

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Engineering Plus		
Contact person: (if different from applicant)	Narelle Lobdale		
Address:	81 Elizabeth Street		
Suburb:	Launceston	Post Code:	7250
Email:	narelle@engineeringplus.com.au	Phone: / Mobile:	03 6331 7021

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site *(Note: If your application is discretionary, the following will be placed on public exhibition)*

Address of proposal:	210 Wallaroo Rd		
Suburb:	Coles bay	Post Code:	7215
Size of site: (m ² or Ha)	28.18 Ha		
Certificate of Title(s):	115534/2		
Current use of site:	Class 1A- Residential dwelling		

General Application Details *Complete for All Applications*

Description of proposed use or development:	Residential storage shed	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No <input checked="" type="checkbox"/>	

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	10.09.24
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

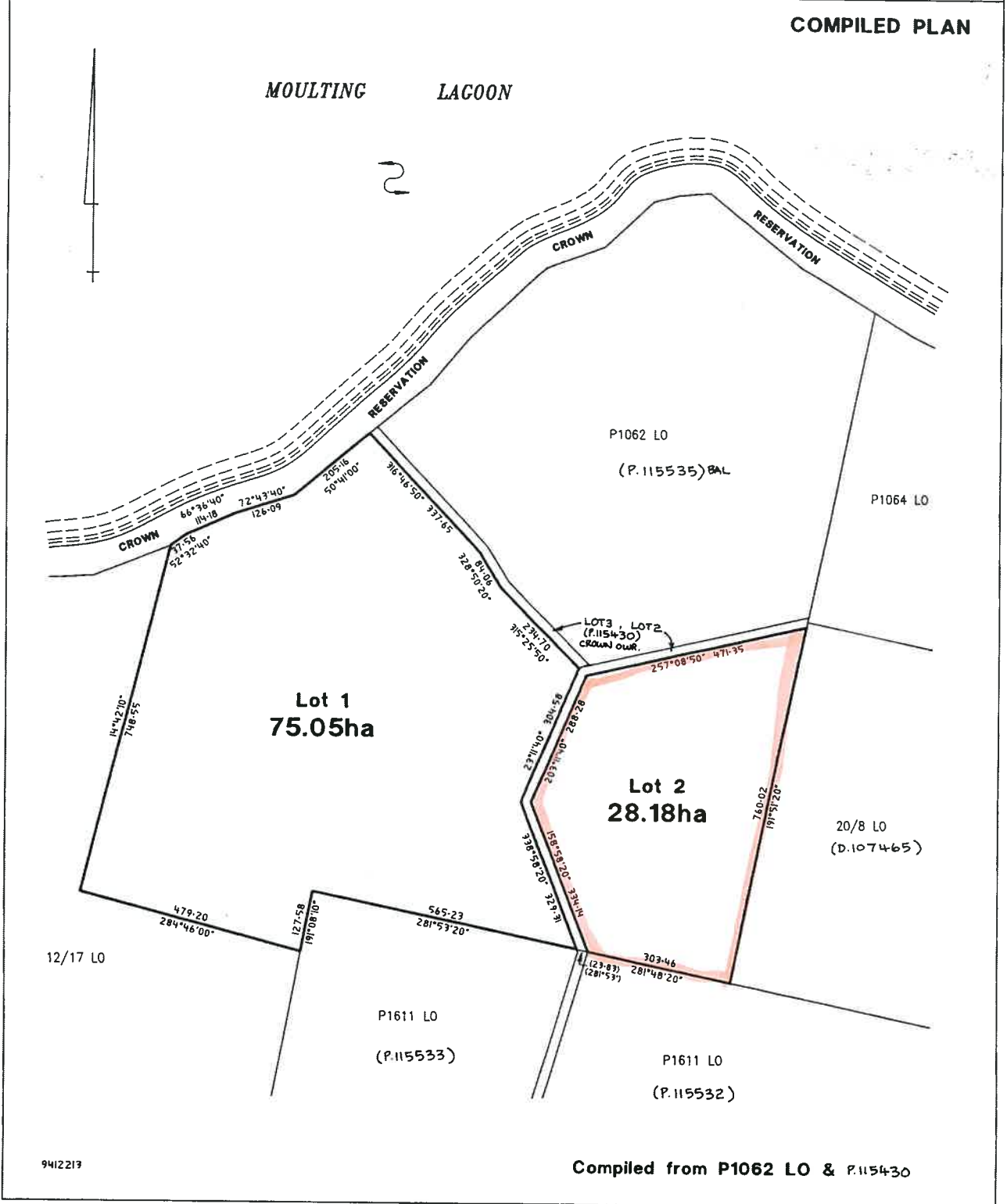
An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

OWNER WALLAROO PTY LTD FOLIO REFERENCE CT 204476/1 GRANTEE Part of 424-0-2, Lot 35102 Granted to MARIE VIVIENNE NICHOLS		<h3 style="text-align: center;">PLAN OF SURVEY</h3> BY SURVEYOR COMPILED PLAN OFFICE OF THE SURVEYOR-GENERAL LOCATION <h4 style="text-align: center;">LAND DISTRICT OF GLAMORGAN PARISH OF MEREDITH</h4> SCALE 1:7500 LENGTHS IN METRES		REGISTERED NUMBER <h2 style="text-align: center;">P 115534</h2>
MAPSHEET MUNICIPAL CODE No 16		LAST UPI No 1029	LAST PLAN No P1062 LO	APPROVED EFFECTIVE FROM - 2 MAR 1995 Recorder of Titles
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN				



9412213

Compiled from P1062 LO & P.115430

SEARCH OF TORRENS TITLE

VOLUME 115534	FOLIO 2
EDITION 7	DATE OF ISSUE 20-Apr-2017

SEARCH DATE : 04-Dec-2019

SEARCH TIME : 10.21 AM

DESCRIPTION OF LAND

Parish of MEREDITH, Land District of GLAMORGAN
 Lot 2 on Plan 115534
 Derivation : Part of Lot 35102 Granted to M.V. Nichols
 Prior CT 204476/1

SCHEDULE 1

M621510 TRANSFER to ANDREW LEIGH FIDLER and JENNIFER LUANNE
 LAVERS Registered 20-Apr-2017 at noon

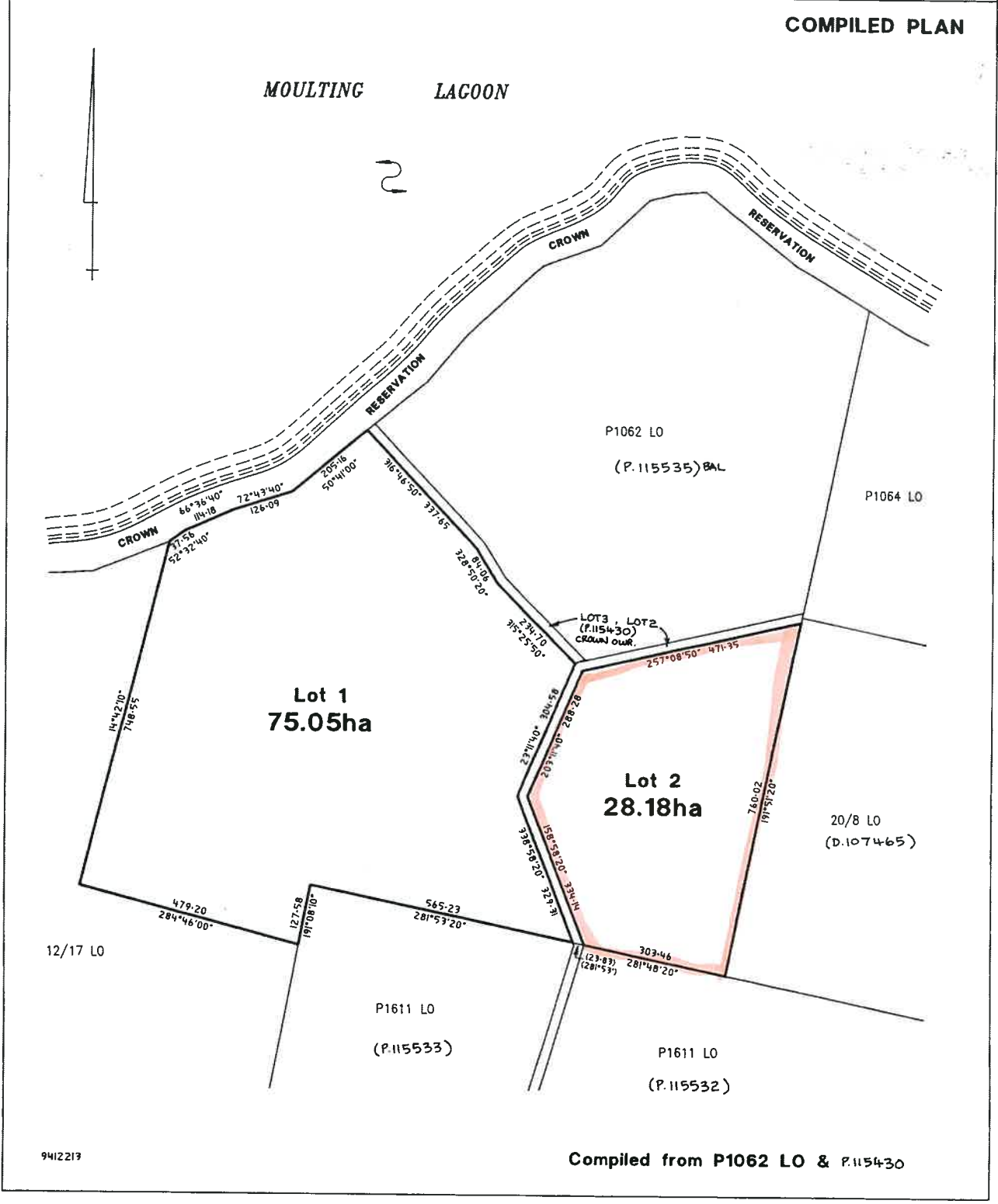
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 E88086 MORTGAGE to Commonwealth Bank of Australia
 Registered 20-Apr-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER WALLAROO PTY LTD FOLIO REFERENCE CT 204476/1 GRANTEE Part of 424-0-2, Lot 35102 Granted to MARIE VIVIENNE NICHOLS		<h3 style="text-align: center;">PLAN OF SURVEY</h3> BY SURVEYOR COMPILED PLAN OFFICE OF THE SURVEYOR-GENERAL LOCATION <h4 style="text-align: center;">LAND DISTRICT OF GLAMORGAN PARISH OF MEREDITH</h4> SCALE 1:7500 LENGTHS IN METRES		REGISTERED NUMBER <h2 style="font-size: 2em;">P 115534</h2>
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MAPSHEET MUNICIPAL CODE No 16	LAST UPI No 1029	LAST PLAN No P1062 LO	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



DRAWING SCHEDULE

A00 COVER PAGE
 A01 SITE PLAN

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	20 - RURAL
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	115534/2
DESIGN WIND SPEED:	ASSUMED 'N3'
SOIL CLASSIFICATION:	ASSUMED 'H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBA
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

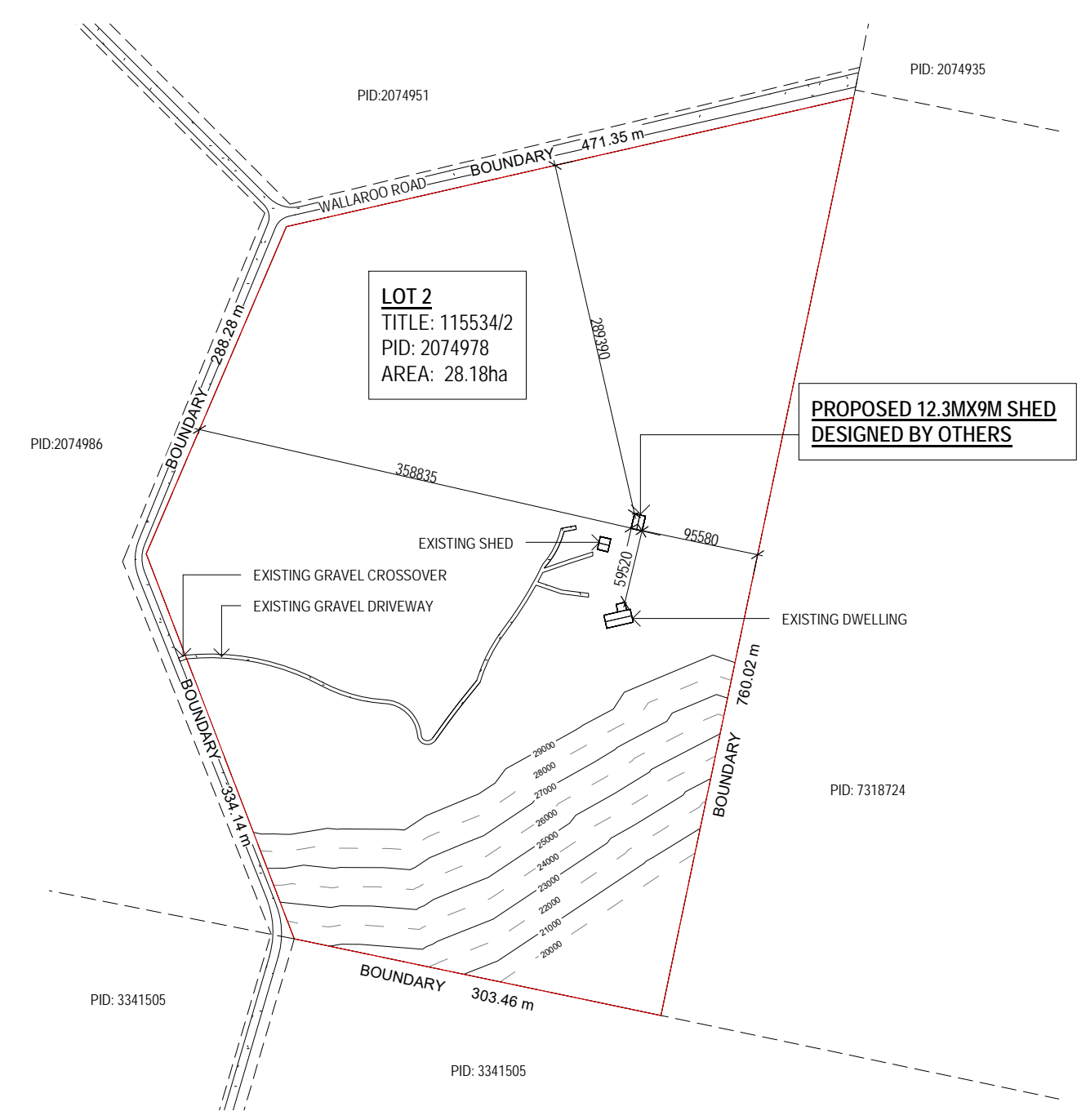
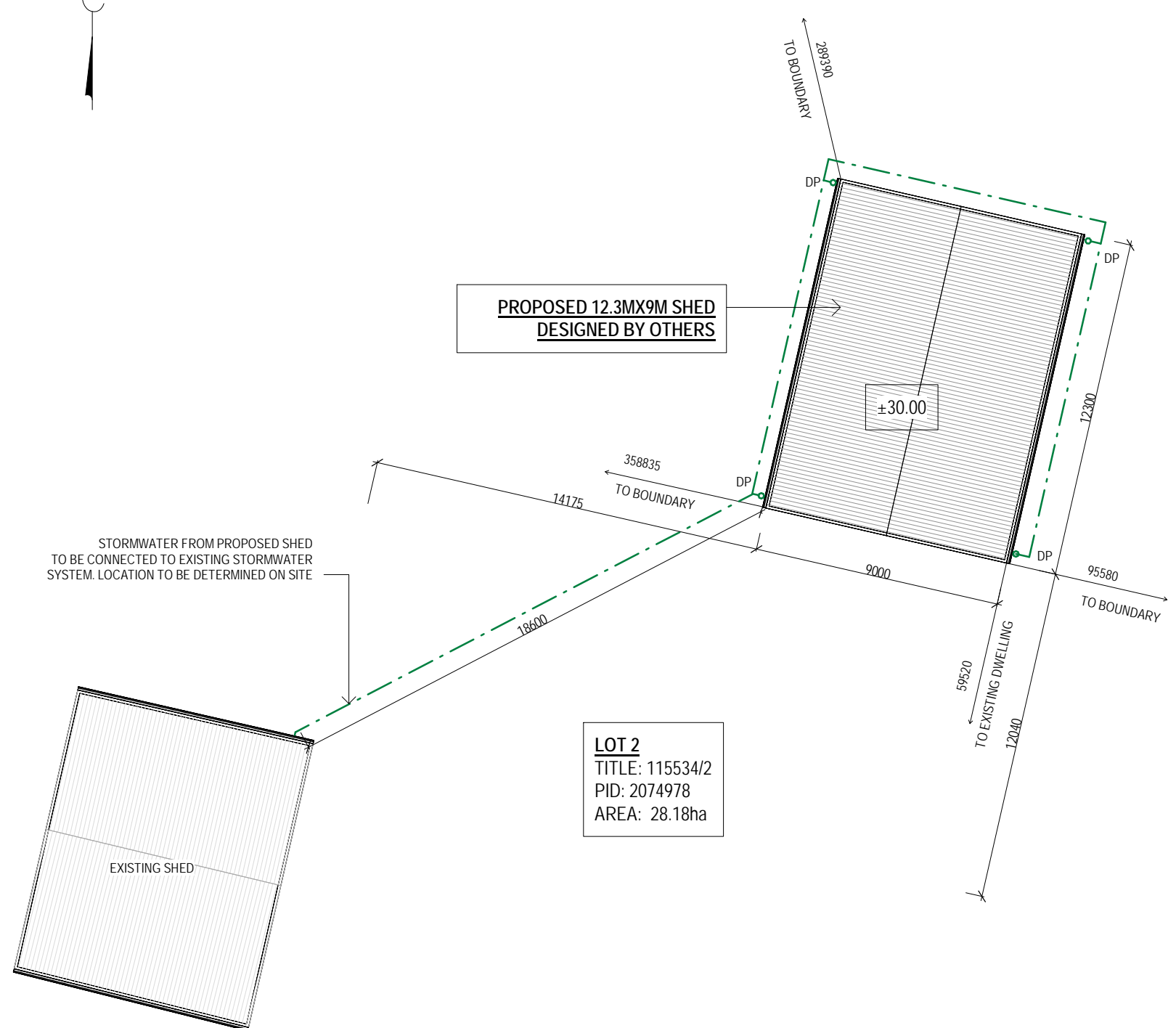
PROPOSED SHED

S. & B. BROWN
 210 WALLAROO RD
 COLES BAY TAS 7215

GLAMORGAN - SPRING BAY COUNCIL

Area Schedule (Gross Building)		
Name	Area	Area (sq)
APPROX. EXISTING DWELLING	286.00 m ²	30.79
APPROX. EXISTING SHED	92.52 m ²	9.96
PROPOSED SHED	110.70 m ²	11.92
	489.22 m ²	52.66

ISSUED FOR APPROVAL



LOCALITY PLAN
 SCALE 1:5000

ISSUED FOR APPROVAL

Copyright ©

DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE
 STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED INTO EXISTING STORMWATER SYSTEM TO LOCAL COUNCIL REQUIREMENTS & AS3500

LEGEND	
	SEWER
	WATER
	STORMWATER

SITE PLAN
 SCALE 1:200

Date Drawn: 03.09.24			
Drawn: J. Nguyen			
Checked: A. Taylor			
Approved: J. Pfeiffer			
Scale: As Shown @ A3			
A ISSUED FOR APPROVAL		06.09.24	J.N
- ISSUED FOR REVIEW		03.09.24	J.N
Rev:	Amendment:	Date:	Int:
Accredited Building Designer		Designer Name: J.Pfeiffer	
Accreditation No: CC2211T		Office: 6331 7021 info@engineeringplus.com.au	
Client: S. & B. BROWN		Project: PROPOSED SHED	
Address: 210 WALLAROO RD		COLES BAY TAS 7215	
Drawing No: 21124		A01	
Rev: A		A	

DRAWING SCHEDULE

A00 COVER PAGE
 A01 LOCALITY PLAN
 A02 SITE PLAN

PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
ZONE:	20 - RURAL
BUILDING CLASS:	CLASS 10A
LAND TITLE REFERENCE NUMBER:	115534/2
DESIGN WIND SPEED:	ASSUMED 'N3'
SOIL CLASSIFICATION:	ASSUMED 'H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBA
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

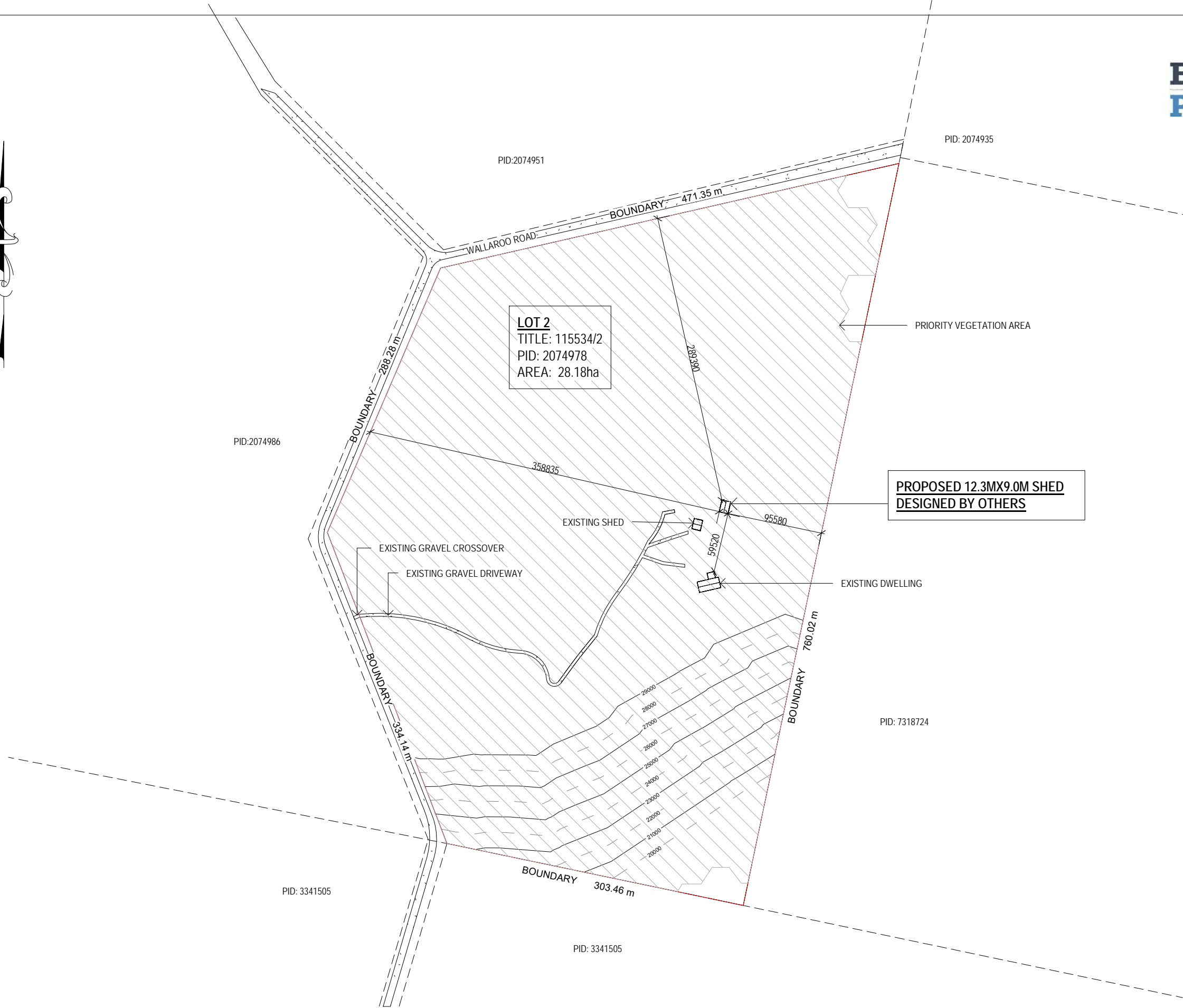
PROPOSED SHED

S. & B. BROWN
 210 WALLAROO RD
 COLES BAY TAS 7215

GLAMORGAN - SPRING BAY COUNCIL

Area Schedule (Gross Building)		
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APPROX. EXISTING DWELLING	286.00 m ²	30.79
APPROX. EXISTING SHED	92.52 m ²	9.96
PROPOSED SHED	110.70 m ²	11.92
	489.22 m ²	52.66

ISSUED FOR APPROVAL



LOT 2
 TITLE: 115534/2
 PID: 2074978
 AREA: 28.18ha

**PROPOSED 12.3MX9.0M SHED
 DESIGNED BY OTHERS**

LEGEND	
	SEWER
	WATER
	STORMWATER
	PRIORITY VEGETATION AREA
	EXISTING VEGETATION

ISSUED FOR APPROVAL

Copyright ©

LOCALITY PLAN
 SCALE 1 : 4000

Rev:	Amendment:	Date:	Int:
B	VEGETATION OVERLAY	10.09.24	J.N
A	ISSUED FOR APPROVAL	06.09.24	J.N
-	ISSUED FOR REVIEW	03.09.24	J.N

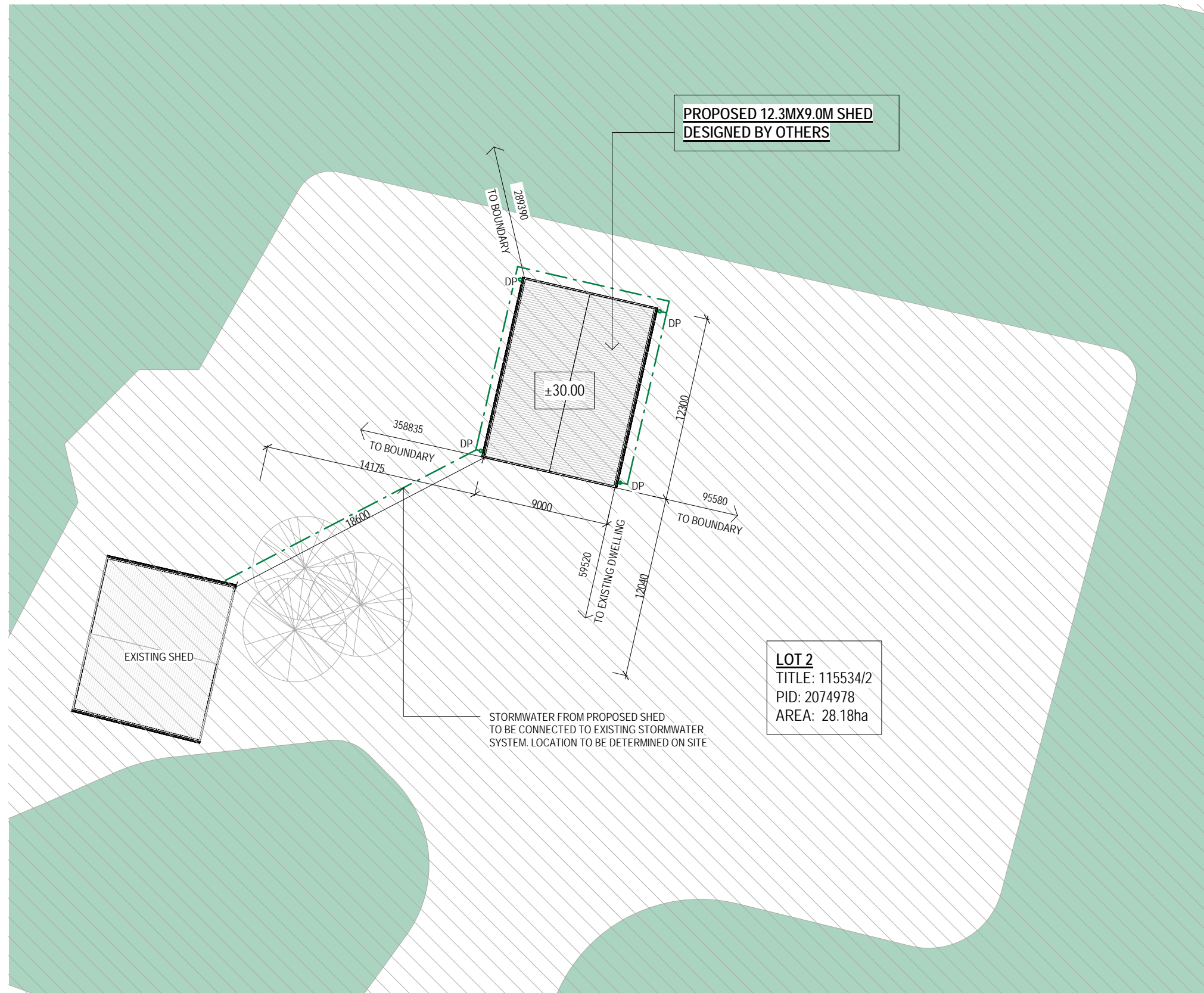
Date Drawn: 03.09.24
 Drawn: J. Nguyen
 Checked: A. Taylor
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

Client: **S. & B. BROWN**
 Project: **PROPOSED SHED**
 Address: **210 WALLAROO RD
 COLES BAY TAS 7215**

Office: 6331 7021
 info@engineeringplus.com.au

Drawing No: 21124
 A01/A02
 Rev: B



NOTE:

PROPOSED SHED IS SITUATED WITHIN A CLEARED VEGETATION AREA AND WILL NOT REMOVE VEGETATION ON SITE. IF PRESENT, VEGETATION TO BE RELOCATED ELSEWHERE WITHIN THE PROPERTY LOT.

LEGEND	
	SEWER
	WATER
	STORMWATER
	PRIORITY VEGETATION AREA
	EXISTING VEGETATION

DRAINAGE
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NOTE
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SITE PLAN
 SCALE 1 : 300

ISSUED FOR APPROVAL

Copyright ©

Client: **S. & B. BROWN**
 Project: **PROPOSED SHED**
 Address: **210 WALLAROO RD**
COLES BAY TAS 7215

Office: 6331 7021
 info@engineeringplus.com.au



Date Drawn: 03.09.24	Drawn: J. Nguyen	Checked: A. Taylor	Approved: J. Pfeiffer	Scale: As Shown @ A3
B	VEGETATION OVERLAY	10.09.24	J.N	
A	ISSUED FOR APPROVAL	06.09.24	J.N	
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Rev: Amendment:	Date:	Int:	Accredited Building Designer Designer Name: J.Pfeiffer Accreditation No: CC2211T	Drawing No: 21124 A02/A02
				Rev B