



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **101 Sally Peak Road, Buckland**
CT 164991/1, 164991/4, 164991/5, 164991/6,
164991/7

PROPOSAL: **3 Bedroom Dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager. Representations must be received before midnight on Thursday 17 July 2025.

APPLICANT: **David McCaw**
DATE: **07/08/2024**
APPLICATION NO: **DA 2024 / 151**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:		
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	Yes / No	

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 164991	FOLIO 7
EDITION 1	DATE OF ISSUE 28-Nov-2012

SEARCH DATE : 23-Jun-2025

SEARCH TIME : 01.31 PM

DESCRIPTION OF LAND

Town of BUCKLAND

Lot 7 on Plan 164991

Derivation : Whole of Lots 1-7 inc, 50A-3R-19P's Gtd to Thomas
Cruttenden

Prior CT 125279/1

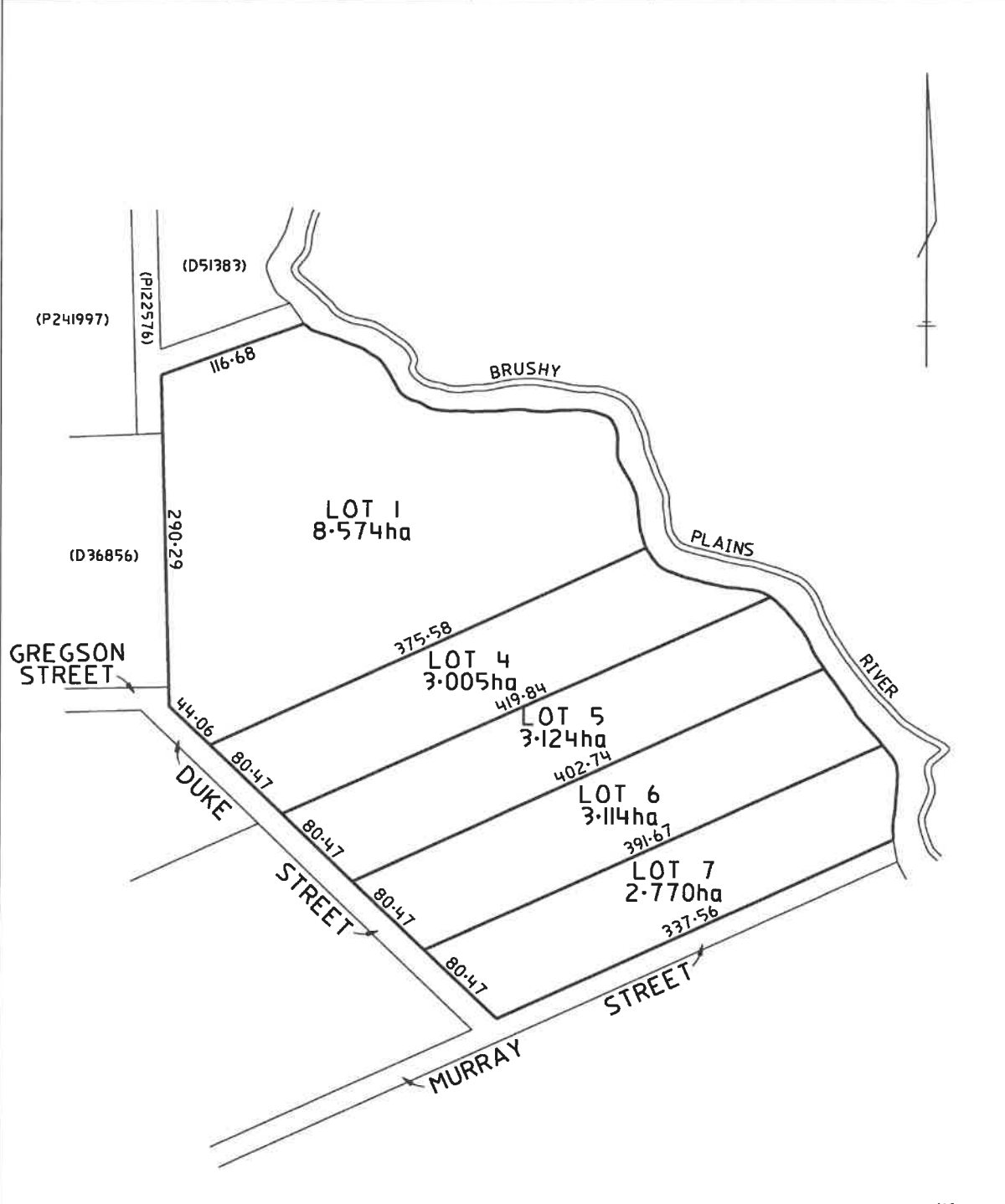
SCHEDULE 1C885255 D72115 SURANI SAPPIDEEN and DAVID MCCAW Registered
28-Nov-2012 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any
4/7740 Conveyance made subject to conditions as to usage of
the land
M351964 MORTGAGE to The Trustees of the Diocese of Tasmania
Registered 18-Jun-2012 at 12.01 PM
E15967 PRIVATE TIMBER RESERVE pursuant to Section 15(1) of
the Forest Practices Act 1985 (affecting part of the
said land within described as shown on the plan
hatched on the plan annexed therto) Registered
01-Apr-2016 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER</p> <p>FOLIO REFERENCE CT.125279/1</p> <p>GRANTEE WHOLE OF LOTS 1 TO 7 (50A-3R-19P) GTD TO THOMAS CRUTTENDEN</p>		<p style="text-align: center;">PLAN OF TITLE</p> <p>LOCATION TOWN OF BUCKLAND (SECTION V.v.)</p> <p>FIRST SURVEY PLAN No. A1/49 L.O.</p> <p>COMPILED BY LDRB</p> <p>SCALE 1: 3000 LENGTHS IN METRES</p>		<p>Registered Number P.164991</p> <p>APPROVED <u>27 NOV 2012</u> <i>Alice Kawa</i> Recorder of Titles</p>			
<p>MAPSHEET MUNICIPAL CODE No. 112 (5428-55)</p>		<p>LAST UPI No FHJ34</p>		<p>LAST PLAN No. P125279</p>		<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>	



NC



38 Ligar Street Fairfield Heights

Phone 97278747

Mobile 0408 231 911

NSW Architect Registration 9138

2025/05/05

To the general manager Glenmorgan Council

RE Lot 7, 101 Sally Peak Road, Buckland

Introduction

The following Schedule addresses compliance against relevant clauses of the Tasmanian Planning Scheme 2022. The site contains 7 lots with 5 titles. Two of the lots have had dwellings approved, which have been constructed. This application is for lot 7. The site is accessed from Sally Peak Road then onto a Crown reserve Road known as Duke Street.

Lot 7 is 2.8 Hectares and is zoned rural. The site is in close proximity to the township of Buckland and from a planning point of view having dwellings on small rural lots in close proximity to the town can contribute to the vitality of the town which has seen decline in population in recent years.

Lot 7 is bound on the South by Murray Street, on the East by Duke Street, on the North by lot 6 containing a dwelling and Brushy Plains Rivulet.

The proposed development is for a dwelling house and the use is categorized as discretionary. As per section 20.2 of the Tasmanian Planning Scheme 2022. The proposal will be assessed via a compliance schedule.

Requirement	Parameter	Notes/ Requirements	Compliance
20.2 Use Table			
Discretionary	Residential	If for a single dwelling and not restricted by an existing agreement under section 71 of the Act	The proposal is for a single dwelling in line with the requirements of discretionary development.
A1	That the location, scale and intensity of a use listed as Discretionary: (a) is required for operational reasons; (b) does not unreasonably confine or restrain the operation of uses on adjoining properties; (c) is compatible with agricultural use and sited to minimise conversion of agricultural land; and (d) is appropriate for a rural location and does not compromise the function of surrounding settlements.	A use listed as Discretionary, excluding Residential, must require a rural location for operational reasons, having regard to: (a) the nature, scale and intensity of the use; (b) the importance or significance of the proposed use for the local community; (c) whether the use supports an existing agricultural use; (d) whether the use requires close proximity to infrastructure or natural resources; and (e) whether the use requires separation from other uses to minimise impacts.	<ul style="list-style-type: none"> a) The proposal is for a modest dwelling on long rural site. b) The site is in close proximity of a town centre and will contribute to viability of that town centre. c) The proposal being at the end of the lot allows continued agricultural use on the remainder of the lot. d) The site has access to services including power e) The lot has adjacent dwellings on similar sized lots.
A2	No Acceptable Solution.	A use listed as Discretionary must not confine or restrain existing use on adjoining properties, having regard to: (a) the location of the proposed use; (b) the nature, scale and intensity of the use; (c) the likelihood and nature of any adverse impacts on adjoining uses; (d) whether the proposed use is required to support a use for security or operational reasons; and (e) any off site impacts from adjoining uses.	The proposal is adjacent to other dwelling sited at the end of long lots. The proposal is unlikely to have any adverse impacts on the adjoining land uses.
A3	No Acceptable Solution.	A use listed as Discretionary, located on agricultural land, must minimise conversion of agricultural land to non-agricultural use and be compatible with agricultural use, having regard to: (a) the nature, scale and intensity of the use; (b) the local or regional significance of the agricultural land; and (c) whether agricultural use on adjoining properties will be confined or restrained.	The proposal leaves the bulk of the land available for agricultural use. It is of note that the lot size is small and it use will require a small-scale type of agriculture.
A4		A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to: (a) the nature, scale and intensity of the proposed use; (b) whether the use will compromise or distort the activity centre hierarchy; (c) whether the use could reasonably be located on land zoned for that	This part is not applicable to this type of development

		<p>purpose;</p> <p>(d) the capacity of the local road network to accommodate the traffic generated by the use; and</p> <p>(e) whether the use requires a rural location to minimise impacts from the use, such as noise, dust and lighting.</p>	
20.4.1 Building height			
Objective:		<p>To provide for a building height that:</p> <p>(a) is necessary for the operation of the use; and</p> <p>(b) minimises adverse impacts on adjoining properties.</p>	The proposal is of a scale that does not create impacts on adjoining properties.
A1	Building height must be not more than 12m	<p>Building height must be necessary for the operation of the use and not cause an unreasonable impact on adjoining properties, having regard to:</p> <p>(a) the proposed height of the building;</p> <p>(b) the bulk and form of the building;</p> <p>(c) the separation from existing uses on adjoining properties; and</p> <p>(d) any buffers created by natural or other features.</p>	The proposal has a building height of 3.8 m and complies with the prescriptive control
20.4.2 Setbacks			
	Objective	That the siting of buildings minimises potential conflict with use on adjoining sites.	The building is well sited away from the neighbours
A1	<p>Buildings must have a setback from all boundaries of:</p> <p>(a) not less than 5m; or</p> <p>(b) if the setback of an existing building is within 5m, not less than the existing building.</p>	<p>Buildings must be sited to provide adequate vehicle access and not cause an unreasonable impact on existing use on adjoining properties, having regard to:</p> <p>(a) the bulk and form of the building;</p> <p>(b) the nature of existing use on the adjoining properties;</p> <p>(c) separation from existing use on the adjoining properties; and</p> <p>(d) any buffers created by natural or other features.</p>	Side setbacks are 25 m and 25.75 m
A2	<p>Buildings for a sensitive use must be separated from an Agriculture Zone a distance of:</p> <p>(a) not less than 200m; or</p> <p>(b) if an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.</p>	<p>Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use within the Agriculture Zone, having regard to:</p> <p>(a) the size, shape and topography of the site;</p> <p>(b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties;</p> <p>(c) the location of existing buildings on the site;</p> <p>(d) the existing and potential use of adjoining properties;</p> <p>(e) any proposed attenuation measures; and</p> <p>(f) any buffers created by natural or other features.</p>	The current agricultural use on the site is grazing, This is not in conflict with residential development. The site extends an other 340 m from the dwelling and there is area available for agriculture greater than 200 m from the dwelling.
20.4.3 Access for new			

dwelling			
A1	That new dwellings have appropriate vehicular access to a road maintained by a road authority	New dwellings must have legal access, by right of carriageway, to a road maintained by a road authority that is appropriate, having regard to: (a) the number of users of the access; (b) the length of the access; (c) the suitability of the access for use by the occupants of the dwelling; (d) the suitability of the access for emergency services vehicles; (e) the topography of the site; (f) the construction and maintenance of the access; (g) the construction, maintenance and usage of the road; and (h) any advice from a road authority.	The site accessible by vehicles.

200
150
100
60
40
30
20
10
length in millimeters at full size

Cover Page

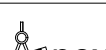
Architect
Specifications
Land title reference
Ground Floor Area
Design wind speed
Soil classification
Building Class
Bushfire attack Level
Corrosion environment
Alpine area
Other Hazards

John Kechagias Registration 9138 (NSW)
In notes of title Block
Lot 7 P125279
163.7 m2
N3
M class
Class 1A
BAL12.5
No
No
Nil

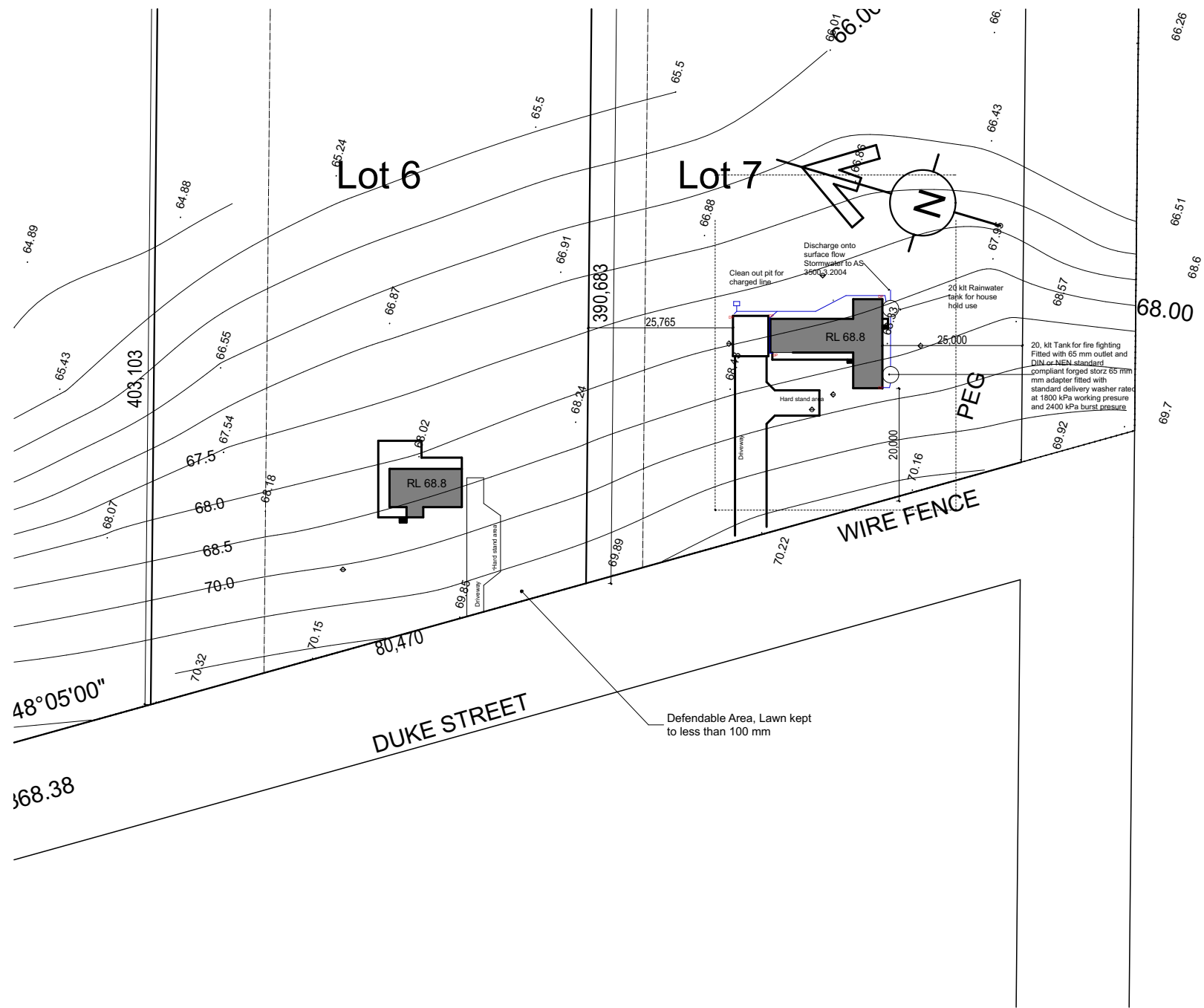
Drawing list
Site Plan
Floor Plan
Roof Plan
Sections
Elevations

A-01
A-02
A-03
A-04
A-05

Relocation of Building to 101 Sallypeak Road

<div><div>Intelligent Design</div><div>Architect No 9138 Mo 040 823 1911 38 Ligar Street Fairfield Heights</div><div>©Copyright</div></div>	Date	Amend	CONSTRUCTION NOTES:					Wall Cladding External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the BCA Glazing All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation. Windows Windows - To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation		Fire Smoke Alarms Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of the BCA Wet Areas Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings. Stair Construction All stairs shall comply with Cl. 3.9.1 of the BCA		General Notes 1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work. 2 Do not scale off the drawings, use figured dimensions. 3 All structural & hydraulic works to be as per engineer's details. 4 All work to be carried out in accordance with the Building Code of Australia, Standard Australia code & relevant by-laws 5 All workmanship to be carried out in a professional & tradesman like manner. 6 The plans are to be read in conjunction with Specifications and Council conditions 7 Contact designer if there are any inconsistencies 8 The plans are not to be used for construction unless released by the designer		Drawing Title: Plans - Title Page House 4 Client:David McCaw Lot 4 Duke Street Buckland 7190				
	10/10/2020	Increased size of dwelling	Termite treatment. Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.		Timber Framing All timber framing work shall comply with SAA HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.		Roof Cladding Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Rooftilting to AS 2050		Steel Framing All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.		Gutters and Downpipes All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1							
			Masonry All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction															

100length in millimeters at full size150200



Plumbing Generally
All plumbing fixtures are to be to AS 3500, Tasmania planning code and local authorities requirements
Sewer toon site waste water treatment system, refer to report by 'strata' for requirements
Stormwater to on site storage tanks, with over flow to discharge away from dwelling and neighbouring properties. Refer to site plan for approximate locations
Inspection openings to be raised to finished ground level
Hot water system to be installed outside on elevated concrete slab, with pipes insulated for a minimum of 1 metre from tank.
Install RMC type tempering valve to H.W.S. Minimum temperature of 50°C and maximum temperature of 60°C
Hot and cold water retic. to be copper type B. Generally 20 mm DIA with 15 mm Branches to single fixtures

Key	Fixture	Waste pipe
1	Water Closet	100DIA Class SH
2	Urinal	NA
3	Sink	50 DIA
4	Basin	40 DIA
5	Bath	50 DIA
6	Shawoer	50 DIA
7	Trough	50 DIA
	Washing machine	
Roof area		249 m2
No Down pipes		5
actual requirement		50 m2
Down pipes size		90 mm
Capacity/DP		80 m2

3 Site 1:1000

Architect No 9138
Mo 040 823 1911
38 Ligar Street Fairfield Heights

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Date	Amend
10/10/2020	Increased size of dwelling

CONSTRUCTION NOTES:

Termite treatment.
Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.

Masonry
All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction

Timber Framing
All timber framing work shall comply with SAA HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.

Steel Framing
All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.

Roof Cladding
Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050

Gutters and Downpipes
All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1

Wall Cladding
External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the BCA
Glazing
All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.
Windows
To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation

Fire Smoke Alarms
Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of the BCA

Wet Areas
Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.

Stair Construction
All stairs shall comply with Cl. 3.9.1 of the BCA.

General Notes
1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work.
2 Do not scale off the drawings, use figured dimensions.
3 All structural & hydraulic works to be as per engineer's details.
4 All work to be carried out in accordance with the Building Code of Australia, Standard Australia code & relevant by-laws
5 All workmanship to be carried out in a professional & tradesman like manner.
6 The plans are to be read in conjunction with Specifications and Council conditions
7 Contact designer if there are any inconsistencies
8 The plans are not to be used for construction unless released by the designer

Drawing Title:
Plans - Site Detail

House 4
Client:David McCaw
Lot 4 Duke Street Buckland 7190

Scale: as noted
Date:9/10/2020

Status: Working Drawings
Checked By:

Project No:
2015 06 02

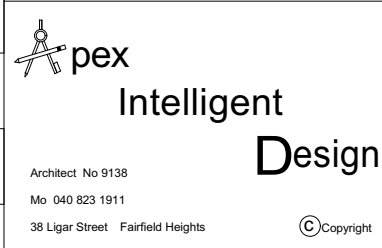
Drawing No.:
A-01.1



3

Site

1:4000

Apex Intelligent Design

Architect No 9138
Mo 040 823 1911
38 Ligar Street Fairfield Heights

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Date	Amend
10/10/2020	Increased size of dwelling

CONSTRUCTION NOTES:		General Notes	
Termite treatment. Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.	Timber Framing All timber framing work shall comply with SAA HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.	Roof Cladding Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050	Fire Smoke Alarms Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of the BCA
	Masonry All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction	Gutters and Downpipes All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1	Wet Areas Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.
	Steel Framing All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.	Windows Windows - To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation	Stair Construction All stairs shall comply with Cl. 3.9.1 of the BCA.
		Drawing Title: Plans - Site Plan House 4 Client:David McCaw Lot 4 Duke Street Buckland 7190	
		Scale: as noted	Date:9/10/2020
		Status: Working Drawings	Checked By:
		Project No: 2015 06 02	Drawing No.: A-01.2

Plumbing Generally

All plumbing fixtures are to be to AS 3500, Tasmania planning code and local authorities requirements

Sewer site waste water treatment system, refer to report by 'strata' for requirements

Stormwater to on site storage tanks, with over flow to discharge away from dwelling and neighbouring properties. Refer to site plan for approximate locations

Inspection openings to be raised to finished ground level

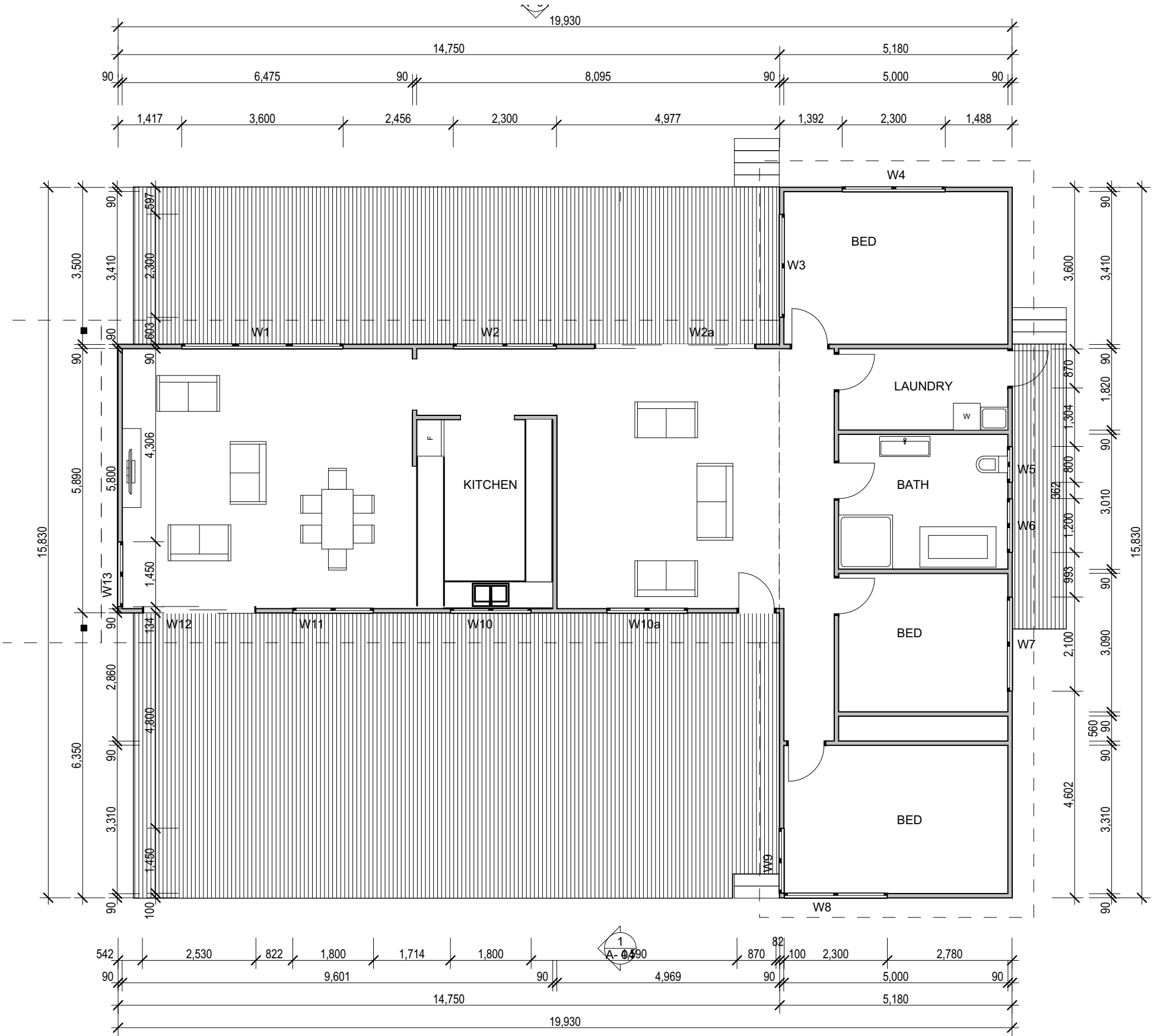
Hot water piping to be insulated as per NCC Vol 2, 3.12.5, AS 3500.5, 2012.

Install RMC type tempering valve to H.W.S. Minimum temperature of 50°C and maximum temperature of 60°C

Hot and cold water retic. to be copper type B. Generally 20 mm DIA with 15 mm Branches to single fixtures

Key	Fixture	Waste pipe
1	Water Closet	100DIA Class SH
2	Urinal	NA
3	Sink	50 DIA
4	Basin	40 DIA
5	Bath	50 DIA
6	Shawoer	50 DIA
7	Trough	50 DIA
	Washing machine	

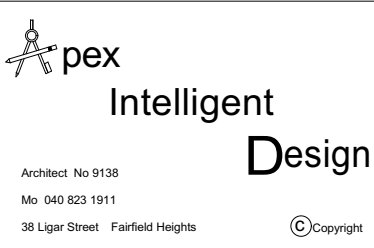
Roof area	225 m2
No Down pipes	5
actual requirement	45 m2
Down pipe zie	90 mm
Capacity/DP	80 m2



3

Floor Plan/Plumbing Plan

1:100



Apex Intelligent Design

Architect No 9138

Mo 040 823 1911

38 Ligar Street Fairfield Heights

Date	Amend
10/10/2020	Increased size of dwelling

CONSTRUCTION NOTES:

Termite treatment.
Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.

Masonry
All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction

Timber Framing
All timber framing work shall comply with SAA HB39 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.

Steel Framing
All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.

Roof Cladding
Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050

Gutters and Downpipes
All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1

Wall Cladding
External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the BCA Glazing
All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.

Windows
To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation

Fire Smoke Alarms
Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of the BCA

Wet Areas
Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.

Stair Construction
All stairs shall comply with Cl. 3.9.1 of the BCA.

General Notes
1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work.
2 Do not scale off the drawings, use figured dimensions.
3 All structural & hydraulic works to be as per engineer's details.
4 All work to be carried out in accordance with the Building Code of Australia, Standard Australia code & relevant by-laws
5 All workmanship to be carried out in a professional & tradesman like manner.
6 The plans are to be read in conjunction with Specifications and Council conditions
7 Contact designer if there are any inconsistencies
8 The plans are not to be used for construction unless released by the designer

Drawing Title:
Plans - Plans

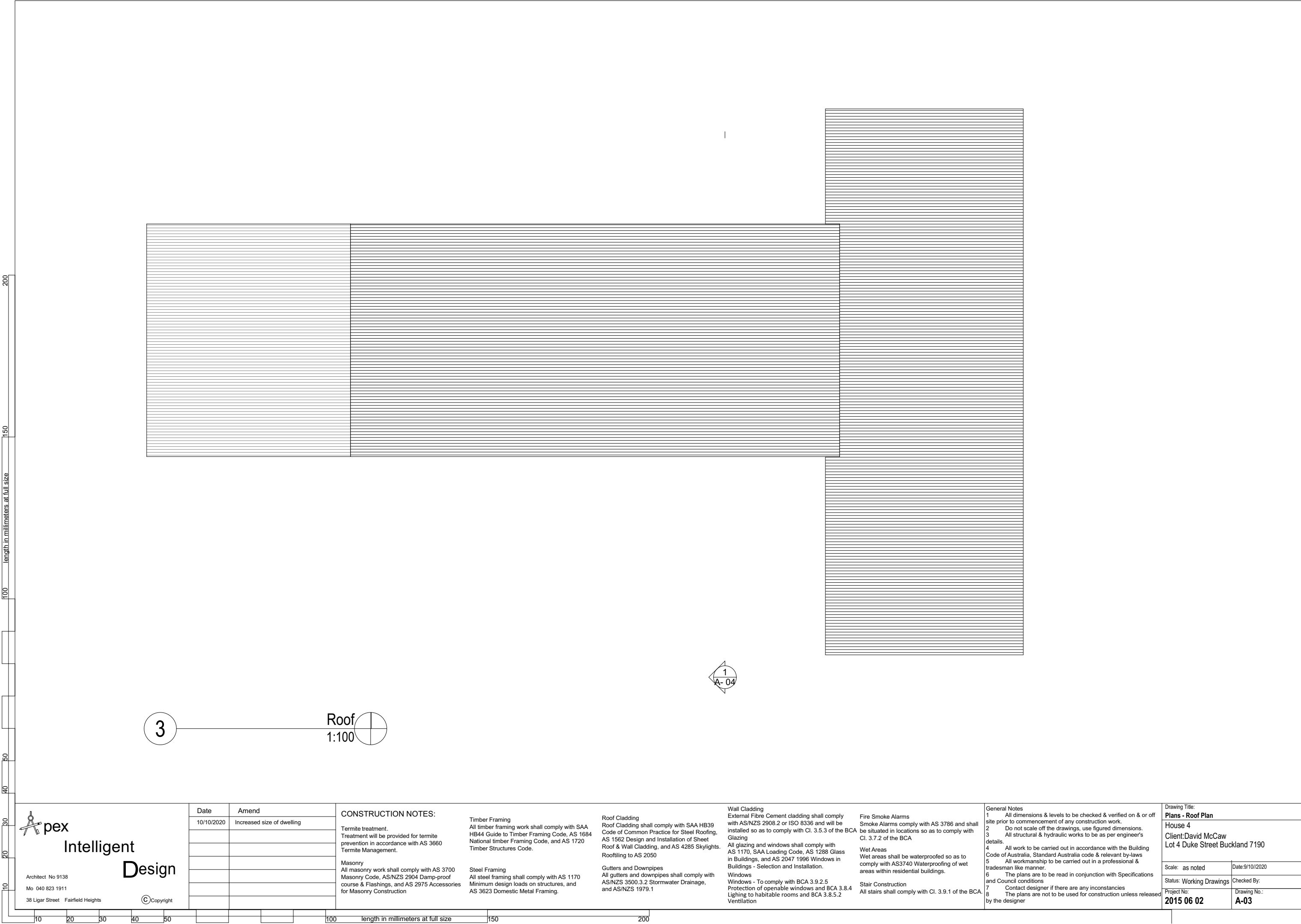
House 4
Client:David McCaw
Lot 4 Duke Street Buckland 7190

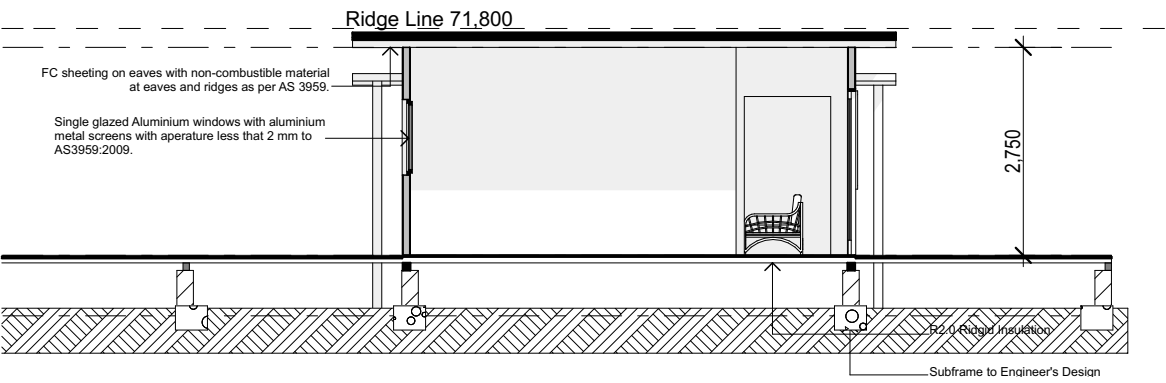
Scale: as noted
Date:9/10/2020

Status: Working Drawings
Checked By:

Project No:
2015 06 02

Drawing No.:
A-02

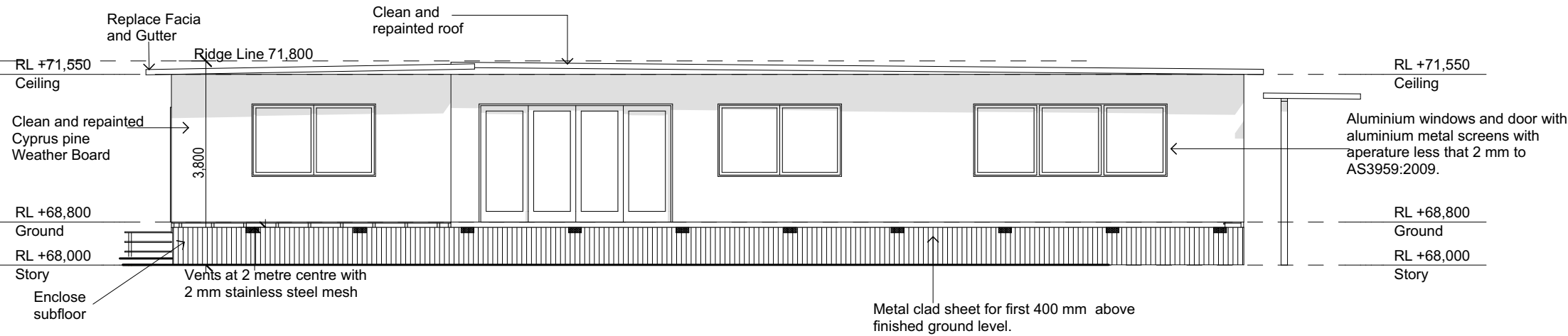




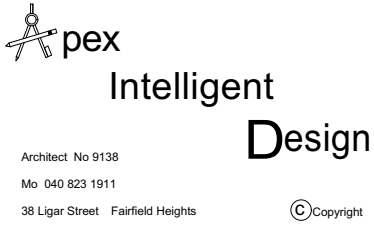
1 Section 1 1:100

Window Schedule

W1	1350	3600	1.98	Aluminium single Glaze
W2	1350	2300	2.31	Aluminium single Glaze
W2a	2100	3600	1.98	Aluminium single 4 mm safety Glass
W3	1350	2300	1.98	Aluminium single Glaze
W4	1350	2300	0.66	Aluminium single Glaze
W5	400	800	0.88	Aluminium single Glaze
W6	750	1200	2.09	Aluminium single Glaze
W7	1350	2100	0.66	Aluminium single Glaze
W8	1350	2300	0.66	Aluminium single Glaze
W9	1350	1450	2.31	Aluminium single Glaze
W10a	1000	1800	0.66	Aluminium single Glaze
W10	1000	1800	1.98	Aluminium single Glaze
W11	1000	1800	0.66	Aluminium single Glaze
W12	2100	2530	5.04	Aluminium single 4 mm safety Glass
W13	1350	1450	2.31	Aluminium single Glaze



3 East 1:100



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		Masonry All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction						2 Do not scale off the drawings, use figured dimensions.		House 4	
		Steel Framing All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.						3 All structural & hydraulic works to be as per engineer's details.		Client: David McCaw	
		Roof Cladding Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050						4 All work to be carried out in accordance with the Building Code of Australia, Standard Australia code & relevant by-laws		Lot 4 Duke Street Buckland 7190	
		Wall Cladding External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the BCA Glazing						5 All workmanship to be carried out in a professional & tradesman like manner.		Scale: as noted	
		Gutters and Downpipes All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1						6 The plans are to be read in conjunction with Specifications and Council conditions		Date: 9/10/2020	
		Windows To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation						7 Contact designer if there are any inconsistencies		Status: Working Drawings	
		Fire Smoke Alarms Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of the BCA						8 The plans are not to be used for construction unless released by the designer		Checked By:	
		Wet Areas Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.								Project No:	
		Stair Construction All stairs shall comply with Cl. 3.9.1 of the BCA.								2015 06 02	
										Drawing No.:	
										A- 04	

