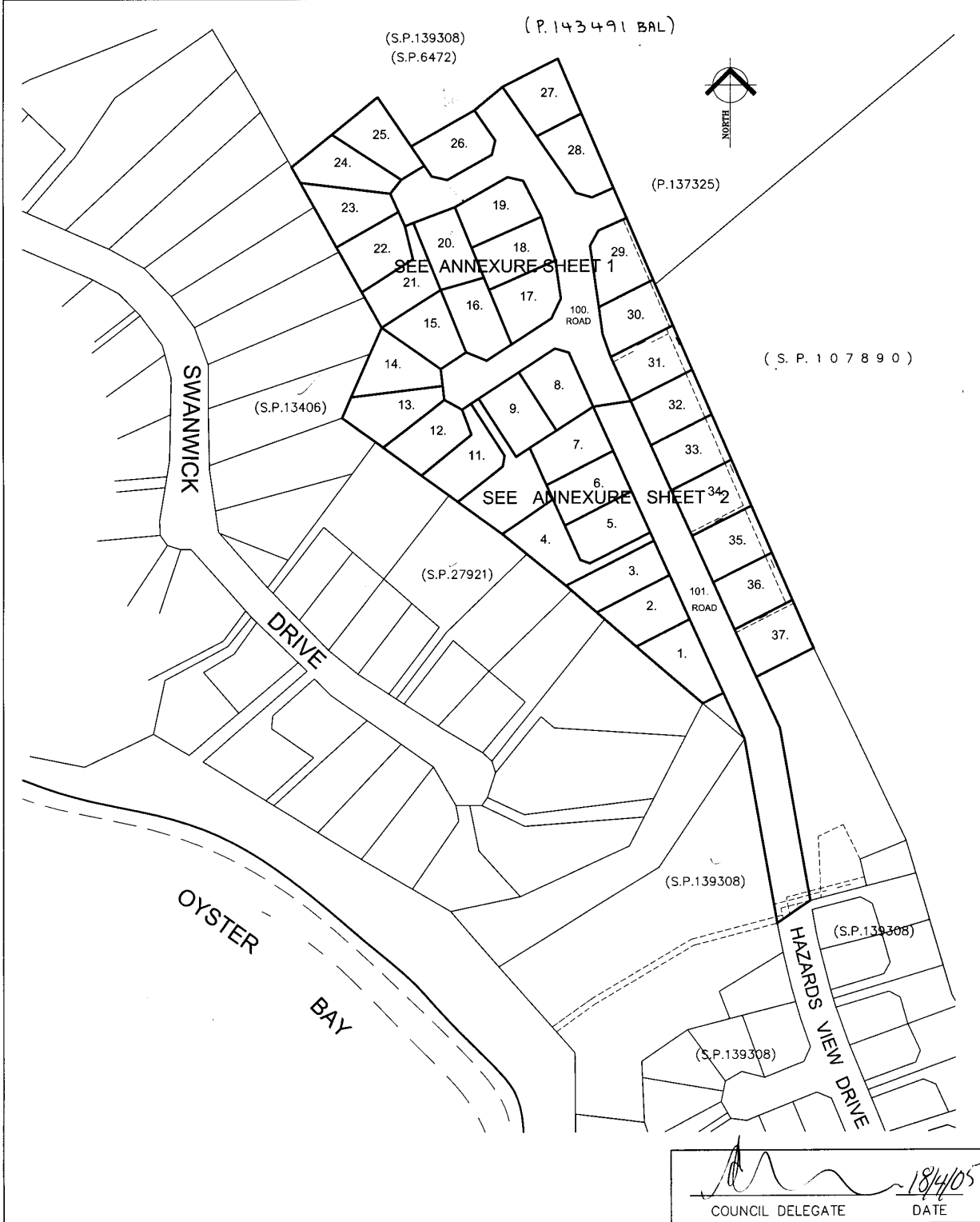
SCHEDULE 2

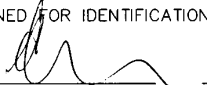

Reservations and conditions in the Crown Grant if any
 SP 143490 COVENANTS in Schedule of Easements
 SP 107890 SP 139308 & SP 143490 FENCING COVENANT in Schedule
 of Easements
 SP 6472 FENCING PROVISION in Schedule of Easements
 E294998 MORTGAGE to Bank of Queensland Limited Registered
 02-Mar-2022 at 12.02 PM

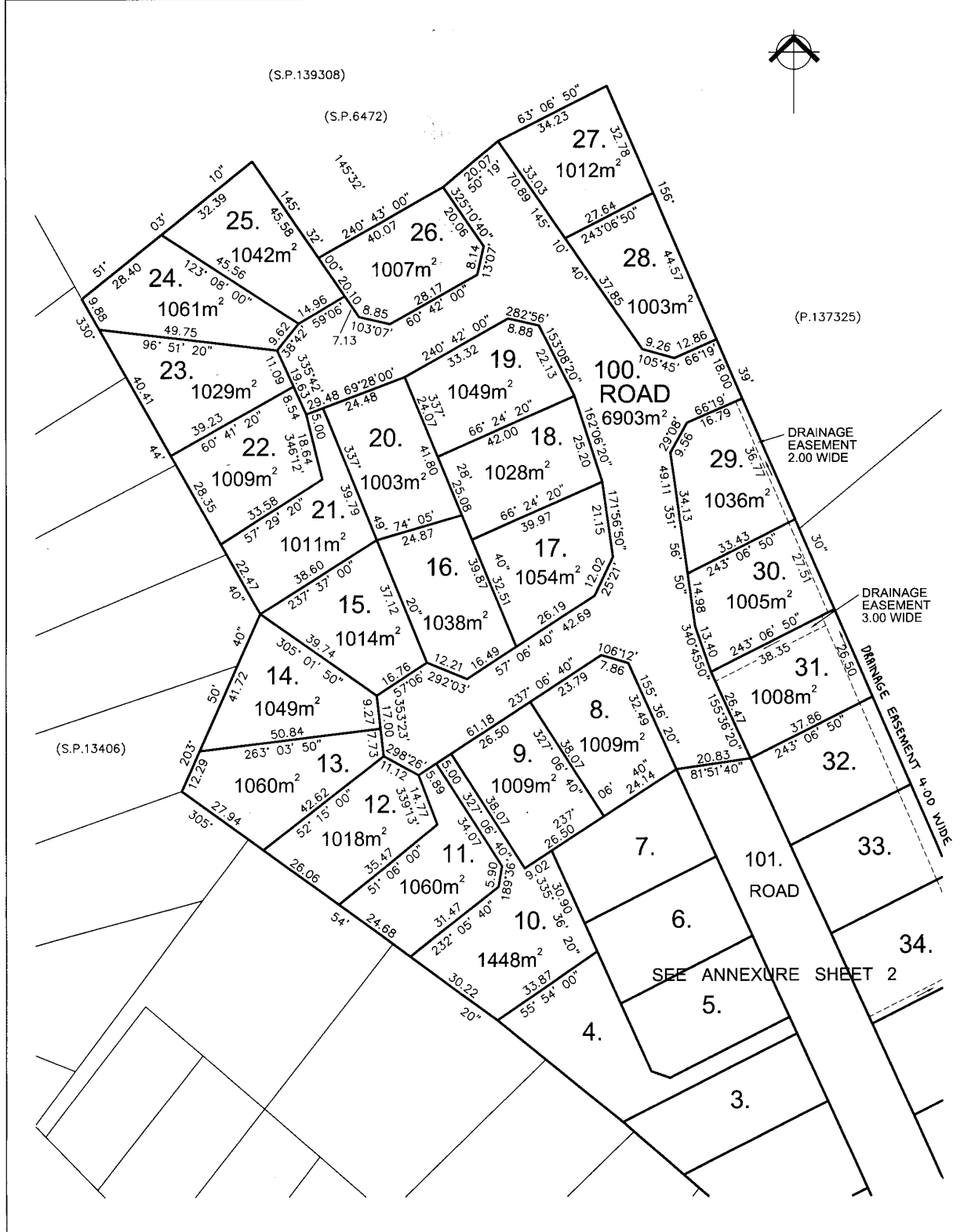
UNREGISTERED DEALINGS AND NOTATIONS

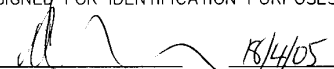
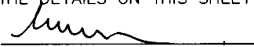
No unregistered dealings or other notations

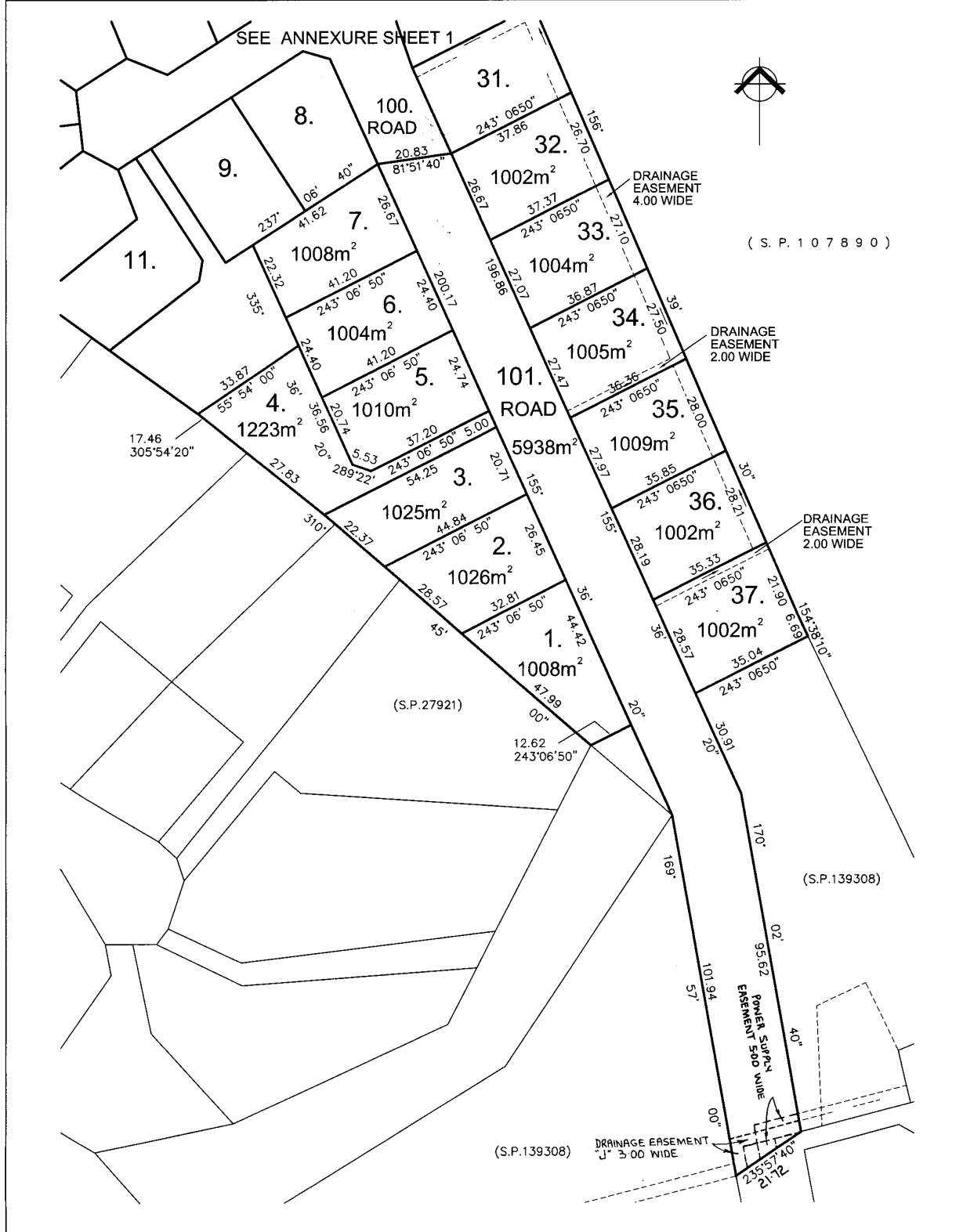
OWNER COOROLINA PTY. LTD.	PLAN OF SURVEY		REGISTERED NUMBER SP143490
FOLIO REFERENCE C.T.139308-104	BY SURVEYOR B.R.WOOLCOTT	 G. J. WALKEM & CO.	APPROVED EFFECTIVE FROM 22 APR 2005 <i>Alice Kawa</i> Recorder of Titles
GRANTEE PART OF 655 ACRES GRANTED TO SAMUEL WELLS ROBERTS AND JOHNSON SINCLAIR.	LOCATION LAND DISTRICT OF GLAMORGAN PARISH OF MEREDITH		
SCALE 1:2000		LENGTHS IN METRES	
MAPSHEET MUNICIPAL CODE No 112 (6033-11,21)	LAST UPI No FPB21	LAST PLAN No P.137325	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER COOROOLINA PTY. LTD. FOLIO REFERENCE C.T.139308-104 SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number SP 143490</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate Date 18/4/05</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET  Registered Land Surveyor Date 15.4.05</p>	<p>APPROVED EFFECTIVE FROM Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER COOROLINA PTY. LTD. FOLIO REFERENCE C.T.139308-104 SCALE 1:1000 LENGTH IN METRES</p>	<p>Registered Number SP143490</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate Date 18/4/05</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN> THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET  Registered Land Surveyor Date 15.4.05</p>	<p>APPROVED EFFECTIVE FROM Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 143490

PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

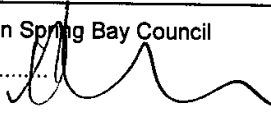
- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

COVENANTS

1. The owner of each Lot on the Plan (~~except the balance land~~) covenants with the Vendor (Cooroolina Pty. Ltd.) to the intent that the burden of this covenant shall run with and bind the covenantor's Lot and every part thereof and that the benefit may be annexed to and devolve with each and every other part of every other Lot shown on the Plan to observe the following stipulations:
 - (a) That there shall not be erected on such Lot any buildings other than a private dwelling house and the buildings usually appurtenant thereto.
 - (b) That there shall not be erected on such Lot any dwelling house of a size less than 100 square metres exclusive of outbuildings.
 - (c) Not to permit or allow any building (dwelling or otherwise) to be erected on the premises having outer walls made of second-hand or used materials.
 - (d) That there shall not be erected on such Lot or attached to any dwelling house or any outbuilding any advertisement hoarding bill or poster or any similar erection (except any notice or advertisement in the usual form for the sale or letting of such Lot or any building erected thereon).
 - (e) Not to keep or allow to be kept on such Lot any greyhounds or poultry or any other animals for commercial purposes.
 - (f) Not to permit or allow any engine or machinery worked or driven by steam, gas, electric or other mechanical power and used for any trade operation to be erected, affixed or placed on any part of such Lot.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REF: C.T. 139308-104 SOLICITOR & REFERENCE: Douglas & Collins (G.W. Arnott)	PLAN SEALED BY: Glamorgan Spring Bay Council DATE: 18/3/05 5403007 REF NO.
 Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 143490</p>
<p>SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104</p>	

- (g) Not to carry or permit to be carried on on such Lot or any part thereof any trade or business which may or become a public nuisance or private annoyance nor any noxious trade or business whatsoever.
- (h) Not to construct any "A Frame" style of building (for dwelling or otherwise).
- (i) Not to allow any caravan to be parked upon the Lot or any part thereof for any continuous period of 4 weeks or for any period greater than 6 weeks in any 12 month period.
- (j) Not to place or permit to be placed on such Lot or any part thereof any dwelling that was first constructed or erected on any other land without first ensuring that such dwelling has a new outer wall and roof as soon as practicable after its placement on the Lot.
- (k) Not to allow or permit any dwelling, house or other building constructed upon the property to be of any colour or colour scheme that does not tone in with the landscape setting and general character of the area.
- (l) Not to construct any dwelling of multiple storeys that has as part of the dwelling a storey that is greater than 80% in area of its main storey.
- (m) Not to allow or permit any dwelling house or other building constructed upon the Lot to have any external unpainted reflective surfaces.

~~"Balance land" means that portion of Certificate of Title Volume 139308 Folio 104 which is not comprised in any of Lots 1-37 shown on the Plan.~~

FENCING COVENANT

The owner of each Lot on the Plan covenants with the Vendor (Cooroolina Pty. Ltd.) that the Vendor shall not be required to fence.

EASEMENTS

Lot 100 and the Council are together with a right of drainage over those parts of Lot 31 marked "Drainage Easement 3.00 wide" and "Drainage Easement 4.00 wide" shown on the Plan.

¹⁰¹ Lot ~~200~~ and the Council are together with a right of drainage over those parts of Lots 34 and 37 marked "Drainage Easement 2.00 wide" shown on the Plan

¹⁰¹ Lot ~~200~~ and the Council are together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35, and 36 marked "Drainage Easement 4.00 wide" shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 143490</p>
<p>SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104</p>	

Lot 29 is subject to a right of drainage (appurtenant to Lots 30, 31, 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 30 is together with a right of drainage over that part of Lot 29 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 30 is subject to a right of drainage (appurtenant to Lots 31, 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 31 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 31 is subject to a right of drainage (appurtenant to Lots 32, 33, 34, 35, 36, 37, 100 and ¹⁰¹~~200~~) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 31 is subject to a right of drainage (appurtenant to Lot 100 and the Council) over that area marked "Drainage Easement 3.00 wide" shown on the Plan.

Lot 32 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 32 is together with a right of drainage over that part of Lot 31 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 32 is subject to a right of drainage (appurtenant to Lots ~~31~~, 33, 34, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is together with a right of drainage over those parts of to Lots 31 and 32 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is subject to a right of drainage (appurtenant to Lots ~~31~~, ~~32~~, 34, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 33 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 34 is together with a right of drainage over those parts of Lots 31, 32, and 33 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 34 is subject to a right of drainage (appurtenant to Lots ~~31~~, ~~32~~, ~~33~~, 35, 36 and 37) ^{and lot 101} over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SD 143490
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104	

Lot 34 is subject to a right of drainage (appurtenant to Lot ~~200~~¹⁰¹ and the Council) over the area marked "Drainage Easement 2.00 wide".

Lot 34 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 35 is together with a right of drainage over those parts of Lots 31, 32, 33 and 34 marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 35 is subject to a right of drainage (appurtenant to Lots ~~31, 32, 33, 34~~^{and lot 101}, 36 and 37) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 35 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 36 is together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35 ~~and 37~~ marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 36 is subject to a right of drainage (appurtenant to Lots ~~31, 32, 33, 34, 35~~^{and lot 101} and 37) over the area marked "Drainage Easement 4.00 wide" shown on the Plan.

Lot 36 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

Lot 37 is subject to a right of drainage (appurtenant to Lot ~~200~~¹⁰¹ and the Council) over the area marked "Drainage Easement 2.00 wide".

Lot 37 is together with a right of drainage over those parts of Lots 31, 32, 33, 34, 35 and 36 marked "Drainage Easement 4.00 wide" shown on the Plan.

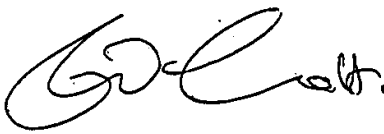
Lot 37 is together with a right of drainage over those parts of Lots 29 and 30 marked "Drainage Easement 2.00 wide" shown on the Plan.

"Council" means the Glamorgan Spring Bay Council.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 143490
SUBDIVIDER: Cooroolina Pty. Ltd. FOLIO REFERENCE: C.T. 139308-104	

EXECUTED by COOROLINA PTY LTD (the registered proprietor of Certificate of Title Volume 139308 Folio 104 by its attorney GEOFFREY WILLIAM ARNOTT pursuant to Power of Attorney Registered Number 72/6549 (and the said Geoffrey William Arnott declares that he has received no notice of revocation of the said Power) in the presence of:



Witness *Debbie Maree Gullidge*
 Full name Debbie Maree Gullidge
 Address 9-13 George Street, Launceston
 Occupation Law Clerk

EASEMENT

Lot 101 on the plan is subject to a Power Supply Easement (appurtenant to Lots 29 to 50 inclusive Lots 103 and 300 on Sealed Plan No.139308) over the Power Supply Easement 5.00 wide shown on the plan.

DEFINITION

In this Schedule of Easements "Power Supply Easement" means the right to erect any pole or line of poles for the suspension thereon and or lay on or below the surface within the area marked — — — — — Power Supply Easement 5.00 Wide — — on the Plan any cable, wire conductor or apparatus for the transmission or distribution of electrical energy including the right to enter into and upon the said easement for the purpose of inspecting, cleaning, repairing, maintaining, removing or renewing the same and to carry out all necessary work thereon causing as little damage as possible and making good all damage done under or caused thereby.

Lot 101 is subject to a Right of Drainage (appurtenant to Lots 29 to 40 inclusive on Sealed Plan No.139308 and the council) over the that portion of the Drainage Easement "J" 3.00 wide shown on the Plan.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



SHEDS. MADE TOUGH.

149A Hobart Road
KINGS MEADOWS, TAS 7249
Phone 0437 120 410
Sheds n Homes Launceston
ABN: 61 653 472 416
www.shedsnhomes.com.au

QUOTATION

Malcolm Nicolson
4 Sheoak Ct
Coles Bay
TAS7215
Australia

Quote # : rebt12411030
Date : 15 Nov 2024
Salesman : Rebecca Thomson
Phone : 0437 120 410
Email : rebecca.thomson@shedsnhomes.com.au

Thank you for the opportunity to provide you with information for your proposed steel kit carport. We have set out below the specifications and the information for your approval.

STEEL KIT CARPORT SPECIFICATIONS

Building Class	10a A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11)
Span	Main Building: 3 m
Length	6 m (1 Bays of 6 m each)
Height	2.5 m (Low Side) 2.82 m (High Side)
Roof Type	Carport Skillion, 6 degrees
Roof	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Weight	500 kg

KIT PRICE

Steel Building Kit	\$3,536.36
GST	\$353.64
Total Kit Price	\$3,890.00

DELIVERY

From Launceston, TAS	\$20.00
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TOTAL PRICE

Kit Price	\$3,890.00
Delivery	\$20.00
Grand Total	\$3,910.00

Anything that has been discussed or implied that is not detailed in this quote or general specifications has not been allowed for in the quote price. If you require anything extra to the above, then please contact us and we will send you a revised quotation.

DELIVERY

To Coles Bay if on standard run, otherwise mileage rate applies for extra distance. It is estimated that your site is 5km off the standard run. \$20.00 inc GST has been allowed for extra delivery costs. Should your site be more or less then this the cost will be adjusted accordingly.



www.shedsnhomes.com.au

PAYMENT SCHEDULE

- 15% initial deposit to be paid to receive all appropriate plans, engineering specifications & certificates.
- 45% further deposit to be paid to commence manufacturing.
- 40% final payment to be paid 10 working days prior to the confirmed delivery date of your steel kit carport.

STEEL KIT CARPORT DETAILS

Building Class	10a A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11)
Weight	Approximately: 500 kg
Span	Main Building: 3 m
Length	6 m (1 Bays of 6 m each)
Height	2.5 m (Low Side), 2.82 m (High Side)
Roof Type	Carport Skillion, 6 degrees
Roof	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Gutters	COLORBOND® GUTTER-01. We have calculated the number of [Supplied by Others] downpipes required for: Right Side = 1.
Open Bays	Two (2) 6m open bays - along the sides of the steel building. Refer to Layout (attached) for location & height clearances.
Open Gable-Ends	Both ends are open with open end.
Roof Purlins & Wall Girts	Tophat sections with a minimum overlap of 10% of the bay width. The roof purlins are C200 and the eave purlins are C200.
Fixing to Concrete	Screw-Bolts fitted after concrete is cured.

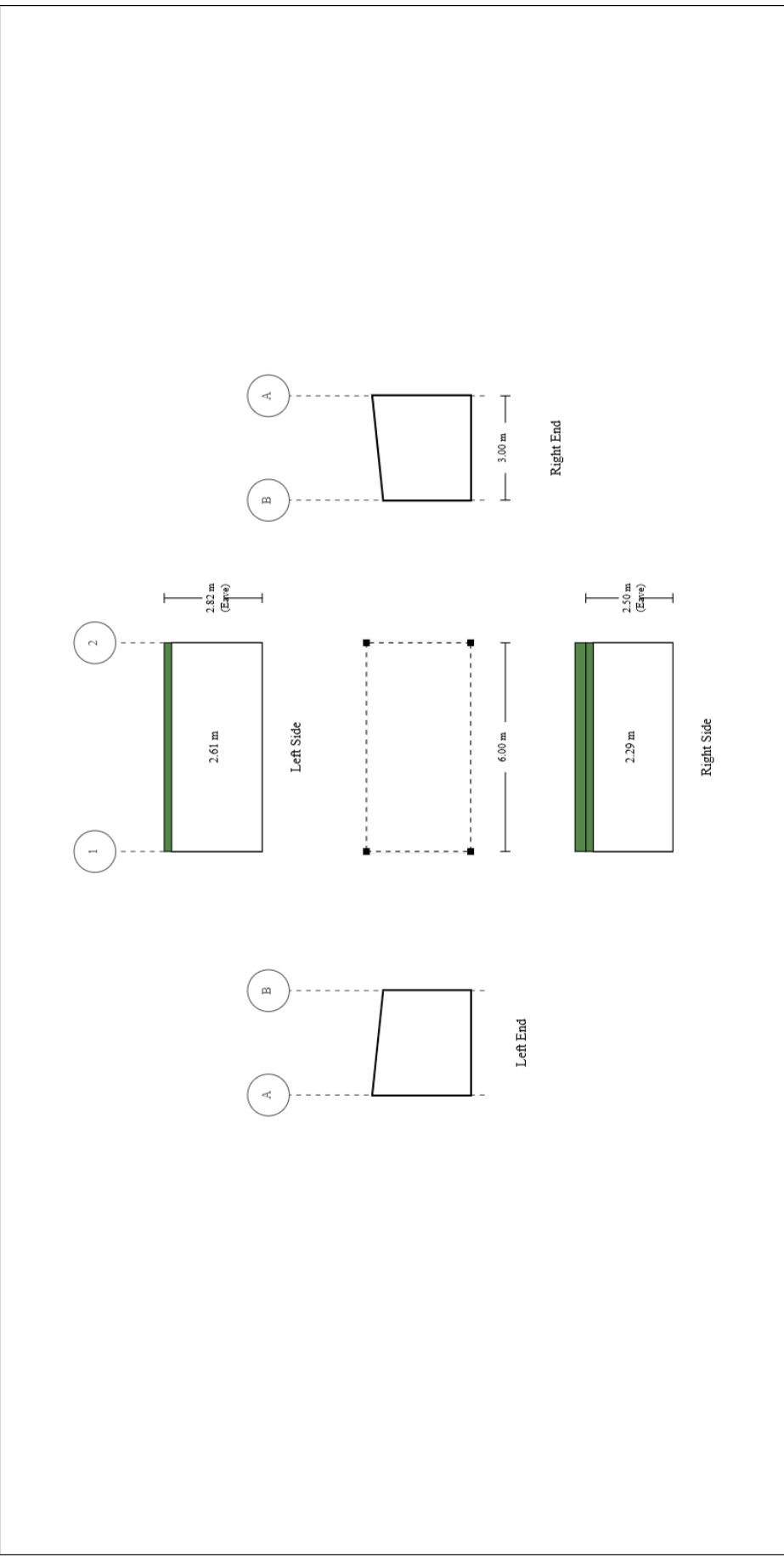
SPECIFIC INCLUSIONS

- Determination of the design criteria by the engineer. This includes assessment in 8 cardinal directions to determine the site design wind speed based on the building orientation.
- A comprehensive step by step Construction Kit. This kit is specific to your building and gives step by step, simple to follow instructions on how to build your building.
- Engineering certification of the steel steel kit carport to the appropriate Australian Standards.
- Slab or Pier designs for soil classes A, S and M.
- Materials as nominated above supplied as per the attached "General Specification".
- BlueScope - product warranties of up to 15 years apply.

SPECIFIC EXCLUSIONS

- Drawings other than detailed above.
- Consent authority including any building, development or construction certificate application(s).
- Construction of the steel building and any foundations (building is supplied as a kit).
- Insurance of the steel building once delivered to site or collected from depot.





Purchaser Name: Malcolm Nicolson Site Address: Ref # rebt2411030		Building Layout Ref: rebt2411030		Seller: Sheds n Homes Launceston Name: Rebecca Thomson Phone: 0437 120 410 Fax: Email: rebecca.thomson@shedsnhomes.com.au		 SHEDS MADE TOUGH
Print Date: 15/11/24						

STEEL KIT CARPORT INFORMATION

Your building has been quoted as a 'free roof' structure on the basis of it being 'empty under', i.e. any goods or materials stored under the roof, block less than 50% of the cross section in all directions.

The design criteria nominated has been assessed by your trained sales consultant. The NCC version used is 2022. This code was published on 1st October 2022. This assessment is subject to the certifying engineers confirmation. Final assessment by the engineer may result in a change to the materials and price.

Your site has been assessed as being wind rating N3

From the site location and the usage information we have at hand, it is likely that the building is subject to a Marine Influence and/or Industrial Influence. We refer you to BlueScope Technical Bulletins (in particular but not limited to TB1A, TB1B, TB4, TB17, TB30 and TB35) to consider the environmental conditions and the materials that have been specified in your quotation. BlueScope warranties and any other supplier warranties will be limited under certain conditions. If you contact BlueScope on 1800 800 789, they will be able to discuss this further with you. Should you wish to consider changing to materials with a longer warranty or service life, your sales consultant will be able to assist.

The Ridge capping (flashing over the apex of the building) will be provided suitable to Scribe In. SA HB 39 provides guidelines and nominates that ridge capping should be scribed in. The NCC does not call up this standard, so it is not mandatory. If you do not want to Scribe In your ridge capping, please advise your sales consultant to remove it from your quotation.



DESIGN CRITERIA

Exact Location	Geographic Co-ordinates of <-42.10033, 148.24257>. Refer to the image below showing this location.
Address Provided	4 Sheoak Ct Coles Bay TAS 7215 Australia
Building Orientation	Left Side of building orientated to 208° (southwesterly direction)
NCC Version	NCC 2022
Design Wind Criteria for the Highest Cardinal Direction	Importance Level 2 with a Vr of 41.3 ; Region A3; TC = 2.35; Mt = 1.04; Mc = 1; Ms = 1.0; giving a Vdes of 41.3 m/s.
Earthquake	An Earthquake Acceleration Co-efficient (Z) of up to 0.08 has been allowed for in the design of the building, however wind is the determining design factor. Any plasterboard must be articulated in accordance with ASNZS 1170.4:2007 and the requirements of the NCC: 2022.
Other Design Factors	No Snow Loading allowed.
Roof Only	Less than 50% filled under

SITE LAYOUT



Due to ongoing product development, the seller reserves the right to make design and engineering changes up to the point of scheduling manufacture. The engineer's final design requirements may override anything nominated.

Standards & Codes - All buildings are designed in accordance with test results, computer analysis, NCC, AS/NZS 1170, AS 3600, AS 4100 and AS 4600. Where more than 1 version of any code is applicable, the code to be used shall be at the engineers discretion.

Design Criteria - Prior to issuing engineering certification, the engineer does a site specific check of the wind speed and a structural design check. This design takes into account the building's position on site and orientation. Changes to the site wind speed may result in a price increase or decrease. Unless nominated, no allowance has been made for solar panels, earthquake or snow loading. Unless nominated, no allowance has been made for earthquake or snow loading. The building is not suitable for lining with gyprock.

Dimensions - all dimensions nominated are nominal sizes only Length and span are to inside of sheeting. Height is low side height. Length and span may vary when sides are fully open by up to 200mm per side/end. If an exact opening or clearance is required, then this must be specifically nominated as "exact size" in the quotation.

Environmental Characteristics - All components of the steel building are designed to suit the conditions generally described as Non aggressive. Care must be taken with any steel building to ensure that regular maintenance is carried out. The suitable conditions and Maintenance requirements are defined in the various BlueScope Technical Bulletins.

Roof & Wall Sheeting - COLORBOND® steel or ZINCALUME® steel as nominated. TCT refers to Total Coated Thickness. BMT refers to Base Metal Thickness. Refer to BlueScope TB-1a&1b

GALVSPAN® steel Sections - GALVSPAN® steel C-sections, Z-sections, purlins and girts have a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450MPa. Refer to BlueScope TB-17

Brackets - All brackets are made with a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450Mpa or greater

Fasteners - All major connections are bolted and tec screwed. All other connections are tec screwed. Roof screws with cyclonic washers are ONLY provided where the building is rated cyclonic. Should conditions be severe (ISO Category 4 or 5), the purchaser should advise the seller of any special requirements. (Refer to BlueScope TB-16 and manufacturers warranty data.)

Bracing

Wall & Roof : Cross and Fly bracing as per the engineering plans, steel strapping will be supplied unless otherwise nominated. In open bays, a double eave purlin is provided for bracing purposes. Subject to engineering cross bracing in some open bays and over windows may be required.

Knee Braces: Where nominated by the engineering, lateral and/or transverse knee braces are provided. Knee braces will reduce the clearance heights.

End Wall Mullions - Fixed at 90 degrees to the columns and inside the rafter. These will reduce internal clearance.

Gutters - Unless otherwise nominated, the gutter type supplied will be nominated by our supplier as the most common type for the area. All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose. No consideration for door openings or other obstructions. Any changes to the design due to obstructions is the responsibility of the purchaser.

Piers and Slab - Designs are for a safe bearing value $\geq 100\text{kPa}$. (400kPa ultimate). Where a concrete slab, or concrete slab and piers is nominated, the wall sheeting will be supplied to extend 0 mm past the slab (building height + 0 mm). When concrete piers only are nominated, wall sheeting is provided to building height. Where a 50mm step down is nominated, the wall sheeting is not extended any further.

Fixing Method - The fixing method nominated is for the main side columns. Other columns are supplied as per engineering design.

The Engineers design may override your request.

Marking, Cutting and Drilling - Most components are marked for easy identification and placement. Most are also cut to length and drilled to suit bolt placement. It will be necessary to cut and/or drill some components on site.

Communications - By requesting a quote, you agree to our Privacy Policy which states that we can notify you about special offers, products or services available from us or our participating partners. You can unsubscribe from these marketing newsletters at any time.

symbol indicates items that are only included when specifically nominated in your quotation.

Access Doors - All roller doors, sectional doors, shutters, steel sliding or bifold doors and PA doors are NOT wind rated. Roller doors can be supplied wind rated at an additional cost. The sizes quoted are approximate door sizes - NOT clear opening sizes. Clear opening sizes may be reduced due to the building height, widths, motors or chains. At least 70mm in height will be lost due to the 'lead in'. All roller door keys (where included) are keyed alike, unless otherwise stated. All Stable shutters will be provided in the same colour as the wall colour. Sliding doors are supplied so that each door will slide across the door bay plus one other bay as per shed layout.

Colours - Not all colours are available from all manufacturing depots. 0.40 TCT wall sheeting has limited colours in most areas.

Delivery - Delivery is quoted to within the normal delivery runs. Additional fees apply where the address is off the run. Alternatively delivery is to be ex works. Unloading of the whole kit is not included where any length exceeds 11.8m. Semi trailer access required. Where a body truck is requested it is subject to availability. Should a body truck be requested and it is not available for the site then the building shall be either ex works or delivered to an alternative address by a semi trailer.



Pricing - Pricing is valid for 30 days, unless notified of an impending price rise where the price rise date will become the new validation date. *Purchase agreements are also subject to price rises.*

Roller Door Transport Protection - All doors are wrapped by the manufacturer in their recommended method for regular road transport. Any damage to a door will be accessed in accordance with the AGDA guide to visual inspection of garage doors.



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COLORBOND® steel,
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THE SHOW**
***WIN**
YOUR SHARE OF
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*T&Cs apply, see [COLORBOND.COM/STEELTHESHOW](https://colorbond.com/steeltheshow). Open to AU res 18+ who purchase genuine COLORBOND® steel product/s (\$500 inc GST or more), material only for a residential property they own, from any AU business or businesses in Australia between 30/6/23 & up until 30/11/24. Entries open: 30/6/24. Entries close: 30/11/24. Must retain original contract/s, invoice/s, receipt/s &/or evidence of payment of deposit as proof of purchase. COLORBOND®, BlueScope and the BlueScope brand mark are registered trade marks of BlueScope Steel Limited. © 2024 BlueScope Steel Limited ABN 16 000 011 058. All rights reserved.



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BUYER PROTECTION

These are our guarantees to you



NO QUESTIONS ASKED GUARANTEE

Sheds n Homes guarantees that your steel kit building will be supplied in full and undamaged. Careful cross-checking is in place to ensure this happens first time. However, in the event that there are any missing or damaged components, we will arrange for these to be replaced at the first available opportunity.

For more information, visit:

www.shedsnhomes.com.au/no-questions-asked-guarantee



GUARANTEE OF SUPPLY

By making all payments directly to the account of Sheds n Homes Australia in accordance with the invoices issued, Sheds n Homes Australia guarantees that you will receive the kit building, as ordered by you through your Sheds n Homes Distributor, as described in your purchase agreement. This guarantee has been developed to provide our customers with the confidence of dealing with a brand that has national strength and financial security - whilst still buying locally.

For full terms and conditions, visit the Sheds n Homes website:

www.shedsnhomes.com.au/guarantee-of-supply



BLUESCOPE STEEL GUARANTEE

Sheds n Homes guarantees that your steel kit building will be manufactured in Australia and that all structural components supplied will be made entirely from premium hi-tensile Australian 450MPa or greater, BlueScope Steel.

For more information, visit:

www.shedsnhomes.com.au/steel-guarantee



SITE SPECIFIC ENGINEERING

Once your local Sheds n Homes store has created your building design, it is then certified and cross-checked by a specialist team at head office. This ensures that all factors have been correctly identified to ensure that in the event of a serious weather event, your structure will withstand the forces of a design event.

For more information, visit:

www.shedsnhomes.com.au/site-specific-engineering



SHEDSAFE ACCREDITED

ShedSafe is a new industry benchmark for Australian manufactured steel sheds. It is an independent accreditation program designed to assist shed buyers in making an informed purchase decision. ShedSafe accreditation means that both the shed manufacturer and seller are committed to ensuring sheds meet Australian Standards and are the best fit for your site and circumstance.

For more information, visit:

www.shedsnhomes.com.au/shedsafe

FREECALL: 1800 764 764 www.shedsnhomes.com.au



www.shedsnhomes.com.au



SHEDS. MADE TOUGH.

149A Hobart Road
KINGS MEADOWS, TAS 7249
Phone 0437 120 410
Sheds n Homes Launceston
ABN: 61 653 472 416
www.shedsnhomes.com.au

QUOTATION

Malcolm Nicolson
4 Sheoak Ct
Coles Bay
TAS7215
Australia

Quote # : rebtl2411029
Date : 15 Nov 2024
Salesman : Rebecca Thomson
Phone : 0437 120 410
Email : rebecca.thomson@shedsnhomes.com.au

Thank you for the opportunity to provide you with information for your proposed building. We have set out below the specifications and the information for your approval.

BUILDING SPECIFICATIONS

Building Class	10a A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11)
Span	Main Building: 9 m
Length	3.6 m (1 Bays of 3.6 m each)
Height	3.5 m (Low Side) 4.45 m (High Side)
Roof Type	Skillion, 6 degrees
Roof	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Walls & Trim	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Weight	1,800 kg

KIT PRICE

Steel Building Kit	\$14,690.91
GST	\$1,469.09
Total Kit Price	\$16,160.00

DELIVERY

From Launceston, TAS	\$20.00
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TOTAL PRICE

Kit Price	\$16,160.00
Delivery	\$20.00
Grand Total	\$16,180.00

Anything that has been discussed or implied that is not detailed in this quote or general specifications has not been allowed for in the quote price. If you require anything extra to the above, then please contact us and we will send you a revised quotation.

DELIVERY

To Coles Bay if on standard run, otherwise mileage rate applies for extra distance. It is estimated that your site is 5km off the standard run. \$20.00 inc GST has been allowed for extra delivery costs. Should your site be more or less then this the cost will be adjusted accordingly.

Delivery of the roller door(s) will be to 4 Sheoak Ct Coles Bay TAS 7215 Australia.



www.shedsnhomes.com.au

PAYMENT SCHEDULE

- 15% initial deposit to be paid to receive all appropriate plans, engineering specifications & certificates.
- 45% further deposit to be paid to commence manufacturing.
- 40% final payment to be paid 10 working days prior to the confirmed delivery date of your building.

BUILDING DETAILS

Building Class	10a A non-habitable building including a private garage, carport, shed or the like. (Refer NCC A6G11)
Weight	Approximately: 1,800 kg
Span	Main Building: 9 m
Length	3.6 m (1 Bays of 3.6 m each)
Height	3.5 m (Low Side), 4.45 m (High Side)
Roof Type	Skillion, 6 degrees
Roof	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Walls & Trims	COLORBOND® steel TRIMCLAD® 0.42 BMT sheeting, BlueScope
Gutters	COLORBOND® GUTTER-01. We have calculated the number of [Supplied by Others] downpipes required for: Left Side = 1.
Roller Doors	One (1) COLORBOND® steel 3.7m high x 2.7m wide roller door (with 1 motorised unit (Grifco LR Drive (or similar) with battery backup, 2 remote handpieces and a wireless wall control), roller door is not required to be wind rated). Refer to the General Specification (# Access Doors) in relation to opening sizes. The Roller Door is boxed or steel wrapped for protection during transport. Refer to the Building information for details on Industrial Door Handling.
PA Doors	One (1) Larnec 2040h x 820w Single skin metal clad pre-hung door with COLORBOND® steel® steel facings and fold-down vertical sides for strength and appearance. Powder coated welded RHS frame. Supplied with a Knob/Lever entrance set. 180 degrees opening and reversible handing;
Bracing	Side Walls bracing will be supplied as cable.
Roof Purlins & Wall Girts	Z sections bolted to rafters & columns with a minimum overlap of 10% of the bay width. The purlins and girts are Z100.
Fixing to Concrete	Screw-Bolts fitted after concrete is cured.

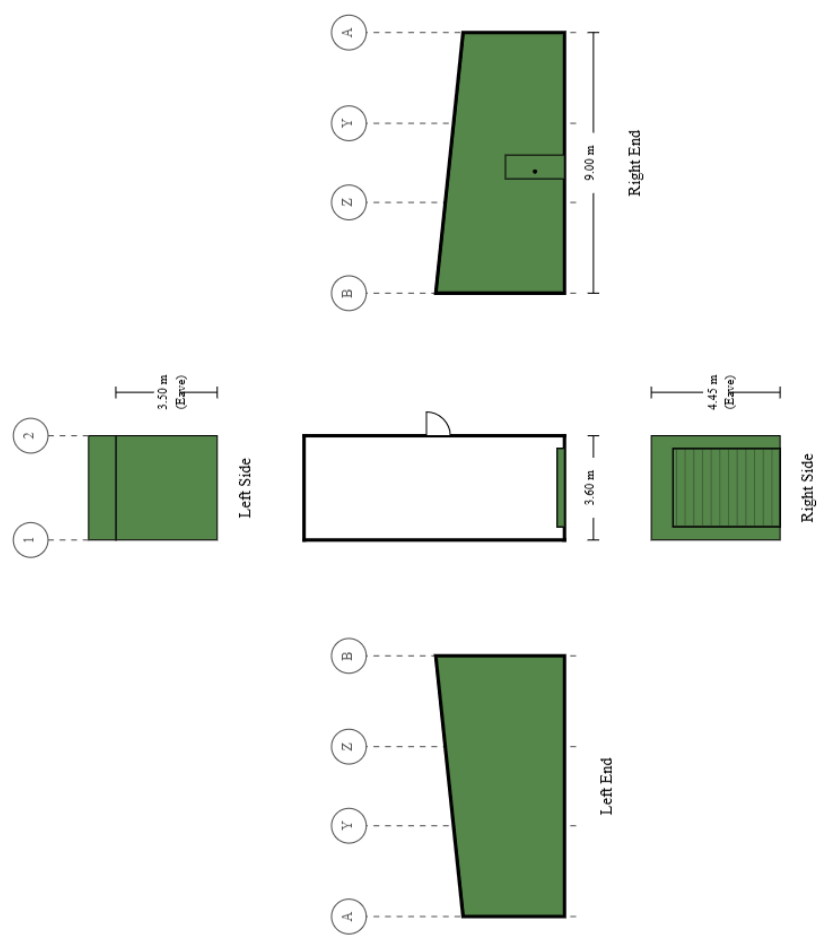
SPECIFIC INCLUSIONS

- Determination of the design criteria by the engineer. This includes assessment in 8 cardinal directions to determine the site design wind speed based on the building orientation.
- A comprehensive step by step Construction Kit. This kit is specific to your building and gives step by step, simple to follow instructions on how to build your building.
- Engineering certification of the steel building to the appropriate Australian Standards.
- Slab or Pier designs for soil classes A, S, M, H1 and H2.
- Materials as nominated above supplied as per the attached "General Specification".
- BlueScope - product warranties of up to 15 years apply.

SPECIFIC EXCLUSIONS

- Drawings other than detailed above.
- Consent authority including any building, development or construction certificate application(s).
- Construction of the steel building and any foundations (building is supplied as a kit).
- Insurance of the steel building once delivered to site or collected from depot.





Purchaser Name: Malcolm Nicolson

Site Address:

Ref # rebtl2411029

Print Date: 15/11/24

Building Layout

Ref# rebtl2411029

Seller: Sheds n Homes Launceston
 Name: Rebecca Thomson
 Phone: 0437 120 410
 Fax:
 Email: rebecca.thomson@shedsnhomes.com.au



BUILDING INFORMATION

The design criteria nominated has been assessed by your trained sales consultant. The NCC version used is 2022. This code was published on 1st October 2022. This assessment is subject to the certifying engineers confirmation. Final assessment by the engineer may result in a change to the materials and price.

From the site location and the usage information we have at hand, it is likely that the building is subject to a Marine Influence and/or Industrial Influence. We refer you to BlueScope Technical Bulletins (in particular but not limited to TB1A, TB1B, TB4, TB17, TB30 and TB35) to consider the environmental conditions and the materials that have been specified in your quotation. BlueScope warranties and any other supplier warranties will be limited under certain conditions. If you contact BlueScope on 1800 800 789, they will be able to discuss this further with you. Should you wish to consider changing to materials with a longer warranty or service life, your sales consultant will be able to assist.

The Ridge capping (flashing over the apex of the building) will be provided suitable to Scribe In. SA HB 39 provides guidelines and nominates that ridge capping should be scribed in. The NCC does not call up this standard, so it is not mandatory. If you do not want to Scribe In your ridge capping, please advise your sales consultant to remove it from your quotation.



DESIGN CRITERIA

Exact Location	Geographic Co-ordinates of <-42.10033, 148.24257>. Refer to the image below showing this location.
Address Provided	4 Sheoak Ct Coles Bay TAS 7215 Australia
Building Orientation	Left Side of building orientated to 302° (northwesterly direction)
NCC Version	NCC 2022
Design Wind Criteria for the Highest Cardinal Direction	Importance Level 2 with a Vr of 45 m/s ; Region A3; TC = 2.26; Mt = 1.04; Mc = 1; Ms = 1.0; giving a Vdes of 41.6 m/s.
Earthquake	An Earthquake Acceleration Co-efficient (Z) of up to 0.08 has been allowed for in the design of the building, however wind is the determining design factor.
Other Design Factors	No Snow Loading allowed.

SITE LAYOUT



Due to ongoing product development, the seller reserves the right to make design and engineering changes up to the point of scheduling manufacture. The engineer's final design requirements may override anything nominated.

Standards & Codes - All buildings are designed in accordance with test results, computer analysis, NCC, AS/NZS 1170, AS 3600, AS 4100 and AS 4600. Where more than 1 version of any code is applicable, the code to be used shall be at the engineers discretion.

Design Criteria - Prior to issuing engineering certification, the engineer does a site specific check of the wind speed and a structural design check. This design takes into account the building's position on site and orientation. Changes to the site wind speed may result in a price increase or decrease. Unless nominated, no allowance has been made for solar panels, earthquake or snow loading. Unless nominated, no allowance has been made for earthquake or snow loading. The building is not suitable for lining with gyprock.

Dimensions - all dimensions nominated are nominal sizes only Length and span are to inside of sheeting. Height is low side height. Length and span may vary when sides are fully open by up to 200mm per side/end. If an exact opening or clearance is required, then this must be specifically nominated as "exact size" in the quotation.

Environmental Characteristics - All components of the steel building are designed to suit the conditions generally described as Non aggressive. Care must be taken with any steel building to ensure that regular maintenance is carried out. The suitable conditions and Maintenance requirements are defined in the various BlueScope Technical Bulletins.

Roof & Wall Sheeting - COLORBOND® steel or ZINCALUME® steel as nominated. TCT refers to Total Coated Thickness. BMT refers to Base Metal Thickness. Refer to BlueScope TB-1a&1b

GALVSPAN® steel Sections - GALVSPAN® steel C-sections, Z-sections, purlins and girts have a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450MPa. Refer to BlueScope TB-17

Brackets - All brackets are made with a minimum coating of 350-gsm (Z350) and a minimum yield strength of 450Mpa or greater

Fasteners - All major connections including Z purlins and girts are bolted. All other connections are tec screwed. Roof screws with cyclonic washers are ONLY provided where the building is rated cyclonic. Should conditions be severe (ISO Category 4 or 5), the purchaser should advise the seller of any special requirements. (Refer to BlueScope TB-16 and manufacturers warranty data.)

Bracing

Wall & Roof : Cross and Fly bracing as per the engineering plans, steel strapping will be supplied unless otherwise nominated. In open bays, a double eave purlin is provided for bracing purposes. Subject to engineering cross bracing in some open bays and over windows may be required.

Knee Braces: Where nominated by the engineering, lateral and/or transverse knee braces are provided. Knee braces will reduce the clearance heights.

End Wall Mullions - Fixed at 90 degrees to the columns and inside the rafter. These will reduce internal clearance.

Gutters - Unless otherwise nominated, the gutter type supplied will be nominated by our supplier as the most common type for the area. All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose. No consideration for door openings or other obstructions. Any changes to the design due to obstructions is the responsibility of the purchaser.

Piers and Slab - Designs are for a safe bearing value $\geq 100\text{kPa}$. (400kPa ultimate). Where a concrete slab, or concrete slab and piers is nominated, the wall sheeting will be supplied to extend 35 mm past the slab (building height + 35 mm). When concrete piers only are nominated, wall sheeting is provided to building height. Where a 50mm step down is nominated, the wall sheeting is not extended any further.

Fixing Method - The fixing method nominated is for the main side columns. Other columns are supplied as per engineering design.

The Engineers design may override your request.

Marking, Cutting and Drilling - Most components are marked for easy identification and placement. Most are also cut to length and drilled to suit bolt placement. It will be necessary to cut and/or drill some components on site.

Sheeted Portals and Mullions - All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

Communications - By requesting a quote, you agree to our Privacy Policy which states that we can notify you about special offers, products or services available from us or our participating partners. You can unsubscribe from these marketing newsletters at any time.

symbol indicates items that are only included when specifically nominated in your quotation.

Access Doors - All roller doors, sectional doors, shutters, steel sliding or bifold doors and PA doors are NOT wind rated. Roller doors can be supplied wind rated at an additional cost. The sizes quoted are approximate door sizes - NOT clear opening sizes. Clear opening sizes may be reduced due to the building height, widths, motors or chains. At least 70mm in height will be lost due to the 'lead in'. All roller door keys (where included) are keyed alike, unless otherwise stated. All Stable shutters will be provided in the same colour as the wall colour. Sliding doors are supplied so that each door will slide across the door bay plus one other bay as per shed layout.

Colours - Not all colours are available from all manufacturing depots. 0.40 TCT wall sheeting has limited colours in most areas.



Delivery - Delivery is quoted to within the normal delivery runs. Additional fees apply where the address is off the run. Alternatively delivery is to be ex works. Unloading of the whole kit is not included where any length exceeds 11.8m. Semi trailer access required. Where a body truck is requested it is subject to availability. Should a body truck be requested and it is not available for the site then the building shall be either ex works or delivered to an alternative address by a semi trailer.

Pricing - Pricing is valid for 30 days, unless notified of an impending price rise where the price rise date will become the new validation date. *Purchase agreements are also subject to price rises.*

Roller Door - Industrial and residential roller doors may have a slightly different profile.

Roller Door Transport Protection - All doors are wrapped by the manufacturer in their recommended method for regular road transport. Any damage to a door will be accessed in accordance with the AGDA guide to visual inspection of garage doors.



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By simply choosing
COLORBOND® steel,
you could WIN!

**STEEL
THE SHOW**
***WIN**
YOUR SHARE OF
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ENTER AT [COLORBOND.COM/STEELTHESHOW](https://colorbond.com/steeltheshow)

*T&Cs apply, see [COLORBOND.COM/STEELTHESHOW](https://colorbond.com/steeltheshow). Open to AU res 18+ who purchase genuine COLORBOND® steel product/s (\$500 inc GST or more), material only for a residential property they own, from any AU business or businesses in Australia between 30/6/23 & up until 30/11/24. Entries open: 30/6/24. Entries close: 30/11/24. Must retain original contract/s, invoice/s, receipt/s &/or evidence of payment of deposit as proof of purchase. COLORBOND®, BlueScope and the BlueScope brand mark are registered trade marks of BlueScope Steel Limited. © 2024 BlueScope Steel Limited ABN 16 000 011 058. All rights reserved.



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BUYER PROTECTION

These are our guarantees to you



NO QUESTIONS ASKED GUARANTEE

Sheds n Homes guarantees that your steel kit building will be supplied in full and undamaged. Careful cross-checking is in place to ensure this happens first time. However, in the event that there are any missing or damaged components, we will arrange for these to be replaced at the first available opportunity.

For more information, visit:

www.shedsnhomes.com.au/no-questions-asked-guarantee



GUARANTEE OF SUPPLY

By making all payments directly to the account of Sheds n Homes Australia in accordance with the invoices issued, Sheds n Homes Australia guarantees that you will receive the kit building, as ordered by you through your Sheds n Homes Distributor, as described in your purchase agreement. This guarantee has been developed to provide our customers with the confidence of dealing with a brand that has national strength and financial security - whilst still buying locally.

For full terms and conditions, visit the Sheds n Homes website:

www.shedsnhomes.com.au/guarantee-of-supply



BLUESCOPE STEEL GUARANTEE

Sheds n Homes guarantees that your steel kit building will be manufactured in Australia and that all structural components supplied will be made entirely from premium hi-tensile Australian 450MPa or greater, BlueScope Steel.

For more information, visit:

www.shedsnhomes.com.au/steel-guarantee



SITE SPECIFIC ENGINEERING

Once your local Sheds n Homes store has created your building design, it is then certified and cross-checked by a specialist team at head office. This ensures that all factors have been correctly identified to ensure that in the event of a serious weather event, your structure will withstand the forces of a design event.

For more information, visit:

www.shedsnhomes.com.au/site-specific-engineering



SHEDSAFE ACCREDITED

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For more information, visit:

www.shedsnhomes.com.au/shedsafe

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www.shedsnhomes.com.au

Proposed Residence at 4 Sheoak Court, Coles Bay, TAS 7215

Client :

M & F Nicolson

Project Details	
Council	Glamorgan Spring Bay Council
Zone	10.0 Low Density Residential
Planning Overlay	N/A
PID	2602566
Title Folio	25
Title Volume	143490
Climate Zone	7
WIND SPEED	N2
SOIL CLASS	CLASS H2 (AS2870)
STAR RATING	7 Stars
BAL Rating	n/a
Corrosive Environment	N/A

Area Schedule (Gross Building)		
Name	Area	Area (Squares)
Dwelling	197.37 m ²	21.22
Garage/Carport	53.23 m ²	5.72
	250.60 m ²	26.95

Site areas	
Name	Area
Site	1042.33 m ²
	1042.33 m ²

Drawing List	
Sheet Number	Sheet Name
1	Cover Page
2	Govt Infrastructure Details
3	Site Plan
4	Site/ Drainage Plan
5	Set-Out Plan
6	Floor Plan
7	Garage Floor Plan
8	Elevations (sheet 1)
9	Elevations (sheet 2)
10	Garage Elevations
11	Roof Plan
12	Section A
13	Section B
14	Wet Area Notes 1
15	Wet Area Notes 2
16	Wet Area Notes 3
17	Cladding Details
18	3D Floor Plan
19	3D Views
20	Floor Coverings Plan
21	Reflected Ceiling Plan
22	Energy Efficiency Notes
23	Window & Door Schedules
24	Notes 1
25	Notes 2

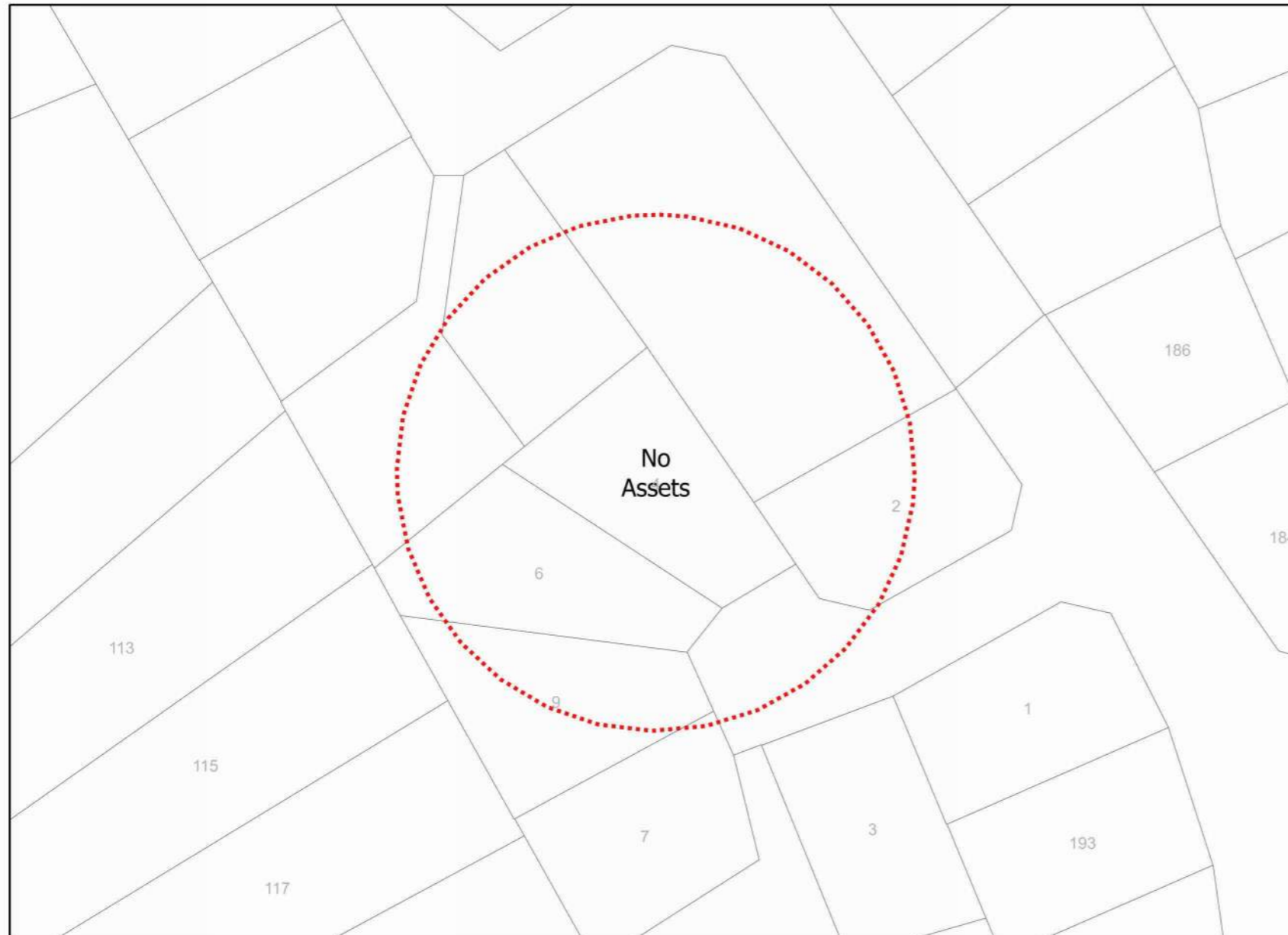
Certificate No. # TUWK8YCRTZ
Scan QR code or follow website link for rating details.

Assessor name: Kris Eade
Accreditation No.: 100333
Property Address: 4 Sheoak Court, Coles Bay, TAS, 7215

<https://www.fr5.com.au/QRCodeLanding?PublicId=TUWK8YCRTZ>



Job # 31554672
Seq # 209080536
Provider: Glamorgan Spring Bay Council
Telephone: 03 6256 4777



Legend

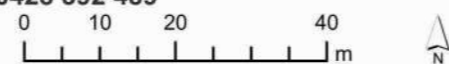
DBYD Enquiry

Disclaimer: The Plan is provided in response to a Dial Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of Glamorgan Spring Bay Council infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

In an emergency contact Glamorgan Spring Bay Council on 0428 392 489

Index Sheet

Plans generated by SmarterWX™ Automate



Scale 1:1,000



170 Abbott Street
Launceston, Newstead,
TAS 7250.
M : 0411 294 351
E : leigh@abd.com.au
www.adamsbuildingdesign.com.au
ABN 71 048 418 121
acc. # CC886J

No.	Date	Description
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2	14.02.22	Concept # 2
1	20.01.22	Concept # 1

Shed Amendments A3



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Project :
**Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215**

Drawing Title :
Govt Infrastructure Details

Client :
M & F Nicolson

Scale :
Starting Date : 18.01.22
Plot Date : 25/11/2024
11:26:13 AM

Project No. **010122** Drawing No. **2 /25**

SITWORKS

1. Site to be prepared in accordance with engineers or surveyors report if applicable.
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-150mm above finished ground level.
-50mm above paved surfaces.
-prevent ponding of water under suspended floors.

SITE SERVICES

Electricity, Gas, Telephone, Water, Stormwater & Sewer Services locations are to be determined on site & connected as per local authority requirements.

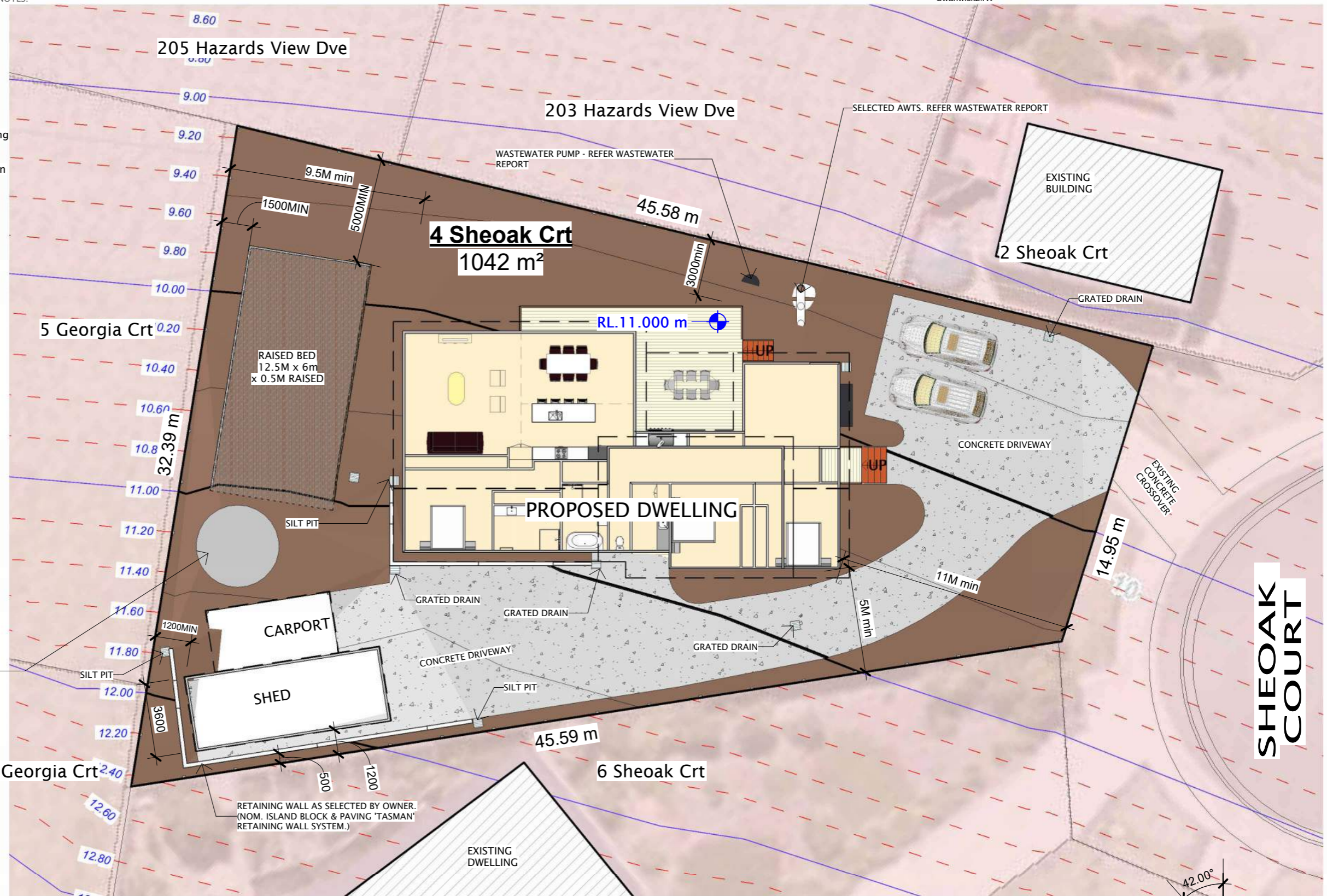
EXTERIOR LIGHTING

Exterior lighting to illuminate pathways & carparking areas must be controlled by a sensor & shielded to prevent direct light being emitted outside the site.

CONTOURS

Contours are indicative only for the site. Refer Elevations for accurate representation of existing ground levels. The contours on this plan are to be used for the sole purpose of approvals & construction of this proposal & are to be used for no other future purpose.

SELECTED RAINWATER TANK WITH OVERFLOW, EXACT LOCATION DETERMINED ON SITE.



Site Plan

1:200



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Launceston, Newstead,
TAS 7250.
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www.adamsbuildingdesign.com.au
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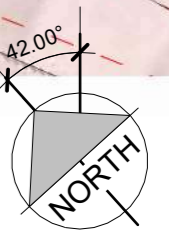
Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Drawing Title :
Site Plan

Client :
M & F Nicolson

Scale : 1 : 200
Starting Date : 18.01.22
Plot Date : 25/11/2024
11:26:14 AM

Project No. 010122
Drawing No. 3 / 25



PLUMBING NOTES

- All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
- Hot water from the HWC is to be tempered to 50°C.
- Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
- Drain all surface water away from footings in accordance with NCC PART 3.3.3 Surface Drainage.
- The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
- Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
- New Sewer = DN100 pvc @ 1:60 falls min.
- New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
- Grated drains to be installed via a gas sealed pit.
- STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
- WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C
- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES

TASWATER NOTES:

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

PLUMBING LEGEND

- WC
 - URINAL
 - KITCHEN SINK
 - BASIN / VANITY
 - BATH
 - SHOWER
 - WASH TROUGH
 - WASHING MACHINE
 - DISHWASHER
- I.O. - INSPECTION OUTLET
ORG - OVERFLOW RELEIF GULLY
DP - DOWNPIPE
EV - DN50 VENT TO AIR
M - WATER METER
SJ - SWIVEL JOINT
EJ - EXPANSION JOINT
C/J - COMBINATION JOINT

PLUMBING LEGEND

- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- NEW STORMWATER
- NEW DOWNPIPE S/W
- NEW SEWER
- NEW WATER
- NEW AG DRAIN

205 Hazards View Dve

203 Hazards View Dve

2 Sheok Crt

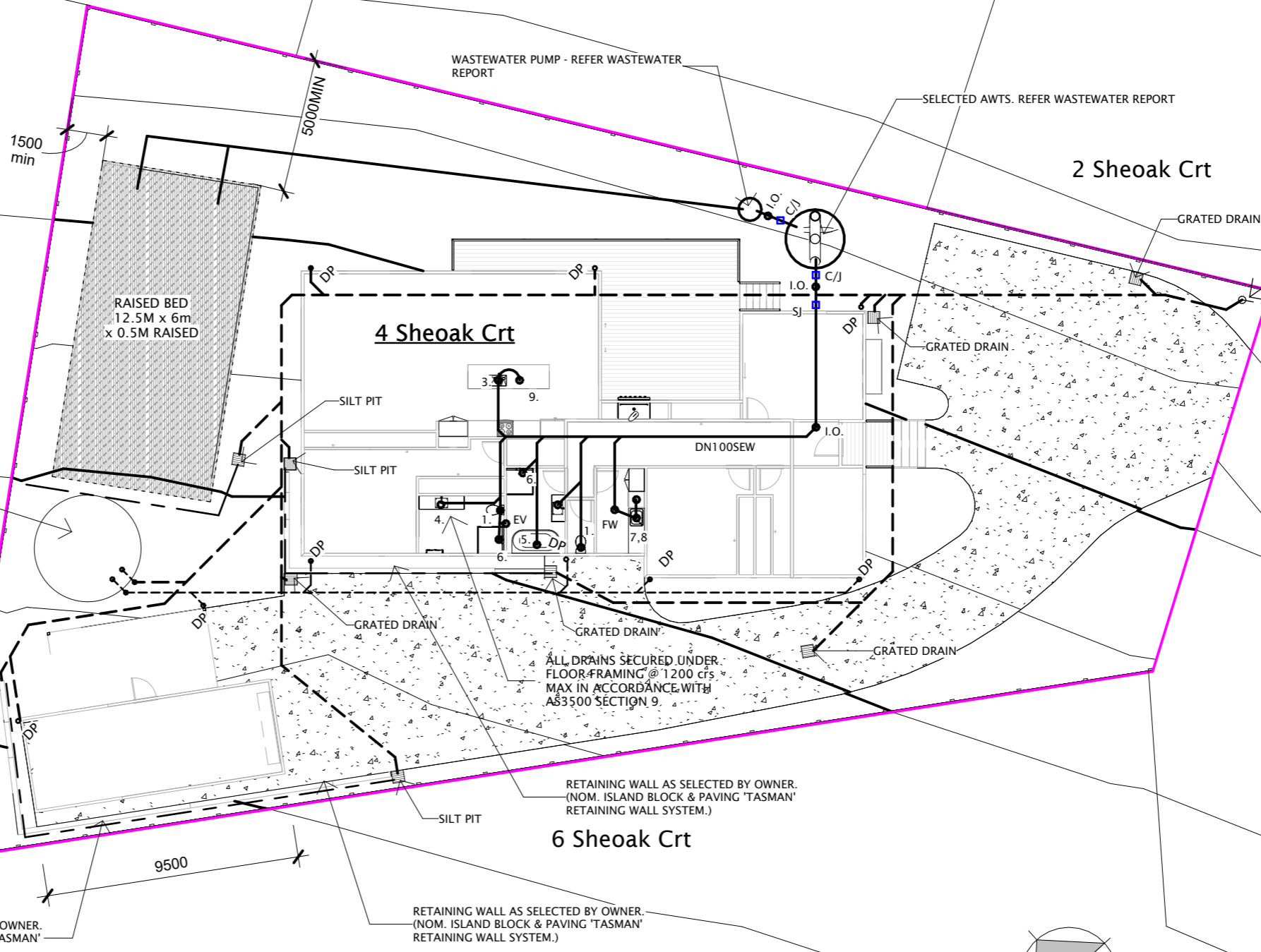
5 Georgia Crt

4 Sheok Crt

7 Georgia Crt

6 Sheok Crt

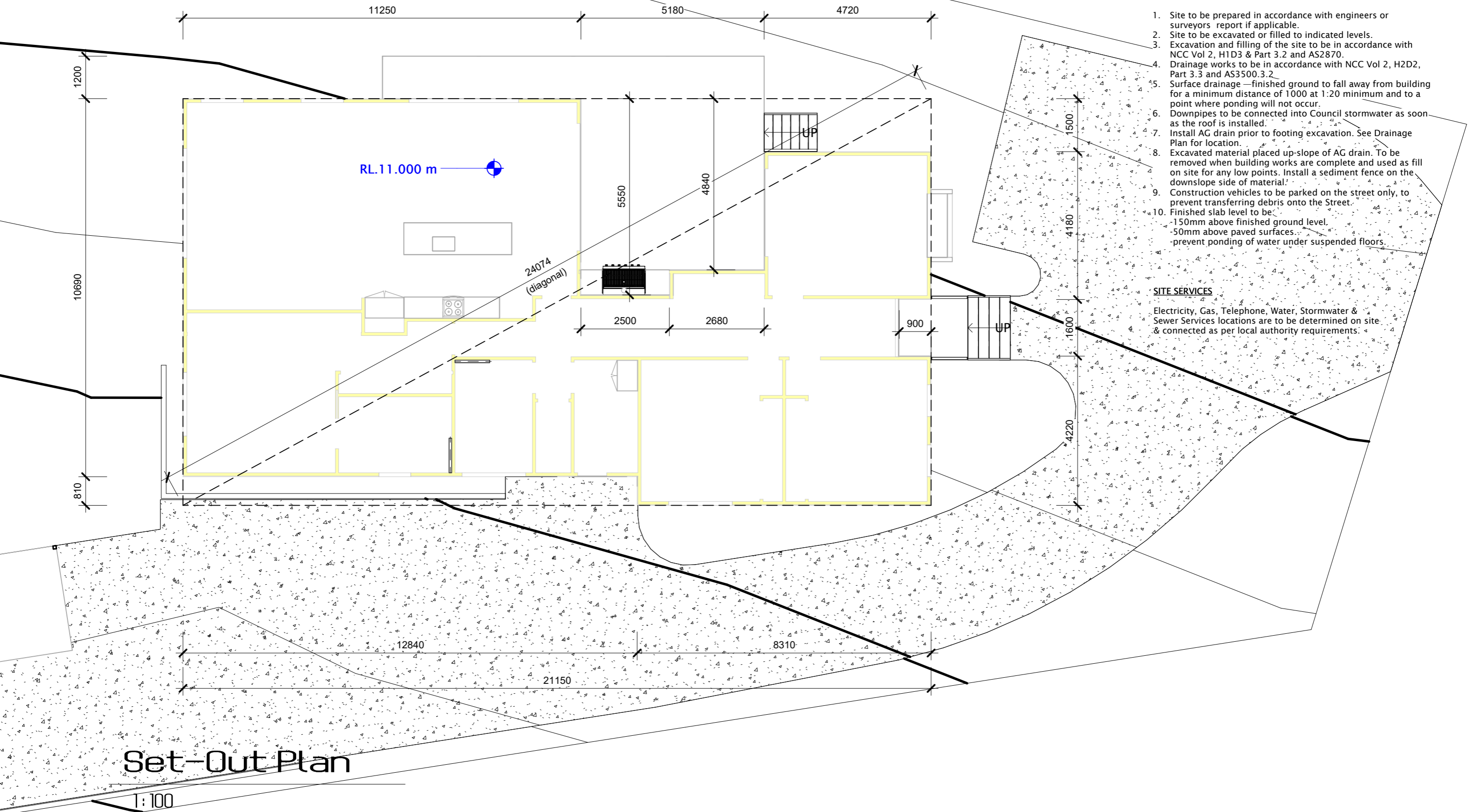
SHEOK COURT



Site/ Drainage Plan

1:200

<p>170 Abbott Street Launceston, Newstead, TAS 7250. M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au ABN 71 048 418 121 acc. # CC886J</p>	<p>Shed Amendments A3</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>21.11.24</td> <td>Shed Amendments</td> </tr> <tr> <td>5</td> <td>22.04.24</td> <td>Building Approval</td> </tr> <tr> <td>4</td> <td>05.10.23</td> <td>PRELIM Building App</td> </tr> <tr> <td>3</td> <td>26.04.22</td> <td>Planning Approval</td> </tr> <tr> <td>2</td> <td>14.02.22</td> <td>Concept # 2</td> </tr> <tr> <td>1</td> <td>20.01.22</td> <td>Concept # 1</td> </tr> </tbody> </table>	No.	Date	Description	6	21.11.24	Shed Amendments	5	22.04.24	Building Approval	4	05.10.23	PRELIM Building App	3	26.04.22	Planning Approval	2	14.02.22	Concept # 2	1	20.01.22	Concept # 1	<p>Project : Proposed Residence at 4 Sheok Court, Coles Bay, TAS 7215</p>	<p>Drawing Title : Site/ Drainage Plan</p>	<p>Scale : 1 : 200 Starting Date : 18.01.22 Plot Date : 25/11/2024 11:26:15 AM</p>
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SITE SERVICES

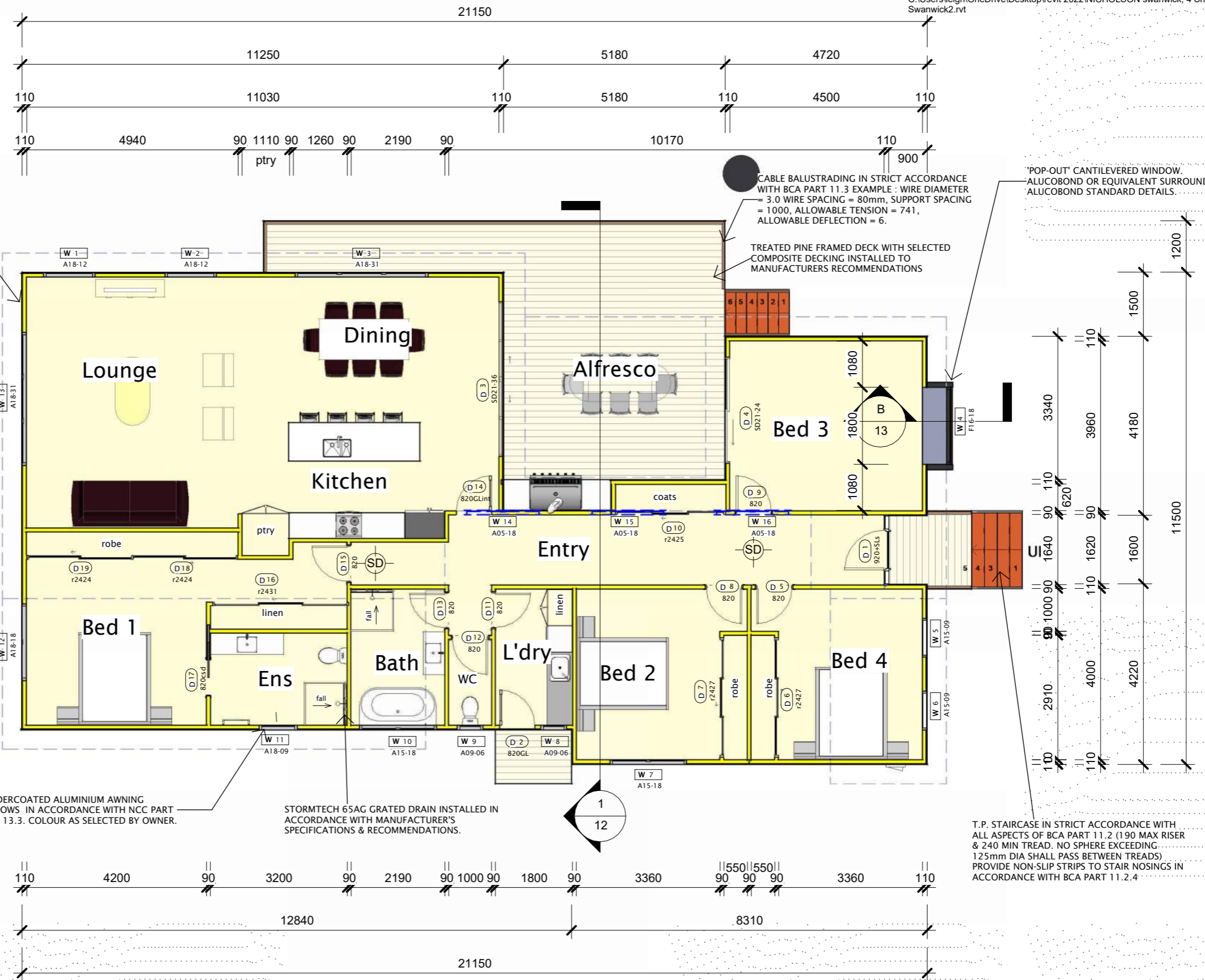
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Set-Out Plan

1:100

<p>170 Abbott Street Launceston, Newstead, TAS 7250. M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au ABN 71 048 418 121 acc. # CC886j</p>	<p>6 21.11.24 Shed Amendments</p> <p>5 22.04.24 Building Approval</p> <p>4 05.10.23 PRELIM Building App</p> <p>3 26.04.22 Planning Approval</p> <p>2 14.02.22 Concept # 2</p> <p>1 20.01.22 Concept # 1</p>	<p>Shed Amendments A3</p> <p>© 2023 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.</p>	<p>Project : Proposed Residence at 4 Sheoak Court, Coles Bay, TAS 7215</p>	<p>Drawing Title : Set-Out Plan</p>	<p>Scale : 1 : 100</p> <p>Starting Date : 18.01.22</p> <p>Plot Date : 25/11/2024 11:26:15 AM</p>
	<p>No. Date Description</p>	<p>Client : M & F Nicolson</p>	<p>Project No. 010122</p> <p>Drawing No. 5 /25</p>		

14mm THICK HARDIES SCYON 'OBLIQUE' VERTICAL CLADDING. INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT RECOMMENDATIONS & SPECIFICATIONS & NCC VOLUME 2 PART 7.5. (REFER CLADDING DETAILS PAGE)

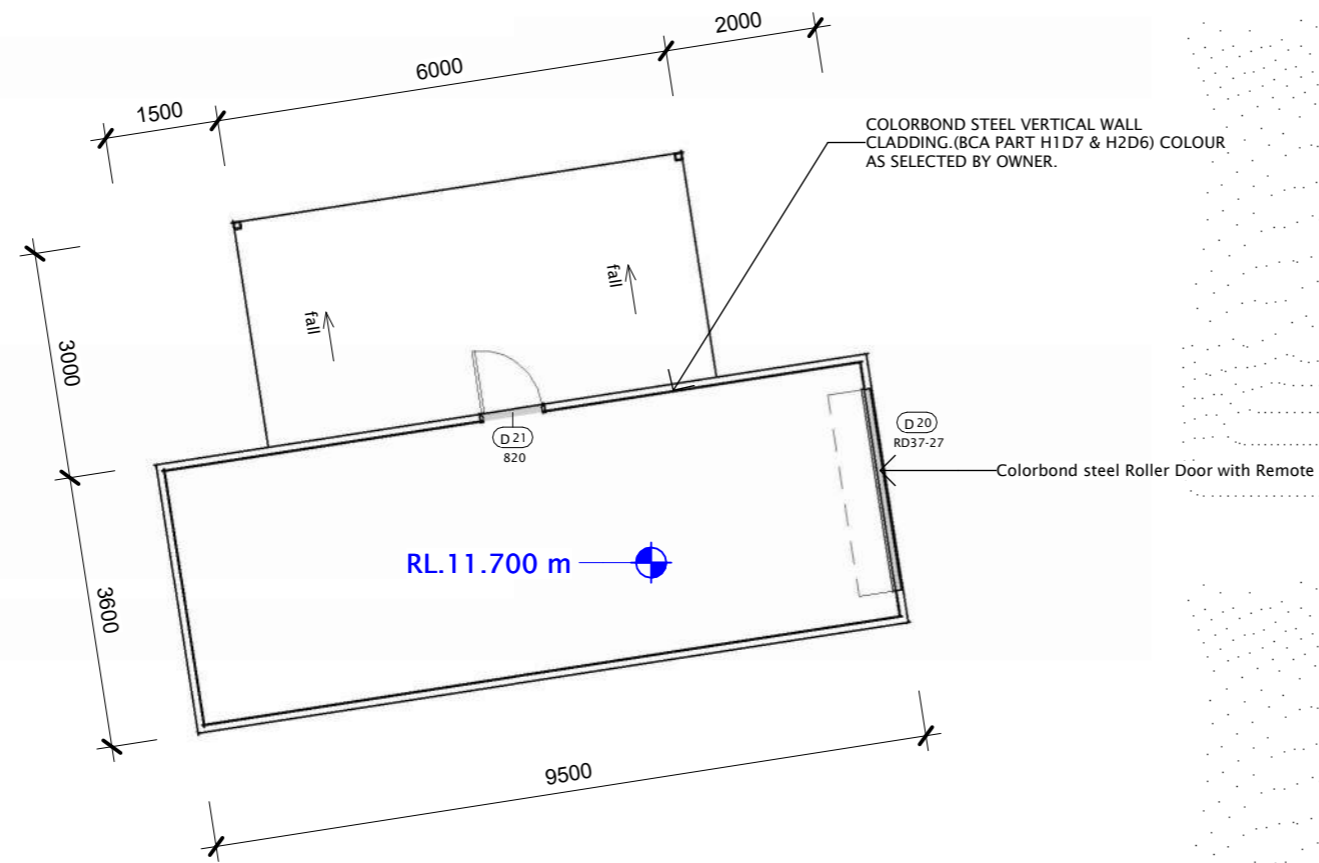


Floor Plan
1:100

SD - HARDWIRED SMOKE DETECTORS IN ACCORDANCE WITH NCC Vol 2. Part 9.5 & AS 3786. (LINKED)

<p>170 Abbott Street Launceston, Newstead, TAS 7250. M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au ABN 71 048 418 121 acc. # CC886J</p>	<p>Building Areas.</p> <table border="1"> <thead> <tr> <th>Name</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>Dwelling</td> <td>197.37 m²</td> </tr> <tr> <td>Garage/Carport</td> <td>53.23 m²</td> </tr> <tr> <td></td> <td>250.60 m²</td> </tr> </tbody> </table>	Name	Area	Dwelling	197.37 m ²	Garage/Carport	53.23 m ²		250.60 m ²	<p>Shed Amendments A3</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>21.11.24</td> <td>Shed Amendments</td> </tr> <tr> <td>5</td> <td>22.04.24</td> <td>Building Approval</td> </tr> <tr> <td>4</td> <td>05.10.23</td> <td>PRELIM Building App</td> </tr> <tr> <td>3</td> <td>26.04.22</td> <td>Planning Approval</td> </tr> <tr> <td>2</td> <td>14.02.22</td> <td>Concept # 2</td> </tr> <tr> <td>1</td> <td>20.01.22</td> <td>Concept # 1</td> </tr> </tbody> </table>	No.	Date	Description	6	21.11.24	Shed Amendments	5	22.04.24	Building Approval	4	05.10.23	PRELIM Building App	3	26.04.22	Planning Approval	2	14.02.22	Concept # 2	1	20.01.22	Concept # 1	<p>Project : Proposed Residence at 4 Sheoak Court, Coles Bay, TAS 7215</p>	<p>Drawing Title : Floor Plan</p>	<p>Scale : 1 : 100 Starting Date : 18.01.22 Plot Date : 25/11/2024 11:26:16 AM</p>
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NOTES:
REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Garage Floor Plan

1:100



Shed Amendments A3

170 Abbott Street
Launceston, Newstead,
TAS 7250.

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Project :
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4 Sheoak Court,
Coles Bay, TAS 7215**

Client :
M & F Nicolson

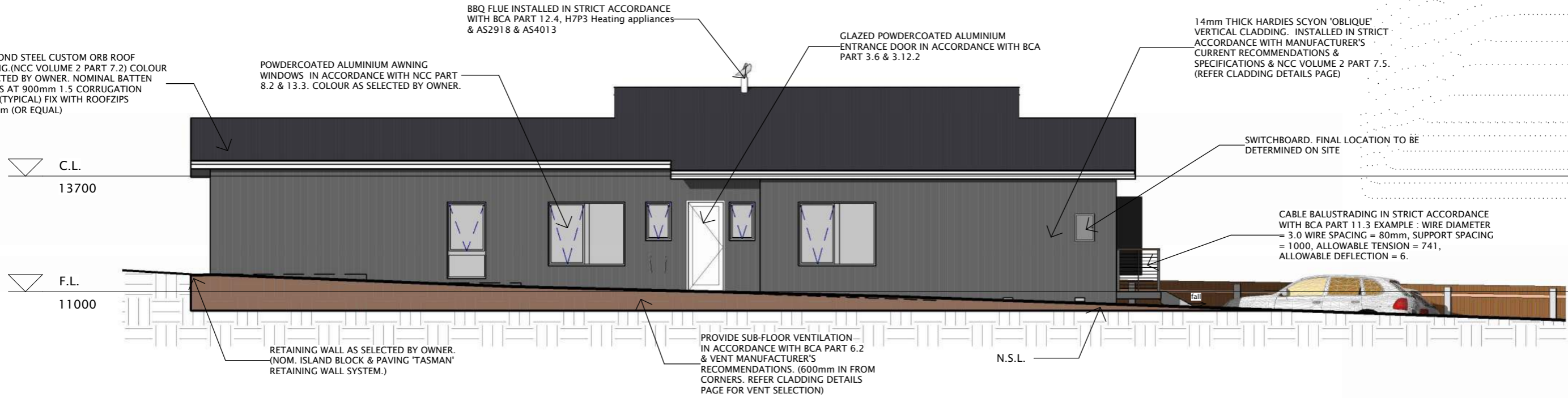
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Scale : **1 : 100**

Starting Date : **18.01.22**

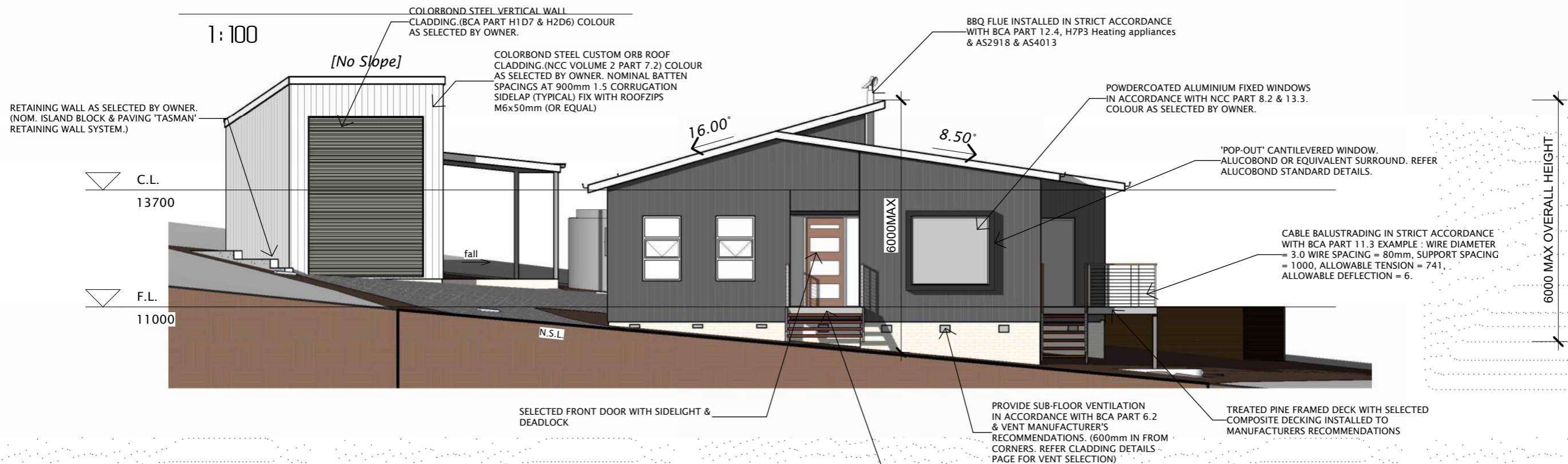
Plot Date : **25/11/2024
11:26:17 AM**

Project No.	Drawing No.
010122	7 /25



South West Elevation

1:100



South East Elevation

1:100

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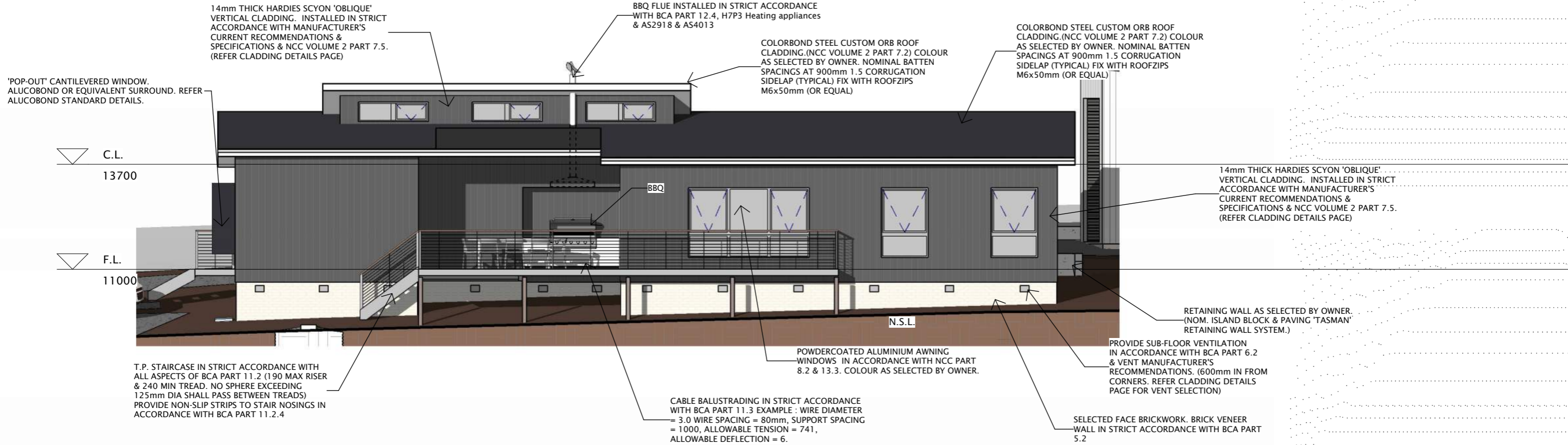
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4 Sheok Court,
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Drawing Title :
Elevations (sheet 1)

Client :
M & F Nicolson

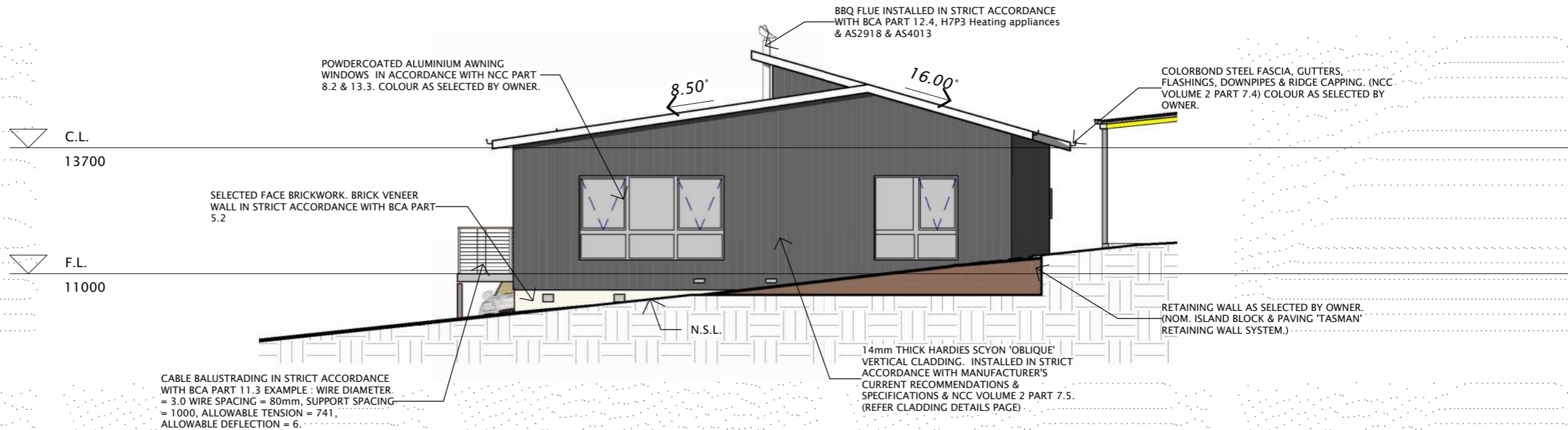
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Starting Date : 18.01.22
Plot Date : 25/11/2024
11:26:18 AM

Project No. 010122
Drawing No. 8 / 25



North East Elevation

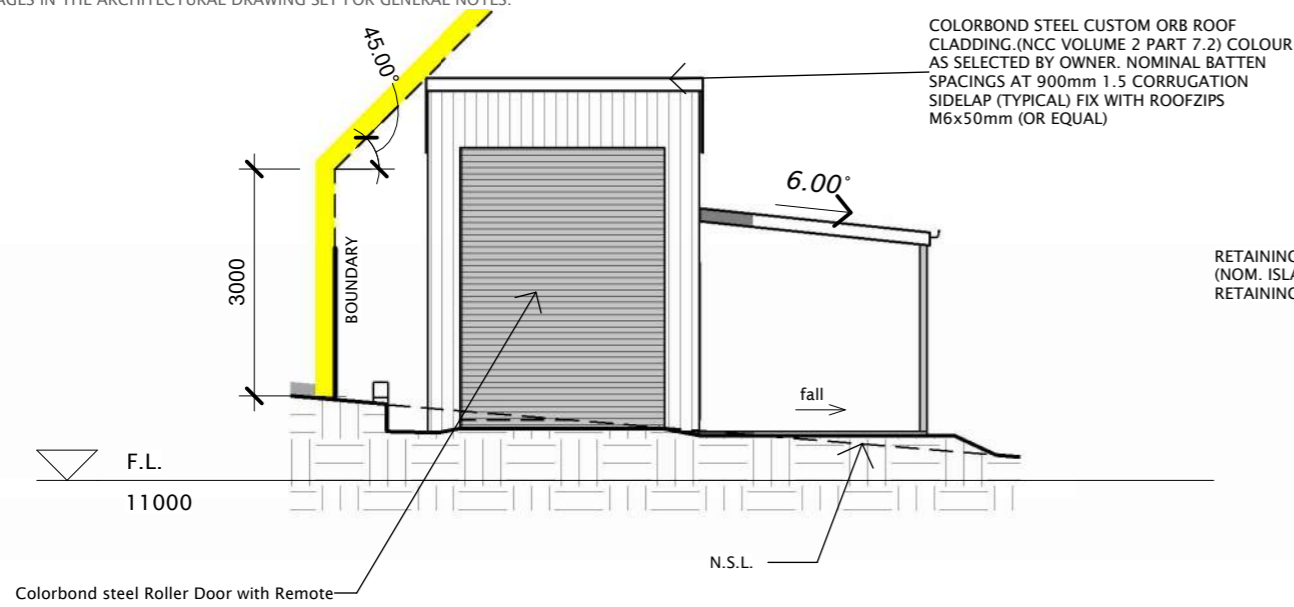
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North West Elevation

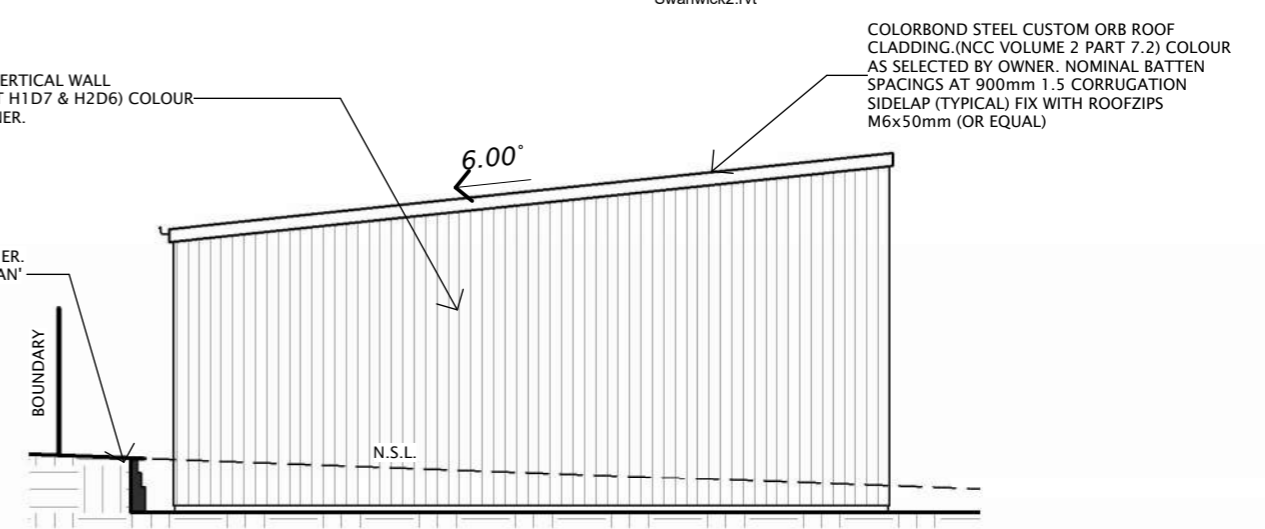
1:100

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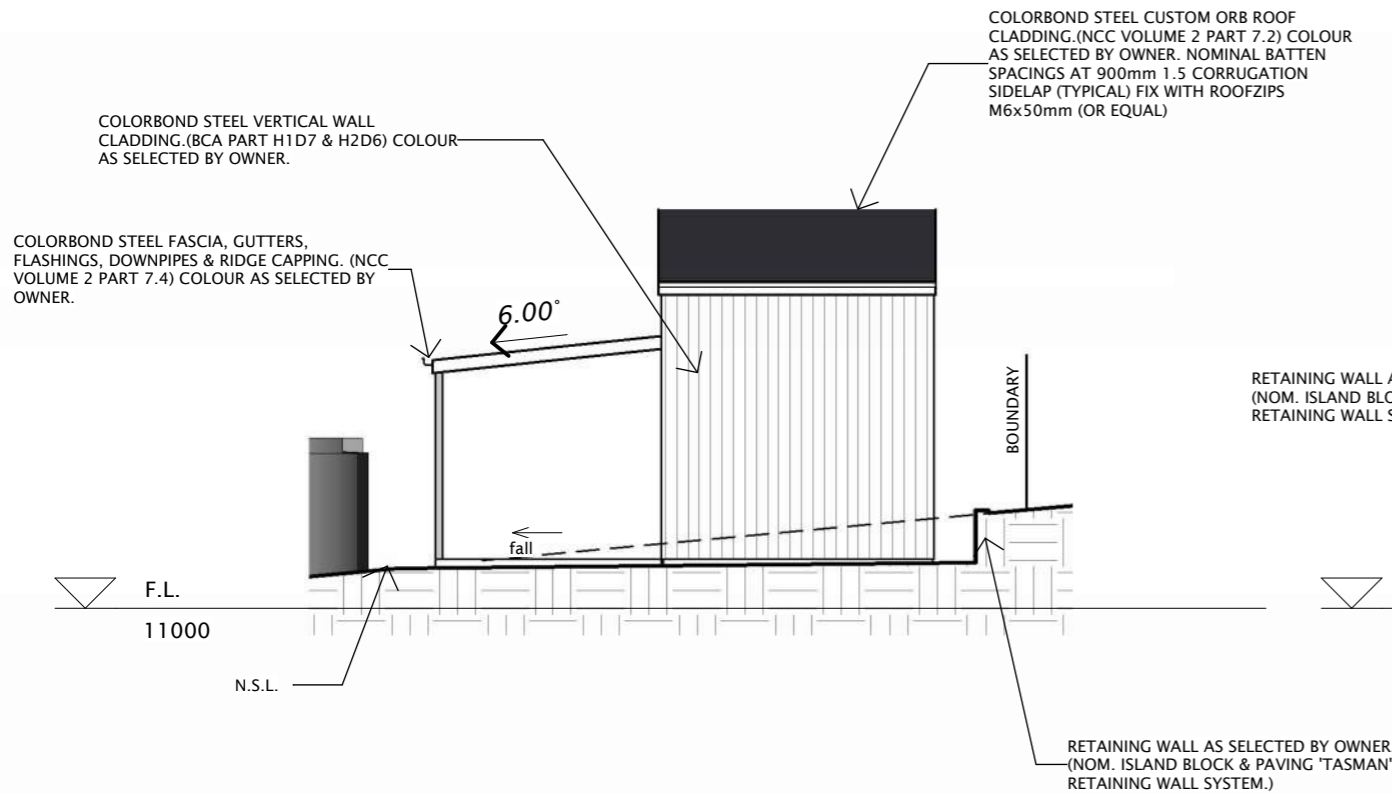
Garage East

1:100



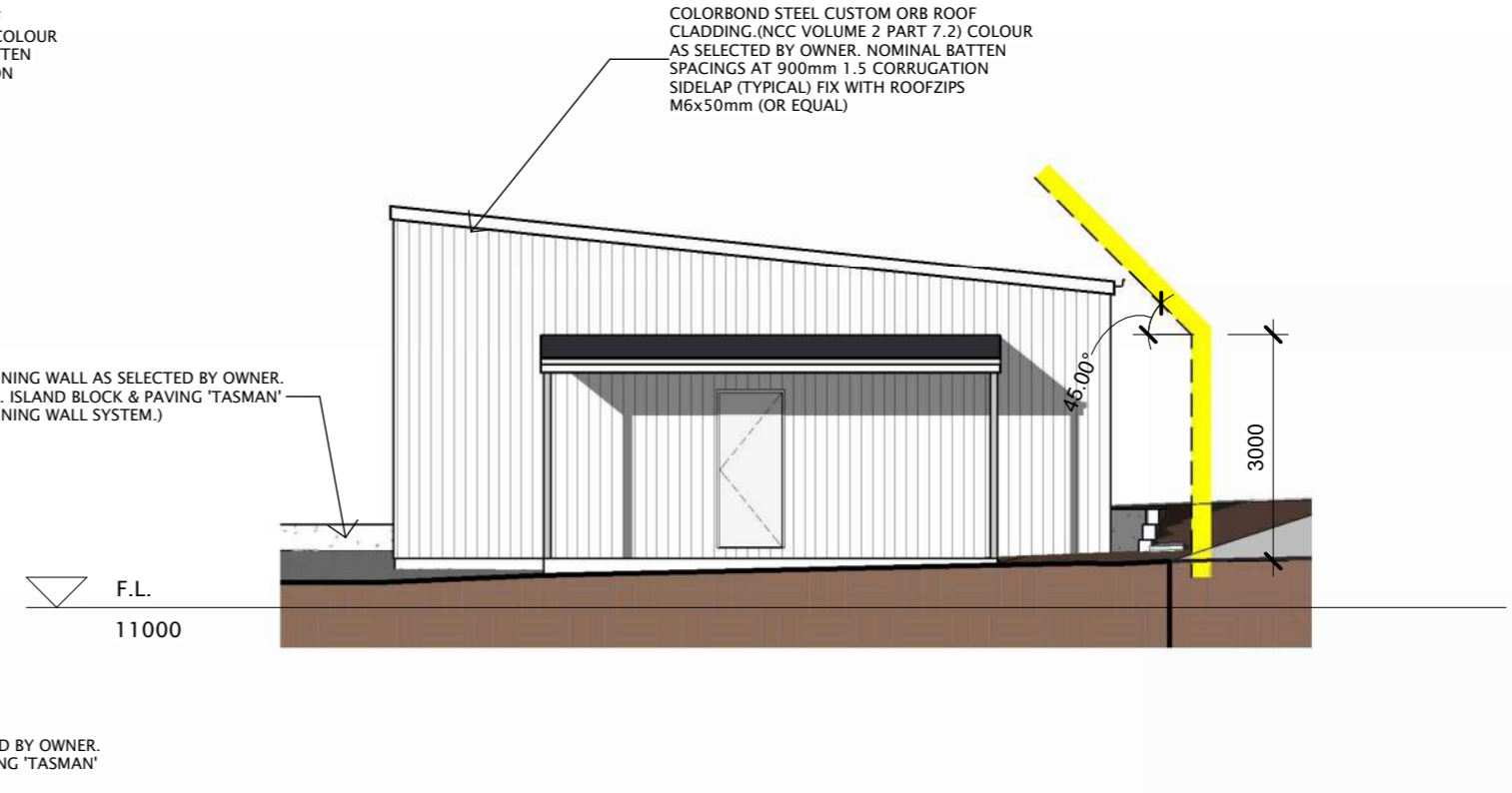
Garage South

1:100



Garage West

1:100



Garage North

1:100

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Shed Amendments A3

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Proposed Residence at
4 Sheok Court,
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Drawing Title :
Garage Elevations

Client :
M & F Nicolson

Scale : 1 : 100

Starting Date : 18.01.22

Plot Date : 25/11/2024
11:26:21 AM

Project No. 010122

Drawing No. 10 / 25

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

ROOF & WALL CLADDING

- Generally in accordance with NCC Vol 2 Part 7.5 any external timber treated pine and western cedar cladding to be fixed in accordance with manufacturers specifications.
- Weatherboards and exterior trim to be primed prior to fixing.
- Vapour permeable sarking to be provided between external wall cladding and framing.
- Roof cladding to be in accordance with NCC Vol 2 Part 7.2
- Colorbond custom orb roof sheeting crest fixed at side laps with 3 fixings for internal spans and 5 for end spans.
- Roof tiles AS2049 & AS2050
- Metal sheet roofing AS1562.1
- Plastic sheet roofing AS4256 & AS1562.3
- Wall cladding in accordance with NCC Vol 2 Part 7.5, H1D7 & H2D6 & manufacturers specifications.
- Flashings to NCC Vol 2 Part 7.2.7
- Colorbond custom orb roof cladding on 70x35 battens at 900 crs. max. and concrete roof tiles on 50x30 battens at 330 crs max. both installed strictly in accordance with manufacturers specifications.
- Roof lintels sizes to be confirmed by manufacturer taking into account point loads from girder trusses. Refer engineer for tie-down & bracing details

ROOF FRAMING NOTES

All timber truss design, certification & installation details, including roof bracing & tie-down details to be provided to council by truss manufacturer.

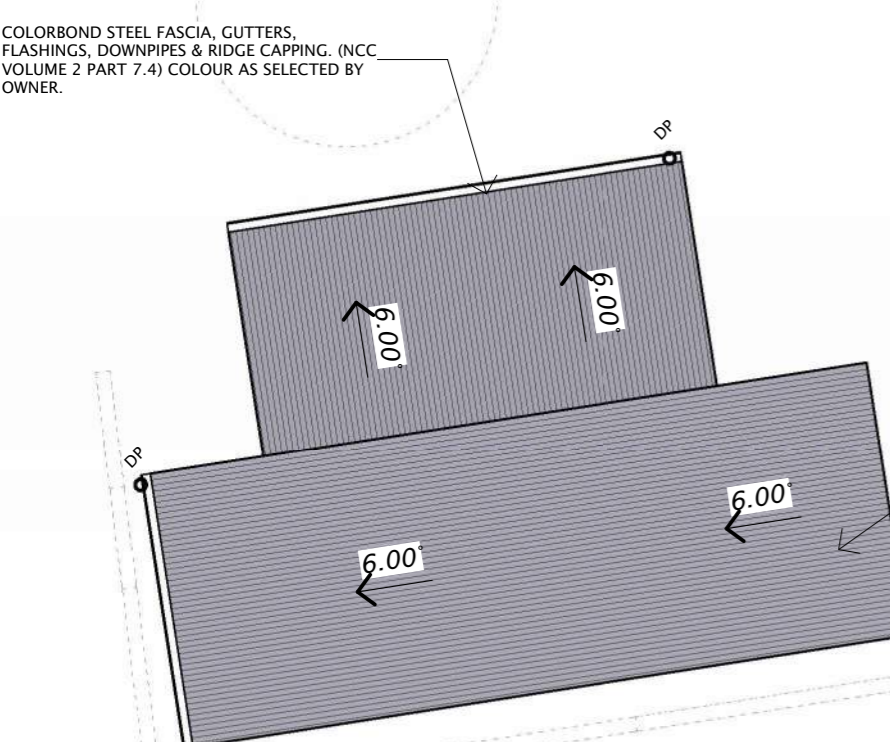
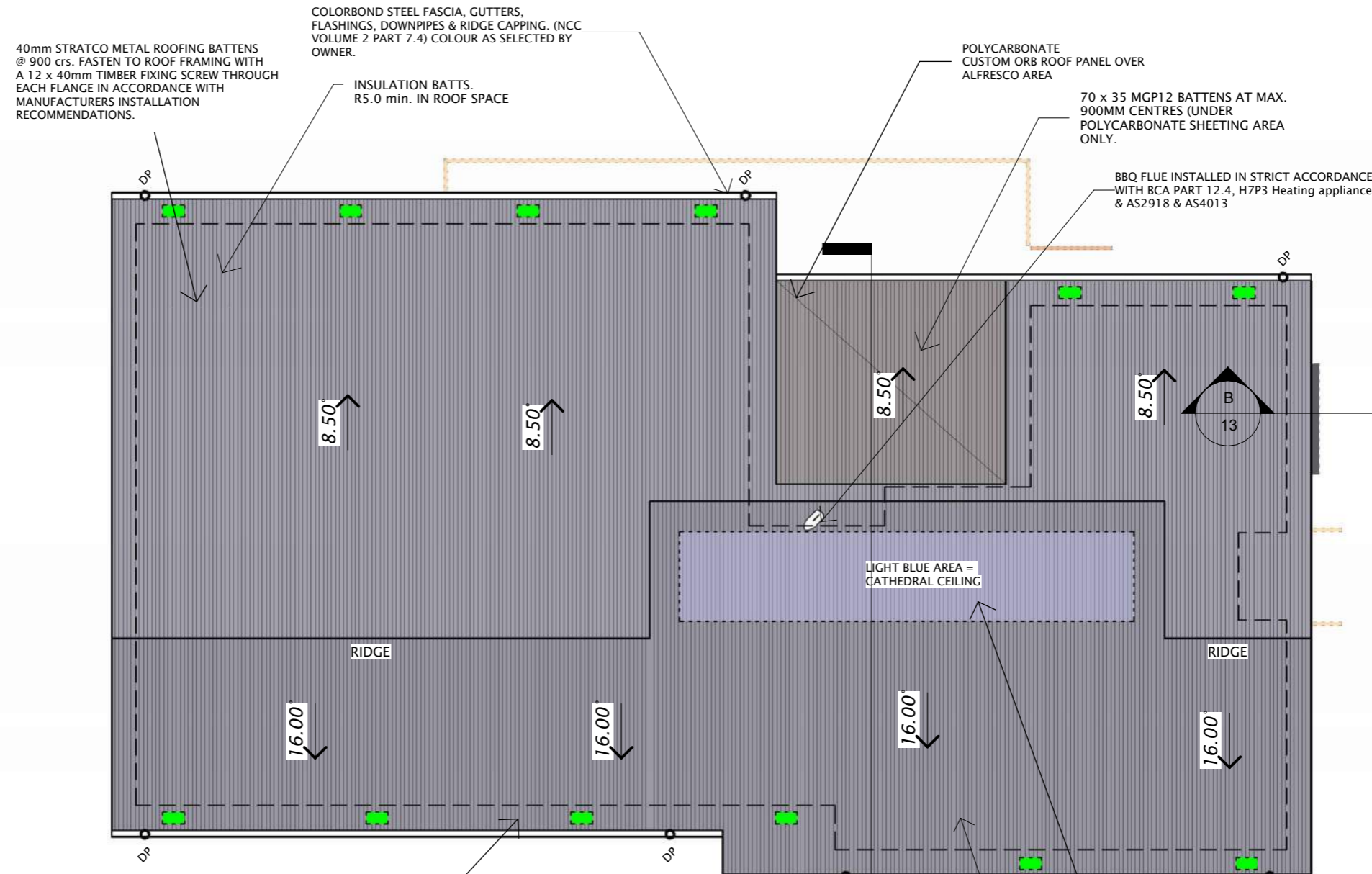
Roof trusses are to be designed in accordance with ABCB protocol for structural design software, relevant Australian standards.

Roof lintel sizes to be confirmed by manufacturer taking into account point loads from girder trusses etc.

Refer AS1684.2 & Structural Drawings for more information.

Tile Roof

NCC Vol 2 Part 7.3 & AS2049 & AS2050
75 x 38 battens fixing at 330 crs
Colorbond Custom orb
NCC Vol 2 Part H1D7 & H2D6 & AS1397
cladding on 75 x 35 battens at 900 crs.



CSR BRADFORD (OR EQUIVALENT) POLY EAVE VENTS @ 3000MM CENTRES INSTALLED AS PER MANUFACTURER'S RECOMMENDATION.

COLORBOND STEEL CUSTOM ORB ROOF CLADDING.(NCC VOLUME 2 PART 7.2) COLOUR AS SELECTED BY OWNER. NOMINAL BATTEN SPACINGS AT 900mm 1.5 CORRUGATION SIDELAP (TYPICAL) FIX WITH ROOFZIPS M6x50mm (OR EQUAL)

CSR BRADFORD (OR EQUIVALENT) POLY EAVE VENTS @ 4000MM MAX CENTRES INSTALLED AS PER MANUFACTURER'S RECOMMENDATION. (& EMBER RESISTANT STEEL MESH)

CONDENSATION & WATER VAPOUR MANAGEMENT

Risks associated with water vapour and condensation MUST be managed to minimise their impact on the health of occupants of the building.
National Construction Code Volume 2 - Part 10.8 references:
- "CBOS Condensation in buildings - Tasmanian Designers' guide Version 2" that should be adhered to where possible.
CBOS Condensation in buildings - Tasmanian Designers' Guide Version 2" notes roof and walls to have a pliable vapour permeable membrane (Class 4) and is to be installed under the battens to create a cavity.

FASCIA, GUTTERS & D'PIPES

- *colorbond metal fascia, guttering, flashings and ridge capping installed in accordance with manufacturers specifications.
- *gutters and downpipes in accordance with NCC Vol 2 Part 7.4 & AS3500.3.2 & the tasmanian plumbing code.
- *downpipes to be 90mm dia. or 100x50 rectangular section at 12000 crs max and to be within 1000 of internal/ valley gutter
- *lap guttering 75mm in direction of flow, rivet & seal with an approved silicone sealant.
- *valley gutters to be 145 wide colorbond steel to match roof, taken 50mm under roof cladding and turn up on both sides and lapped 50mm in direction of flow.
- *all box gutters are to be installed and have minimum falls of 1:100 as per NCC Vol 2 Part 7.4 and have minimum cross sectional dimensions as per NCC Vol 2 Part 7.4

Roof Plan

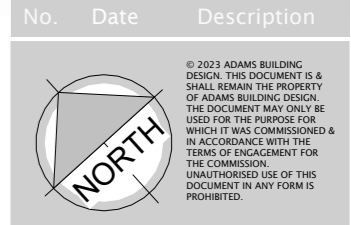
1:100



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acc. # CC886J

No.	Date	Description
6	21.11.24	Shed Amendments
5	22.04.24	Building Approval
4	05.10.23	PRELIM Building App
3	26.04.22	Planning Approval
2	14.02.22	Concept # 2
1	20.01.22	Concept # 1



Project :
**Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215**

Client :
M & F Nicolson

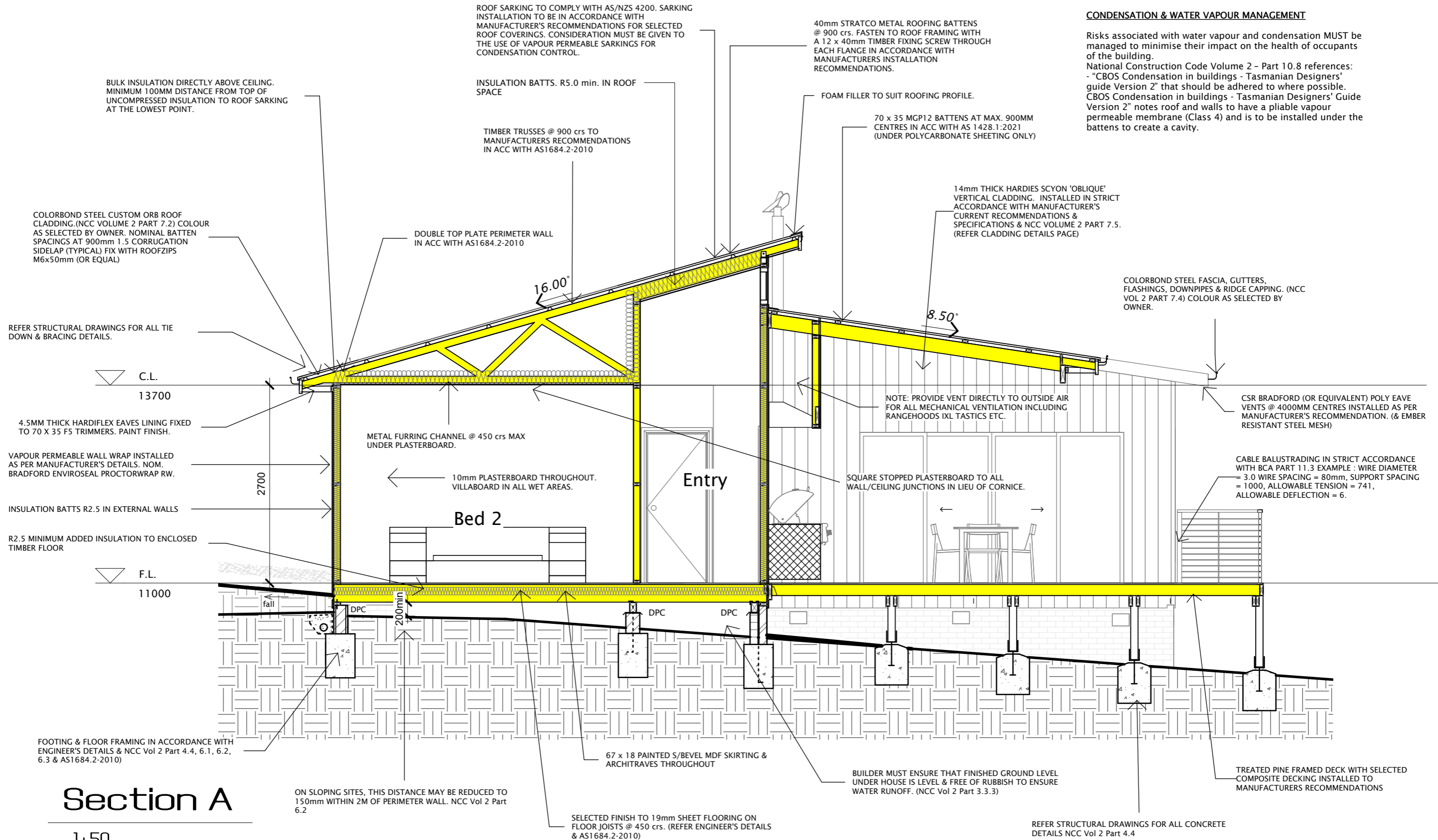
Drawing Title :
Roof Plan

Scale : **1 : 100**

Starting Date : **18.01.22**

Plot Date : **25/11/2024
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Project No. **010122** Drawing No. **11 /25**



CONDENSATION & WATER VAPOUR MANAGEMENT

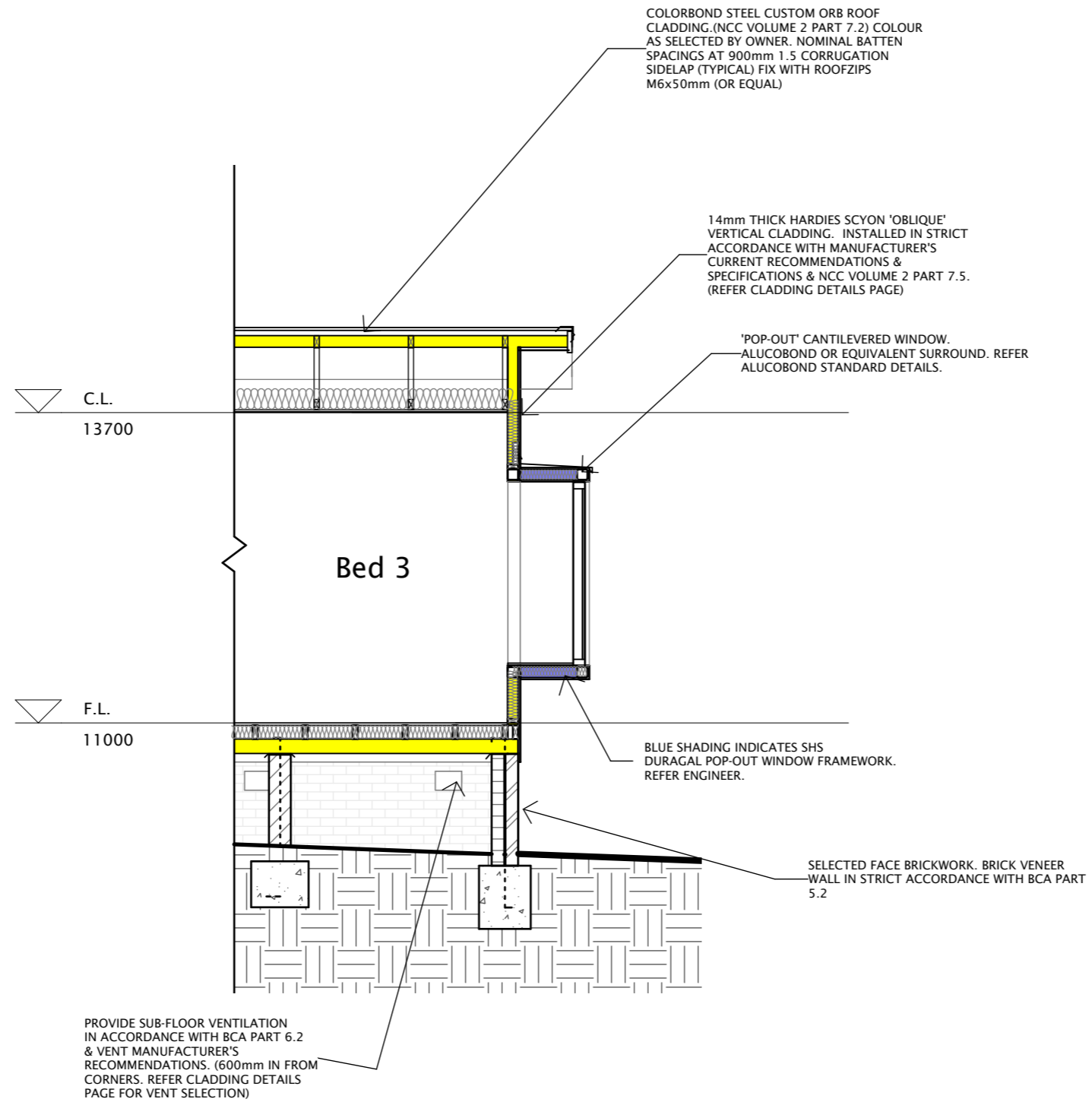
Risks associated with water vapour and condensation MUST be managed to minimise their impact on the health of occupants of the building.

National Construction Code Volume 2 – Part 10.8 references:
- "CBOS Condensation in buildings - Tasmanian Designers' guide Version 2" that should be adhered to where possible.
CBOS Condensation in buildings - Tasmanian Designers' Guide Version 2" notes roof and walls to have a pliable vapour permeable membrane (Class 4) and is to be installed under the battens to create a cavity.

Section A
1:50

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	<p>No. Date Description</p>	<p>Client : M & F Nicolson</p>	<p>Project No. 010122</p> <p>Drawing No. 12 /25</p>		

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.



Section B

1:50

NOTE:
REFER SECTION A FOR ALL
STANDARD CROSS SECTION NOTES

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Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Client :

M & F Nicolson

Drawing Title :

Section B

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Plot Date : 25/11/2024
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Project No.

010122

Drawing No.

13 / 25

7 UNENCLOSED SHOWERS

Unenclosed showers are those where the shower fitting(s) are not contained within an enclosure.

Where the shower is unenclosed, you must have waterproof flooring for a distance extending 1500mm from the shower rose, projecting onto the floor, see Figure 20.

Water resistant walling (Villaboard® lining finished with tiles) must also extend 1500mm from the shower rose.

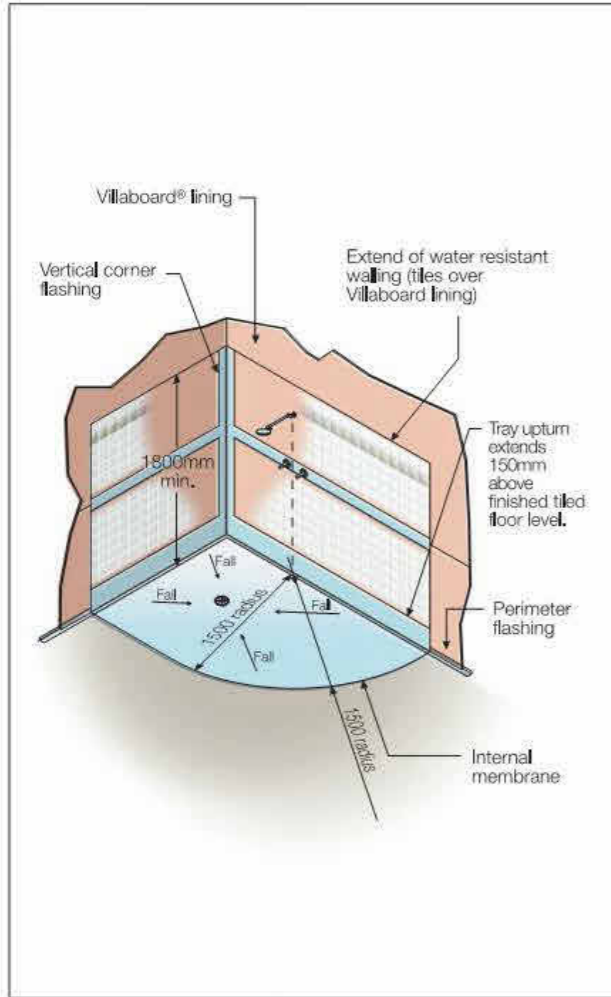


FIGURE 20 UNENCLOSED SHOWERS

Where a shower over a bath is not contained by a shower screen, you must waterproof the floor beyond the bath a distance extending 1500mm from the shower rose projected onto the floor, see Figure 21.

Although the perimeter flashing shown against wall and bath beyond 1500mm of the shower rose is not required, it is shown here because it is often installed for practical reasons.

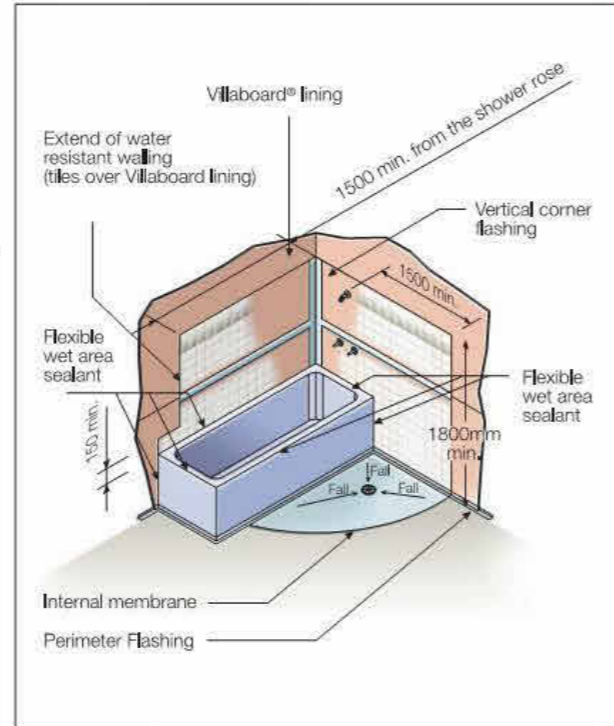


FIGURE 21 SHOWER OVER BATH - NO SHOWER SCREEN

The shower tray (either internal or external membrane) or the waterproofing beyond the bath must be terminated on an angle with its vertical leg finished flush with the tiled surface. The angle would normally be located in the floor tile jointing, see Figure 22.

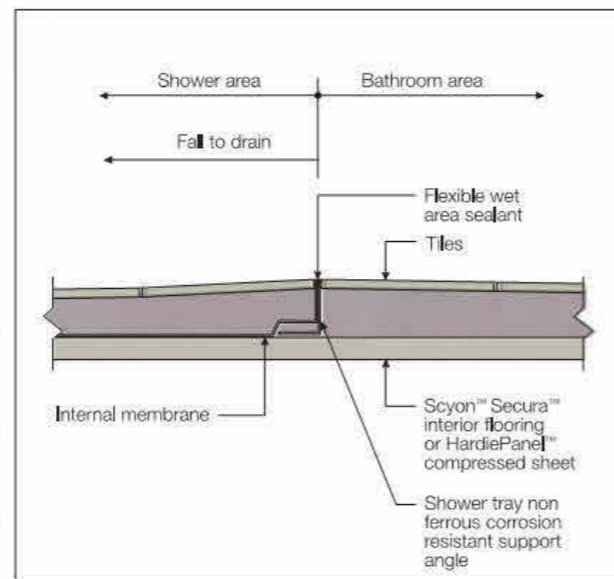


FIGURE 22 UNENCLOSED SHOWER - EDGE FINISHING DETAIL

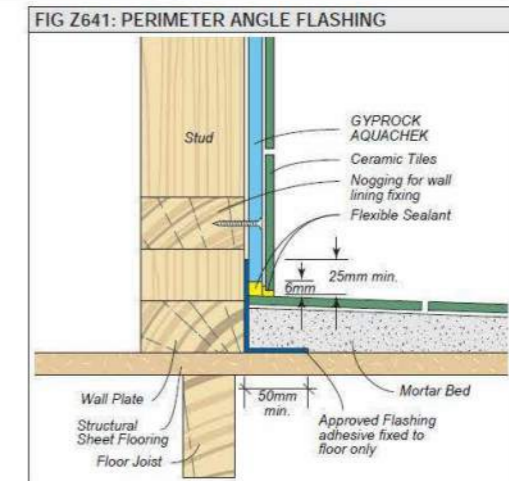
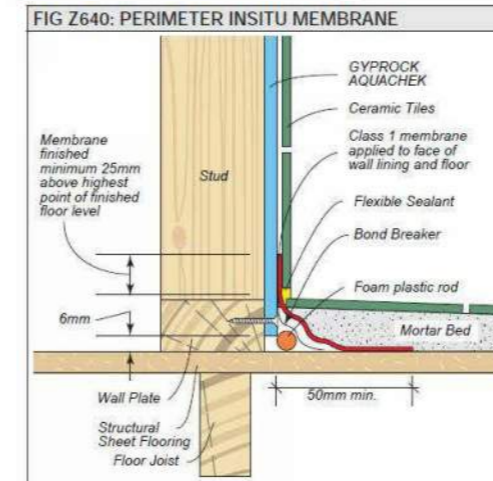
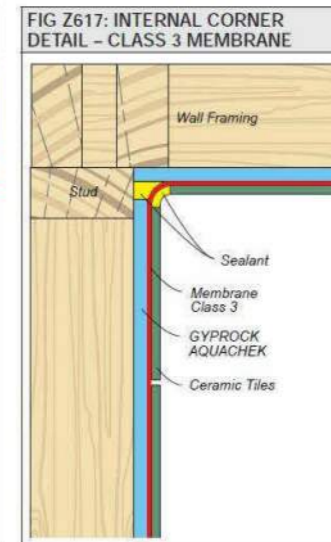
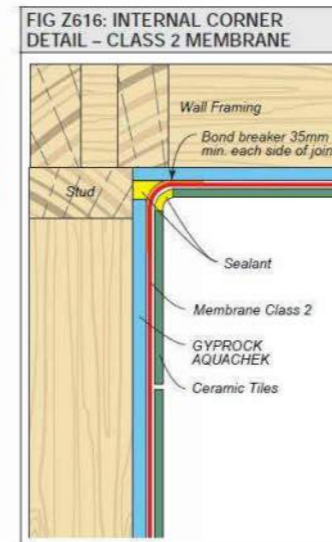
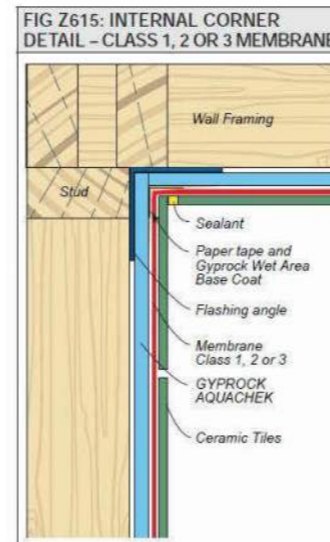
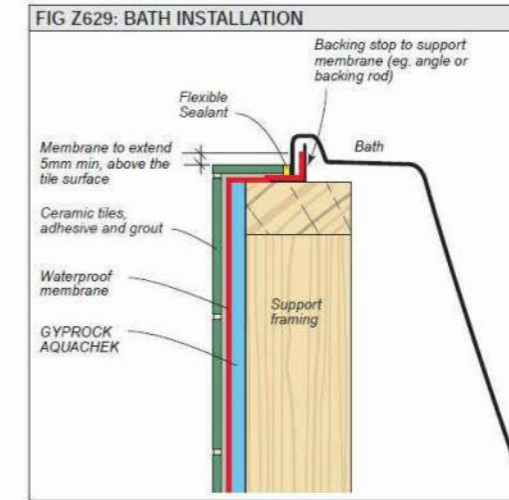
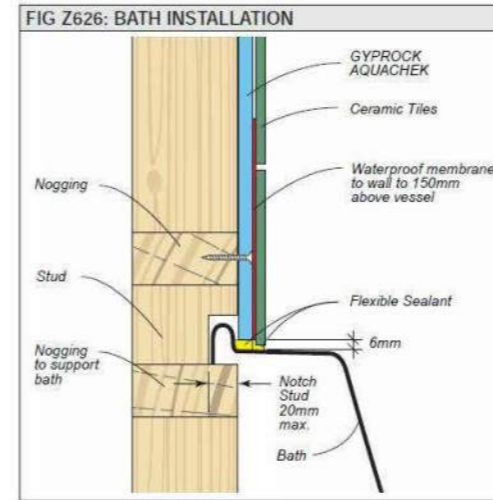
NOTE
Internal membrane to shower area to extend 1500mm in horizontal distance from the furthest extension of the shower rose.

NOTE:

THE DETAILS ON THIS PAGE ARE BASIC INSTALLATION ONLY. INSTALLER MUST SOURCE ALL OTHER CURRENT INSTALLATION DETAILS DIRECTLY FROM MANUFACTURERS WEBSITE PRIOR TO COMMENCING ANY WORK. (HARDIES SCYON SECURA SYSTEM OR CSR RESIDENTIAL INSTALLATION GUIDES.

<http://www.jameshardie.com.au/uploads/files/Wet%20Area%20Construction%20Application%20Guide%20November%202012.pdf>

http://www.gyprock.com.au/Documents/GYPROCK-547-Residential_Installation_Guide-2015.pdf



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Client :
M & F Nicolson

Drawing Title :
Wet Area Notes 1

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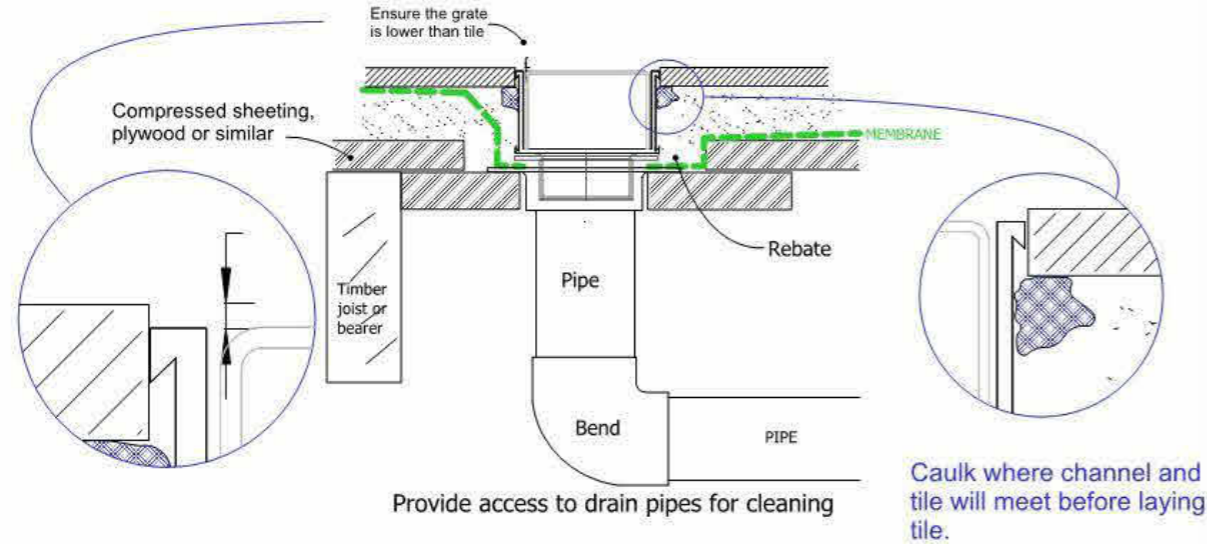
Project No. Drawing No.
010122 14 /25

65G40 TIMBER FLOOR/DECK

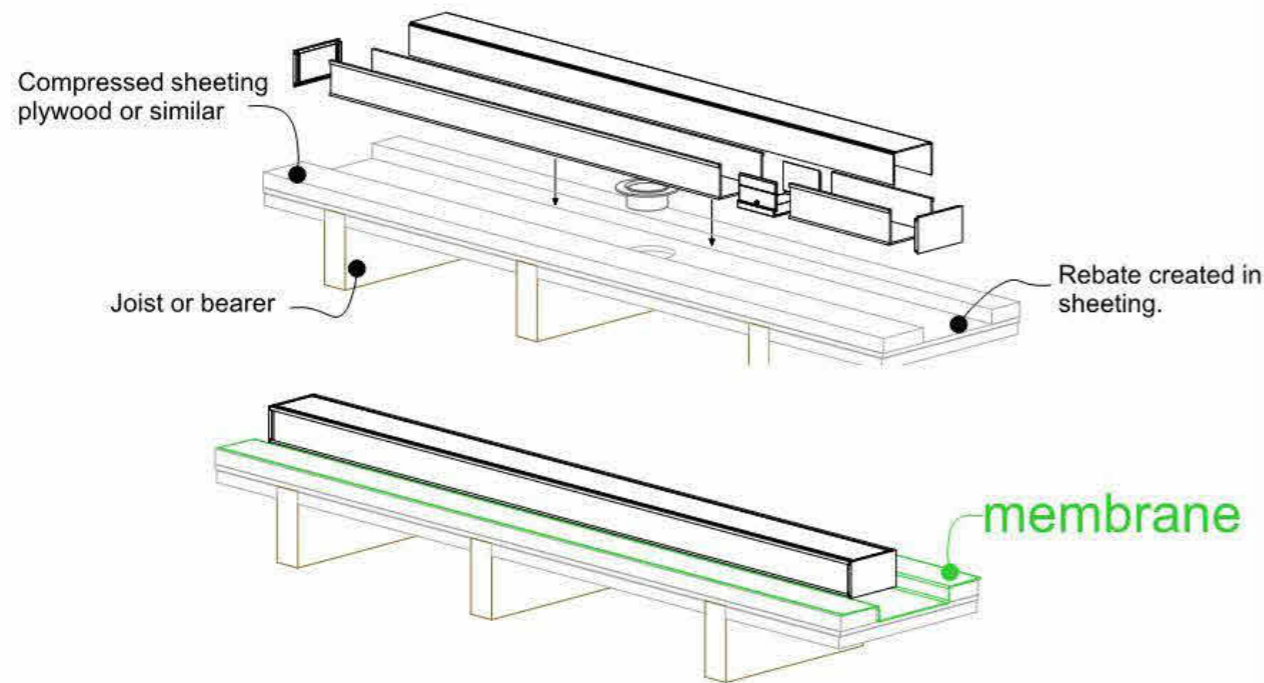
For 65ARG40, 65PHG40, 65PSG40, 65TRG40, and 65TRTiG40.



When 65G40 is running parallel to joist/bearer



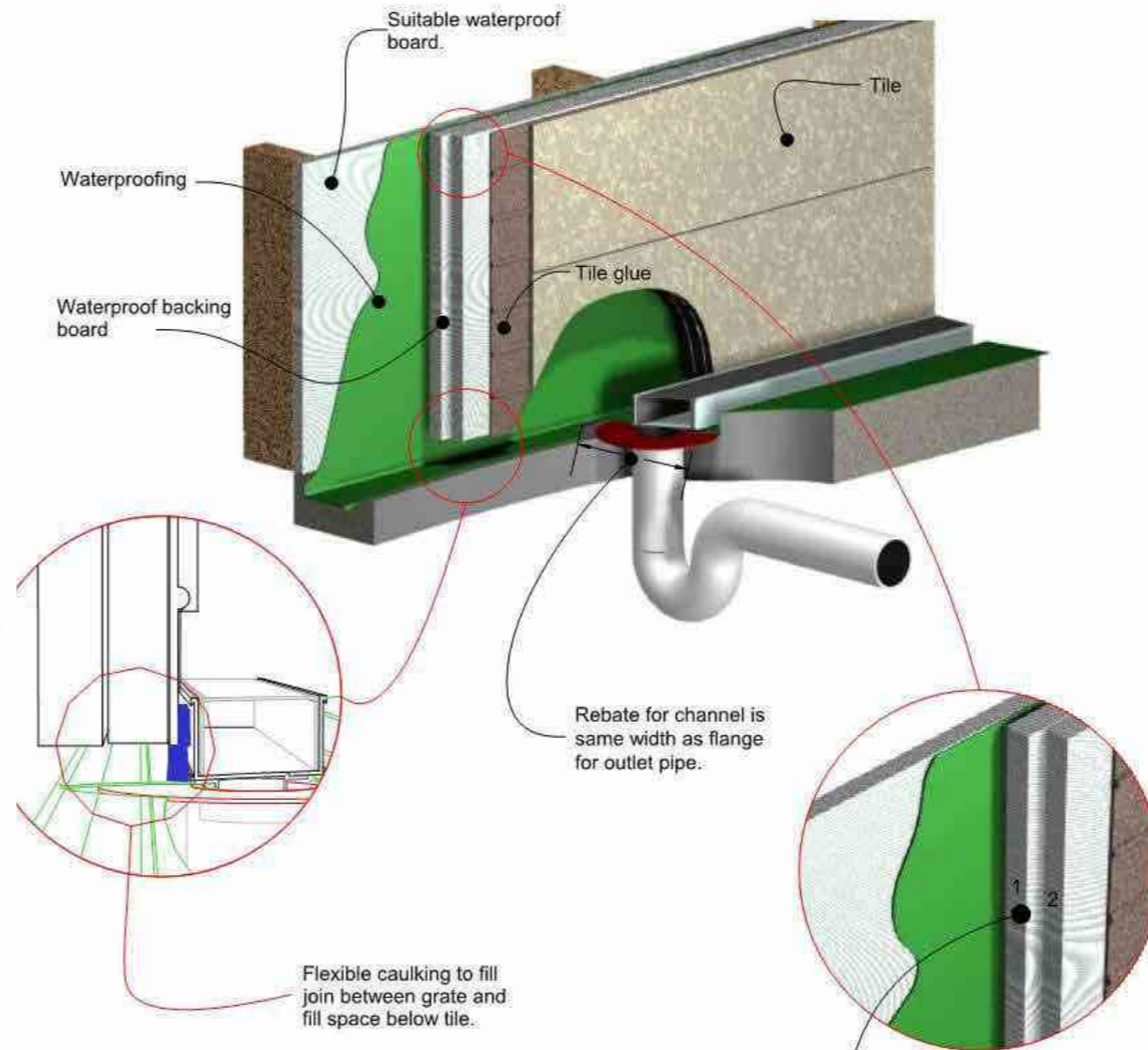
When 65G40 is running perpendicular to joist/bearer



NOTE: For exterior application allow for expansion of 1mm per metre by using quality suitable flexible sealant on channel joins. Use PVC solvent cement and primer for ends and outlets.

65G40 Against Wall

For 65ARG40, 65PHG40, 65PSG40, 65TRG40, and 65TRTiG40.



NOTE, due to the diameter of leak control or puddle flanges up to two layers of waterproof backing board or villa board may be needed to pack out wall before tiling.

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Client :
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Drawing Title :
Wet Area Notes 2

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010122 15 /25



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Patent number: 733361

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65G40&25082015TC

Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)					
Vessels or area where the fixture is...	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite and Bathroom)					
With preformed shower base	N/A	Ceramic tiles to shower walls 1800mm above finished floor level of the shower.	Membrane 'M01'.	Membrane 'M01'.	Waterproof tap and spout penetrations in vertical surfaces with 'Waterbar' tap penetration flange and...
Area outside shower area (applies to Ensuite and Bathroom)					
Concrete floor	Membrane 'M01' to entire floor of...	N/A	N/A	Membrane 'M02'.	N/A
Area adjacent to bath (applies to Bathroom)					
Concrete floor	Membrane 'M01' to entire floor of room....	a) 150mm min. high ceramic tile splashback to perimeter of bath b) Ceramic tile upstand from floor level to underside...	White silicone to junctions within 150m...	Ceramic tile upstand to extent of bath.	Waterproof tap and spout penetrations in horizontal surfaces with 'Waterbar' tap penetration flange and...
Other areas					
Laundry and WC	Ceramic floor tiles.	N/A	N/A	Membrane 'M02' + Ceramic tile skirting.	
Walls adjoining sink, basin or laundry tub	N/A	150mm min. high ceramic tiled splashback for extent of vessel, where the vessel is...	Waterproof wall junction where vessel is fixed to a...	N/A	Waterproof tap and spout penetrations if within splashback with 'Waterbar' tap...
KEY Membrane 'M01': Dunlop (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations. Membrane 'M02': Dunlop (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.					



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Client :
M & F Nicolson

Drawing Title :
Wet Area Notes 3

Scale :

Starting Date : **18.01.22**

Plot Date : **25/11/2024
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Project No. **010122** Drawing No. **16 /25**

9 Construction Details - Vertical Board Orientation

JUNCTION DETAILS

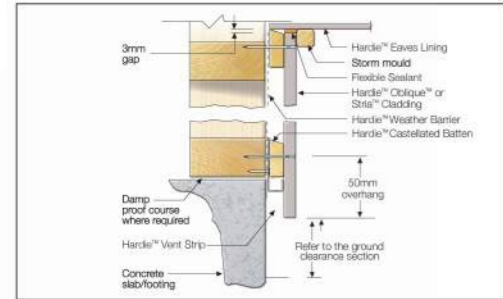


FIGURE 17 SLAB/EAVE JUNCTION DETAIL

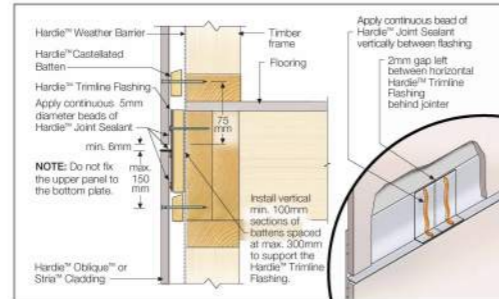


FIGURE 18 UPPER FLOOR JUNCTION

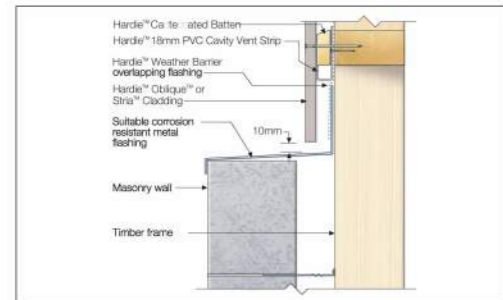


FIGURE 19 HORIZONTAL JUNCTION

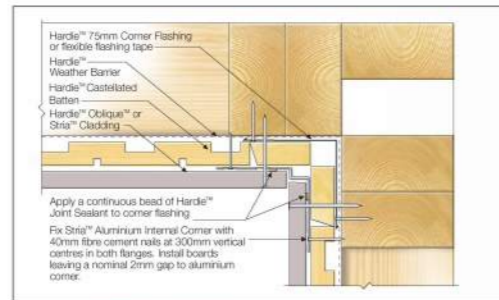


FIGURE 20 INTERNAL CORNER

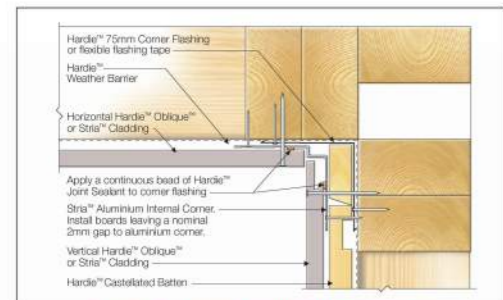


FIGURE 21 INTERNAL CORNER BETWEEN VERTICAL AND HORIZONTALLY ORIENTED BOARDS

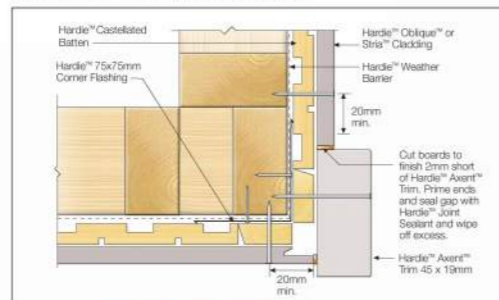


FIGURE 22 EXTERNAL TRIM CORNER

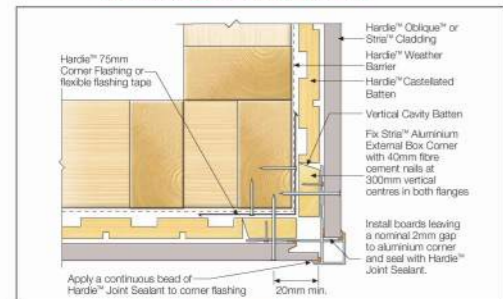


FIGURE 23 EXTERNAL BOX CORNER

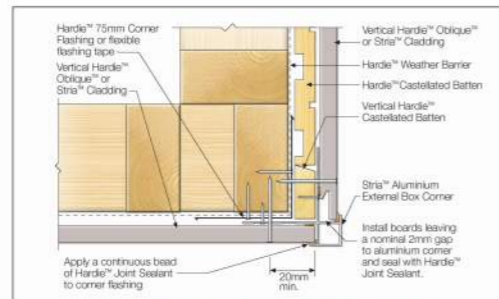


FIGURE 24 EXTERNAL CORNER BETWEEN VERTICAL AND HORIZONTALLY ORIENTED BOARDS

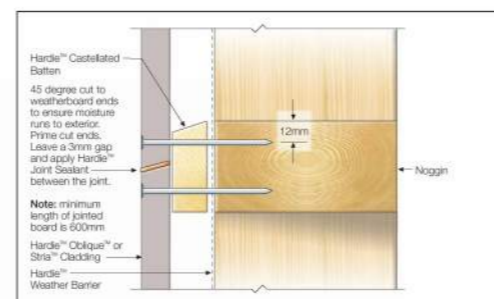


FIGURE 25 VERTICAL BUTT JOINT DETAIL

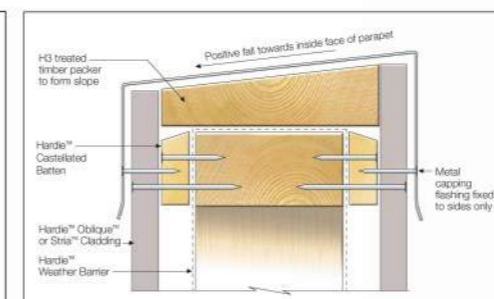


FIGURE 26 PARAPET DETAIL

WINDOW DETAILS

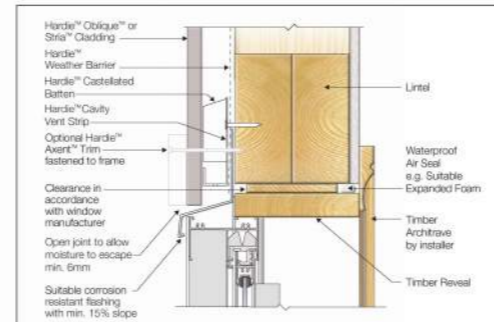


FIGURE 27 WINDOW HEAD AND SILL - TRIM



FIGURE 28 WINDOW JAMB - TRIM

3.3 MASONRY

- *selected face brick exterior cladding to comply with AS1225.
- *refer to engineers specifications for articulation joint position and details.
- *generally masonry walls to be constructed in accordance with BCA part 3.3 & AS3700.
- *un-reinforced masonry to BCA part 3.3.1
- *reinforced masonry to BCA part 3.3.2
- *masonry accessories to BCA part 3.3.3.
- *weather-proofing of masonry to BCA part 3.3.4
- *approved galvanised ties at 600x600mm crs. and 300mm crs. for raised floor levels.
- *walls to have a continuous clean cavity.
- *brick perimeter walls under timber floors to have vents 6000mm 2 per metre length of external wall, with vents not more than 600mm from corners.
- *sub-floor ventilation in accordance with BCA part 3.4.1,2
- *sub-floor area to be clear of organic material and rubbish.
- *150 clearance required to underside of floor framing members unless specified otherwise by flooring specification.
- *weep holes above dpc layer 480mm crs. max
- *R2 galv. brick veneer ties:450mm horizontal x 600mm vertical. double the number of ties beside control joints at the top of the wall, at intersecting walls and around door and window openings.
- * Selected face brickwork. stretcher bond with raked joints. mortar to be 1:1:6 - one part type gp or gb cement, one part hydrated lime and six parts bricklaying sand. (sand shall be fine aggregate with a low clay content and free from efflorescing salts, selected for grading and colour for facework)
- *Cavity tray, dpc and weep holes as per bca 3.3.4. 40mm cavity width. keep cavity clean by either suspending a timber batten and raising as work progresses, or leave out a brick every 1500mm along cavity bottom and hose out mortar regularly.

Locally Available Vents. Size, Ventilation & Installation Requirements.

<p>"Pryda" Metal Vent 230 x 75. 52 holes @ 11mm x 11mm. = 6292mm² Vent Spacing 1048mm along wall</p>	<p>"Pryda" Metal Louvred Vent 230 x 75. 5 louvres @ 200mm x 10mm. = 10000mm² Vent Spacing 1667mm along wall</p>
<p>"Pryda" Metal Vent 230 x 165. 117 holes @ 11mm x 11mm. = 14157mm² Vent Spacing 2359mm along wall</p>	<p>"Pryda" Metal Louvred Vent 230 x 165. 4 louvres @ 180mm x 6mm. = 4320mm² Vent Spacing 720mm along wall</p>
<p>"Pryda" Metal Vent 395 x 190. 253 holes @ 11mm x 11mm. = 30613mm² Vent Spacing 5102mm along wall</p>	<p>Cement (Terracotta Look Alike) 200 x 200. 16 holes @ 20mm x 20mm. = 6400mm² Vent Spacing 1066mm along wall</p>
<p>Cement (Terracotta Look-Alike) 230 x 75. 14 holes @ 14mm x 14mm. = 2744mm² Vent Spacing 457mm along wall</p>	<p>Cement (Terracotta Look-Alike) 230 x 165. 15 holes @ 18mm x 18mm. = 4860mm² Vent Spacing 810mm along wall</p>
<p>Bricks on Edge 1 Brick High. 5 perps @ 86mm x 11mm. = 4730mm² Vent Spacing 788mm along wall</p>	<p>Bricks on Edge 2 Bricks High. 5 perps @ 172mm x 11mm. = 9460mm² Vent Spacing 1576mm along wall</p>

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ABN 71 048 418 121
acc. # CC886J

No.	Date	Description
6	21.11.24	Shed Amendments
5	22.04.24	Building Approval
4	05.10.23	PRELIM Building App
3	26.04.22	Planning Approval
2	14.02.22	Concept # 2
1	20.01.22	Concept # 1

Shed Amendments A3

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Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Drawing Title :
Cladding Details

Client :
M & F Nicolson

Scale : 1 : 100

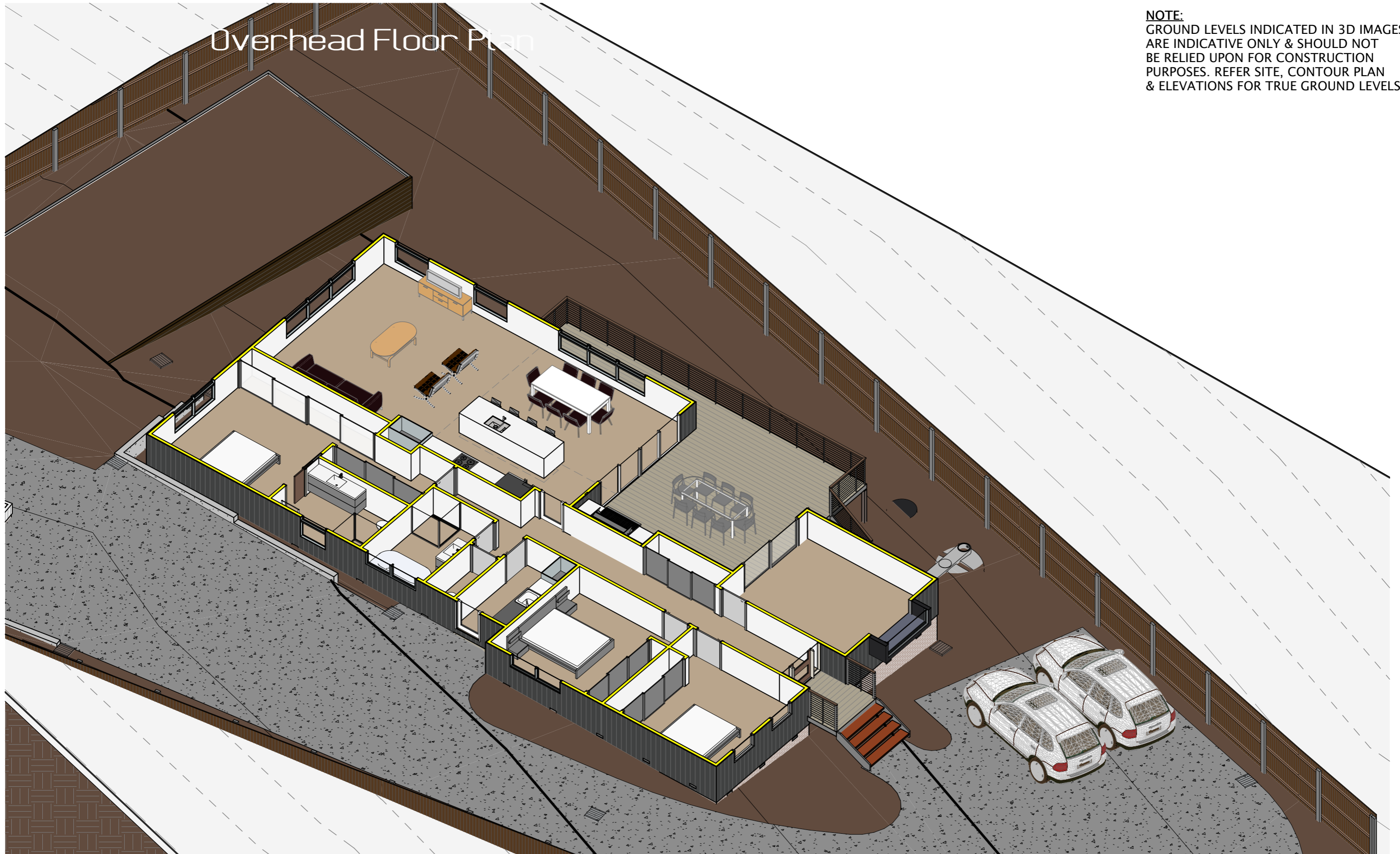
Starting Date : 18.01.22

Plot Date : 25/11/2024
11:26:26 AM

Project No. 010122
Drawing No. 17 /25

Overhead Floor Plan

NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES ARE INDICATIVE ONLY & SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. REFER SITE, CONTOUR PLAN & ELEVATIONS FOR TRUE GROUND LEVELS.



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Shed Amendments A3



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Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Drawing Title :
3D Floor Plan

Client :
M & F Nicolson

Scale :
Starting Date : 18.01.22
Plot Date : 25/11/2024
11:26:30 AM

Project No. Drawing No.
010122 18 /25



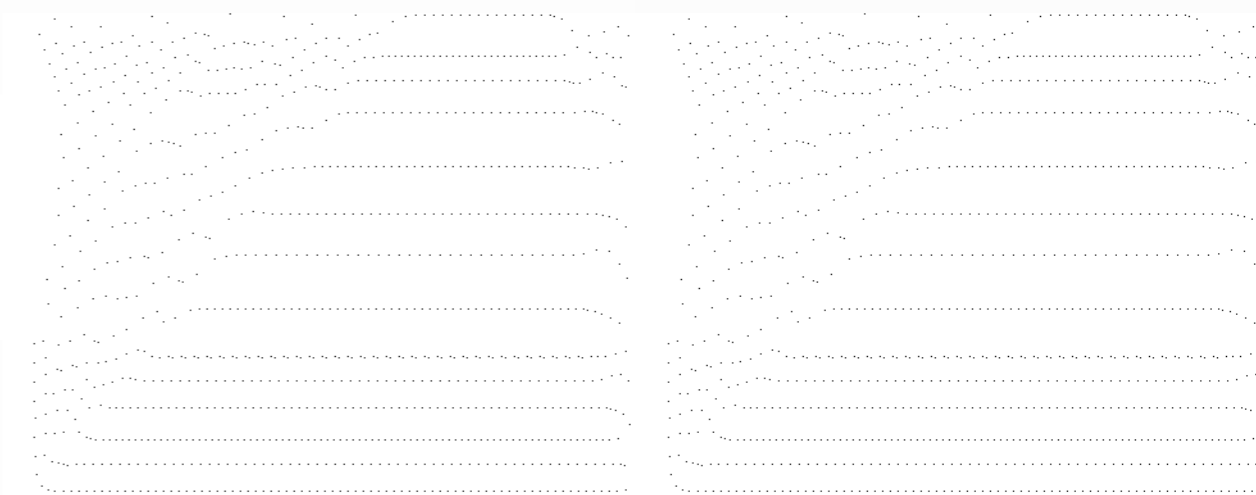
3D View 3




View 2



3D View 1



NOTE:
GROUND LEVELS INDICATED IN 3D IMAGES ARE INDICATIVE ONLY & SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. REFER SITE, CONTOUR PLAN & ELEVATIONS FOR TRUE GROUND LEVELS.

 <p>170 Abbott Street Launceston, Newstead, TAS 7250. M : 0411 294 351 E : leigh@abd.com.au www.adamsbuildingdesign.com.au ABN 71 048 418 121 acc. # CC886J</p>	<p>6 21.11.24 Shed Amendments 5 22.04.24 Building Approval 4 05.10.23 PRELIM Building App 3 26.04.22 Planning Approval 2 14.02.22 Concept # 2 1 20.01.22 Concept # 1</p>	<p>Shed Amendments A3</p> <p>© 2023 ADAMS BUILDING DESIGN. THIS DOCUMENT IS & SHALL REMAIN THE PROPERTY OF ADAMS BUILDING DESIGN. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IN ANY FORM IS PROHIBITED.</p>	<p>Project : Proposed Residence at 4 Sheoak Court, Coles Bay, TAS 7215</p>	<p>Drawing Title : 3D Views</p>	<p>Scale : Starting Date : 18.01.22 Plot Date : 25/11/2024 11:26:34 AM</p>
	<p>No. Date Description</p>	<p>Client : M & F Nicolson</p>	<p>Project No. 010122 Drawing No. 19 /25</p>		

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

TIMBER FLOORING NOTES







1. Only install flooring in a fully weatherproof building.
2. Ensure under floor ventilation is to BCA requirements
3. Leave 10mm expansion gaps at walls & intermediate gaps in floors over 6m wide.
4. Punch nails 3mm min below surface.
5. When a new concrete substrate is used sealing the slab or applying a waterproof membrane will be required to ensure moisture content will not affect timber.
7. Large windows, heaters & other heat sources can cause localised movement of timber. This needs to be recognised & accomodated.
8. Flooring should be allowed to equilibrate in its in-service environment prior to installation. The usual building practice is to cut the boards to the required length, turn them upside down and place them on the joists for not less than two weeks under the planned service conditions

THESE NOTES ARE A GENERAL GUIDE ONLY. REFER TIMBER.ORG.AU DESIGN & CONSTRUCTION WEBSITE & OBTAIN TIMBER FLOORING MANUAL FOR FURTHER INFORMATION. (www.timber.org.au)

WET AREAS

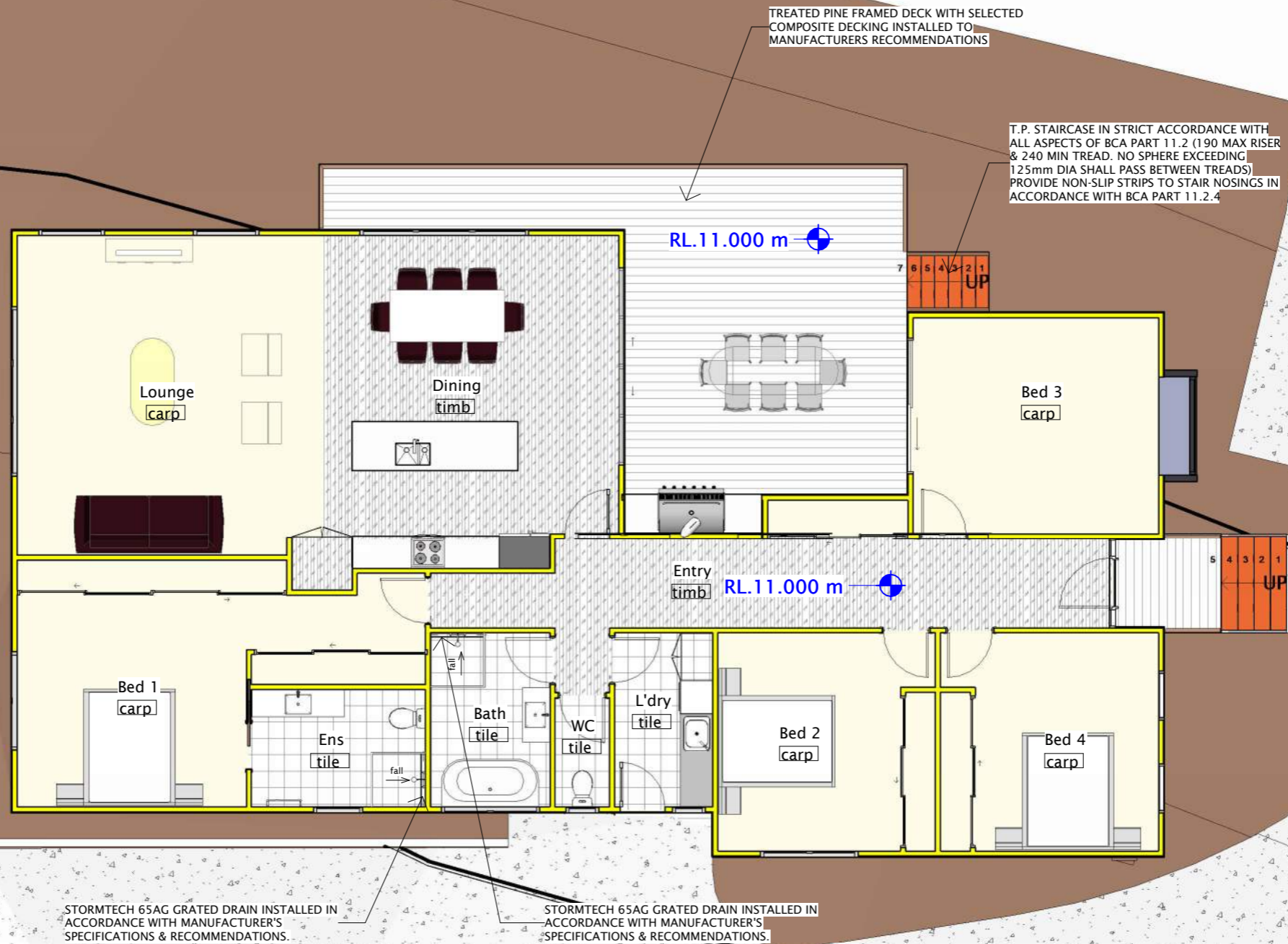
- * wet area waterproofing to be in accordance with AS3740 and BCA part 3.8
- * floor surface in bathrooms and laundry shall be impervious with junctions between walls and floor to be flashed to prevent moisture penetration of walls.
- *waterproofing of surfaces adjacent to open shower including shower over bath. to extend 1.5 from a vertical line projected from shower rose, to a height 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 1500 above fixture.
- *wall tiles or similar used as a splasback minimum of 150mm high at vanity and bath.
- *minimum ceiling heights to be in accordance with BCA part 3.8.2.

Floor Finishes

-  carp - SELECTED CARPET
-  conc - FINISHED CONCRETE
-  decking - SELECTED DECKING
-  pave - SELECTED PAVING
-  tile - SELECTED INTERNAL TILES
-  timb - SELECTED TIMBER OVERLAY

Floor Coverings Plan

1 : 100

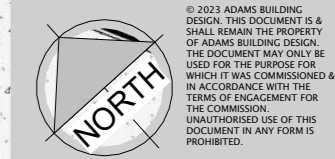


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No. Date Description



Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Client :
M & F Nicolson

Drawing Title :
Floor Coverings Plan

Scale : 1 : 100

Starting Date : 18.01.22

Plot Date : 25/11/2024
11:26:35 AM

Project No. Drawing No.
010122 20 /25

ELECTRICAL NOTES

* Electrical installation shall be to: s.a.a. 3000 wiring rules & h.e.c. approval.

* Allow to hard wire hot plates, wall oven, hwc, heaters, dishwasher, spa bath & rangehood

* Light switches at 1150mm above F.F.L.

* Wall mounted lights at 2000mm above F.F.L.

* G.P.O.'s generally at 300mm above F.F.L. except:
- kitchen bench, laundry bench vantages @ 1000mm above F.L.
- washing machine & dishwasher @ 600mm above F.L. inside cabinet.
- refrigerator at 1500mm above F.F.L.

* Confirm location of Heat Pump/s with owner & contractor & ensure power supply is provided.

* NCC Volume 2. Residential Part 13.7.6 Artificial lighting
The lamp power density of artificial lighting must not exceed:

- 5 watts/m2 for internal areas
- 4 watts/m2 for exterior areas such as a verandah or balcony
- 3 watts/m2 for garages

* Dimmer switches to be installed on lights in living and dining areas.

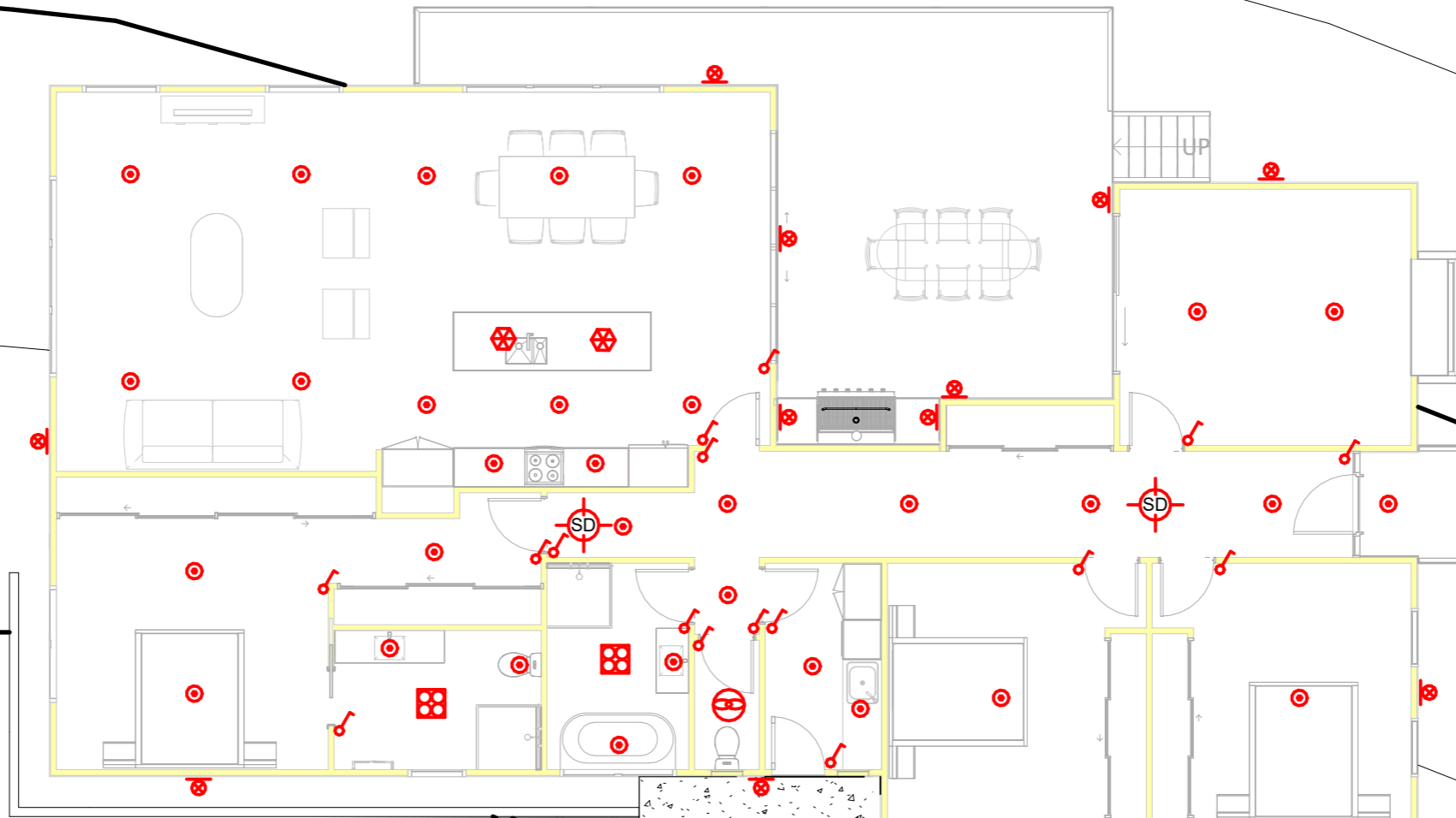
* External lights must be controlled by a daylight sensor (as shown), or have an average light source efficacy of not less than 40 lumens/W.

* All bathroom fans to be fitted with backdraught dampers / shutters.

* See attached Lighting Calculator for Energy Efficiency compliance.

Adjustment of minimum R-Value for loss of ceiling insulation (NCC Part 13.2.2):

Refer to Energy Efficiency Notes for Details.



ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	ONE WAY LIGHT SWITCH
	MULTIPLE SWITCH
	12W (IC RATED) LED DOWNLIGHT
	WALL LIGHT
	BATTEN LIGHT
	RECESSED METER BOX
	FEATURE PENDANT LIGHT
	DOUBLE FLOURESCENT LIGHT
	MOTION SENSOR
	PHONE OUTLET
	DATA OUTLET
	TV OUTLET
	HARDWIRED SMOKE DETECTOR
	EXTERNAL FLOODLIGHT
	EXTERNAL GPO
	DOUBLE GPO
	DOUBLE GPO (ABOVE BENCH)
	HARD WIRED FIXTURE
	QUAD GPO
	IXL TASTIC
	MECHANICAL VENTILATION

Reflected Ceiling Plan

1:100



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Shed Amendments A3



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Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Drawing Title :
Reflected Ceiling Plan

Client :
M & F Nicolson

Scale : 1 : 100
Starting Date : 18.01.22
Plot Date : 25/11/2024
11:26:35 AM

Project No. 010122
Drawing No. 21 /25

No. Date Description

Energy Efficiency (Refer NCC Vol2, Part 13)

Sarking
Vapour permeable wall wrap installed as per manufacturer's instructions. (Will be specific for different buildings).
Vapour permeable roof sarking installed as per manufacturer's instructions. (Will be specific for different buildings).

Condensation
The builder should be familiar with the ABCB Condensation in Buildings Handbook 2022 (download from www.abcb.gov.au), and Condensation in Buildings Tasmanian Designers' Guide (by Building Standards and Occupational Licensing) prior to commencing residential building projects.

Insulation requirements (Climate Zone 7)

External walls:	R2.8 required
BCA value for clad frame or brick veneer	R0.48
Vapour permeable Sarking	R0.00
R2.5 Wall batts	R2.5
TOTAL: Acheived	R2.98

Roof & Ceiling	R4.6 Required
BCA value for pitched roof & flat ceiling	R0.21
Vapour permeable Sarking	R0.0
R5.0 batts on top of ceiling	R5.0

Adjustment of minimum R-Value for loss of ceiling insulation (BCA 13.2):
-of ceiling area uninsulated due to light fittings and fans (see BCA table 13.2.2) No adjustment of ceiling insulation is required (all recessed downlights shall be IC, ie. INSULATION CONTACT)
**TOTAL :
Acheived** **R5.21**

Floors:	R2.7 Required
BCA value for Enclosed timber floor	R0.65
R2.5 Bulk insulation Batt's or similar for enclosed floor	R2.5
TOTAL:	R3.15 Acheived

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

Energy Efficiency (Refer NCC Vol2, Part 13)

General Notes
A seal to restrict air infiltration must be fitted to each edge of an external door & openable window (including internal garage door). (A window complying with the maximum air infiltration rates specified in AS 2047 need not comply with the above).
-A seal for the bottom edge of an external swing door (including internal garage door) must be a draft protection device (Raven or equivalent). Other edges of an external swing door or the edges of an openable window may be a foam or rubber compressible strip, fibrous seal or the like.
-Roof, external walls, external floors and openings such as door and window frames must be constructed to minimise air leakage, ie:
- Enclosed by internal lining systems that are close fitting at the ceiling, wall and floor junctions; OR
- Sealed by caulking, skirting, architraves, cornices or the like.
The 6 star provisions allow up to 1% of the ceiling insulation area to be lost to penetrations such as ceiling fans and recessed downlights. If this is exceeded, the remainder of the insulation must be increased by 25% or more depending on actual percentage of penetrations.
-Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage.
-External windows & doors to habitable rooms or conditioned spaces to be fitted with air seal to restrict air infiltration.
-Exhaust fans to habitable rooms/ conditioned spaces to be fitted with self closing damper or filter.
Building envelope to be constructed to minimise air leakage.
-Chimneys or flues to be fitted with sealing damper or flap. Ventilation shall be in accordance with NCC part 13.5
Services shall be in accordance with NCC part 13.7
-Hot water supply system designed and installed in accordance with AS3500.

GLAZING NOTES

Refer to Elevations & floor plans or window positions and styles.
Flyscreens to be fitted to all openable windows and doors.

SHOWER SCREENS
2000H Semi-frameless shower screens to comply with NCC Part 8.4.6. & AS1288. Minimum 4mm thick Grade A toughened safety glass, labelled to comply with industry standards.

OPAQUE BANDS
Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible as follows:

- Marking in the form of an opaque band not less than 20mm in height;
 - The upper edge is not less than 700mm above the floor;
 - The lower edge is not more than 1200mm above the floor.
- Flashings to wall openings
All openings must be adequately flashed using materials that comply with AS/NZS 2904.
PART 10.5 LIGHT Minimum 10% of the floor area of a habitable room required (natural light).
PART 10.6 VENTILATION Minimum 5% of the floor area of a habitable room required....

WINDOW & DOOR MANUFACTURER TO CROSS CHECK ALL WINDOW & DOOR DETAILS WITH FLOOR PLANS, WINDOW SCHEDULES & ELEVATIONS. PLEASE NOTIFY DESIGNER OF ANY DISCREPANCIES.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288.



Shed Amendments A3

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Project :
**Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215**

Client :
M & F Nicolson

Drawing Title :
Energy Efficiency Notes

Scale :

Starting Date : **18.01.22**

Plot Date : **25/11/2024
11:26:36 AM**

Project No. **010122** Drawing No. **22 /25**

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

New Window Schedule

Mark	Level	Head	Type	Height	Width	Description
1	F.L.	2100	A18-12	1800	1200	P-coated Alum. Awning Window
2	F.L.	2100	A18-12	1800	1200	P-coated Alum. Awning Window
3	F.L.	2100	A18-31	1800	3100	P-coated Alum. Awning Window
4	F.L.	2095	F16-18	1600	1800	P-coated Alum. Fixed Window
5	F.L.	2100	A15-09	1500	900	P-coated Alum. Awning Window
6	F.L.	2100	A15-09	1500	900	P-coated Alum. Awning Window
7	F.L.	2100	A15-18	1500	1800	P-coated Alum. Awning Window
8	F.L.	2100	A09-06	900	600	P-coated Alum. Awning Window
9	F.L.	2100	A09-06	900	600	P-coated Alum. Awning Window
10	F.L.	2100	A15-18	1500	1800	P-coated Alum. Awning Window
11	F.L.	2100	A18-09	1800	900	P-coated Alum. Awning Window
12	F.L.	2100	A18-18	1800	1800	P-coated Alum. Awning Window
13	F.L.	2100	A18-31	1800	3100	P-coated Alum. Awning Window
14	Upper F.L.	1102	A05-18	500	1800	P-coated Alum. Awning Window
15	Upper F.L.	1102	A05-18	500	1800	P-coated Alum. Awning Window
16	Upper F.L.	1102	A05-18	500	1800	P-coated Alum. Awning Window

New Door Schedule

Mark	Level	Head	Type	Height	Width	Description
1	F.L.	2100	920+SLs	2100	920	Selected Front Door with sidelights & Deadlock
2	F.L.	2100	820GL	2100	820	GLAZED POWDERCOATED ALUMINIUM DOOR
3	F.L.	2100	SD21-36	2145	3600	P'coated alum. sliding doors with recessed bottom track
4	F.L.	2100	SD21-24	2145	2400	P'coated alum. sliding doors with recessed bottom track
5	F.L.	2040	820	2040	820	Hinged internal door
6	F.L.	2400	r2427	2400	2700	Robe Doors Sliding
7	F.L.	2400	r2427	2400	2700	Robe Doors Sliding
8	F.L.	2040	820	2040	820	Hinged internal door
9	F.L.	2040	820	2040	820	Hinged internal door
10	F.L.	2400	r2425	2400	2500	Robe Doors Sliding
11	F.L.	2040	820	2040	820	Hinged internal door
12	F.L.	2040	820	2040	820	Hinged internal door
13	F.L.	2040	820	2040	820	Hinged internal door
14	F.L.	2100	820GLint	2100	820	glazed hinged internal door
15	F.L.	2040	820	2040	820	Hinged internal door
16	F.L.	2400	r2431	2400	3100	Robe Doors Sliding
17	F.L.	2040	820csd	2040	820	cavity sliding door
18	F.L.	2400	r2424	2400	2400	Robe Doors Sliding
19	F.L.	2400	r2424	2400	2400	Robe Doors Sliding
20	F.L.	4400	RD37-27	3700	2700	Colorbond steel Roller Door with Remote
21	F.L.	2840	820	2040	820	External Grade Hinged Door with Deadlock

Grand total: 21

ALUMINIUM DOUBLE GLAZING:

U-values for above glazing were obtained from Glass Supplies WERS AFRC Tables - 2014








U-Value of 4.3 & SHGC 0.56 can be obtained using Series 516 Aluminium Awning Windows with 4/10/4 Double Glazing.

U-Value of 6.6 & SHGC 0.37 can be obtained using Series 516 Aluminium Awning Windows with 5mm obscure Glazing (bathrooms).

U-Value of 4.0 & SHGC 0.65 can be obtained using Series 541/542 Aluminium Sliding Doors with 4/10/4 Double Glazing

If a different Glazing system or manufacturer is used, builder must ensure that the minimum U-values are obtained. Notify Adams Building Design if unsure.

Project Details

Council		Glamorgan Spring Bay Council
Zone		10.0 Low Density Residential
Planning Overlay		N/A
PID		2602566
Title Folio		25
Title Volume		143490
Climate Zone		7
WIND SPEED		N2
SOIL CLASS		CLASS H2 (AS2870)
STAR RATING		7 Stars
BAL Rating		n/a
Corrosive Environment		N/A



Shed Amendments A3

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Project :
**Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215**

Client :
M & F Nicolson

Drawing Title :
Window & Door Schedules

Scale : **1 : 100**

Starting Date : **18.01.22**

Plot Date : **25/11/2024
11:26:36 AM**

Project No. **010122** Drawing No. **23 /25**

GENERAL NOTES

* This drawing is to be read in conjunction with engineer's drawings

* Check all levels, datums & dimensions on site before commencing any work or shop drawings - **notify of any discrepancies prior to commencing work.**

* Ensure drawings are stamped "approved" by local authority.

* Ensure that any conditions of approval issued at the time of council approval have been passed on to the builder.

* Drainage shall be to council approval.

* Materials & workmanship shall conform with current relevant s.a.a. codes, building regulations, local authority bylaws, standard m.b.a. of tasmania specifications & manufacturers' written instructions.

* all work to generally comply with the practices set out in 'the guide to standards & tolerances 2017'

* Written dimensions to take precedence over scaled.

* Electrical installation shall be to: s.a.a. 3000 wiring rules & h.e.c. approval.

* All footings shall comply with AS 2870.1 s.a.a. footings code. min. concrete strength 25mpa.

* All site preparation in accordance with NCC Vol 2 Part 3.2

TASWATER NOTES:

All works are to be in accordance with the Water Supply Code of Australia WSA 03 -2011-3.1
Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 / WSA 02 -2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes

SITE SERVICES

Electricity, Gas, Telephone, Water, Stormwater & Sewer Services locations are to be determined on site & connected as per local authority requirements.

STEELWORK

*generally in accordance with AS4100 - steel structures and AS1544 - welding in building.
*steelwork to be coated with anti - oxidising paint prior to erection.
*all steel in exposed conditions to be galvanised or proprietary galvanised product.
*any structural steel framing in accordance with BCA part H1D6, AS1250, AS4100, manufacturers specifications and structural engineers design and specifications.

SITWORKS

1. Site to be prepared in accordance with engineers or surveyors report if applicable.
2. Site to be excavated or filled to indicated levels.
3. Excavation and filling of the site to be in accordance with NCC Vol 2, H1D3 & Part 3.2 and AS2870.
4. Drainage works to be in accordance with NCC Vol 2, H2D2, Part 3.3 and AS3500.3.2
5. Surface drainage —finished ground to fall away from building for a minimum distance of 1000 at 1:20 minimum and to a point where ponding will not occur.
6. Downpipes to be connected into Council stormwater as soon as the roof is installed.
7. Install AG drain prior to footing excavation. See Drainage Plan for location.
8. Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.
9. Construction vehicles to be parked on the street only, to prevent transferring debris onto the Street.
10. Finished slab level to be:
-150mm above finished ground level.
-50mm above paved surfaces.
-prevent ponding of water under suspended floors.

PLUMBING NOTES

1. All plumbing work to comply with AS 3500 parts 1,2,3 & 4, and the Local Council plumbing regulations.
2. Hot water from the HWC is to be tempered to 50°C.
3. Hot & cold reticulation lines to be DN20 with DN15 branches to individual fixtures.
4. Drain all surface water away from footings.
5. The building Contractor must locate the connection points to the mains to verify that their positions & depths are as shown on the endorsed plans. Such verification must be completed as the first task of the building works.
6. Installation of ORG is to comply with AS3500 part 2 clauses 4.6.6.6 (minimum height below lowest fixture = 150mm) & 4.6.6.7 (Minimum height above surrounding ground finished surface level = 75mm)
7. New Sewer = DN100 pvc @ 1:60 falls min.
8. New Stormwater = DN100 pvc @ 1:100 falls min.(UNLESS NOTED OTHERWISE)
9. Grated drains to be installed via a gas sealed pit.
10. STANDARD DRAIN SIZES
TROUGH: DN50
SINK: DN50
WC: DN100
STORMWATER: DN100
12. WATER PIPE SIZES
COLD WATER: DN 20 WITH DN16 BRANCHES
HOT WATER: DN 20 WITH DN 16 BRANCHES
13. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES AT THE FOLLOWING TEMPERATURES:
BATH BASIN & SHOWER: 50deg C
KITCHEN SINK & LAUNDRY: 60deg C
14. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03 -2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02—2014-3.1 MRWA VERSION AND TASWATER'S SUPPLEMENTS TO THESE CODES.

FASCIA, GUTTERS & D'PIPES

*colorbond metal fascia, guttering, flashings and ridge capping installed in accordance with manufacturers specifications.
*gutters and downpipes in accordance with NCC Vol 2 Part 7.4 & AS3500.3.2 & the tasmanian plumbing code.
*downpipes to be 90mm dia. or 100x50 rectangular section at 12000 crs max and to be within 1000 of internal/ valley gutter
*lap guttering 75mm in direction of flow, rivet & seal with an approved silicone sealant.
*valley gutters to be 145 wide colorbond steel to match roof, taken 50mm under roof cladding and turn up on both sides and lapped 50mm in direction of flow.
*all box gutters are to be installed and have minimum falls of 1:100 as per NCC Vol 2 Part 7.4 and have minimum cross sectional dimensions as per NCC Vol 2 Part 7.4

FIRE SAFETY

*shall be in accordance with NCC Vol 2 Part 9
*fire separation shall be in accordance with NCC Vol 2 Part 9.2 external walls and gable ends constructed within 900mm of boundary are to extend to underside of non-combustible roofing/eaves and are to be constructed of a masonry skin 90mm thick minimum and with an FRL of 60/ 60/60.
*sarking to have a flammability index less than 5.
*roof lights not to be placed closer than 900 from the boundary.
*smoke alarm installation to be in accordance with NCC Vol 2 Part 9.5 and AS1670 (locations shown on floor plan.)
*installation locations:
- ceilings - 300 away from wall junction.
- cathedral ceiling - 500 down from apex.
- walls - 300 down from ceiling junction
*heating appliances generally to be in accordance with NCC Vol 2 Part 12.4 and AS2918 'domestic solid fuel burning appliance installations'.

PLUMBING NOTES

REACTIVE SITES - where they penetrate through external footings, stormwater, sewer, Drain waste, & vent pipes are to be lagged & flexible connections are to be provided adjacent to the footings prior to connection to the drainage to comply with AS2870-1996 Section 5.5. Additional requirements for class H & E sites.

FOOTINGS & SLABS

*generally in accordance with AS2870.
*preparation for placement of concrete and reinforcement in accordance with AS2870
*concrete & steel reinforcement in accordance with AS2870
*site classification in accordance with AS2870.
*footings & slabs in accordance with structural engineers designs and specifications.
*all concrete preparation including excavations & placement of reinforcement is to be inspected and approved by building inspector and - or engineer.
*damp proof course to extend 150mm above ground level.
*inspection is required prior to pouring of any concrete.
*refer to soil report for classification to AS2870.
*generally in accordance with NCC Vol 2 Part 4.2

ROOF & WALL CLADDING

1. Generally in accordance with NCC Vol 2 Part 7.5 any external timber treated pine and western cedar cladding to be fixed in accordance with manufacturers specifications.
2. Weatherboards and exterior trim to be primed prior to fixing.
3. Vapour permeable sarking to be provided between external wall cladding and framing.
4. Roof cladding to be in accordance with NCC Vol 2 Part 7.2
5. Colorbond custom orb roof sheeting crest fixed at side laps with 3 fixings for internal spans and 5 for end spans.
6. Roof tiles AS2049 & AS2050
7. Metal sheet roofing AS1562.1
8. Plastic sheet roofing AS4256 & AS1562.3.
9. Wall cladding in accordance with NCC Vol 2 Part 7.5, H1D7 & H2D6 & manufacturers specifications.
10. Flashings to NCC Vol 2 Part 7.2.7
11. Colorbond custom orb roof cladding on 70x35 battens at 900 crs. max. and concrete roof tiles on 50x30 battens at 330 crs max. both installed strictly in accordance with manufacturers specifications.
12. Roof lintels sizes to be confirmed by manufacturer taking into account point loads from girder trusses. Refer engineer for tie-down & bracing details

ROOF FRAMING NOTES

All timber truss design, certification & installation details, including roof bracing & tie-down details to be provided to council by truss manufacturer.

Roof trusses are to be designed in accordance with ABCB protocol for structural design software, relevant Australian standards.

Roof lintel sizes to be confirmed by manufacturer taking into account point loads from girder trusses etc.

Refer AS1684.2 & Structural Drawings for more information.

Tile Roof
NCC Vol 2 Part 7.3 & AS2049 & AS2050
75 x 38 battens fixing at 330 crs
Colorbond Custom orb
NCC Vol 2 Part H1D7 & H2D6 & AS1397
cladding on 75 x 35 battens at 900 crs.

TIMBER FRAMING

*hardwood minimum stress grade F17, S3 strength group J2 joint group.
*softwood minimum stress grade MPG10, SD6 strength group, JD4 joint group.
*all timber framing to comply with AS1684.2-2010, current BCA, any engineers details, material suppliers specifications and local council requirements.
*all nuts and bolts to be provided with washer, bolt holes to be 2mm oversized in unseasoned timber, all external bolts, nuts and washers to be galvanised.
*timber studs:
90x35 MGP10 structural pine or 90x35 F17 HW at 450 crs.
*top and bottom plates & noggins:
90x35 MGP10 structural pine or 90x35 F17 HW
*bracing of timber construction to be in accordance with section 8 of AS1684.2-2010, these plans and any engineers drawings and specifications.
*construction bracing (excluding nominal) to be fitted prior to roof installation.
*tiedown of timber trame to be in accordance with section 9 of AS1684.2-2010, AS4055 and engineers drawings and specifications.
*manufactured timber members to be in accordance with framing manual.
*roof trusses at 900cm. designed, installed and braced in accordance with manufacturers specifications.

ELECTRICAL NOTES

* Electrical installation shall be to: s.a.a. 3000 wiring rules & h.e.c. approval.

* Allow to hard wire hot plates, wall oven, hwc, heaters, dishwasher, spa bath & rangehood

* Light switches at 1150mm above F.F.L.

* Wall mounted lights at 2000mm above F.F.L.

*G.P.O.'s generally at 300mm above F.F.L. except:
- kitchen bench, laundry bench vanties @ 1000mm above F.L.
- washing machine & dishwasher @ 600mm above F.L. inside cabinet.
- refridgerator at 1500mm above F.F.L.

* Confirm location of Heat Pump/s with owner & contractor & ensure power supply is provided.

* NCC Volume 2. Residential Part 13.7.6 Artificial lighting
The lamp power density of artificial lighting must not exceed:

- 5 watts/m2 for internal areas
- 4 watts/m2 for exterior areas such as a verandah or balcony
- 3 watts/m2 for garages

* Dimmer switches to be installed on lights in living and dining areas.
* External lights must be controlled by a daylight sensor (as shown), or have an average light source efficacy of not less than 40 lumens/W.
* All bathroom fans to be fitted with backdraught dampers / shutters.
* See attached Lighting Calculator for Energy Efficiency compliance.

Adjustment of minimum R-Value for loss of ceiling insulation (NCC Part 13.2.2):

Refer to Energy Efficiency Notes for Details.

WORK HEALTH & SAFETY

The main contractor & all subcontractors shall comply with the State Work Health & Safety Act regulations & all relevant codes of practice.

WET AREAS

* wet area waterproofing to be in accordance with AS3740 and NCC Vol 2 Part 10.2
* floor surface in bathrooms and laundry shall be impervious with junctions between walls and floor to be flashed to prevent moisture penetration of walls.
*waterproofing of surfaces adjacent to open shower, including shower over bath. to extend 1.5 from a vertical line projected from shower rose, to a height 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height of 1500 above fixture.
*wall tiles or similar used as a splasback minimum of 150mm high at vanity and bath.
*minimum ceiling heights to be in accordance with NCC Vol. 2 Part 10.3

FACILITIES

*Shall be in accordance with NCC Vol 2 Part 10.4
*Required facilities shall be in accordance with NCC Vol 2 Part 10.4.1
*sanitary compartment to have a minimum 1200mm between the closet pan and the nearest part of the door. If not, lift-off hinges are to be fitted to swing doors in accordance with NCC Vol 2 Part 10.4.2
*provision of natural light to be in accordance with NCC Vol 2 Part 10.5.1
* windows/rooflights to provide light transmission area equal to 10% of floor area of room.
*ventilation to be in accordance with NCC Vol 2 Part 10.6 or AS1668.2 for mechanical ventilation. Exhaust fan for bathroom or wc to be vented to outside for steel roof and to roof space for tile roof.



Shed Amendments A3

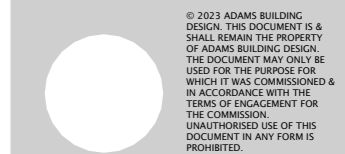
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6	21.11.24	Shed Amendments
5	22.04.24	Building Approval
4	05.10.23	PRELIM Building App
3	26.04.22	Planning Approval
2	14.02.22	Concept # 2
1	20.01.22	Concept # 1

No.	Date	Description
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Project :

**Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215**

Client :

M & F Nicolson

Drawing Title :

Notes 1

Scale : **1 : 100**

Starting Date : **18.01.22**

Plot Date : **25/11/2024
11:26:37 AM**

Project No.

010122

Drawing No.

24 /25

NOTES:
-REFER TO LAST PAGES IN THE ARCHITECTURAL DRAWING SET FOR GENERAL NOTES.

JOINERY NOTES

- * On site measurements are to be taken prior to set out of any joinery.
- * Sizes of all appliances to be built in are to be provided to joiner prior to setout of any joinery.
- * Builder shall provide white melamine shelving to robes & linen cup'd @ 350mm crs. allow for hanging space in robes & coats to owner's directions.
- *10mm plasterboard to walls and ceiling generally.
- *ceiling plasterboard fitted to metal furring channel at 450 crs.
- *villaboard to wet areas to manufacturers specs. and to comply with NCC Vol 2 Part 10.2
- *all doors, windows, architraves, skirting wall and floor surfaces and all fillings and fixtures as specified by owner.

SUB-FLOOR VENTILATION

- *the sub-floor space between a suspended floor of a building & the ground must be in accordance with NCC Vol 2 Part 6.2
- The sub floor must:
 - be cleared of all building debris & vegetation
 - be cross ventilated by means of openings
 - contain no dead air spaces
 - be graded in accordance with NCC Vol 2 Part 6.2
 - have evenly spaced ventilation openings.
- * Sub-floor ventilation & clearance must comply with NCC Vol 2 Part 6.2 where clearance between the ground surface and the underside of the lowest framing member must be not less than 150mm
- * Vents must be installed not more than 600mm from each corner & evenly spaced between, to obtain a minimum ventilation rate of 6000mm² per lineal metre length of wall.
- * Internal walls must maintain free air flow from outside, to avoid dead air spaces, ensuring that the internal opening adjacent to the external vent be left open.

STAIRS & BALUSTRADES

- *stairs and balustrades shall comply with NCC Vol 2 Part 11.2 and in accordance with AS1170.1,
- *selected balustrade in accordance with NCC Vol 2 Part 11.3
- *all new handrails to be 1000mm high min.
- *balustrading shall not allow a 125mm sphere to pass through openings.
- *stair handrail 865mm above nosing.
- *landings must not be less than 750mm long.
- *where railing is more than 4000mm above surface under, rails shall not have horizontal members that facilitate climbing.
- *Stairs shall generally have a tread not less than 240mm & a riser more than 190mm. A 125mm dia sphere shall not pass between the treads.
- * there must be 2000mm min head clearance from stair nosing to opening above.
- * provide non slip strips to stairnosings in accordance with NCC Vol 2 Part 11.2.4

TIMBER FLOORING NOTES

1. Only install flooring in a fully weatherproof building.
2. Ensure under floor ventilation is to BCA requirements.
3. Leave 10mm expansion gaps at walls & intermediate gaps in floors over 6m wide.
4. Punch nails 3mm min below surface.
5. When a new concrete substrate is used sealing the slab or applying a waterproof membrane will be required to ensure moisture content will not affect timber.
7. Large windows, heaters & other heat sources can cause localised movement of timber. This needs to be recognised & accomodated.
8. Flooring should be allowed to equilibrate in its in-service environment prior to installation. The usual building practice is to cut the boards to the required length, turn them upside down and place them on the joists for not less than two weeks under the planned service conditions.

THESE NOTES ARE A GENERAL GUIDE ONLY. REFER TIMBER.ORG.AU DESIGN & CONSTRUCTION WEBSITE & OBTAIN TIMBER FLOORING MANUAL FOR FURTHER INFORMATION. (www.timber.org.au)

LANDSCAPING NOTE

- * Green shading generally indicates lawn.
- * Light grey shading generally indicates concrete.
- * Cross hatching generally indicates selected pavers.
- * Dark brown shading indicates 100mm selected garden bed mulch. (20mm pebbles or hammermill pine bark)
- * Provide treated pine edging to assist mulch retention unless adjacent to building, paving, retaining walls, fences or concrete.
- * Developer to provide boundary fences at 1800mm high min. (paling or colorbond steel)

UNENCLOSED SHOWER AREAS

Unenclosed Shower Areas are to be waterproofed in accordance with NCC Vol 2 Part 10.2 & AS 3740

Waterproofing of wet areas within residential buildings,

- Where the shower screen is less than 1500mm from the wall/ ceiling connection point of the shower rose, the floor area outside the unenclosed shower area is to have fall to a floor waste
- Unenclosed showers are to have a water stop installed with the vertical leg finishing flush with the finished surface of the floor, having junctions waterproofed, in two scenarios:
 - Water Stops are to be installed under the shower screen to be a minimum of 1500mm from the wall/ ceiling connection point of the shower rose.
 - Falls in shower floors shall be sufficient to prevent—
 - (a) surface water from being retained on the shower floor (except for residual water remaining due to surface tension); and
 - (b) water from discharging outside the shower area.

For the shower areas with a vertical separation between the shower area and the wet area, such as a shower screen, the fall to the shower waste shall be a minimum of 1:60 to 1:80.

For area outside the shower area the falls to the bathroom floor waste shall be a minimum of 1:100

Figure 1: Silt fence installation (source: EPA Victoria 2004, Publication 960 p.30)

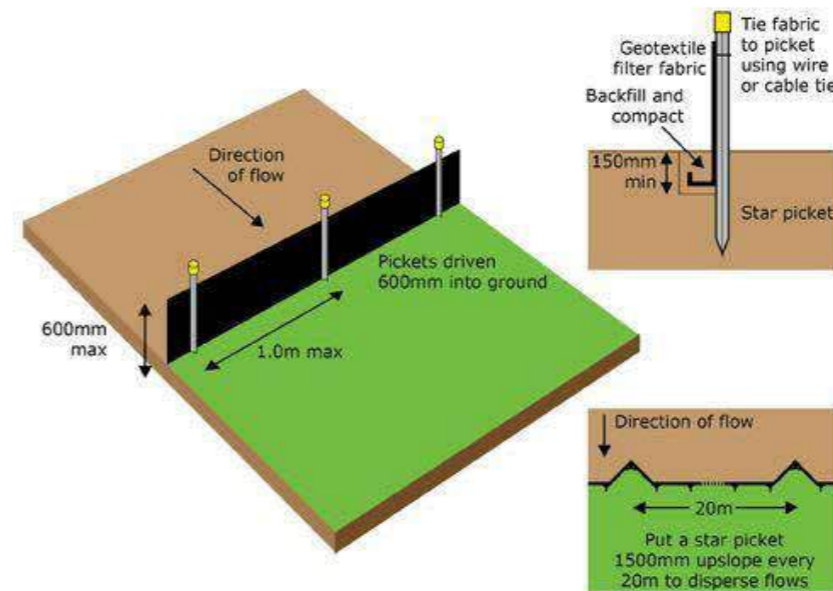
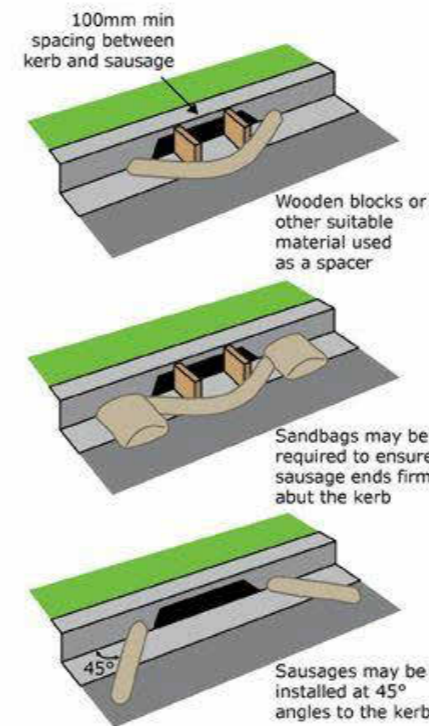


Figure 9: RockLog installation (source: EPA Victoria 2004, Publication 960 p.50)



SEDIMENT CONTROL NOTES

- REFER TO EPA (ENVIRONMENT PROTECTION AUTHORITY TASMANIA) WEBSITE FOR FURTHER DETAIL IF UNSURE. (epa.tas.gov.au)
- * Minimise the amount of mud, dirt, sand, soil or stones deposited on the abutting roads or washed into the stormwater system.
 - * Prevent building clean up, wash down or other wastes from being discharged off site or allowed to enter the stormwater system.
 - * Provide defined limited access to the site for vehicular traffic to allow protective measures to be in place to prevent mud and soil from being tracked off site on to the road.
 - * Provide defined storage area on site for the recieval of building materials. The storage of materials must be contained to prevent sediment from washing on to the road and entering into the stormwater system.
 - * Provide suitable means of containing rubbish and waste materials so as not to cause nuisance until properly removed from site.
 - * Downpipes to be connected into Council stormwater as soon as the roof is installed.
 - * Install AG drain prior to footing excavation. See Drainage Plan for location.
 - * Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.
 - * Construction vehicles to be parked on the street only, to prevent transferring debris onto the Street.



Shed Amendments A3

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5	22.04.24	Building Approval
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Project :
Proposed Residence at 4 Sheoak Court, Coles Bay, TAS 7215

Client :
M & F Nicolson

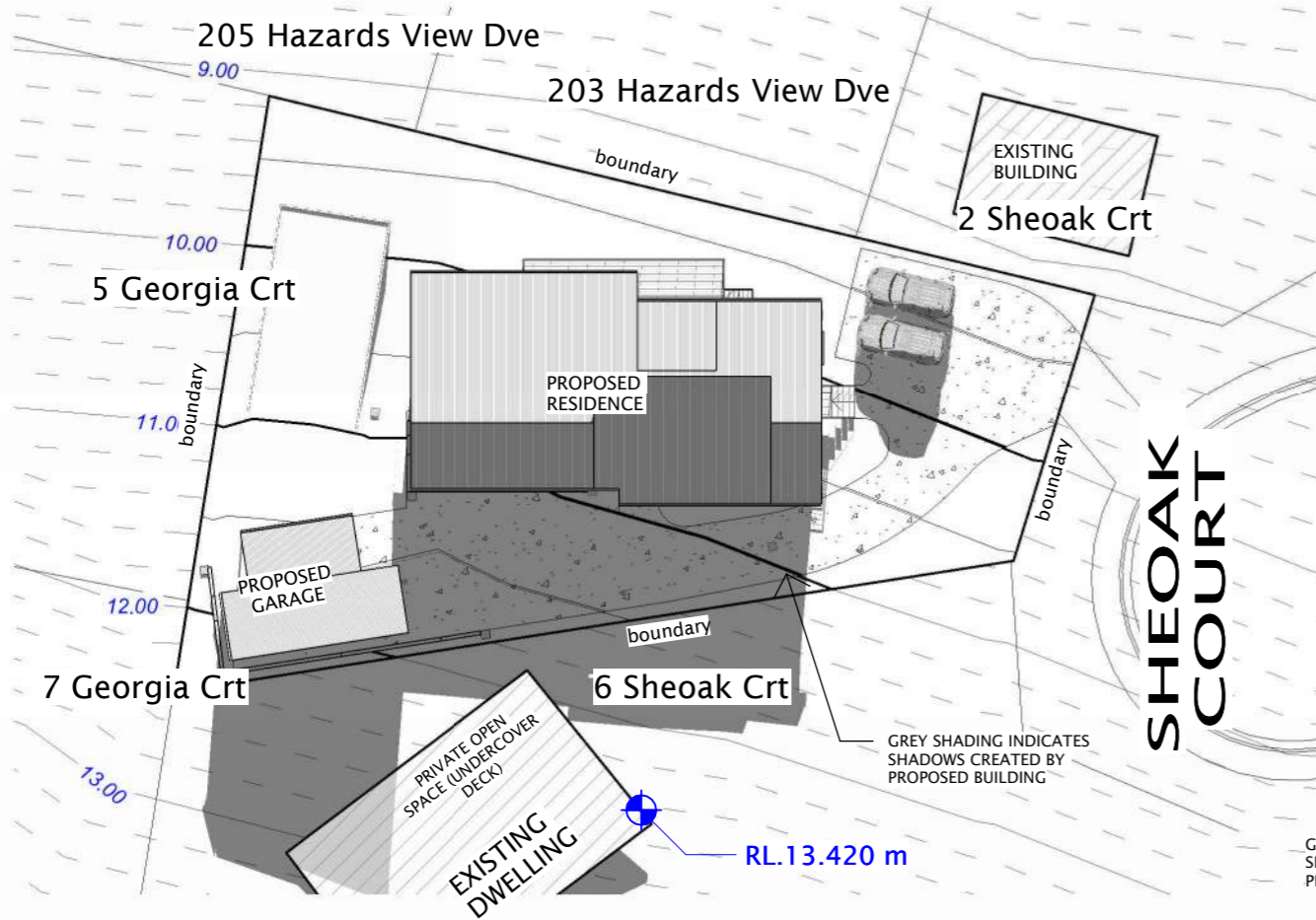
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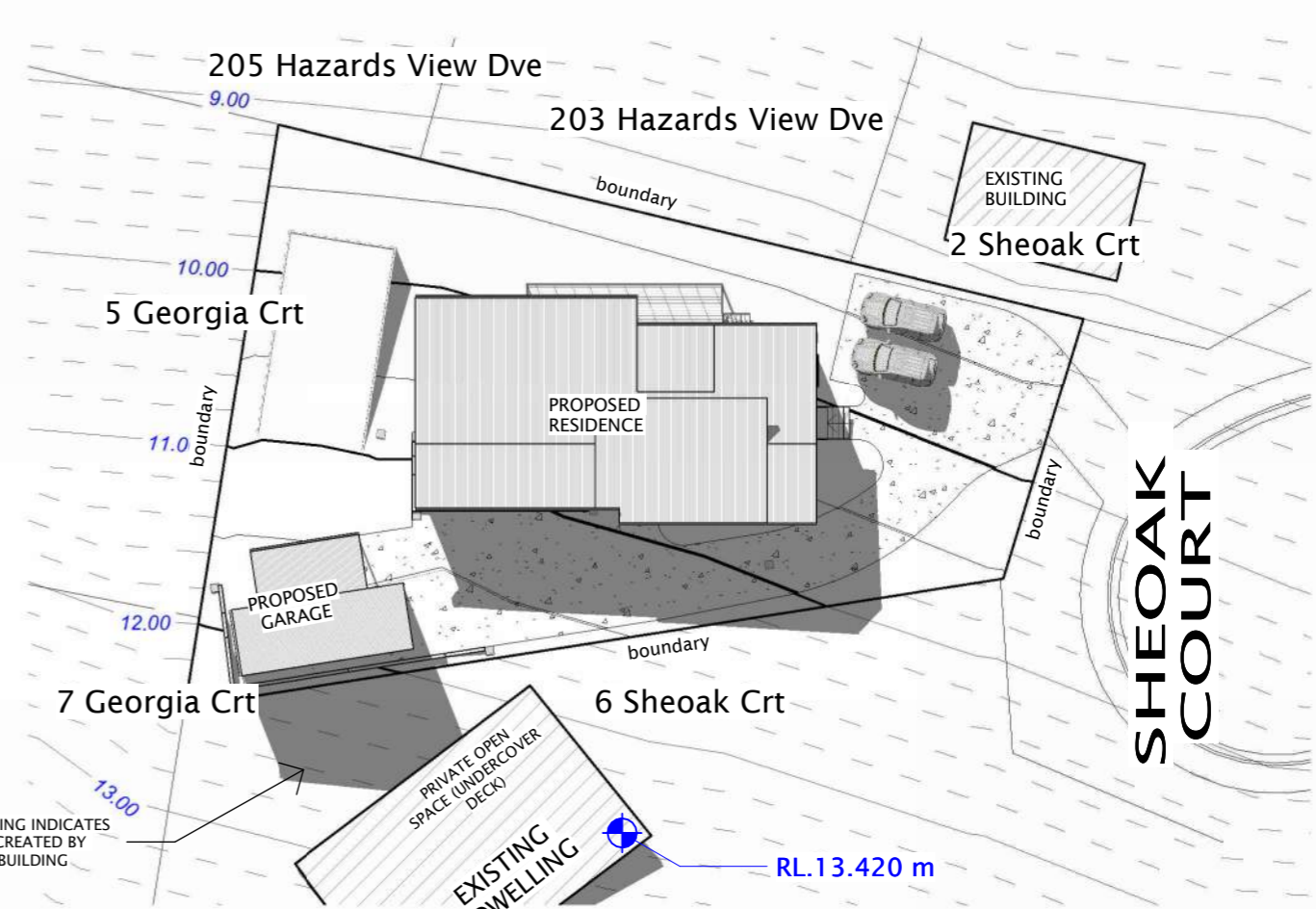
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9am June 21

1:400



11am June 21

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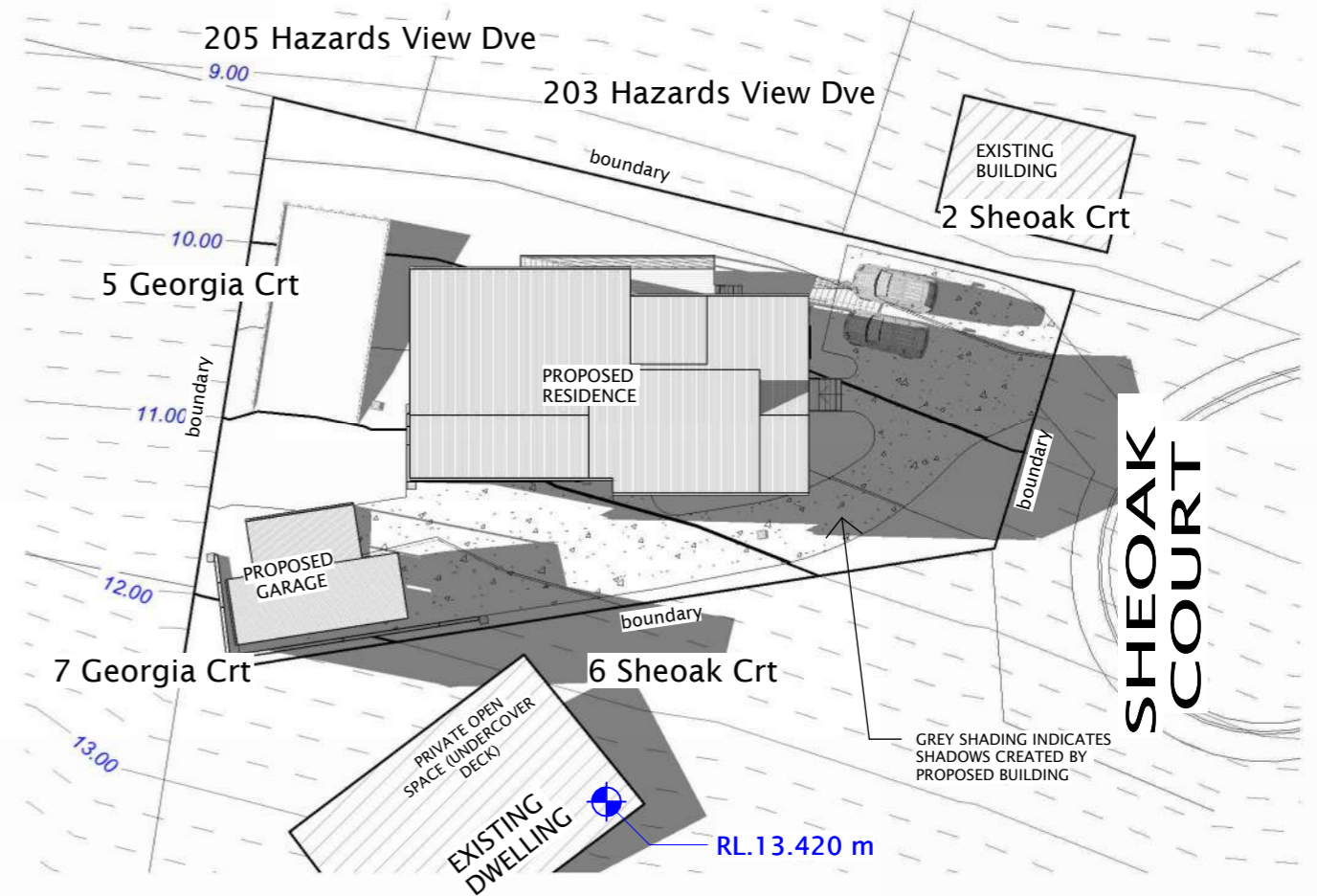
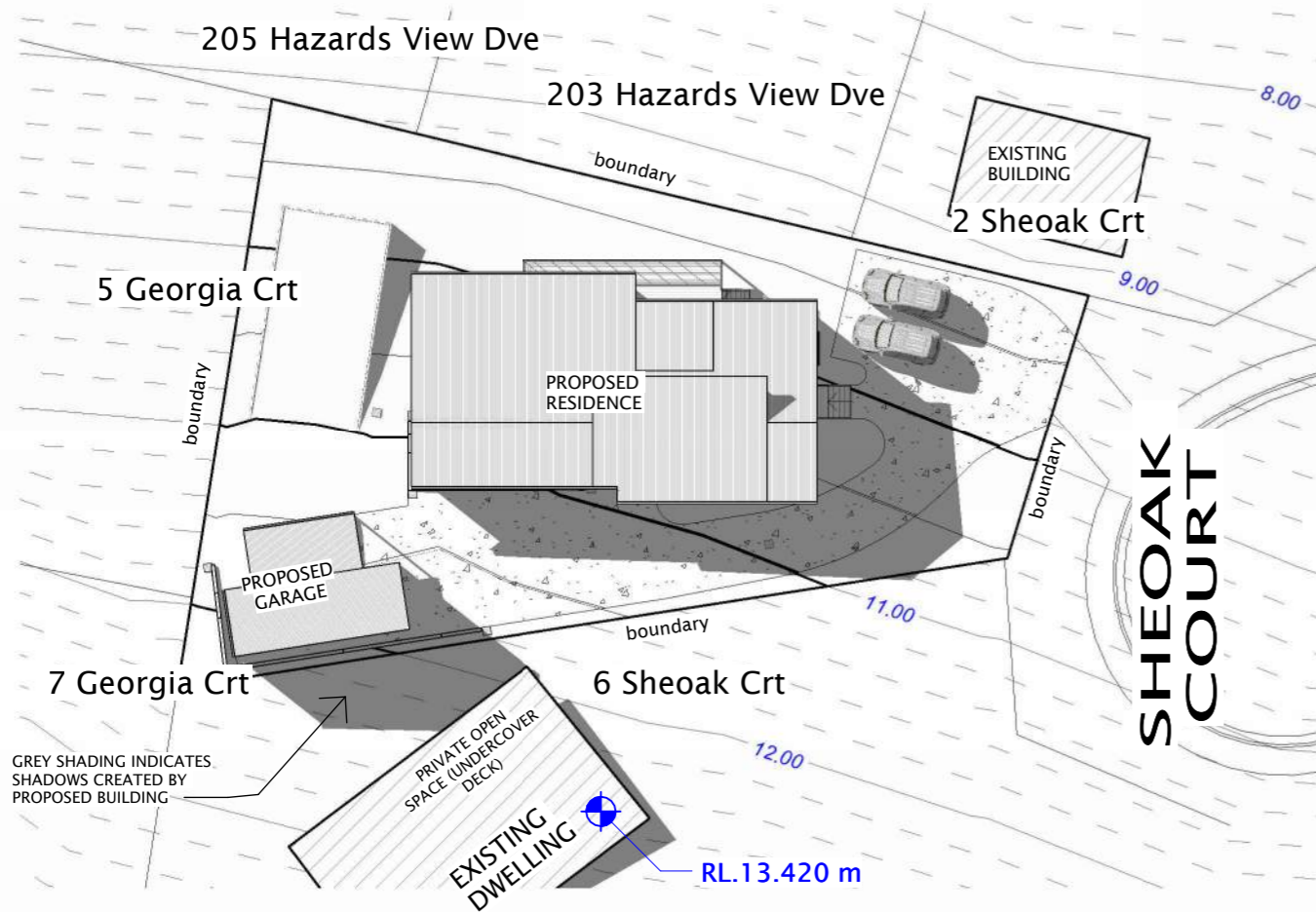
Project :
Proposed Residence at
4 Sheoak Court,
Coles Bay, TAS 7215

Drawing Title :
Sun-shade Diagrams (sheet 1)

Client :
M & F Nicolson

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Drawing Title :
Sun-shade Diagrams (sheet 2)

Client :
M & F Nicolson

Scale : **1 : 400**

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