

## Application for Planning Approval

### Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Chris Tymbas		
Contact person: (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
<i>Note: All correspondence with the applicant will be via email unless otherwise advised</i>			
Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	
Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:	653 dolphin sands road		
Suburb:	Dolphin sands	Post Code:	7190
Size of site: (m <sup>2</sup> or Ha)	3.970ha		
Certificate of Title(s):	54666/99		
Current use of site:	vacant site - (Dwelling under construction )		

**General Application Details *Complete for All Applications***

Description of proposed use or development:	Dwelling is under construction and will be used as a holiday home to be let on the short stay / holiday rental market when not occupied	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes / No	<input checked="" type="checkbox"/>

**For all Non-Residential Applications**

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

**Personal Information Protection Statement**

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

### Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of *the Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	14/05/2024
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### Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

***It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.***

### Checklist of application documents: *Taken from Section 6 of the Planning Scheme*

An application must include:

- a signed application form;
- any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- details of the location of the proposed use or development;
- a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
  - (i) the existing and proposed use(s) on the site;
  - (ii) the boundaries and dimensions of the site;
  - (iii) topography including contours showing AHD levels and major site features;
  - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
  - (v) soil type;
  - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
  - (vii) the location and capacity and connection point of any existing services and proposed services;
  - (viii) the location of easements on the site or connected to the site;
  - (ix) existing pedestrian and vehicle access to the site;
  - (x) the location of existing and proposed buildings on the site;
  - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
  - (xii) any natural hazards that may affect use or development on the site;
  - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
  - (xiv) any proposed open space, common space, or facilities on the site; and
  - (xv) proposed subdivision lot boundaries;
- where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
  - (xvi) the internal layout of each building on the site;
  - (xvii) the private open space for each dwelling;
  - (xviii) external storage spaces;
  - (xix) parking space location and layout;
  - (xx) major elevations of every building to be erected;
  - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
  - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
  - (xxiii) materials and colours to be used on roofs and external walls.

REGISTERED NUMBER  
54666

INDEX PLAN  
SEE ALSO 8 ANNEXURES

LAND DISTRICT C  
PARISH OF

PART OF 2674 · 0 · 0 · 0 · GTD.  
PART OF LOT 36, 2715 · 0 · 0 · 0 · GE

SCALE: - 500 FEET TO  
C. H. I. (Tas.) Pty. Ltd. Conv.  
D. J. Burbury (R.O.M.)

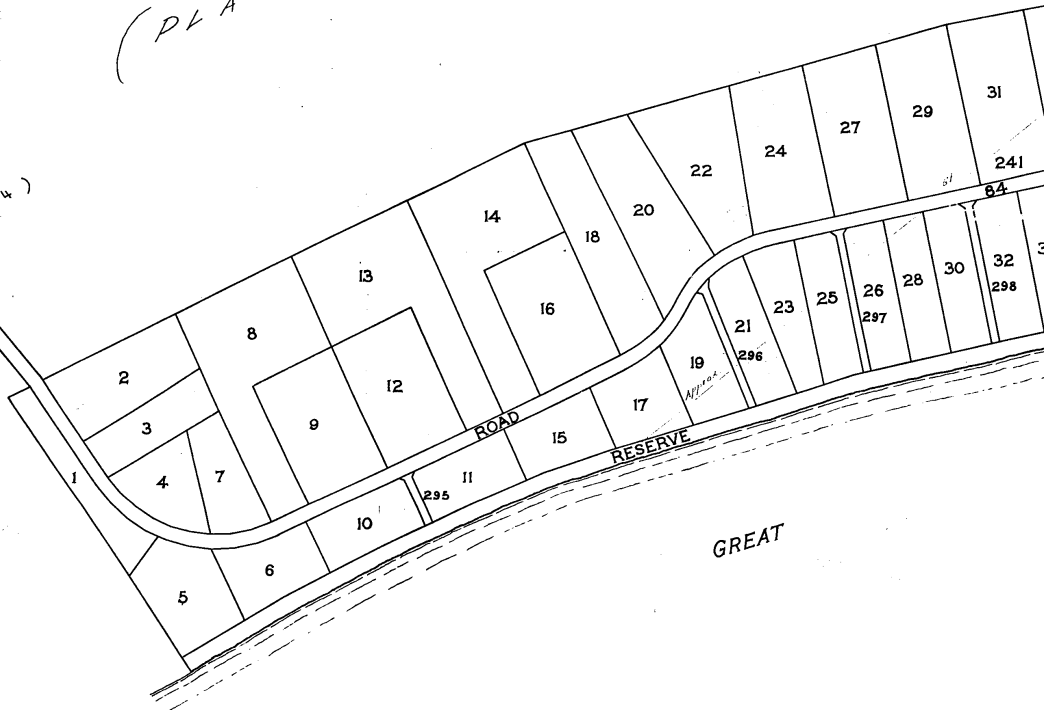
(P. 11162)

(PLAN 120)

MAN RIVER ROAD

(P. 2 3 4 6)

(SP122591)



( S. P. 2 3 2 1 6 )

S.P. 2798

CT OF GLAMORGAN  
OF CAMBRIA PA

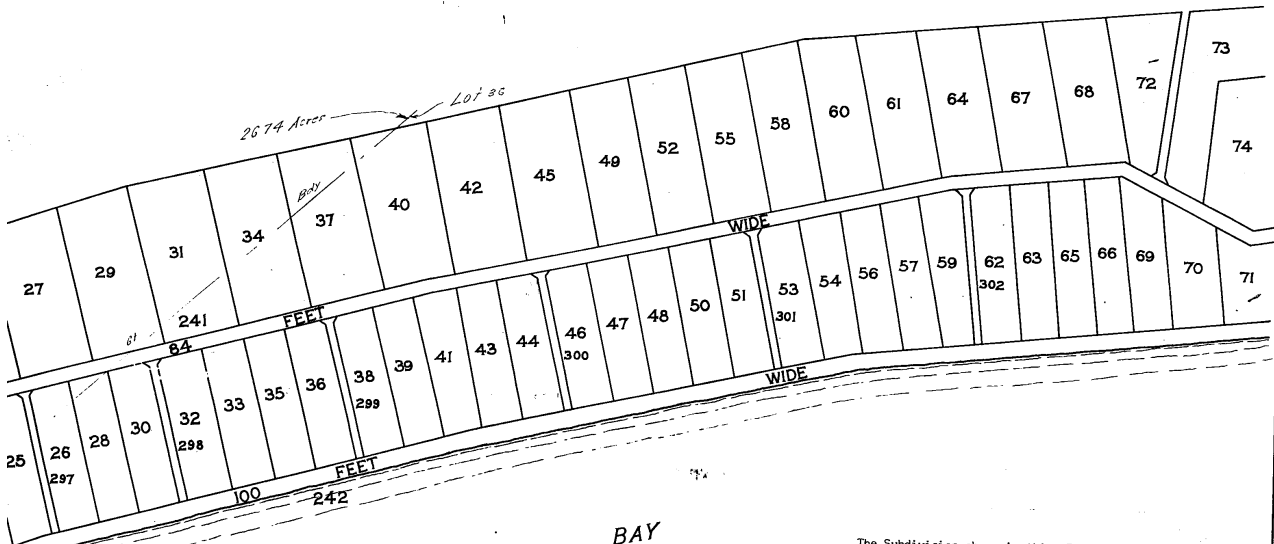
2674.0.0.0. GTD. TO GEORGE MEREDITH.  
36, 2715.0.0.0. GEORGE MEREDITH PURCHASER.  
- 500 FEET TO AN INCH  
Tas.) Pty. Ltd. conv. 4/8074  
Burbury (R.O.W.)

EFFECTIVE FROM 15 MAY 1970

*M. Matthews*  
RECORDER OF TITLES

(P. 111628)

(S. P. 2 3 2 1 6)



OYSTER BAY

BAY

The Subdivision shown on this Plan is approved.  
In witness whereof the Common Seal of The Warden,  
Councillors and Electors Municipality of Glamorgan  
has been hereunto affixed, pursuant to a resolution  
of the Council of the said Municipality passed the  
Second day of December, 1969, in the presence of us.

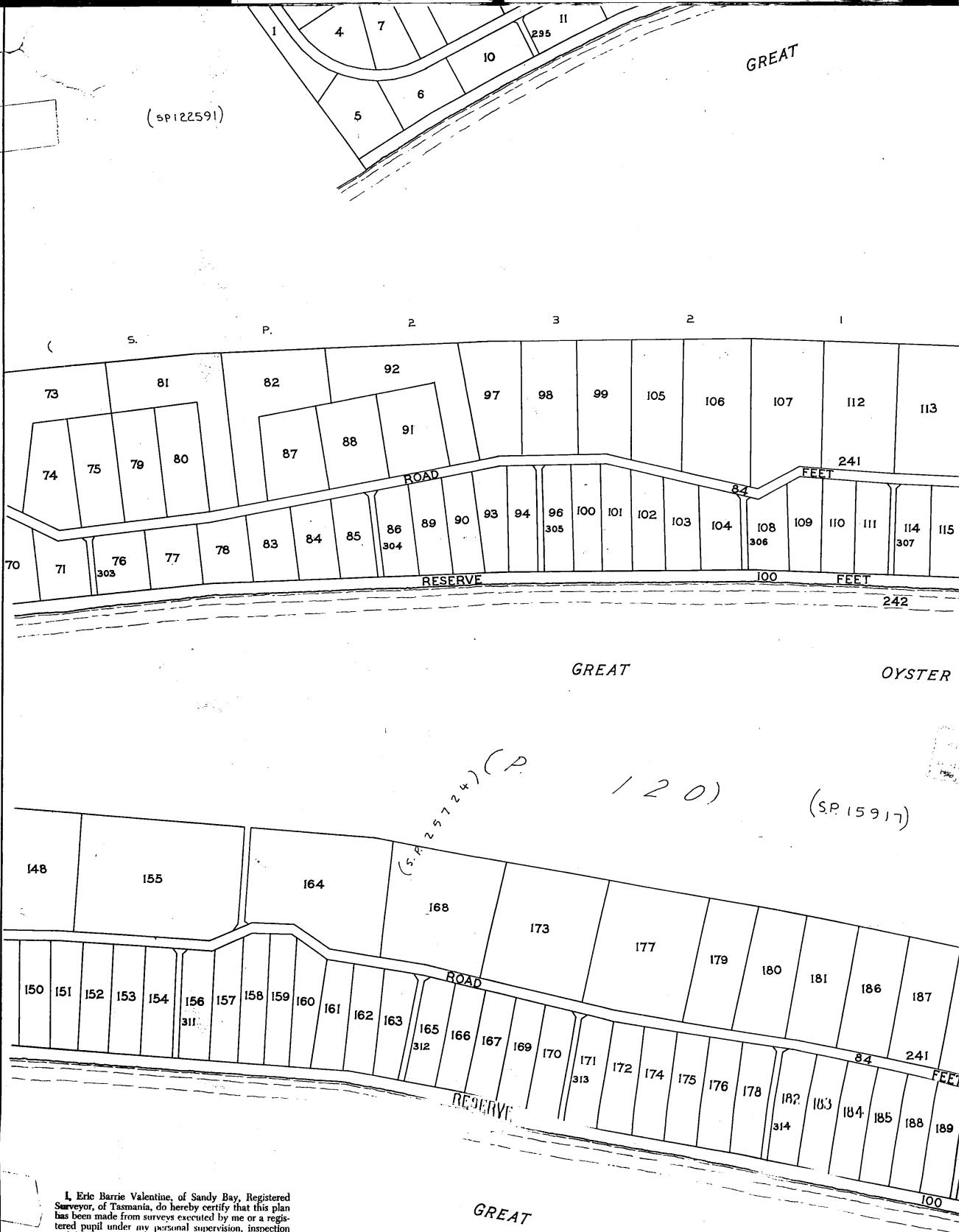
*[Signature]* Member.  
*[Signature]* Council Clerk.

For the purposes of Section 464(7)(b) of the Local  
Government Act, 1962, the owner has nominated  
As his solicitor Simmons Wollhagen Simmons & Walsh, Hobart.  
As his surveyor E. Harrie Valentine, Hobart.

*[Signature]*  
COUNCIL CLERK

GREAT  
SWANPORT

R.O.W.



I, Eric Barrie Valentine, of Sandy Bay, Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or a registered pupil under my personal supervision, inspection and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Laws 1966.

*Eric Barrie Valentine*  
 Authorised Surveyor

Dated this 28<sup>th</sup> day of November 1969

PLOTTED BY *[Signature]*

MATHS CHECKED *[Signature]*

EXAMINED BY *[Signature]*

CD 0700

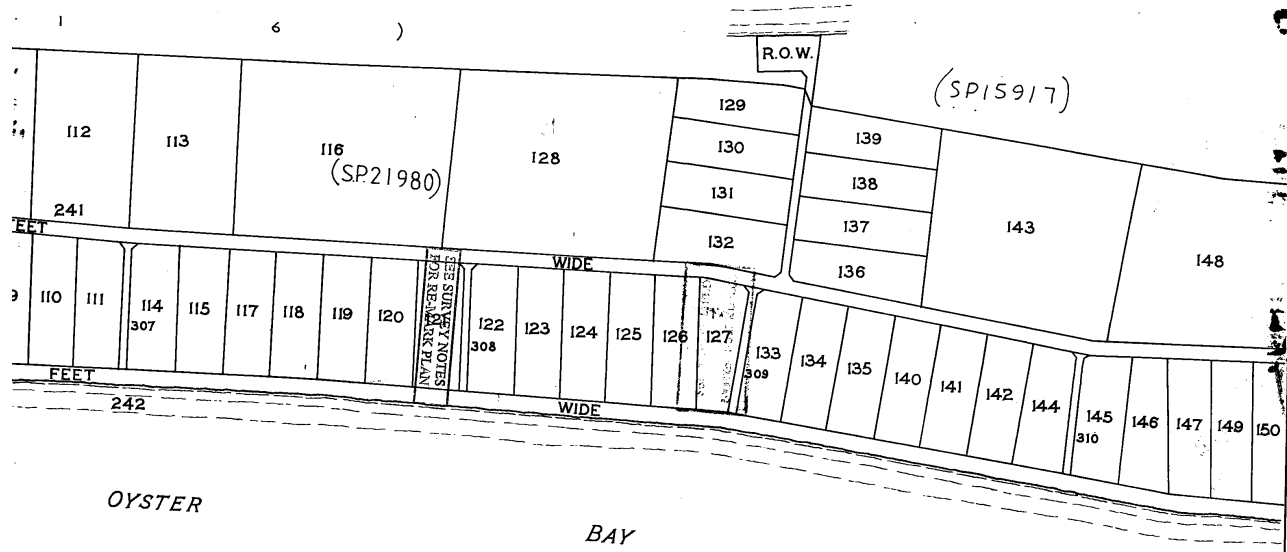
of the Council of the said Municipality passed the  
Second day of December, 1969, in the presence of us.

*[Signature]* Member.  
*[Signature]* Council Clerk.

For the purposes of Section 464(7)(b) of the Local  
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As his solicitor Simmons Wollhagen Simmons & Walsh, Hobart.  
As his surveyor E. Barrie Valentine, Hobart.

*[Signature]*  
DUNNELL CLERK

GREAT  
SWANPORT

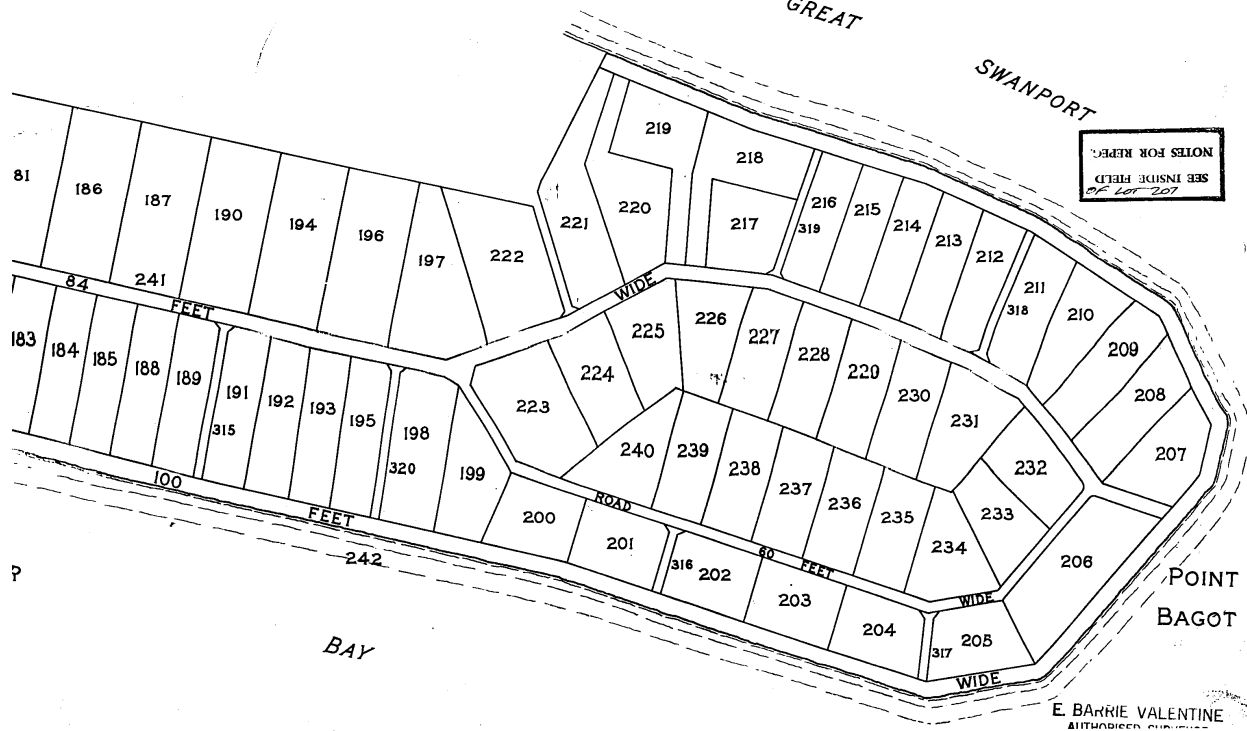


OYSTER

BAY

(SP 15917)  
SEE INSIDE FIELD OF 207-208  
209, 187, 24, 111

GREAT  
SWANPORT



SEE INSIDE FIELD  
OF 207-208

BAY

E. BARRIE VALENTINE  
SURVEYOR



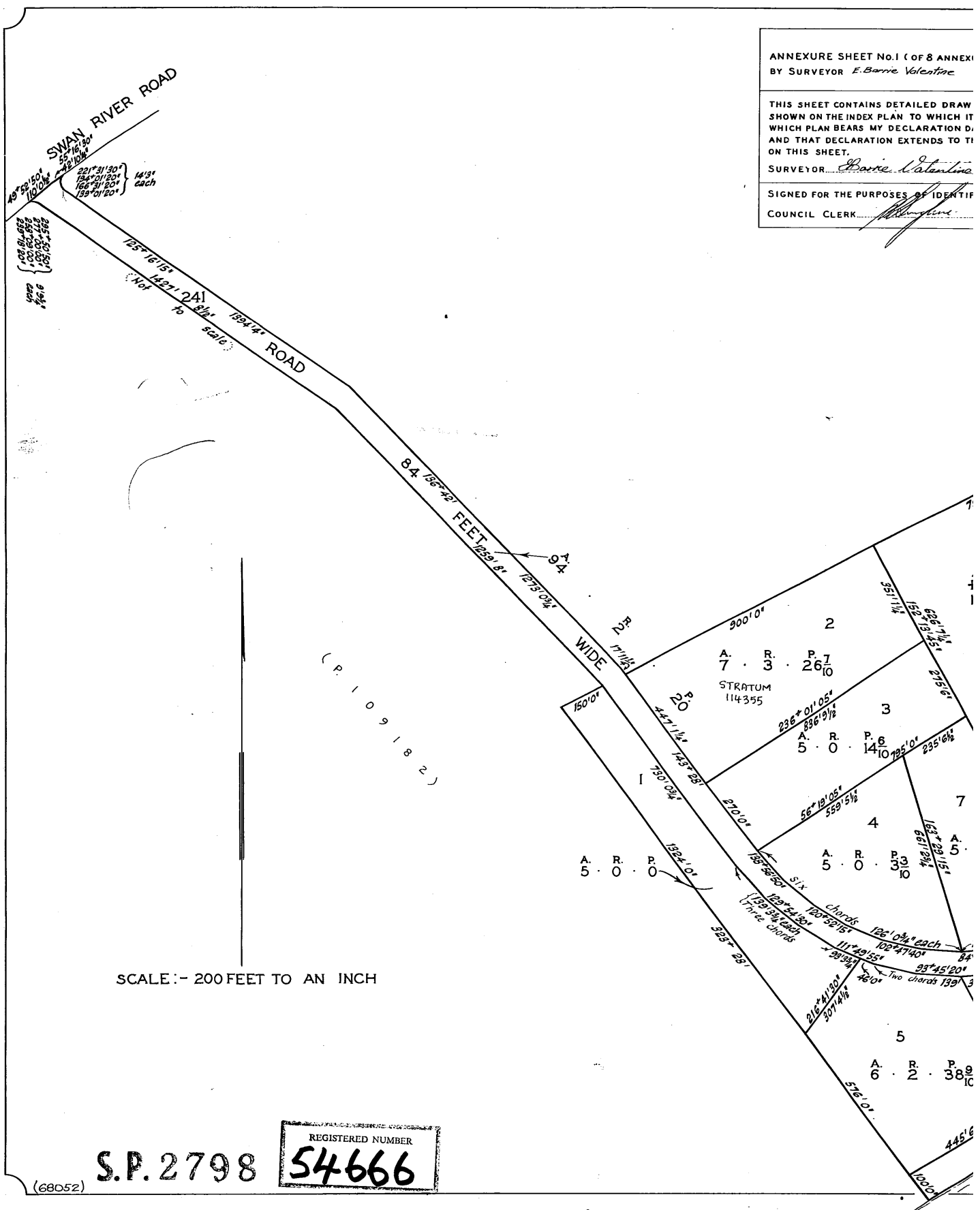
ANNEXURE SHEET No.1 ( OF 8 ANNEXI  
BY SURVEYOR *E.Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAW  
SHOWN ON THE INDEX PLAN TO WHICH IT  
WHICH PLAN BEARS MY DECLARATION D,  
AND THAT DECLARATION EXTENDS TO TI  
ON THIS SHEET.

SURVEYOR *Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIF

COUNCIL CLERK *[Signature]*



SCALE :- 200 FEET TO AN INCH

S.P. 2798

REGISTERED NUMBER  
**54666**

SET No. 1 ( OF 8 ANNEXURES ) TO PLAN  
*E. Barrie Valentine*

AINS DETAILED DRAWINGS OF PARCELS  
 EXPLANATORY INDEX PLAN TO WHICH IT IS ATTACHED,  
 IS MY DECLARATION DATED  
 THIS PLAN EXTENDS TO THE DETAIL SHOWN

*E. Barrie Valentine*

PURPOSES OF IDENTIFICATION.

**S.P. 2798** ANNEX. No. 1.

N.B. :- LOT 295 TO BE "ROAD" (Private)  
 "RESERVE FOR PRIVATE ROADWAY"

**54666**



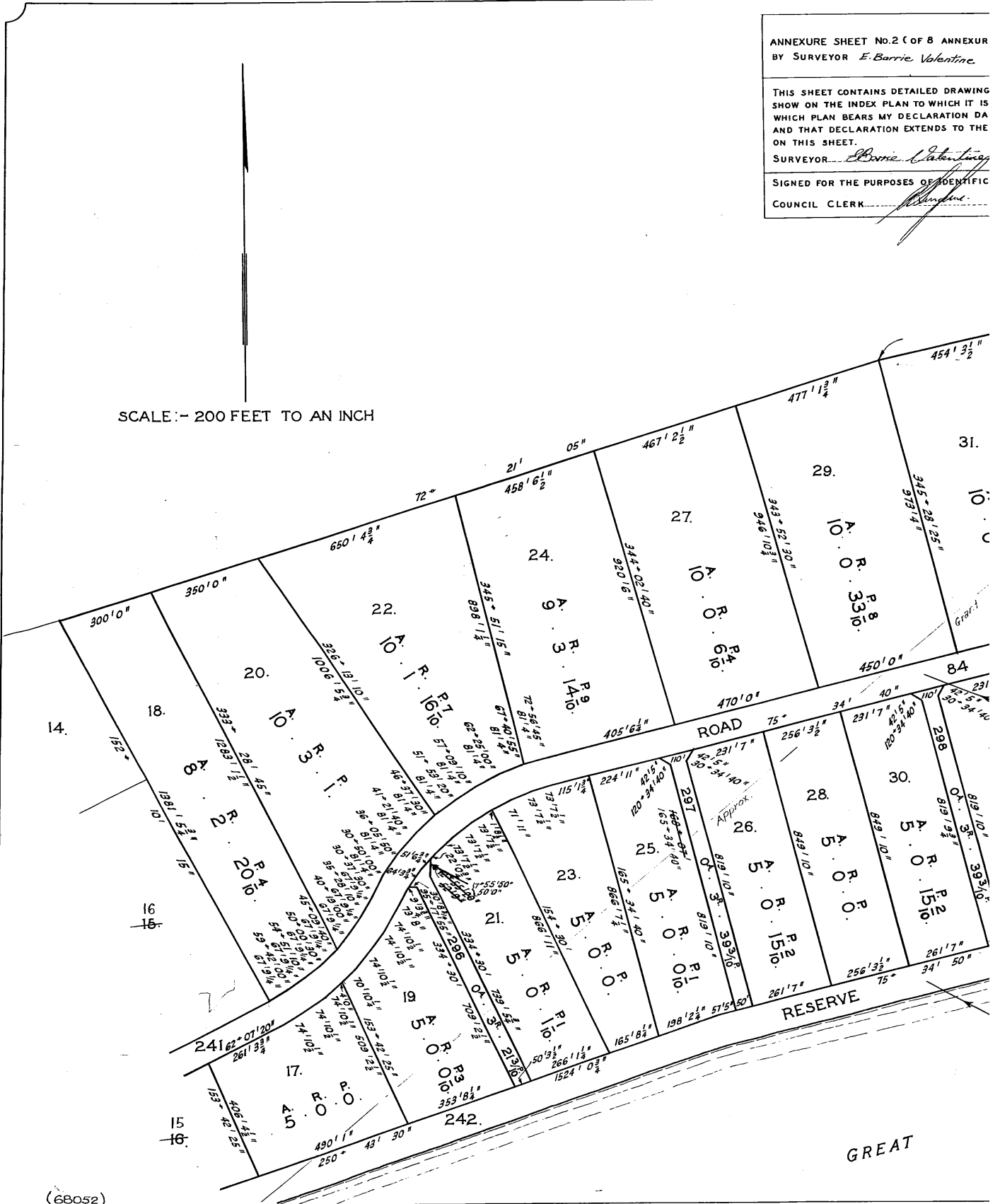
ANNEXURE SHEET No.2 ( of 8 ANNEXUR  
BY SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWING  
SHOW ON THE INDEX PLAN TO WHICH IT IS  
WHICH PLAN BEARS MY DECLARATION DA  
AND THAT DECLARATION EXTENDS TO DA  
ON THIS SHEET.

SURVEYOR *E. Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFIC  
COUNCIL CLERK *[Signature]*

SCALE:- 200 FEET TO AN INCH



(68052)

1 No.2 (OF 8 ANNEXURES) TO PLAN  
E. Barrie Valentine

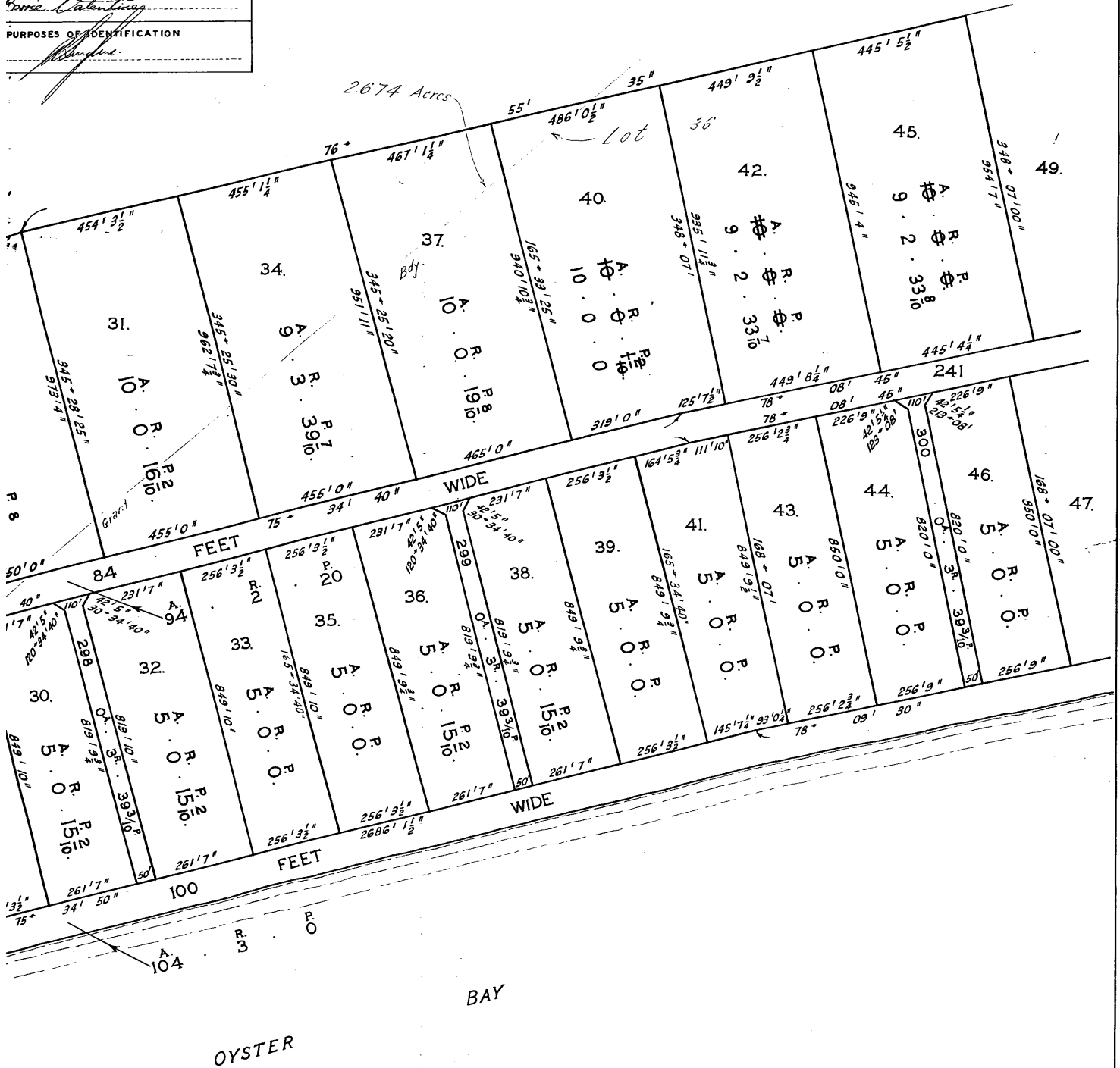
AINS DETAILED DRAWINGS OF PARCELS  
EX PLAN TO WHICH IT IS ATTACHED,  
IS MY DECLARATION DATED  
RATION EXTENDS TO THE DETAIL SHOWN

Barrie Valentine

PURPOSES OF IDENTIFICATION

S.P. 2798 ANNEX. No. 2  
N.B. :- LOTS 296 - 300 TO BE "ROAD" (Private)  
"RESERVE FOR PRIVATE ROADWAY"

54666



REGISTERED NUMBER  
54666

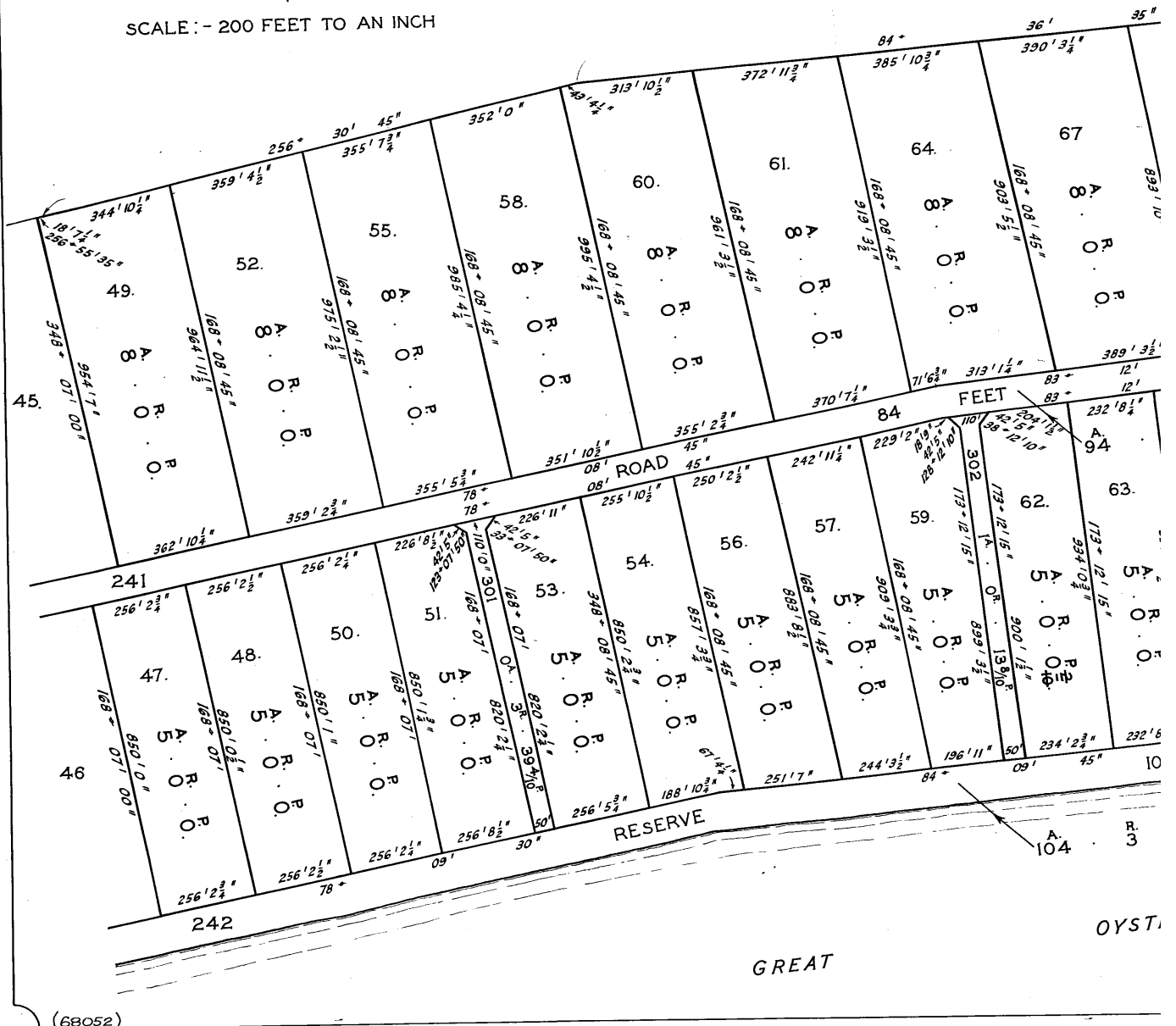
E. BARRIE VALENTINE  
AUTHORISED SURVEYOR  
AND TOWN PLANNER  
183 MACQUARIE ST.  
HOBART

ANNEXURE SHEET No. 3 (Of 8 ANNEX  
SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAW  
SHOWN ON THE INDEX PLAN TO WHICH  
WHICH PLAN BEARS MY DECLARATION  
AND THAT DECLARATION EXTENDS TO  
ON THIS SHEET.  
SURVEYOR *Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFYING  
COUNCIL CLERK *[Signature]*

SCALE: - 200 FEET TO AN INCH



No. 3 (OF 8 ANNEXURES) TO PLAN BY  
*Errie Valentine*

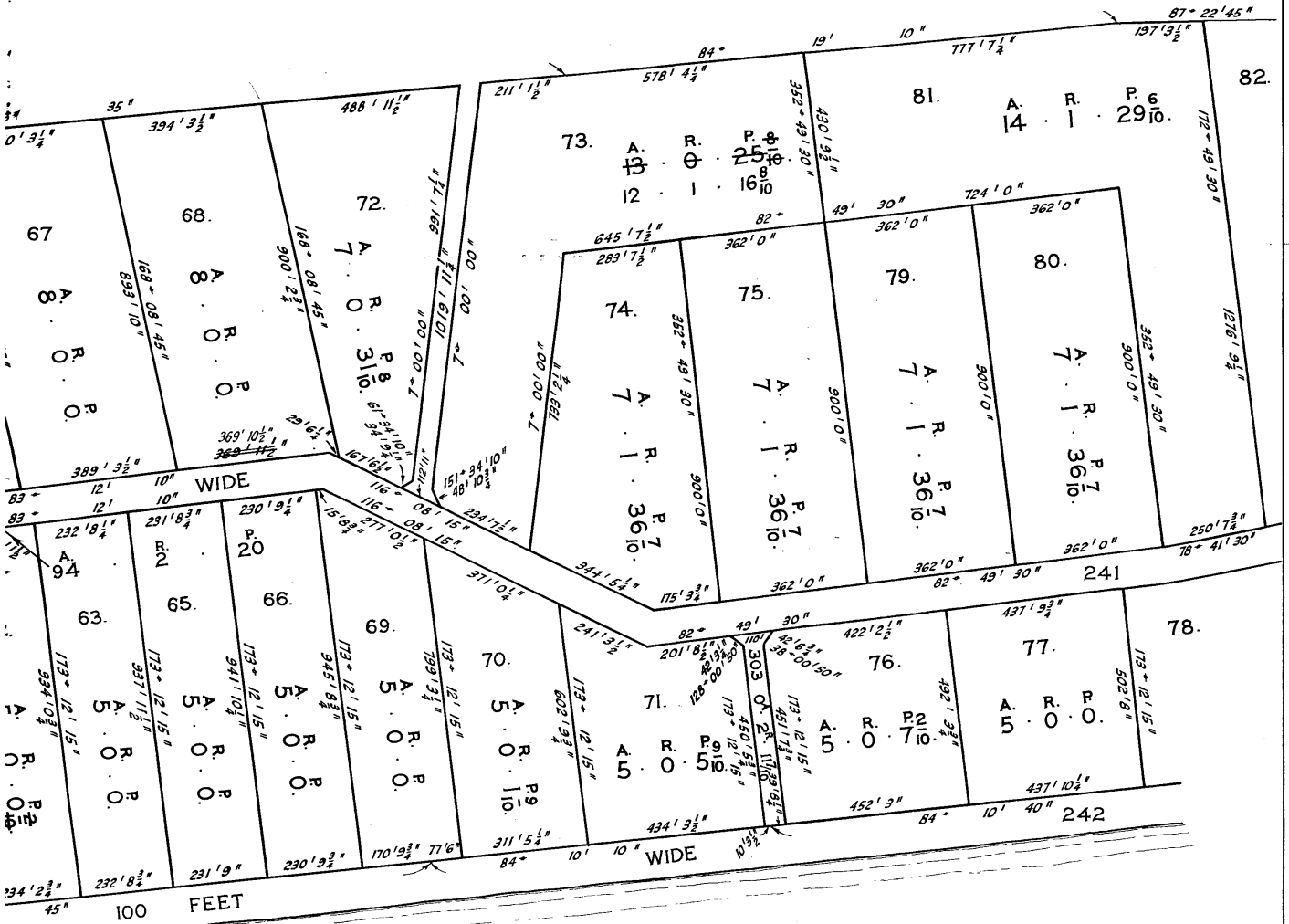
THESE DETAILED DRAWINGS OF PARCELS  
EX PLAN TO WHICH IT IS ATTACHED,  
BY MY DECLARATION DATED  
THIS DAY EXTENDS TO THE DETAIL SHOWN

*Errie Valentine*

PURPOSES OF IDENTIFICATION.

**S.P. 2798** ANNEX. No. 3  
N.B. :- LOTS 301 - 303 TO BE 'ROAD' (Private)  
"RESERVE FOR PRIVATE ROADWAY"

**54666**



A. 04 R. 03 P. 00

BAY

OYSTER

REGISTERED NUMBER  
**54666**

E. BARRIE VALENTINE  
AUTHORISED SURVEYOR  
AND TOWN PLANNER  
183 MACQUARIE ST.  
HOBART

LET No.5 (OF 8 ANNEXURES) OF PLAN BY  
*Ernie Valentine*

CONTAINS DETAILED DRAWINGS OF PARCELS  
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READS MY DECLARATION DATED  
EXPLANATION EXTENDS TO THE DETAIL SHOWN

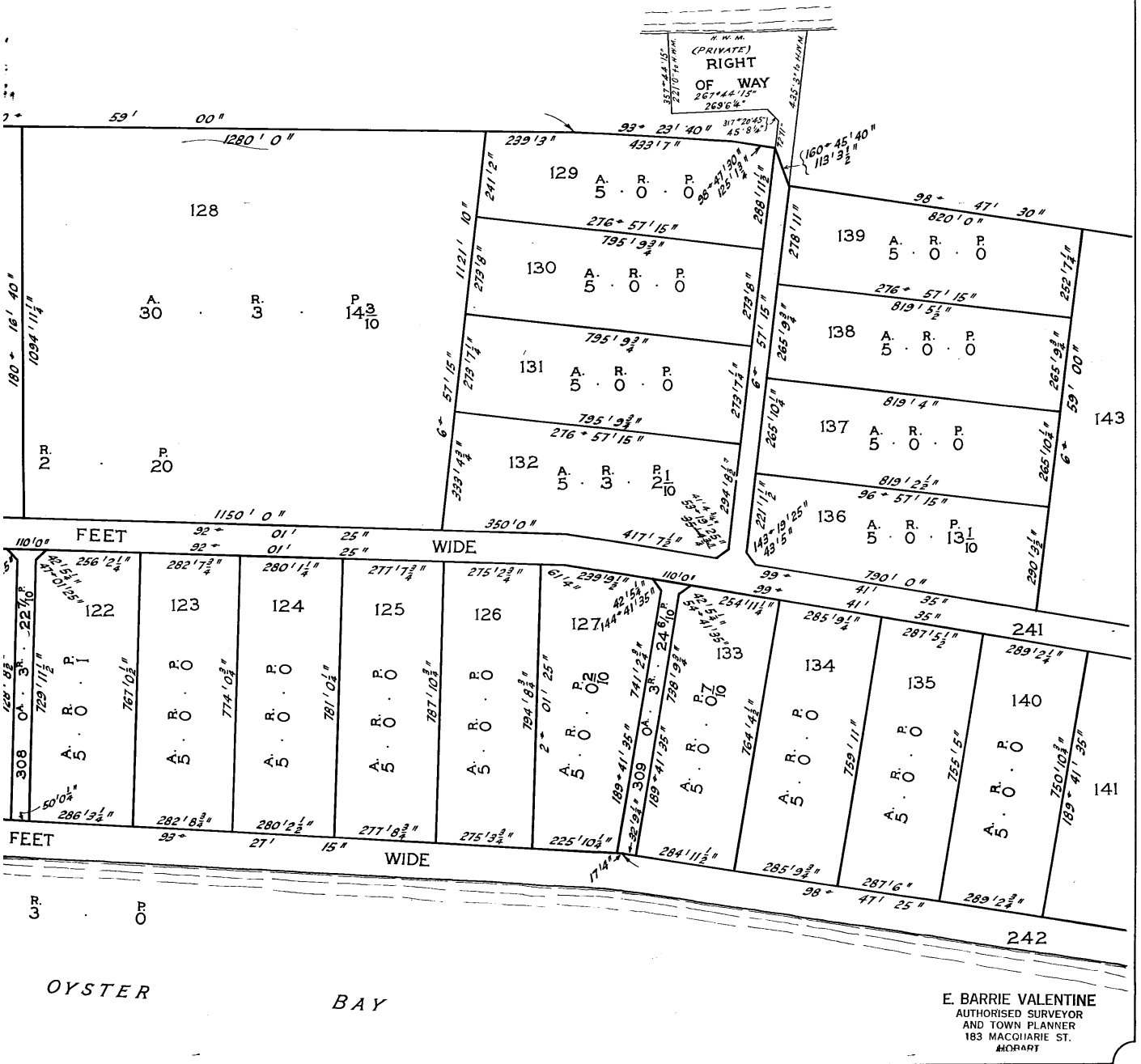
*Ernie Valentine*

PURPOSES OF IDENTIFICATION  
*Ernie Valentine*

**S.P. 2798** ANNEX. No. 5  
N.B. :- LOTS 307-309 TO BE  
"RESERVE FOR PRIVATE ROADWAY"  
"ROAD" (Private)

REGISTERED NUMBER  
**54666**

GREAT  
SWANPORT



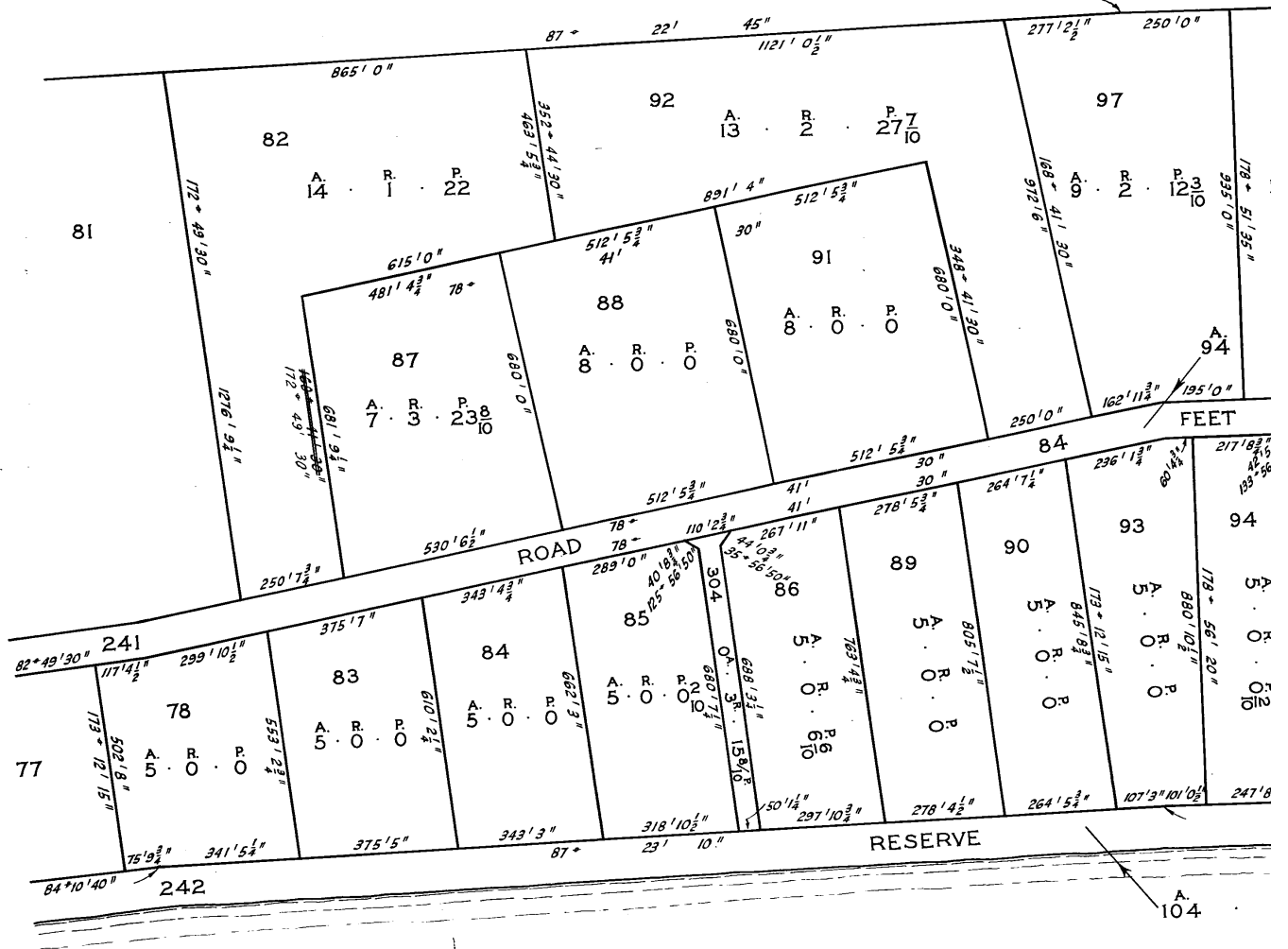
E. BARRIE VALENTINE  
AUTHORISED SURVEYOR  
AND TOWN PLANNER  
183 MACQUARIE ST.  
HOBART

ANNEXURE SHEET No. 4 (OF 8 ANNEX)  
SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWING SHOWN ON THE INDEX PLAN TO WHICH WHICH PLAN BEARS MY DECLARATION AND THAT DECLARATION EXTENDS TO THIS SHEET.  
SURVEYOR *Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFICATION  
COUNCIL CLERK *[Signature]*

SCALE: - 200 FEET TO AN INCH



(68052)



ET No. 4 (OF 8 ANNEXURES) TO PLAN BY  
*Barrie Valentine*

AINS DETAILED DRAWINGS OF PARCELS  
 INDEX PLAN TO WHICH IT IS ATTACHED,  
 MAKES MY DECLARATION DATED  
 [DATE] EXTENDS TO THE DETAIL SHOWN

*Barrie Valentine*

PURPOSES OF IDENTIFICATION

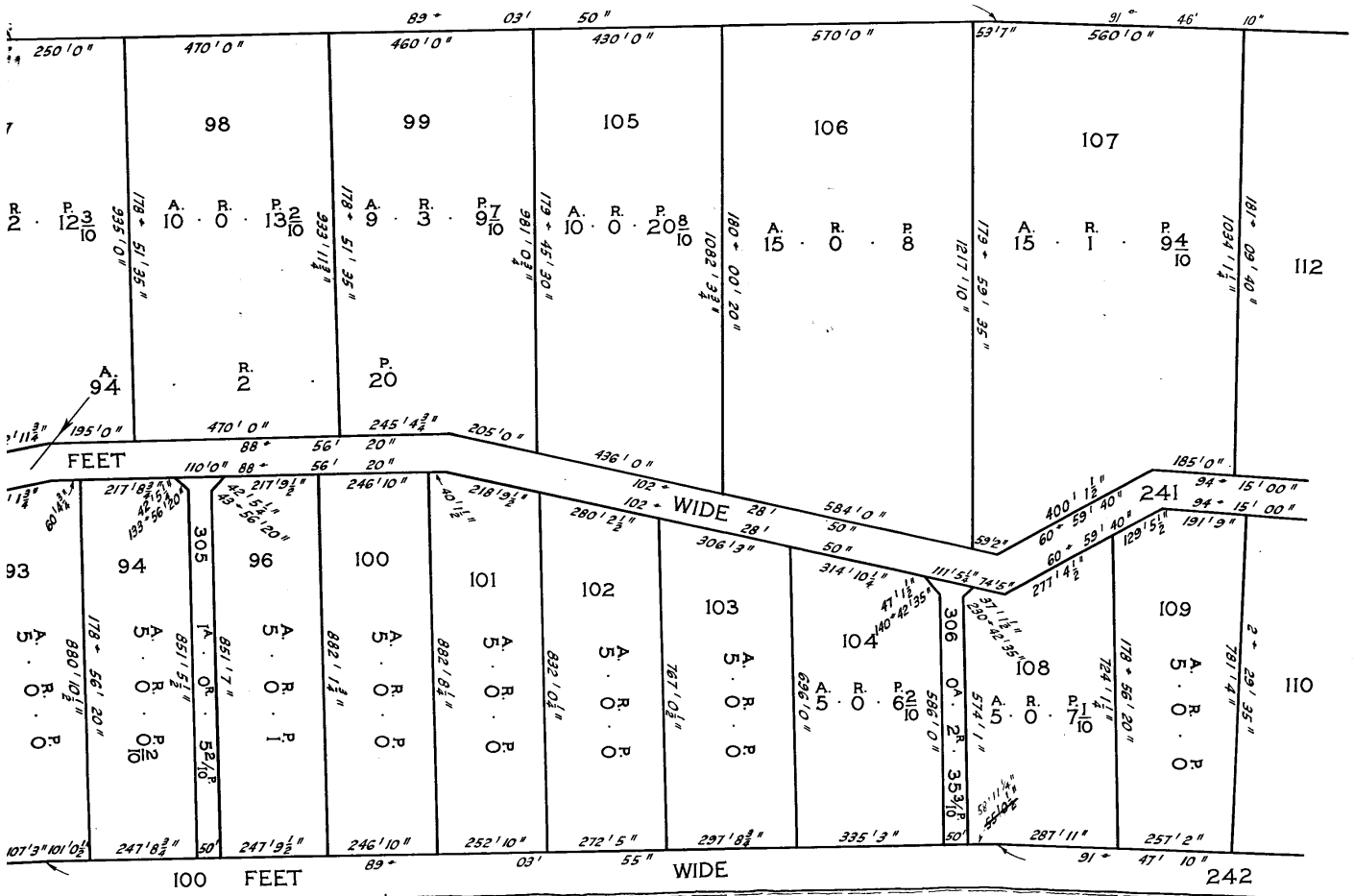
*[Signature]*

S.P. 2798

N.B. :- LOTS 304 - 306 TO BE ROAD (Private)  
 "RESERVE FOR PRIVATE ROADWAY"

54666

SEE INSIDE FIELD  
 NOTE FOR REFE.  
 LOT 32.



OYSTER

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REGISTERED NUMBER  
 54666

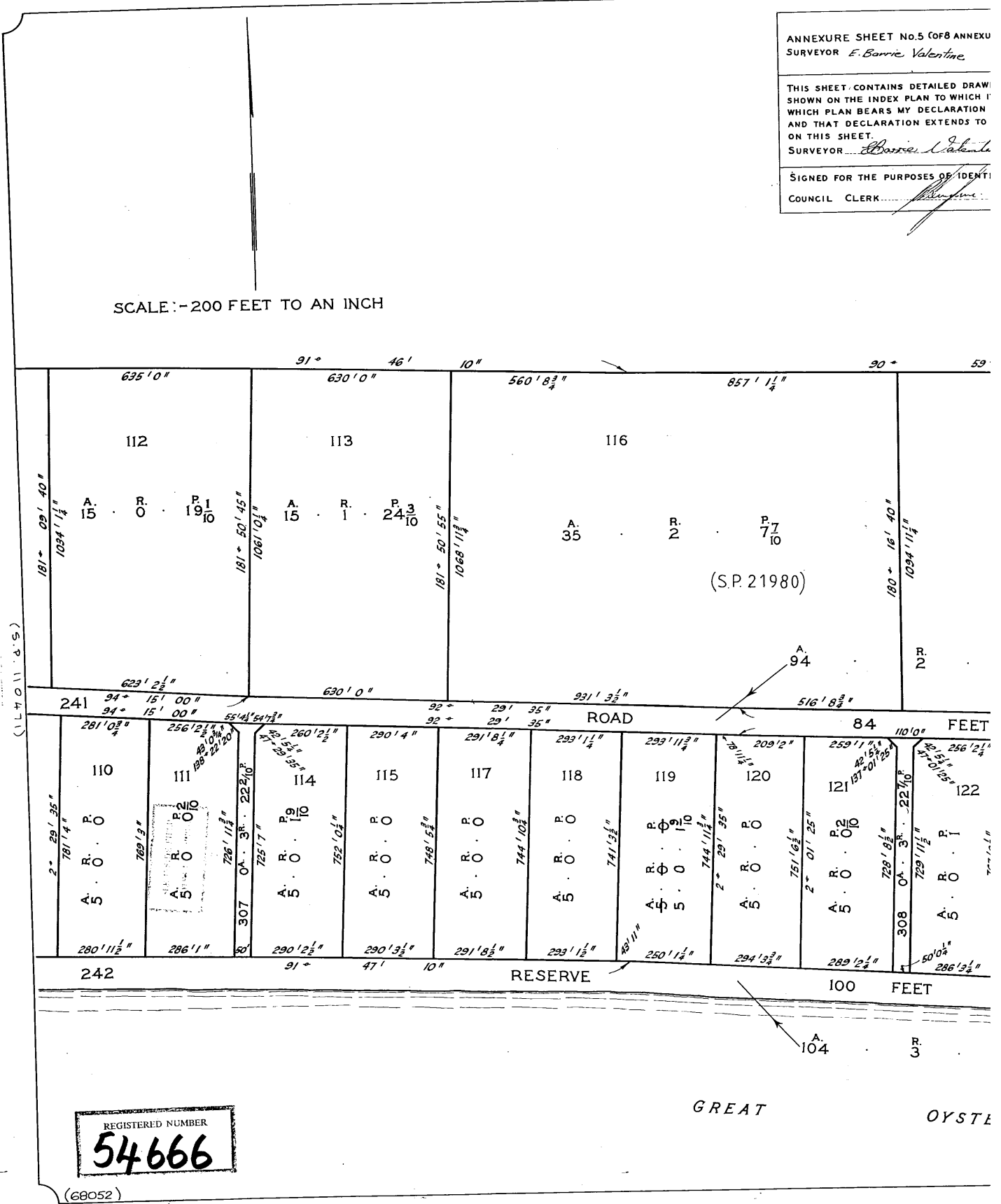
E. BARRIE VALENTINE  
 AUTHORISED SURVEYOR  
 AND TOWN PLANNER  
 183 MACQUARIE ST.  
 HOBART

ANNEXURE SHEET No.5 of 8 ANNEXU  
SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWING SHOWN ON THE INDEX PLAN TO WHICH I WHICH PLAN BEARS MY DECLARATION AND THAT DECLARATION EXTENDS TO ON THIS SHEET.  
SURVEYOR *E. Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFICATION  
COUNCIL CLERK *[Signature]*

SCALE:-200 FEET TO AN INCH



REGISTERED NUMBER  
**54666**

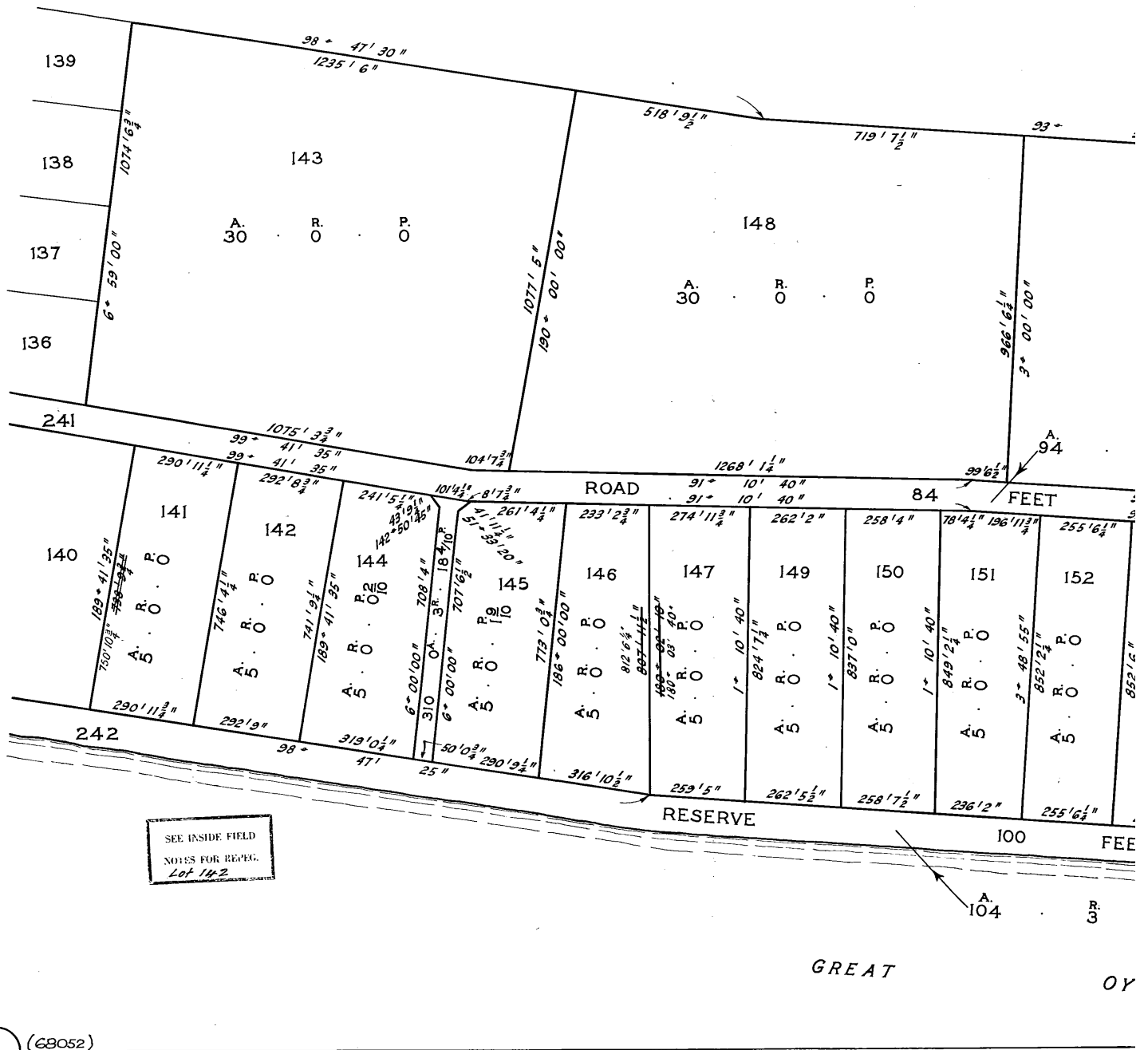
(68052)

N.B. :- LOTS 310 - 312 TO BE "ROAD" (Private)  
"RESERVE FOR PRIVATE ROADWAY"

ANNEXURE SHEET No.6 (OF 8 ANNEX  
SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWING  
SHOWN ON THE INDEX PLAN TO WHICH  
WHICH PLAN BEARS MY DECLARATION  
AND THAT DECLARATION EXTENDS TO THIS  
ON THIS SHEET.  
SURVEYOR.....*E. Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFICATION  
COUNCIL CLERK.....*[Signature]*



LET No. 6 (OF 8 ANNEXURES) TO PLAN BY  
*Ernie Valentine*

SHOWN DETAILED DRAWINGS OF PARCELS  
 INDEX PLAN TO WHICH IT IS ATTACHED  
 IS MY DECLARATION DATED  
 THIS PLAN EXTENDS TO THE DETAIL SHOWN

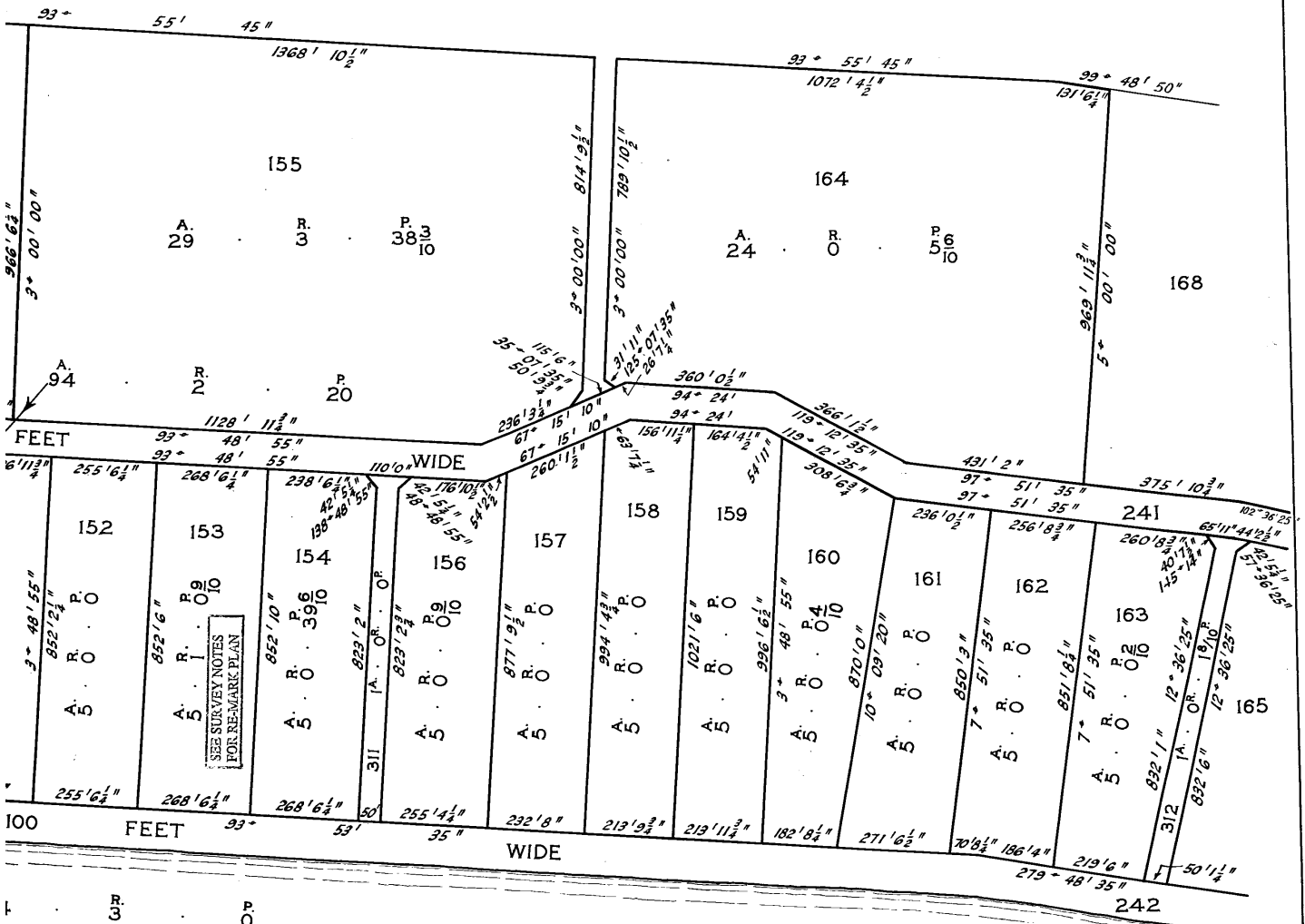
*Ernie Valentine*

PURPOSES OF IDENTIFICATION.  
*Ernie Valentine*

S.P. 2798

54666

SCALE: - 200 FEET TO AN INCH



OYSTER

BAY

REGISTERED NUMBER  
**54666**

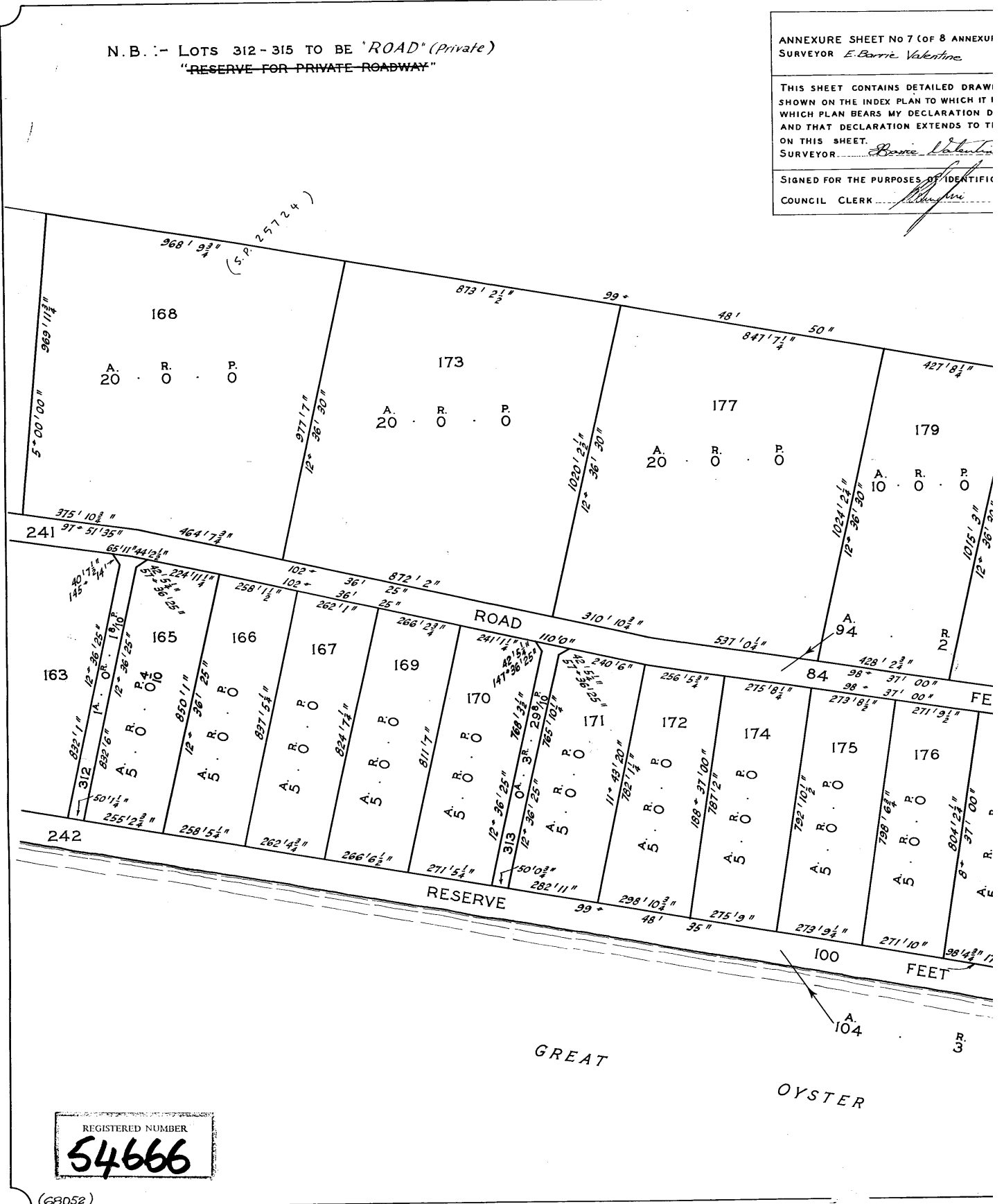
E. BARRIE VALENTINE  
 AUTHORISED SURVEYOR  
 AND TOWN PLANNER  
 183 MACDONALD ST.  
 HOBART

N.B. :- LOTS 312-315 TO BE 'ROAD' (Private)  
 "RESERVE FOR PRIVATE ROADWAY"

ANNEXURE SHEET NO 7 (OF 8 ANNEXURE SHEETS)  
 SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWING OF THE LAND WHICH IS SHOWN ON THE INDEX PLAN TO WHICH IT IS REFERRED AND WHICH PLAN BEARS MY DECLARATION AND THAT DECLARATION EXTENDS TO THIS SHEET.  
 SURVEYOR *Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFICATION  
 COUNCIL CLERK *[Signature]*



Plan No 7 (OF 8 ANNEXURES) TO PLAN BY  
*Eric Valentine*

SHOWN DETAILED DRAWINGS OF PARCELS  
 OF THIS PLAN TO WHICH IT IS ATTACHED  
 AND MY DECLARATION DATED  
 15/03/2019 EXTENDS TO THE DETAIL SHOWN

*Eric Valentine*

PURPOSES OF IDENTIFICATION.

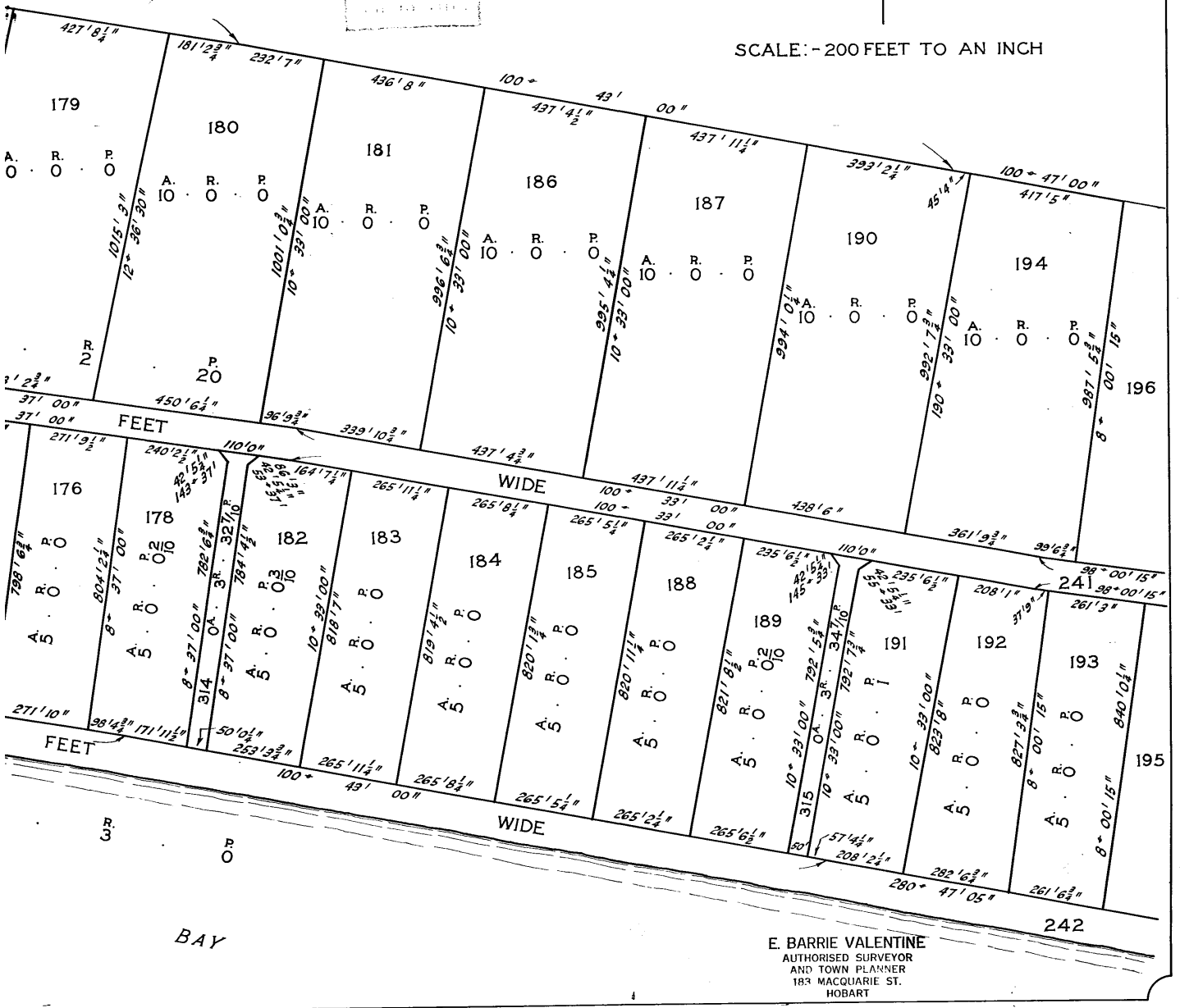
*Eric Valentine*

S.P. 2798

ANNEX. NO. 7

54666

SCALE: - 200 FEET TO AN INCH



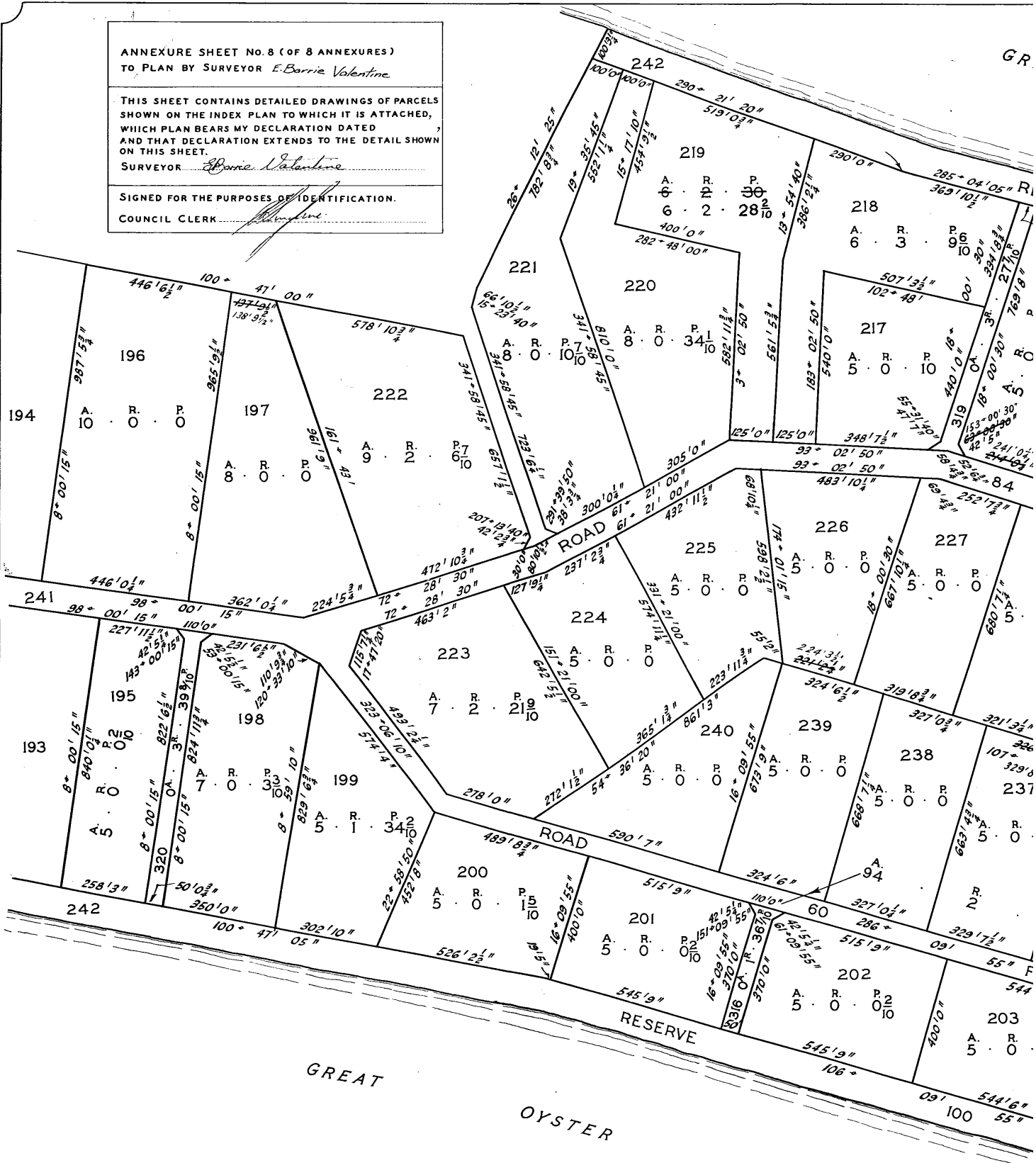
ANNEXURE SHEET No. 8 (OF 8 ANNEXURES)  
TO PLAN BY SURVEYOR *E. Barrie Valentine*

THIS SHEET CONTAINS DETAILED DRAWINGS OF PARCELS SHOWN ON THE INDEX PLAN TO WHICH IT IS ATTACHED, WHICH PLAN BEARS MY DECLARATION DATED, AND THAT DECLARATION EXTENDS TO THE DETAIL SHOWN ON THIS SHEET.

SURVEYOR: *E. Barrie Valentine*

SIGNED FOR THE PURPOSES OF IDENTIFICATION.

COUNCIL CLERK: \_\_\_\_\_



N.B. :- LOTS 316 - 320 TO BE 'ROAD' (Private)  
"RESERVE FOR PRIVATE ROADWAY"

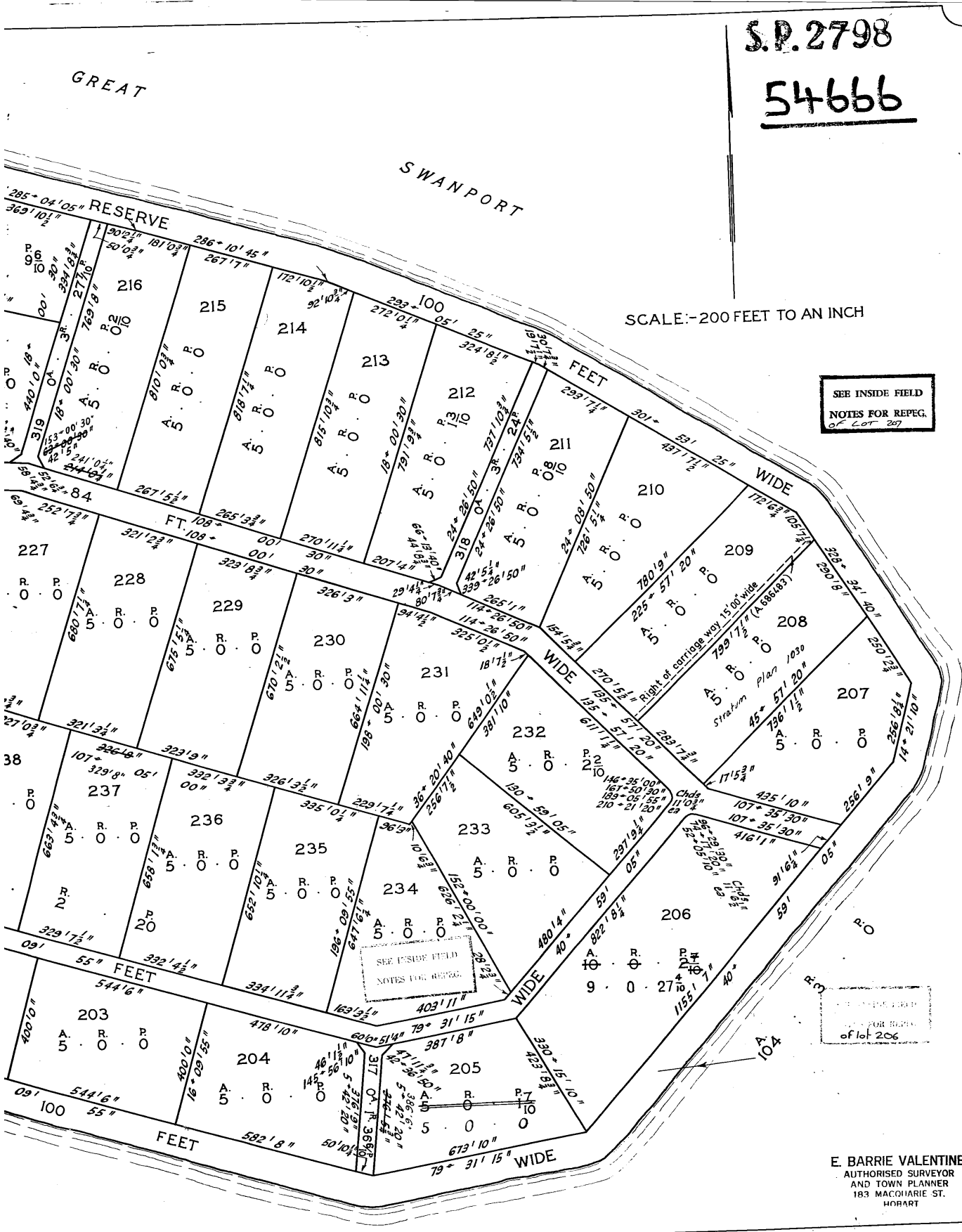
**S.P. 2798**

ANNEX. NO. 8

REGISTERED NUMBER  
**54666**

(68052)

S.P. 2798  
54666





SEARCH OF TORRENS TITLE

VOLUME 54666	FOLIO 99
EDITION 7	DATE OF ISSUE 27-Apr-2018

SEARCH DATE : 20-Mar-2019

SEARCH TIME : 09.49 AM

DESCRIPTION OF LAND

Parish of CAMBRIA, Land District of GLAMORGAN  
 Lot 99 on Sealed Plan 54666 (formerly being SP2798)  
 Derivation : Part of Lot 36 Gtd to G Meredith  
 Prior CT 2698/36

SCHEDULE 1

M682205 TRANSFER to CHRISTOS TYMBAS Registered 27-Apr-2018  
 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP 54666 BENEFITING EASEMENTS: Rights of Carriageway in  
 Schedule of Easements  
 SP 54666 FENCING PROVISION in Schedule of Easements  
 E132298 MORTGAGE to Commonwealth Bank of Australia  
 Registered 27-Apr-2018 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**SCHEDULE OF EASEMENTS PLAN NO.**

**S.P.2798**

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No covenants or profits a preponder are created to benefit or burden any of the lots shown on the plan.

**FENCING PROVISIONS :** In respect of each of the lots shown on the said plan, <sup>except lot 292</sup> C.H.I. (Tas,) Pty. Ltd. the Vendor shall not be required to fence.

**EASEMENTS :**

Each Lot in Column A is together with a right of carriage way over the Lots specified in Column B and together with a right of carriage way <sup>(Private)</sup> over the Right of Way shown on the plan.

COLUMN A	COLUMN B
<p><del>Lots 1 - 240 inclusive</del>  <i>M/Lots 1 to 94 and 96 to 240,</i></p>	<p>Lots 295 - 320 inclusive</p>
<p>Lots 295 to 320 are each subject to a right of carriageway (appurtenant to lots 1 to 94 &amp; 96 to 240.)</p>	

THE COMMON SEAL of C.H.I. (TAS.) )  
*the beneficial owner of the land*  
 PTY. LTD. in Cycle No 41/8074 was hereunto affixed in )  
 the presence of RICHARD WARREN )  
PORTER and MICHAEL JOHN DINON. )  
 The Committee appointed by the )  
 Directors for such purposes : )

*Richard Warren*  
*Michael John Dinon*

THE COMMON SEAL of MUTUAL ACCEPTANCE )  
 LIMITED AS Mortgagee under Indenture )  
 of Mortgage No. 42/55 was hereunto )  
 affixed by authority of a resolution )  
 of the Board of Directors in the )  
 presence of - )  
 Directors. )  
 Secretary.

*John*  
*Albion*  
 Directors

CORRECT for the Purposes of the Real Property Act 1862 as amended  
 SIMMONS WOLFHAGEN SIMMONS & WALCH  
 Per: *[Signature]*

**CERTIFIED CORRECT** for the purposes of the Real Property Act 1862 as amended.

*Simmons, Hoffmann, Simmons and Walsh*

This is the schedule of easements attached to the plan of ..... C.H.I. (Tas) Pty. Ltd.

..... comprising part of the land in

(Insert Title Reference)

Sealed by ..... Municipality of Glamorgan ..... on 2nd December 1969

*[Signature]*  
Council Clerk/Town Clerk

21000

ISSUE

Sheet List

Sheet Number	Sheet Name	Project Status	Current Revision	Revision Date
1 G-01	COVER	CONSTRUCTION	R14	19/07/2022
1 G-02	GENERAL NOTES	CONSTRUCTION	R14	19/07/2022
1 G-03	BAL 19	CONSTRUCTION	R14	19/07/2022
1 G-04	BAL 19	CONSTRUCTION	R14	19/07/2022
2 A-01	SITE SURVEY	CONSTRUCTION	R14	19/07/2022
2 A-01.1	SITE PLAN	CONSTRUCTION	R14	19/07/2022
2 A-02	FLOOR PLAN	CONSTRUCTION	R14	19/07/2022
2 A-03	ELEVATIONS	CONSTRUCTION	R14	19/07/2022
2 A-04	ROOF PLAN	CONSTRUCTION	R14	19/07/2022
2 A-05	FLOOR FINISHES	CONSTRUCTION	R14	19/07/2022
2 A-06	ELECTRICAL PLAN	CONSTRUCTION	R14	19/07/2022
3 C-01	HYDRAULIC PLAN	CONSTRUCTION	R14	19/07/2022
3 C-02	SECTION	CONSTRUCTION	R14	19/07/2022
4 D-01	WET AREA DETAILS	CONSTRUCTION	R14	19/07/2022
4 D-02	WET AREA DETAILS	CONSTRUCTION	R14	19/07/2022
4 D-03	STAIRS AND BARRIERS	CONSTRUCTION	R14	19/07/2022



**WARNING:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE DBYD AND WORK WITH AUTHORITIES TO LOCATE ALL UNDERGROUND SERVICES.



**General Information**

Designer: Daniel Bastin CC6836  
 Classification: 1a  
 Title Reference: 54666/99  
 Design Wind Speed: N3  
 Soil Classification: S  
 Climate Zone: 7  
 BAL: 19  
 Corrosion Environment: Moderate  
 Known Hazards: N/A  
 Floor Area: 88m<sup>2</sup>  
 Deck: 9m<sup>2</sup>

**General Notes**  
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**Tymbas Residence**  
 653 Dolphin Sands Road, Dolphin Sands

**COVER**

Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

**1 G-01**

Scale on A3

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**GENERAL NOTES:**

Check all dimensions, boundaries, easements and service locations on site. All work shall comply with the Tasmanian Building Regulations 2016, National Construction Codes and relevant current Australian Standards.

Check carefully all aspects of these documents before commencing work. Any errors or anomalies to be reported to the drawer before work is continued. Confirm all sizes and heights on site. Do not scale off plan.

All framing to comply with AS 1684 Residential Timber-Framed Construction. Note: All timber sizes specified are minimum requirement only. Substitutes may be used as long as verification of equal performance is obtained.

All construction is to comply with the National Construction Codes and all relevant Australian Standards.

These documents to be used with specifications, soil tests and all documentation prepared by an engineer.

These documents are intended for council applications and normal construction.

This design is covered under copyright and any changes must be confirmed with Modulus Studio, the designer retains all intellectual property.

**SITE NOTES:**

All site works shall be in accordance with NCC CSIRO BTF 18, 19, 22 and AS 2870

Minimal site disturbance is to be carried out. Sediment control; 'geolab' silt fence 1000 or similar. Topsoil stockpiles remaining on the site to be covered with plastic, adequately retained along all edges. Unused stockpiles to be removed from site or used for future landscaping.

**SITE PREPARATION AND EXCAVATION:**

In accordance with part 3.1 of current NCC and to local council requirements.

Internal finished floor level (ffl) to be min. 150mm above finished external ground areas (flower beds or grassed areas) and min. 50 mm above finished external sealed surfaces (paved areas). Provide 50 mm min. fall for the first metre away from building towards lower ground or alternatively sufficient drainage provisions (ag drains, sumps or similar).

**FOOTINGS:**

Concrete footings and slabs in accordance with part 3.2 of current NCC, AS 2870.1 and engineer's specifications.

Unless otherwise specified, footings 25mpa / slab 25mpa. Strip footings to be placed with a mechanical vibrator. Concrete slabs to be moisture cured for min. of 7 days or apply approved curing compound.

Provide wall cavity drainage with weep holes at 960 max centres along line above finished ground level. (slab area).

**BRICK AND BLOCK:**

In accordance with part 3.3 of current NCC, AS 4773 and AS 3700

**SUB-FLOOR VENTILATION:**

In accordance with part 3.4.1 of current NCC Minimum rate of sub-floor ventilation to be 6000mm2 per metre of external perimeter wall.

**DAMP PROOFING:**

In accordance with part 3.3.4 of current NCC and to AS/NZS 2904.

**TIMBER FRAMING:**

Timber framing, tie down and wind bracing details to AS 1684.2.and AS4055.

**WALL CLADDING:**

In accordance with part 3.5 of current NCC and manufacturer's specifications.

**ROOF CLADDING, GUTTERING AND DOWNPIPES:**

In accordance with 3.5.1 and parts 3.5.2 of current NCC and AS/NZS 3500.5. Installation to be in accordance with manufacturer's specifications and recommendations.

**WET AREAS:**

In accordance with part 3.8.1 of current NCC and AS 3470. Provide all surfaces to wet areas with a water impervious surface. All splash backs to be min. 150 high. Shower area to be fully lined as above to min. 1800 height.

**WINDOWS & GLAZING:**

All windows and glazing to AS 2047 and AS 1288 and part 3.6 of current NCC. Manufacturer to provide certification of compliance. All window measurement shown are nominal only and are to be verified on site, prior to ordering.

**CONDENSATION MANAGEMENT NOTES:**

All condensation management in accordance with the NCC 3.8.7 as per following;

**Pliable Building Membrane 3.8.7.2**

- (a) Where a pliable building membrane is installed in an external wall, it must--
  - (i) Comply with AS/NZS 4200.1; and
  - (ii) Be installed in accordance with AS4200.2; and
  - (iii) Be a vapour permeable membrane for climate zones 6, 7 and 8; and
  - (iv) Be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building.
- (b) Except for single skin masonry or single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

**Flow Rate and Discharge of Exhaust Systems 3.8.7.3**

- (a) An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow Rate of--
  - (i) 25 l/s for a bathroom or sanitary compartment; and
  - (ii) 40 l/s for a kitchen or laundry.
- (b) Exhaust from a bathroom, sanitary compartment, or laundry must be discharged--
  - (i) Directly or via a shaft or duct to outdoor air; or
  - (ii) To a roof space that is ventilated in accordance with 3.8.7.4.

**VENTILATION OF ROOF SPACES 3.8.7.4:**

- (a) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to Outdoor air through evenly distributed openings.
- (b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22°, or 1/150 of the respective ceiling area if the roof pitch is not more than 22°.
- (c) 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest Point of the roof space, measured vertically, with the remaining required area provided by eave vents.

**HYDRAULIC:**

Stormwater to be in accordance with AS/NSZ 3500 Wastewater to be in accordance with AS/NSZ 3500 and/or AS 1547 Water supply to be in accordance with AS/NSZ 3500

**ELECTRICAL:**

All wiring and electrical installation to be in accordance with AS 3000 Smoke alarm/s - a 240 volt hard wired smoke alarm complying with AS 3768 should be located near sleeping areas on every story and as per current NCC.

**INTERIOR NOTES:**

**Plasterboard;**

All internal plasterboard finishes to be in accordance with AS/NZS 2588

**Joinery;**

- Hardwood in accordance with AS 2796
- Softwood in accordance with AS 4785
- Plywood in accordance with AS/NZS 2270 and AS/NZS 2271

**Domestic Kitchen Assemblies;**

In accordance with AS/NZS 4386

**Ceramic Tiling;**

In accordance with AS 4662, AS 2358 and AS 4992

**WATERPROOFING / WET AREAS:**

In accordance with AS 3740 Waterproofing membrane and substrates to be installed to floors, walls and wall/floor junctions in accordance with AS 3740 Waterproofing of Domestic wet areas. - Walls and floors of showers, baths, laundries and toilets, splash backs and floor wastes to BCA Clause 3.8.1.2 'Water resistance requirements'. - All areas to be lined with resilient 'villaboard' or similar product.



**WARNING:**  
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PROTECTIVE COATINGS FOR STEELWORK - MODERATE		
Internal	No protection required in a permanently dry location.	
External	Option 1.	2 coats alkyd primer
	Option 2.	2 coats alkyd gloss
	Option 3.	Hot dipped galv. 300g/m <sup>2</sup> min.
	Option 4.	Hot dipped galv. 100g/m <sup>2</sup> min. plus - a). 1 coat solvent based primer; or b). 1 coat vinyl gloss or alkyd

General Notes  
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**Tymbas Residence**  
653 Dolphin Sands Road, Dolphin Sands

GENERAL NOTES		
Project number	2201.50	1 G-02
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**Bushfire Attack Level (BAL) - 19 (Moderate)**

This document has been prepared to assist in the preparation of construction certificate plans and specifications in respect to BAL – 19.

BAL—19 is primarily concerned with protection of your building from ember attack and burning debris ignited by wind borne embers and radiant heat up to and including 19 kW/m2. To comply with the Building Code of Australia, your construction or complying development certificate plans must include details of the building construction relevant to the level of bushfire.

Those parts of this document that relate to your development must be included on the construction certificate plans or in the construction specification.

The construction requirements for the next lower BAL may be used for an elevation of a dwelling that is not exposed to the source of a bushfire. An elevation is not exposed if the entire elevation is completely screened from the source of a bushfire by another part of the building. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements below (see Clause 3.8 of the Standard).

**SARKING**

Sarking, where used for bushfire protection shall be:

- a. Non-combustible; or
- b. Breather-type sarking complying with AS/NZS4200.1 and with a flammability index of not more than 5 and sarked on the outside of the frame; or
- c. An insulation material conforming to the appropriate Australian Standard for that material.

**SUBFLOOR SUPPORTS**

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- 1) a wall that complies with the requirements for an external wall below; or
- 2) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- 3) a combination of Items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- (1) of non-combustible material; or
- (2) of bushfire-resisting timber (refer to the table at the end of this document); or
- (3) a combination of Items (i) and (ii) above.

NOTE: This requirement applies to the principal building only. See requirements below for verandas, decks, steps, ramps and landings.

**FLOORS**

**1) Elevated floors**

**a) Enclosed subfloor space**

The Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- i) a wall that complies with the standards for an external wall below; or
- ii) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- iii) a combination of Items (a) and (b) above.

**b) Unenclosed subfloor space**

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

i) materials that comply with the following:

(a) bearers and joists shall be—

- i) non-combustible; or
- ii) bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

(b) Flooring shall be—

- i) non-combustible; or
- ii) bushfire-resisting timber (refer to the table at the end of this document); or
- iii) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
- d) a combination of any of Items (i), (ii) or (iii) above; or
- ii) a system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

**EXTERNAL WALLS**

**1) Walls**

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall shall be:

- (a) Non-combustible material such as cavity brick, masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone, precast or in situ walls of concrete or aerated concrete or earth walling including mud brick; or
- (b) Timber logs of a species with a density of 680 kg/m3 or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11 of Standard); and gauge planed; or
- (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—
  - (i) Non-combustible material; or
  - (ii) Fibre-cement a minimum of 6 mm in thickness; or
  - (iii) Bushfire-resisting timber (refer to the table at the end of this document); or
  - (iv) A timber species as specified in Appendix E of the Standard; or
  - (v) a combination of any of Items (i), (ii), (iii) or (iv) above; or
  - (d) A combination of any of Items (a), (b) or (c) above.

**2) Joints**

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

**3) Vents and weepholes**

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm.

**EXTERNAL WINDOWS and DOORS**

**1) Windows**

Window assemblies shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Note 1 below; or
- (b) They shall be completely protected externally by screens that comply with Note 2; or
- (c) They shall comply with the following:
  - (i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, window frames and window joinery shall be made from:
    - (A) Bushfire-resisting timber (refer to the table at the end of this document); or
    - (B) A timber species as specified in Appendix E of the Standard; or
    - (C) Metal; or
    - (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.
  - (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
  - (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, the glazing shall be toughened glass minimum 5 mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.

(iv) Where glazing is other than that specified in (iii) above, annealed glass may be used. Where annealed glass is used, both the fixed and openable portions of windows shall be screened externally with screens that comply with Note 2 below.

(v) Where toughened is used it shall have a minimum thickness of 5 mm and the openable portions of windows shall be screened internally or externally with screens that comply with Note 2 below.

(vi) Glazed elements that are designed to take internal screens shall use toughened glass minimum 5 mm and the openable portion shall be screened with screens that comply with Note 2 below.

**2) Screens**

Screening of the openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass. If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the openable portion of the window will be 'protected' when it is shut.

If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

3) Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors) Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

- (a) Doors and door frames shall be protected by bushfire shutters that comply with Note 1; or
- (b) Doors and door frames shall be protected externally by screens that comply with Note 2; or
- (c) Doors and door frames shall comply with the following:
  - (i) Doors shall be—
    - (A) non-combustible; or
    - (B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
    - (C) a door, including a hollow core door, with a non-combustible kick plate on the outside for the first 400 mm above the threshold; or
    - (D) a door, including a hollow core door, protected externally by a screen that complies with Note 2 below; or
    - (E) a fully framed glazed door, where the framing is made from materials specified for bushfire shutters (See Note 2 below), or from a timber species as specified at the end of this document.
  - (ii) Where doors incorporate glazing, the glazing shall be toughened glass with a minimum thickness of 5mm.
  - (iii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

(iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door, that part of the door frame shall be made from:

- (A) Bushfire-resisting timber (refer to the table at the end of this document); or
- (B) A timber species as specified in Appendix E of the Standard; or
- (C) Metal; or
- (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(v) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

**Sliding doors**

Sliding doors shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Note 1; or
- (b) They shall be completely protected externally by screens that comply with Note 2; or
- (c) They shall comply with the following:
  - (i) Any glazing incorporated in sliding doors shall be toughened glass with a minimum thickness of 5mm.
  - (ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:
    - (A) Bushfire-resisting timber (refer to the table at the end of this document); or
    - (B) A timber species as specified in Appendix E of the Standard; or
    - (C) Metal; or
    - (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.
  - (iii) There is no requirement to screen the openable part of the sliding door. However, if screened, the screens shall comply with Note 2.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the openable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

(iv) Sliding doors shall be tight-fitting in the frames.

**Garage Doors**

The following apply to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from—

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# Tymbas Residence

653 Dolphin Sands Road, Dolphin Sands

## BAL 19

Project number	2201.50
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# 1 G-03

Scale on A3

- (i) Non-combustible material; or
  - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or
  - (iii) A timber species as specified in Appendix E of the Standard; or
  - (iv) Fibre cement sheet, a minimum of 6 mm in thickness; or
  - (v) A combination of any of Items (i), (ii), (iii) or (iv) above.
- (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
- (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door.
- (d) Vehicle access doors shall not include ventilation slots.
- Note 1: Where fitted, bushfire shutters shall be made from
- a) non-combustible material, or
  - b) a timber species as specified in Appendix E of the Standard, or
  - c) bushfire-resisting timber (refer to the table at the end of this document), or
  - d) a combination of any of Items (a), (b), or (c) above; and
- (i) be fixed to the building and be non-removable;
  - (ii) when in the closed position, have no gap greater than 3 mm between the shutter and the wall, the sill or the head;
  - (iii) be readily manually operable from either inside or outside;
  - (iv) protect the entire window assembly or door assembly;
  - (v) where perforated, have—
- (A) uniformly distributed perforations with a maximum aperture of 3 mm when the shutter is providing radiant heat protection or 2 mm when the shutter is also providing ember protection (such as where the openable portion of the window is not screened in accordance with the requirements of the respective BAL); and
- (B) a perforated area no greater than 20% of the shutter. If bushfire shutters are fitted to all external doors then at least one of those shutters shall be operable from the inside to facilitate safe egress from the building.
- Note 2: Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm. The frame supporting the mesh or perforated sheet shall be made from metal, bushfire-resisting timber (at the end of this document); or a timber species as specified in Appendix E of the Standard.
- Note 3: Where double glazed units are used the above requirements apply to the external face of the window assembly only.

**ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)**

**1. General**

The following apply to all types of roofs and roofing systems:

- (a) roof tiles, roof sheets and roof-covering accessories are to be non-combustible.
- (b) the roof/wall junction is to be sealed to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
- (c) roof ventilation openings, such as gable and roof vents, are to be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

**2. Tiled roofs.**

Tiled roofs shall be fully sarked. The sarking shall—

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

**3. Sheet roofs**

Sheet roofs shall—

- (a) be fully sarked, except that foil-backed insulation blankets may be installed over the battens; and
  - (b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line and at valleys, hips and ridges by—
- (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or

- (ii) mineral wool; or
- (iii) other non-combustible material; or
- (iv) a combination of any of Items (i), (ii) or (iii) above.

Note: Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

**4. Verandah, carport and awning roofs**

The following apply to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space shall meet all the requirements for the main roof.
- (b) A veranda, carport or awning roof separated from the main roof space by an external wall shall have a non-combustible roof covering.

NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

**5. Roof penetrations**

The following apply to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.

- (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers. In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

- (c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.

- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.

- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

**6. Eaves linings, fascias and gables**

The following apply to eaves linings, fascias and gables:

- (a) Gables shall comply with the requirements for external walls above.
- (b) Eaves penetrations shall be protected the same as for "Roof Penetrations" above.
- (c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

NOTE: The Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

**7. Gutters and downpipes**

The Standard does not provide material requirements for—

- (a) gutters, with the exception of box gutters; and
- (b) downpipes.

If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

**VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS**

**1) General**

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

**2) Enclosed subfloor spaces of verandas, decks, steps, ramps and landings**

- a) Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be 'enclosed' when —

- i) the material used to enclose the subfloor space complies with the standards for external walls above; and
- ii) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

**b) Supports**

The Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

**c) Framing**

The Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

- d) Decking, stair treads and the trafficable surfaces of ramps and landings

- e) Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- i) of non-combustible material; or
- ii) of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

**3) Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings**

- a) Supports

Support posts, columns, stumps, stringers, piers and poles shall be—

- i) of non-combustible material; or
- ii) of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

**b) Framing**

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be—

- i) of non-combustible material; or
- ii) of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

- c) Decking, stair treads and the trafficable surfaces of ramps and landings

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

- i) of non-combustible material; or
- ii) of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

**4) Balustrades, handrails or other barriers**

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—

- i) of non-combustible material; or
- ii) of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

**WATER AND GAS SUPPLY PIPES**

Above-ground, exposed water and gas supply pipes are to be metal.

**BUSH FIRE RESISTING SPECIES**

The following species have been tested and meet the requirements for a bush fire resisting timber species:

Standard trade name Botanical name

Ash silvertop Eucalyptus sieberi

Blackbutt Eucalyptus pilularis

Gum, red, river Eucalyptus camaldulensis

Gum, spotted Corymbia maculata

Corymbia henryi

Corymbia citriodora

Ironbark, red Eucalyptus sideroxylon

Kwila (Merbau) Intsia bijuga

Turpentine Syncarpia glomulifera

General Notes  
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**Tymbas Residence**  
653 Dolphin Sands Road, Dolphin Sands

<b>BAL 19</b>	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

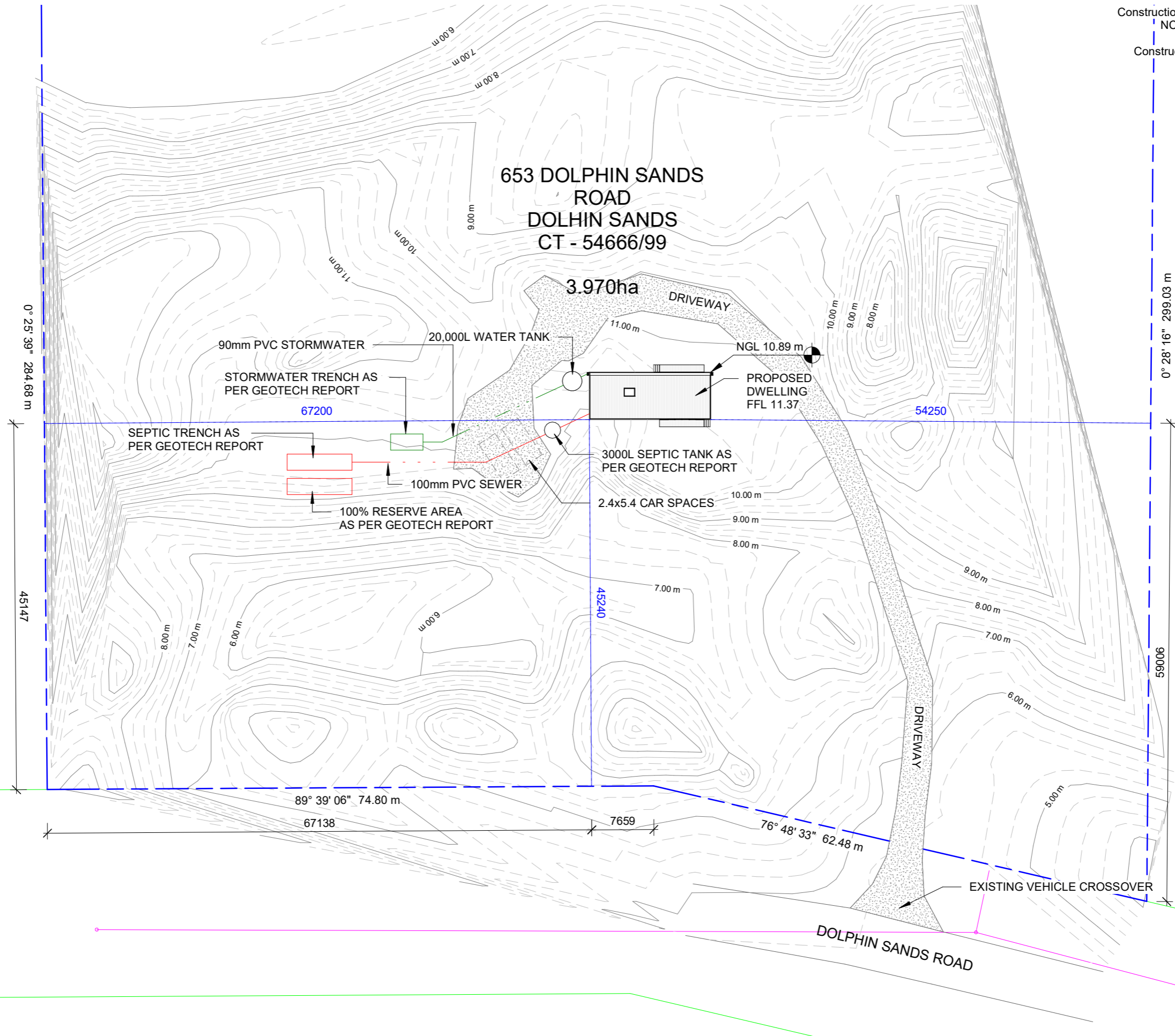
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ISSUE

Construction and materials in accordance with current NCC requirements and all relevant Australian Standards - See General Notes  
Construction in accordance with AS3959 = BAL 19



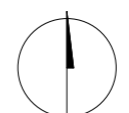
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<b>SITE PLAN</b>	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

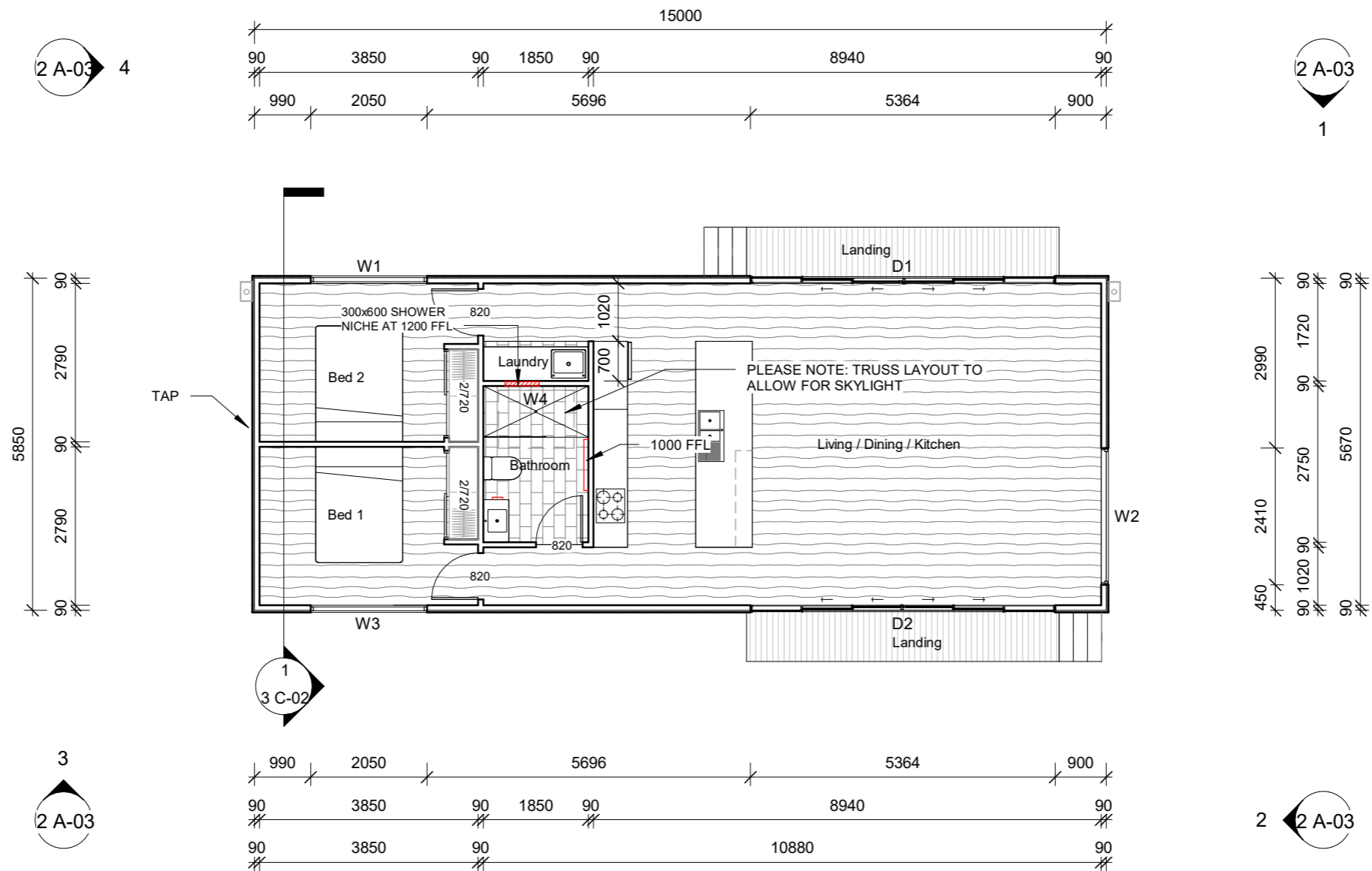
**2 A-01.1**

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Construction in accordance with AS3959 = BAL 19



AREA SCHEDULE	
House	88 m <sup>2</sup>
Landings	10 m <sup>2</sup>

Glazing Schedule - Double Glazed - Night Sky - BAL 19						
Mark	Height	Width	Head Height	Description	Comments	Count
D1	2100	5364	2100	Stacking Door	Clear	1
D2	2100	5364	2100	Stacking Door	Clear	1
W1	2057	2050	2100	Awning Window	Clear	1
W2	2057	2410	2100	Fixed Window	Clear	1
W3	2057	2050	2100	Awning Window	Clear	1
W4	970	1275		Fixed Skylight	Clear	1

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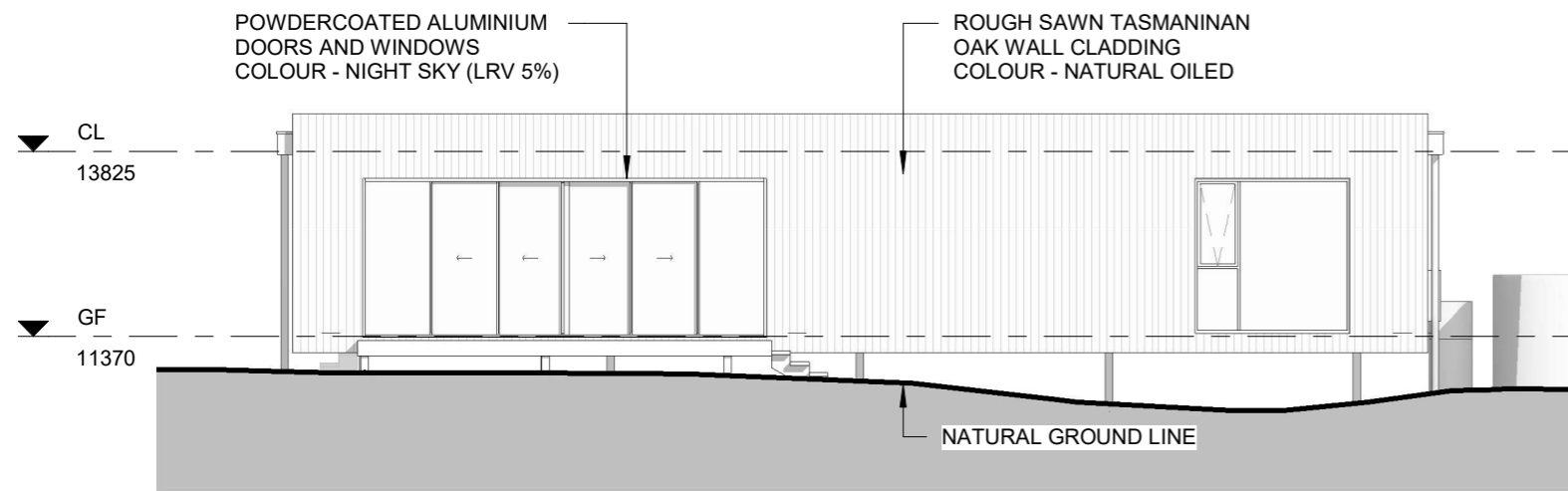
FLOOR PLAN	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

**2 A-02**  
Scale on A3 1 : 100

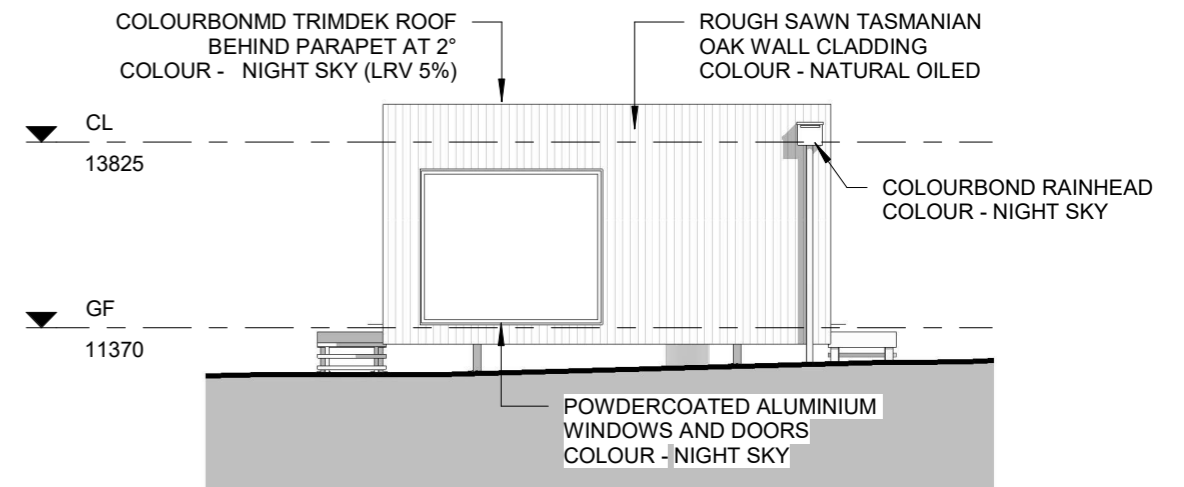
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ISSUE

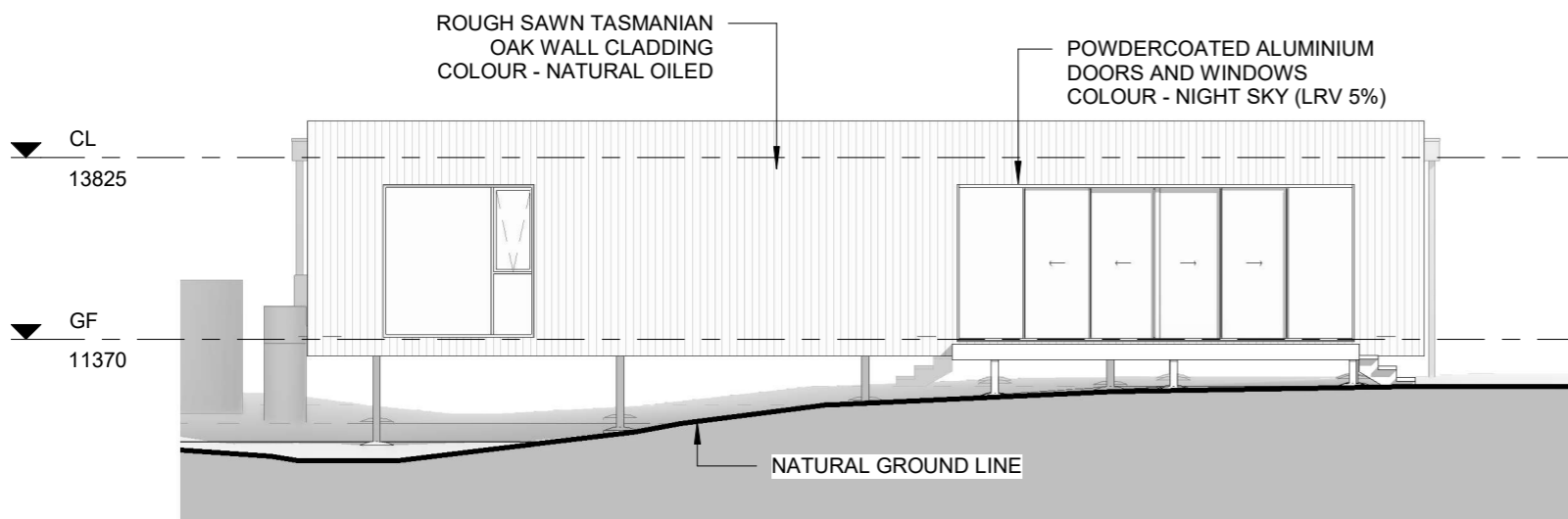
Construction and materials in accordance with current NCC requirements and all relevant Australian Standards - See General Notes  
Construction in accordance with AS3959 = BAL 19



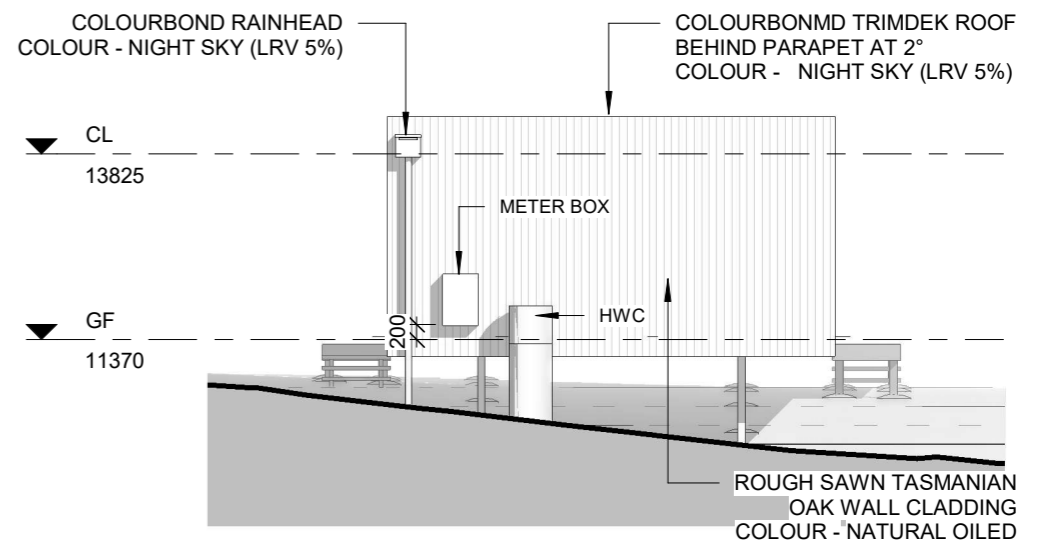
1 NORTH ELEVATION  
1 : 100



2 EAST ELEVATION  
1 : 100



3 SOUTH ELEVATION  
1 : 100



4 WEST ELEVATION  
1 : 100

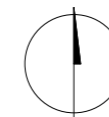
**NOTE:**  
ALL STEEL CLADDING MATERIALS TO HAVE A MINIMUM AM100 COATING. REFER TO NCC 3.5.1  
USE ONLY COMPATIBLE FIXINGS AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS. REFER TO NCC 3.5.1

General Notes  
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**ELEVATIONS**

Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

**2 A-03**

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Construction in accordance with AS3959 = BAL 19

**ROOF CLADDING, GUTTERING AND DOWNPIPES:**

In accordance with 3.5.1 and parts 3.5.2 of current NCC and AS/NZS 3500.5. Installation to be in accordance with manufacturer's specifications and recommendations.

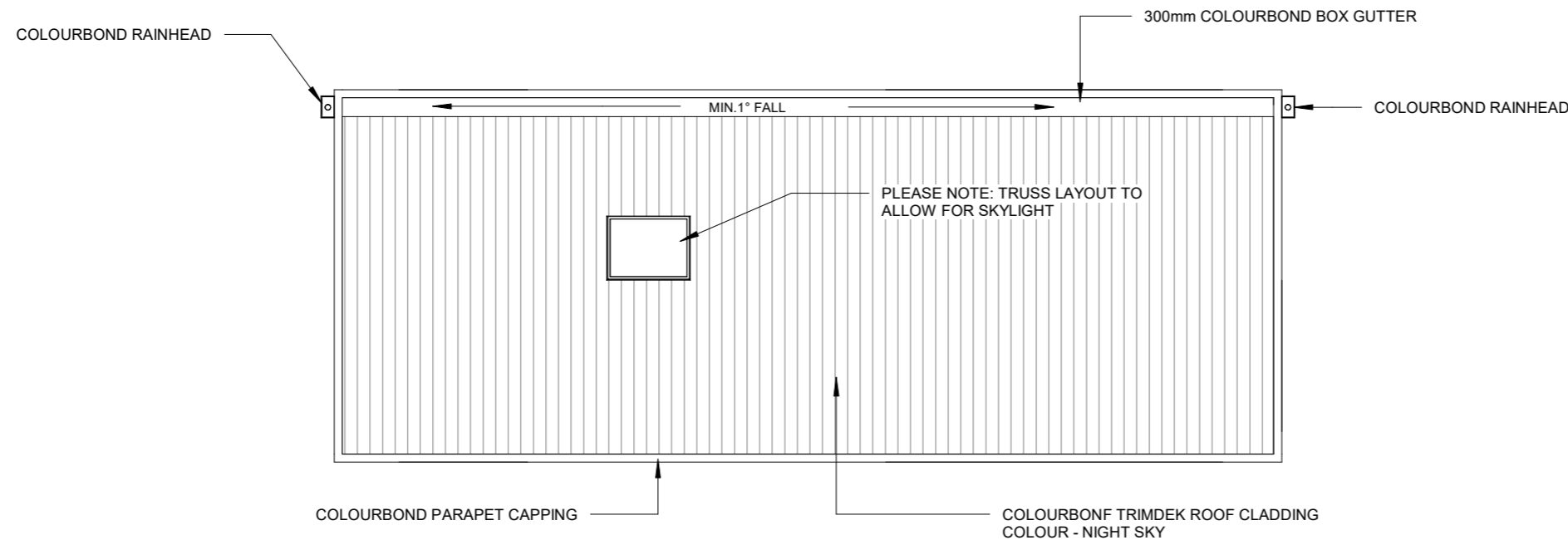
**VENTILATION OF ROOF SPACES**

**3.8.7.4:**

- (a) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to Outdoor air through evenly distributed openings.
- (b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22°, or 1/150 of the respective ceiling area if the roof pitch is not more than 22°.
- (c) 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest Point of the roof space, measured vertically, with the remaining required area provided by eave vents.

**HYDRAULIC:**

- Stormwater to be in accordance with AS/NSZ 3500
- Wastewater to be in accordance with AS/NSZ 3500 and/or AS 1547
- Water supply to be in accordance with AS/NSZ 3500



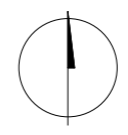
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**General Notes**  
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ROOF PLAN	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

**2 A-04**

Scale on A3 1 : 100

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ISSUE

Construction and materials in accordance with current NCC requirements and all relevant Australian Standards - See General Notes  
Construction in accordance with AS3959 = BAL 19

**INTERIOR NOTES:**

**Plasterboard;**  
All internal plasterboard finishes to be in accordance with AS/NZS 2588

**Joinery;**  
Hardwood in accordance with AS 2796  
Softwood in accordance with AS 4785  
Plywood in accordance with AS/NZS 2270 and AS/NZS 2271

**Domestic Kitchen Assemblies;**  
In accordance with AS/NZS 4386

**Ceramic Tiling;**  
In accordance with AS 4662, AS 2358 and AS 4992

**Floor Coverings;**  
In accordance with AS 1884-2012 and AS 2455.1

**WATERPROOFING / WET AREAS:**  
In accordance with AS 3740  
Waterproofing membrane and substrates to be installed to floors, walls and wall/floor junctions in accordance with AS 3740  
Waterproofing of Domestic wet areas.  
- Walls and floors of showers, baths, laundries and toilets, splash backs and floor wastes to BCA Clause 3.8.1.2 'Water resistance requirements'.  
- All areas to be lined with resilient 'villaboard' or similar product.



FLOOR FINISHES SCHEDULE		
HATCH	PRODUCT	COLOUR / SELECTION
	TIMBER OVERLAY	TASMANINAN OAK
	CARPET	N/A
	TILES	TBA
	TIMBER DECK	NORTHERN RED

**General Notes**  
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FLOOR FINISHES	
Project number	2201.50
Drawing Status	CONSTRUCTION
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**2 A-05**

Scale on A3 1 : 100

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Construction and materials in accordance with current NCC requirements and all relevant Australian Standards - See General Notes  
Construction in accordance with AS3959 = BAL 19

**ELECTRICAL NOTES:**

Electrical layout indicative only, positioning to be confirmed by owner and in accordance with below.

Electrical installation to be in accordance with AS3000

**Smoke Alarms**

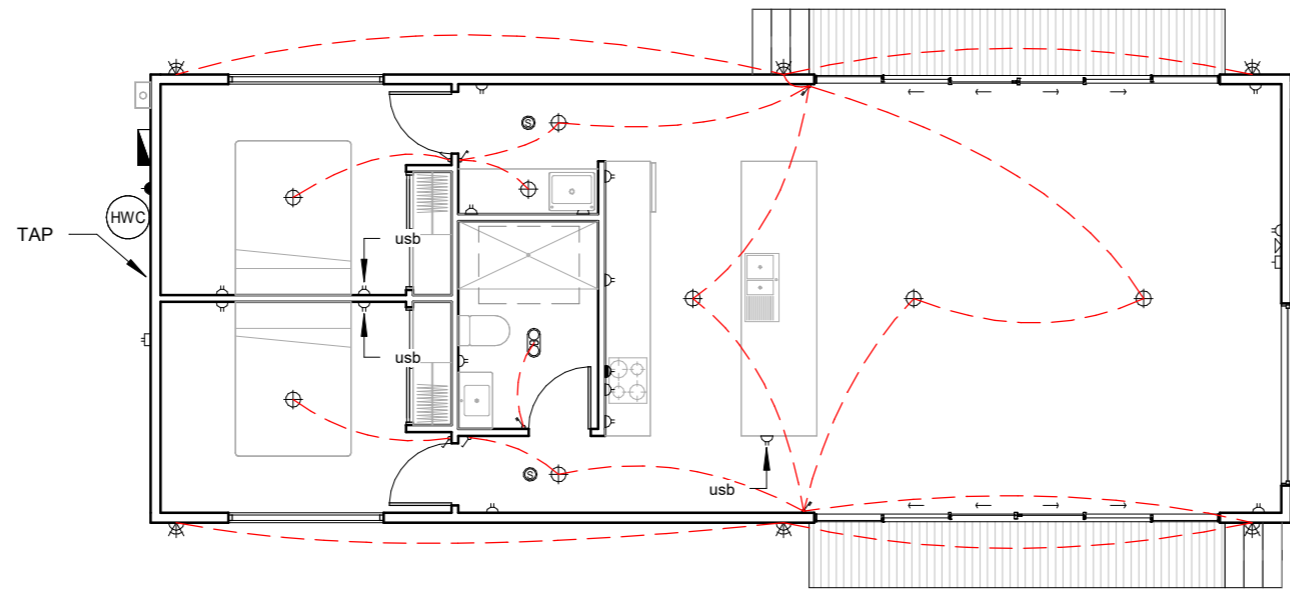
In accordance with part 3.7.2 of current NCC and to AS3768. All smoke alarms to be hard wired with battery back up and located near sleeping areas as per current NCC.

**Heating**

In accordance with part 3.7.3 of current NCC Installation to be in accordance with applicable Australian Standards and manufacturer's specifications.

**LIGHTING (maximum):**

- 5 watts per square metre (5W/sqm) of lighting indoors
- 4 watts per square metre (4W/sqm) of lighting in outdoor areas
- 3 watts per square metre (3W/sqm) of lighting in garages



**WARNING:**  
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**LIGHTING SPECIFICATIONS**

SYMBOL	DESCRIPTION	WATTAGE INFORMATION	LUMENS
⊕	BATTEN LIGHT HOLDER	10W	1000
•	240V LED DOWNLIGHT	9W	850
⊗	IXL FAN/LIGHT/HEATER	2X275W HEAT LAMPS & 1X60W CENTRE GLOVE	750
⊖	EXTERNAL UP / DOWN FEATURE	7.5 W	500

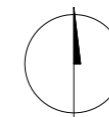
Electrical Fixture Schedule	
Description	Count
2 Light Tastic	1
Antenna	1
Batten Light Holder	8
Circuit Breaker Switch	2
Data Point	1
Double GPO	16
External Bunker Light	6
External Double GPO	1
Heat Pump Hot Water	1
Lightswitch 1G	3
Lightswitch 2G	1
Lightswitch 3G	1
Lightswitch 4G	2
Meter Box	1
Single GPO	1
Smoke Detector	2

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<b>ELECTRICAL PLAN</b>	
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Current Revision	19/07/2022 R14

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Scale on A3 1 : 100

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**ROOF CLADDING, GUTTERING AND DOWNPIPES:**

In accordance with 3.5.1 and parts 3.5.2 of current NCC and AS/NZS 3500.5. Installation to be in accordance with manufacturer's specifications and recommendations.

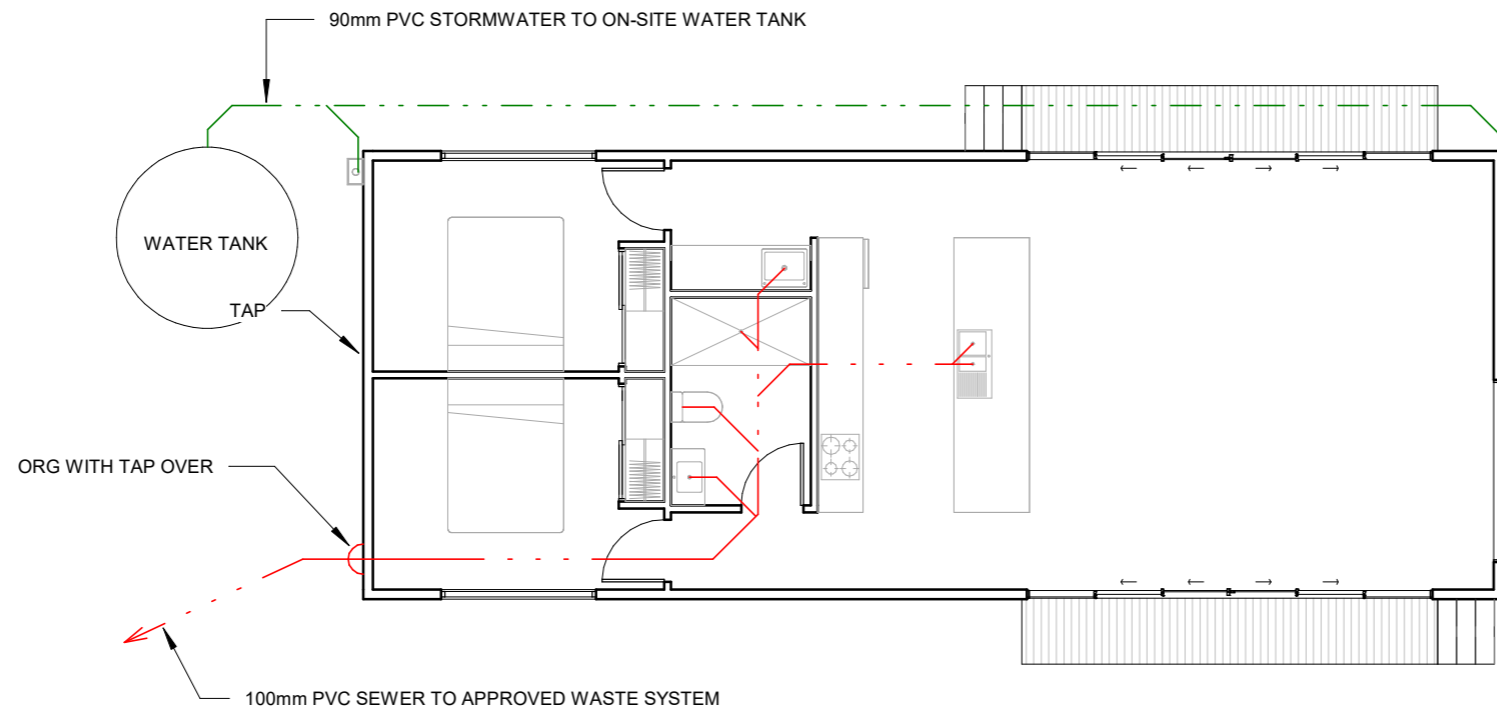
**VENTILATION OF ROOF SPACES**

**3.8.7.4:**

- (a) Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to Outdoor air through evenly distributed openings.
- (b) Openings required by (a) must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22°, or 1/150 of the respective ceiling area if the roof pitch is not more than 22°.
- (c) 30% of the total unobstructed area required by (b) must be located not more than 900 mm below the ridge or highest Point of the roof space, measured vertically, with the remaining required area provided by eave vents.

**HYDRAULIC:**

Stormwater to be in accordance with AS/NSZ 3500  
Wastewater to be in accordance with AS/NSZ 3500 and/or AS 1547  
Water supply to be in accordance with AS/NSZ 3500



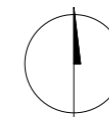
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<b>HYDRAULIC PLAN</b>	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

<b>3 C-01</b>
Scale on A3 1 : 100

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**CONDENSATION MANAGEMENT NOTES:**

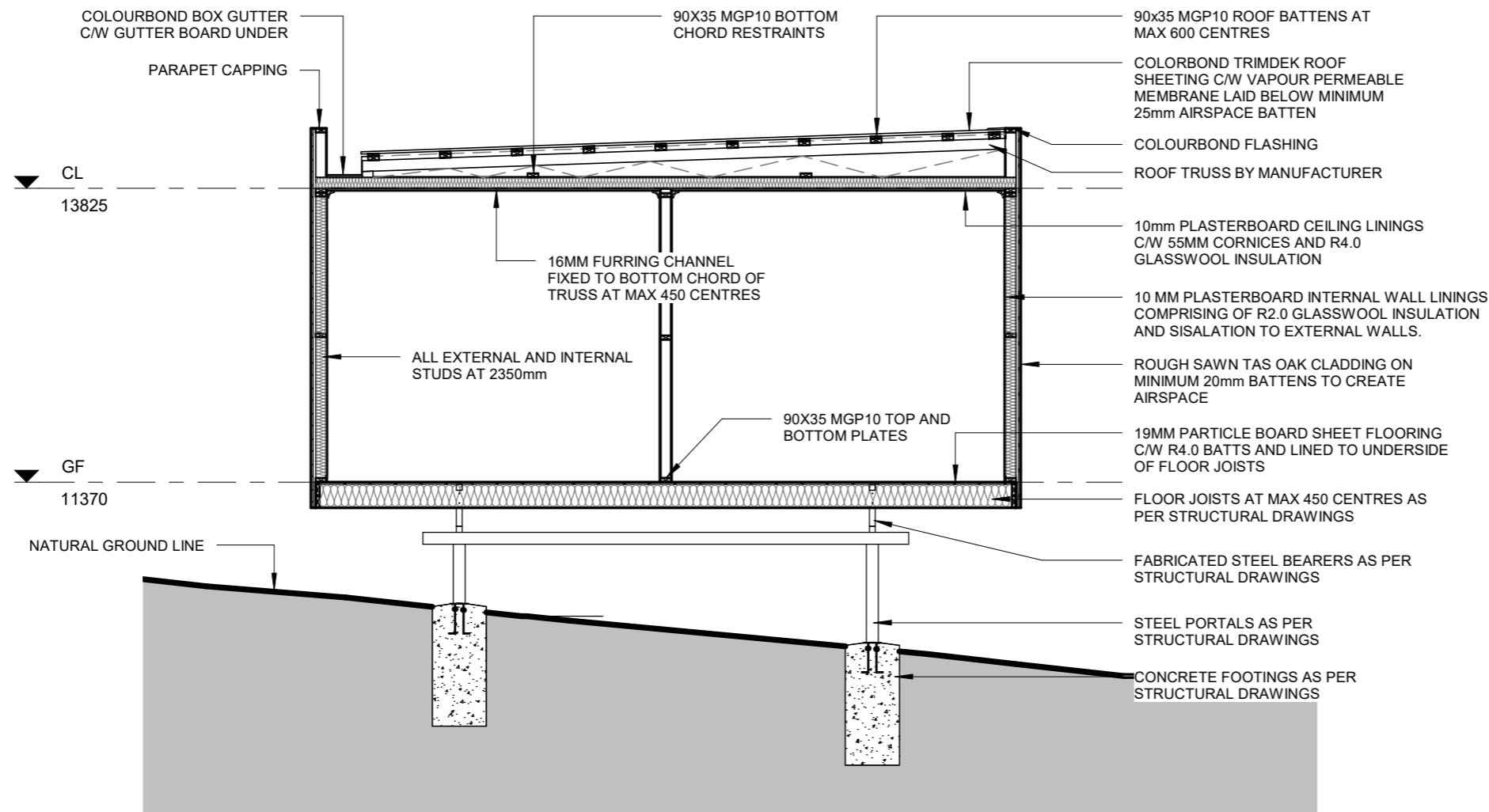
All condensation management in accordance with the NCC 3.8.7 as per following;

**Pliable Building Membrane 3.8.7.2**

- (a) Where a pliable building membrane is installed in an external wall, it must--
- (i) Comply with AS/NZS 4200.1; and
  - (ii) Be installed in accordance with AS4200.2; and
  - (iii) Be a vapour permeable membrane for climate zones 6, 7 and 8; and
  - (iv) Be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building.
- (b) Except for single skin masonry or single skin concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

**Flow Rate and Discharge of Exhaust Systems 3.8.7.3**

- (a) An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow Rate of--
- (i) 25 l/s for a bathroom or sanitary compartment; and
  - (ii) 40 l/s for a kitchen or laundry.
- (b) Exhaust from a bathroom, sanitary compartment, or laundry must be discharged--
- (i) Directly or via a shaft or duct to outdoor air; or
  - (ii) To a roof space that is ventilated in accordance with 3.8.7.4.



**WARNING:**  
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PROTECTIVE COATINGS FOR STEELWORK - MODERATE	
Internal	No protection required in a permanently dry location.
External	Option 1. 2 coats alkyd primer Option 2. 2 coats alkyd gloss Option 3. Hot dipped galv. 300g/m <sup>2</sup> min. Option 4. Hot dipped galv. 100g/m <sup>2</sup> min. plus - a). 1 coat solvent based primer; or b). 1 coat vinyl gloss or alkyd

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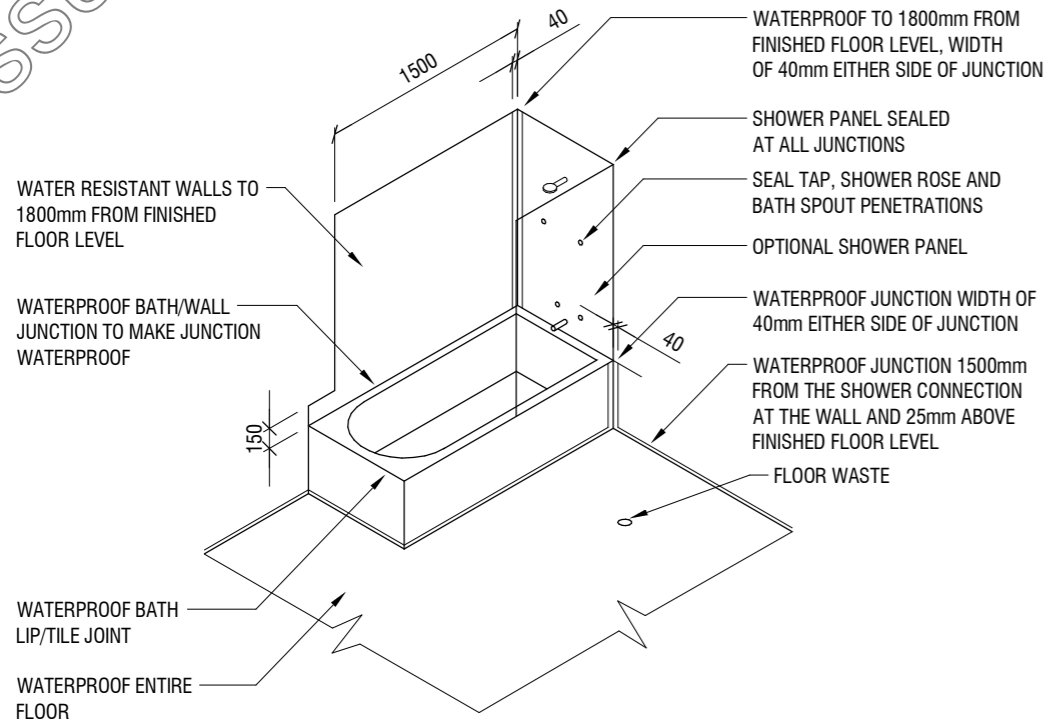
**Tymbas Residence**  
653 Dolphin Sands Road, Dolphin Sands

SECTION		3 C-02
Project number	2201.50	
Drawing Status	CONSTRUCTION	
Current Revision	19/07/2022 R14	
Scale on A3		As indicated

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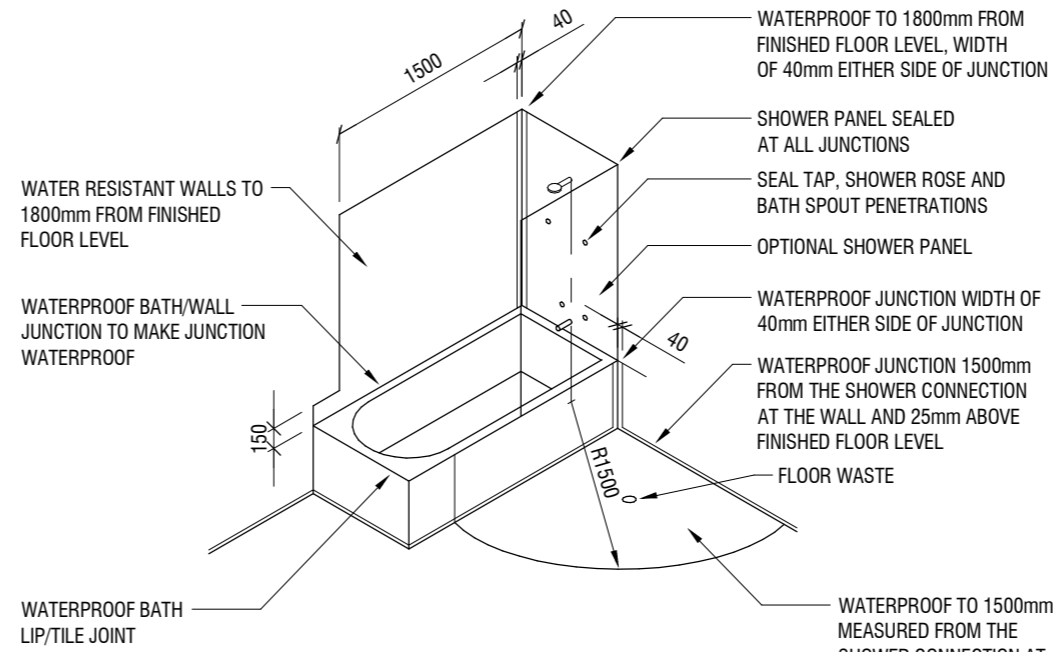


ISSUE



**SHOWER OVER BATH**

AREA PROTECTED FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

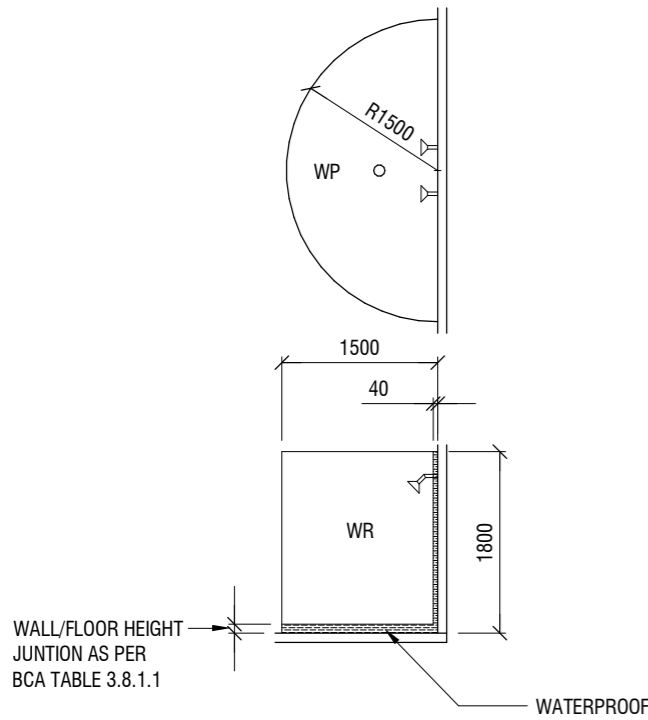


**SHOWER OVER BATH**

AREA PROTECTED FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING

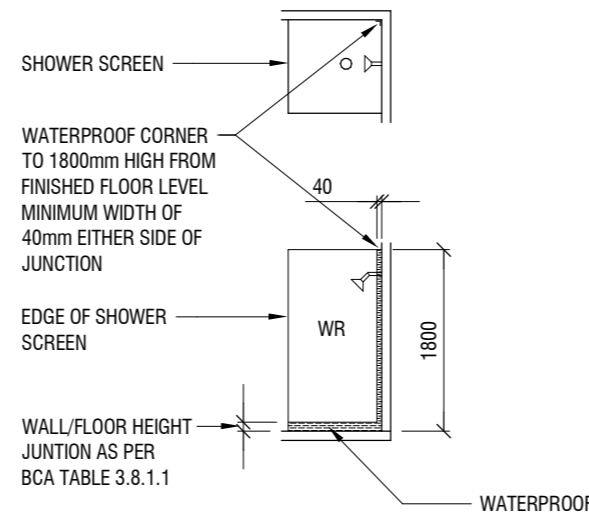
**WET AREA NOTES:**

1. THIS IS A GENERAL GUIDE ONLY. ALL WET AREA SURFACES ARE TO COMPLY WITH AS3740, AND NCC VOL. 2 PART 3.8.1 WET AREAS.
2. ALL WET AREAS INCLUDING SHOWER RECESSES, BACKS OF BASINS, TROUGHS, BATHS AND SINKS TO BE LINED WITH WATER RESISTANT "VILLABOARD".
3. SHOWER RECESSES (IF CAST-IN SLAB) ARE TO HAVE "SUPERFLEX 3" TREATMENT APPLIED AS PER SEPARATE NOTES.
4. SHOWER AREA WALLS ARE TO BE COATED USING 'AGA' "SUPERFLEX 3" OR SIMILAR FIBREGLASS MATTING FINISH. WALLS ARE TO BE COATED 1800mm HIGH FROM FINISHED FLOOR LEVEL AND COATED IN A 1500mm RADIUS FROM SHOWER HEAD / TAPS AROUND WALLS. TREATMENT TO BE APPLIED AS PER MANUFACTURER'S SPECIFICATIONS AND NCC 3.8.1 WET AREAS.
5. ALL PLASTER TO BE 10mm 'WR' SHEETS NAILED AND GLUED TO WALL AT EVERY STUD AND AT ALL EDGES. CEILINGS TO BE SCREWED AND GLUED TO METAL FURRING CHANNELS AT 450 CENTRES AT EDGES AND CENTRE OF SHEET. ALL PLASTERBOARD WORK IS TO COMPLY WITH AS2588.

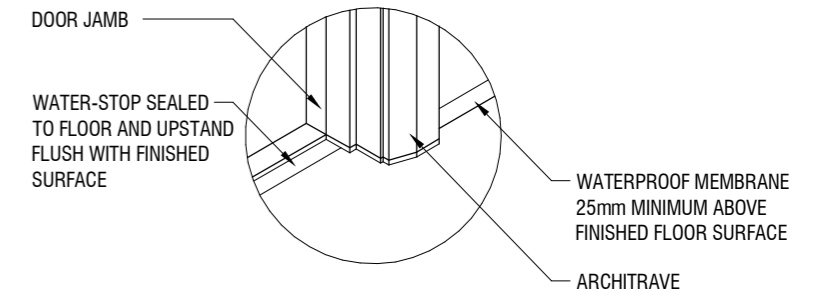


**UNENCLOSED SHOWER**

CONCRETE AND COMPRESSED FIBRE CEMENT FLOORING



**ENCLOSED SHOWER**



**BATHROOM DOOR**

WHERE ENTIRE BATHROOM FLOOR IS REQUIRED TO BE WATERPROOFED

General Notes  
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WET AREA DETAILS	
Project number	2201.50
Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

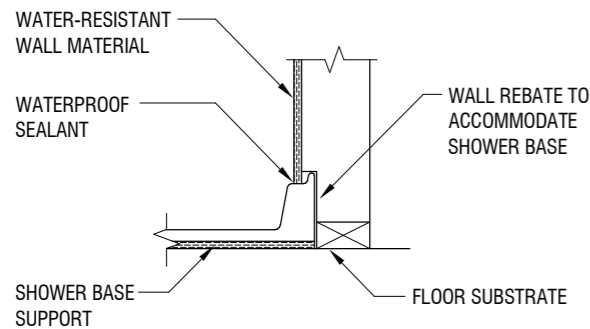
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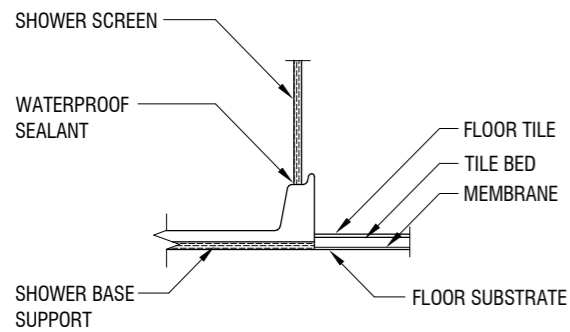
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**WATERPROOFING NOTES:**

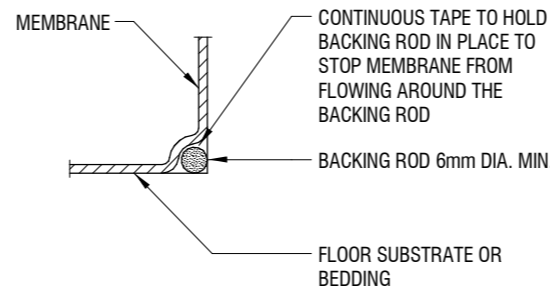
1. SHOWER BASES, BATHS AND SPAS RECESSED INTO THE WALL MUST BE INSTALLED TO ALLOW THE WATER RESISTANT SURFACE MATERIALS OF THE WALL TO PASS DOWN INSIDE THE RIM OF THE BATH OR SPA AS PER NCC FIGURE 3.8.1.8.
2. WATER RESISTANT SURFACE MATERIALS ARE TO BE AS PER NCC PARTS 3.8.1.3, 3.8.1.4 AND 3.8.1.5.
3. PERIMETER FLASHINGS TO WALL / FLOOR JUNCTIONS MUST HAVE A VERTICAL LET OF NOT LESS THAN 25mm ABOVE FINISHED FLOOR LEVEL, EXCEPT ACROSS DOORWAYS, AND THE HORIZONTAL LEG MUST HAVE A WIDTH OF NOT LESS THAN 50mm.
4. WHERE A WATER RESISTANT SUBSTRATE IS USED IN CONJUNCTION WITH A WATER RESISTANT SURFACE MATERIAL, A WATERPROOF SEALANT MUST BE INSTALLED AFTER THE FINISHES HAVE BEEN APPLIED AT THE WALL / FLOOR JUNCTION.



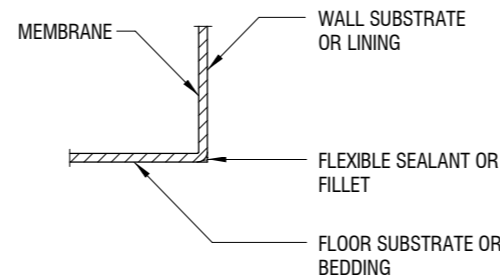
**PREFORMED BASE**  
SHOWER BASE FLOOR / WALL JUNCTION



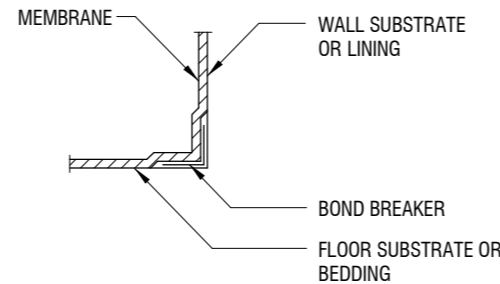
**PREFORMED BASE**  
SHOWER BASE / FLOOR JUNCTION ON  
TIMBER FLOORS INCLUDING PARTICLE-  
BOARD AND PLYWOOD



**BOND BREAKER DETAIL**  
CLASS 1 MEMBRANES



**BOND BREAKER DETAIL**  
CLASS 1 MEMBRANES



**BOND BREAKER DETAIL**  
CLASS 2 MEMBRANES

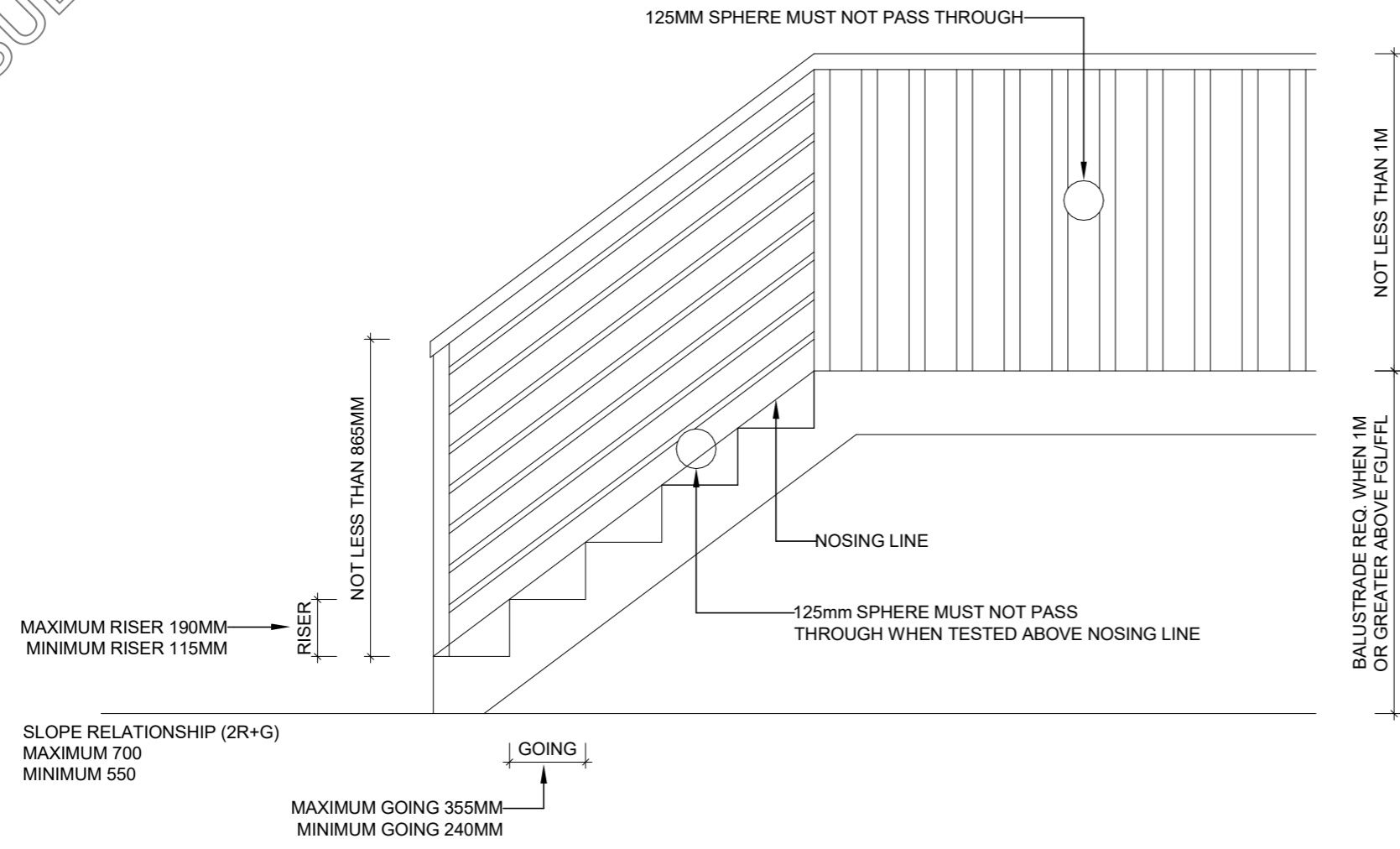
**BATHROOM, ENSUITE AND SPA  
ROOM GLAZING:**

1. ALL GLAZING IN BATHROOMS, ENSUITES, SPA OR THE LIKE, INCLUDING SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0m ABOVE THE HIGHEST ABUTTING FINISHED FLOOR LEVEL, BOTTOM OF THE BATH, OR SHOWER BASE, MUST:
  - (i) FOR FRAMED PANELS, BE GLAZED WITH:
    - (a) GRADE 'A' SAFELY GLAZING MATERIAL IN ACCORDANCE WITH NCC VOL. 2 TABLE 3.5.5; OR
    - (b) GRADE 'B' SAFETY GLAZING MATERIAL IN ACCORDANCE WITH BCA VOL. 2 TABLE 3.6.6 (SEE ALSO NCC VOL. 2 FIGURE 3.6.3)
  - (ii) FOR PANELS OR DOORS WITH ANY EDGE EXPOSED, BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH NCC VOL. 2 TABLE 3.6.5 WITH A MINIMUM NOMINAL THICKNESS OF 5mm.
2. WINDOWS REFERRED TO IN (1), MAY INCORPORATE ANNEALED GLASS PANELS OF NOT LESS THAN 4mm THICKNESS, PROVIDED THAT THEY ARE NOT MORE THAN 0.1m SQ IN AREA.
3. ORDINARY ANNEALED GLASS INCLUDING MIRROR, MAY BE USED PROVIDED A FIXED VANITY OR BENCH WITH A HEIGHT OF NOT LESS THAN 760mm, DEPTH OF NOT LESS THAN 300mm AND EXTENDING THE FULL WIDTH OF THE GLASS OR MIRROR IS LOCATED IN FRONT OF THE GLASS MIRROR.

**SHOWER FLOOR FALLS:**

1. THE ENTIRE SHOWER AREA MUST BE CONSTRUCTED SO THAT WATER FLOWS TO THE WASTE WITHOUT PONDING AS PER NCC FIGURE 3.8.1.14.
2. THE RATIO OF FALL ACHIEVED IN A FLOOR MAY VARY DEPENDING ON THE FOLLOWING:
  - (A) THE FINISHED HEIGHT REQUIREMENTS AT DOORWAYS.
  - (B) THE HEIGHT OF FIXTURES OR FITTINGS.
  - (C) THE DIMENSIONS OF THE TILES USED (ADEQUATE FALLS BECOME MORE DIFFICULT TO ACHIEVE AS THE SIZE OF THE TILES USED INCREASES).
  - (D) THE AREA OF THE FLOOR TO BE DRAINED.
  - (E) THE REQUIREMENTS OF PEOPLE WITH DISABILITIES.
3. THE RECOMMENDED RATIO OF FALL WITHIN SHOWERS IS BETWEEN 1:60 AND 1:80.
4. THE RECOMMENDED RATIO OF FALL IN OTHER AREAS IS BETWEEN 1:80 AND 1:100.
5. IN SOME CASES THE FALL IN THE FLOOR FINISHES IN THE SAME AREA MAY VARY.
6. WHERE FALLS STEEPER THAN 1:100 ARE NOT ACHIEVABLE, THE EFFECTIVENESS OF THE FLOOR DRAINAGE SHOULD BE CONFIRMED TO ENSURE THAT WATER DOES NOT REMAIN ON THE FINISHED FLOOR IN A MANNER THAT CAN ADVERSELY AFFECT THE HEALTH AND AMENITY OF THE BUILDING OCCUPANTS OR DETERIORATE BUILDING ELEMENTS.

ISSUE

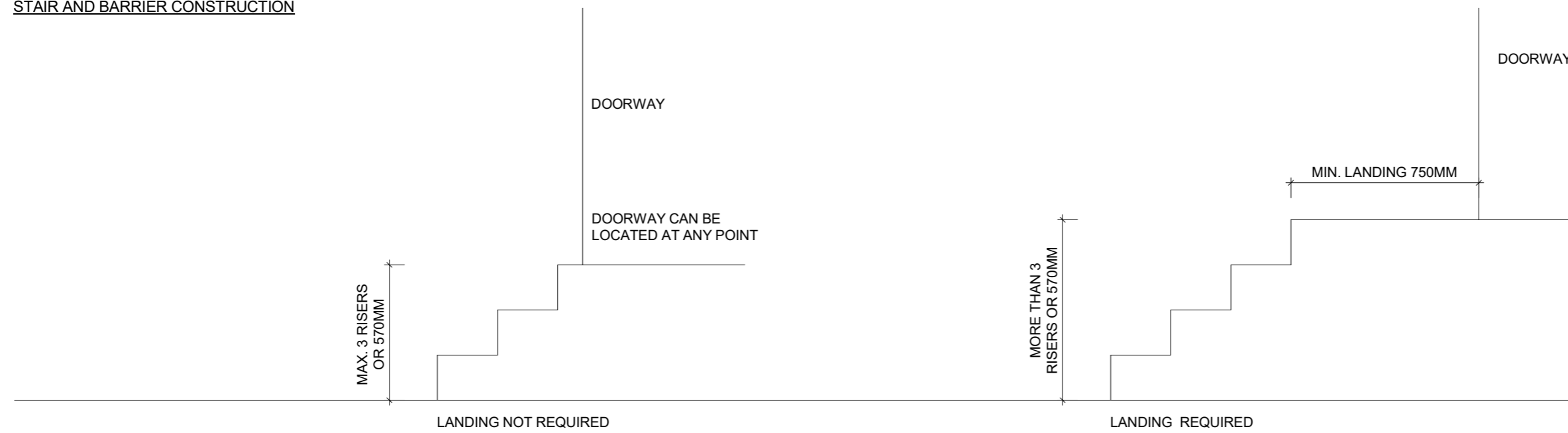


STAIRS AND BARRIERS TO COMPLY WITH  
NCC 3.9 SAFE MOVEMENT AND ACCESS

3.9.1 STAIRWAY AND RAMP CONSTRUCTION

3.9.2 BARRIERS AND HANDRAILS

STAIR AND BARRIER CONSTRUCTION



THRESHOLD LANDING

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<b>STAIRS AND BARRIERS</b>	
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Drawing Status	CONSTRUCTION
Current Revision	19/07/2022 R14

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Scale on A3 1 : 100

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