



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **3 Jetty Road, Bicheno**
CT 28836/2

PROPOSAL: **Two storey dwelling**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager.

Representations must be received before midnight on 28 March 2024

APPLICANT: **Ancher Architecture Office**

DATE: **05/03/2024**

APPLICATION NO: **DA 2024 / 048**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:			
Contact person: (if different from applicant)			
Address:			
Suburb:			
Email:			

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)			
Address:			
Suburb:		Post Code:	
Email:		Phone: / Mobile:	

Details of Site <i>(Note: If your application is discretionary, the following will be placed on public exhibition)</i>			
Address of proposal:			
Suburb:		Post Code:	
Size of site: (m ² or Ha)			
Certificate of Title(s):			
Current use of site:			

General Application Details *Complete for All Applications*

Description of proposed use or development:	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	
Is the property on the State Heritage Register? (Circle one)	Yes / No

For all Non-Residential Applications

Hours of Operation	
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:

- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

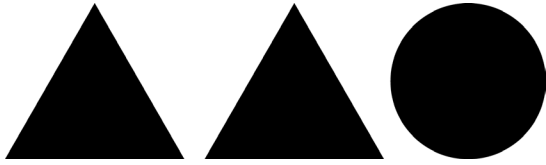
Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.



05.03.2024

Glamorgan Spring Bay Council
Planning Department
9 Melbourne Street
Triabunna
TAS 7190

Re: Proposed new dwelling to 3 Jetty Road, Bicheno

To Whom It May Concern,

Please find our planning application enclosed for the proposed new dwelling at 3 Jetty Road, Bicheno, for your review.

The site is currently a vacant corner lot. As part of this application we have proposed a variation to the required Primary Frontage Setback for Corner lots as defined under the Tasmanian Planning Scheme. We have included a Planning Study in support of this – please refer to Appendix A in the drawing package.

We trust we have provided all the necessary information to accurately describe our proposal and look forward to hearing from you in due course.

Please don't hesitate to contact us if you require any further information.

Regards,

A handwritten signature in black ink, appearing to read 'A. Ancher', is written over a light blue horizontal line.

Anna Ancher
Director

anna@ancherao.com.au

0428 444 485

Ancher Architecture Office

SEARCH OF TORRENS TITLE

VOLUME 28836	FOLIO 2
EDITION 4	DATE OF ISSUE 01-May-2019

SEARCH DATE : 26-Feb-2024

SEARCH TIME : 10.14 AM

DESCRIPTION OF LAND

Town of BICHENO

Lot 2 on Diagram 28836

Derivation : Part of Lot 1, 2A-0R-33Ps. (Section J.) Gtd. to G.

Fisher and Part of 5A-0R-14Ps. (Section I.) Gtd. to W. Lyne.

Prior CT 4261/92

SCHEDULE 1

M745133 TRANSFER to WAUBS PTY LTD Registered 01-May-2019 at
12.01 PM

SCHEDULE 2

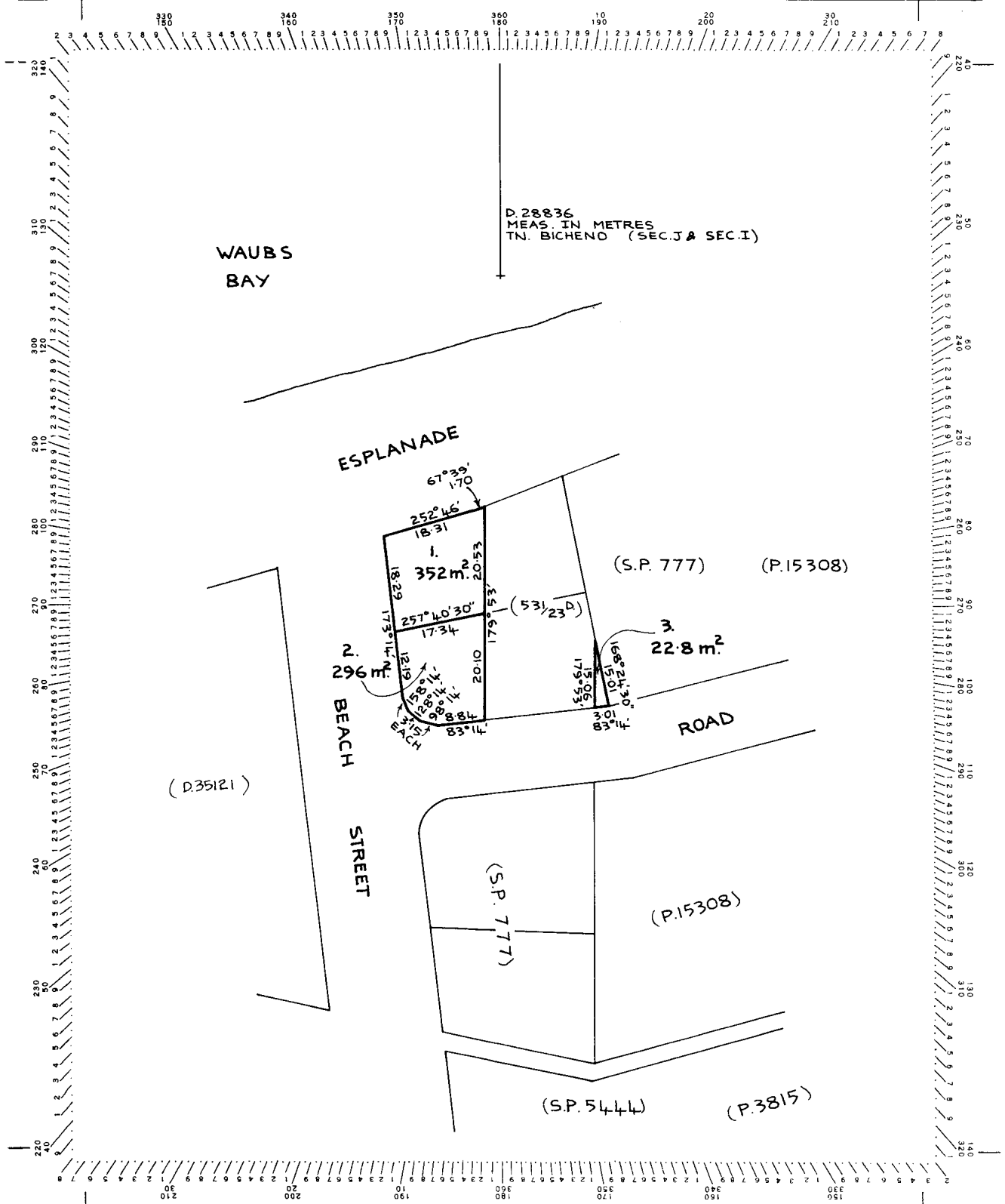
Reservations and conditions in the Crown Grant if any

38/9352 CONVEYANCE Made Subject to Boundary Fences Condition

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: L.T. ACT 1980	PLAN OF SURVEY of land situated in the TOWN OF BICHENO SECTIONS I & J COMPILED FROM (83/3 D.O.)	Registered Number: D.28836
Title Reference: Y.6040		Approved: - 8 MAY 1986 <i>Anthony Lee</i>
Grantee: PART OF LOT 1 (2-0-33), SEC. J, GEORGE FISHER & PART OF 5-0-14, SEC. I, WILLIAM LYNE	SCALE 1:750 MEASUREMENTS IN METRES	ACTING Recorder of Titles



PROPOSED NEW DWELLING

PROJECT ADDRESS

3 JETTY ROAD, BICHENO

CLIENT

ALEX MOLLARD & JAMES O'SHANNESSEY

ARCHITECT

ANCHER ARCHITECTURE OFFICE

DRAWING LIST

A00.000	Drawing List & Project Information
A01.000	Existing Site
A03.000	Proposed Site & Roof Plan
A03.001	Proposed Ground Floor Plan
A03.002	Proposed First Floor Plan
A03.003	Proposed Site Services Plan
A05.000	Proposed Elevations
A05.001	Materials Schedule

Appendix A
Planning Study in support of Proposed Setbacks



Site Location

GENERAL NOTES

These drawings are to be read in conjunction with the specifications, structural engineers drawings and computations, geotechnical site investigation report and any other written instructions and drawings by other consultants.
All work carried out is to comply with the BCA, Australian Standards, Local Authority and all Relevant Authorities Regulations, Statutory Requirements and By-laws.

01	05.03.2024	Development Application	AA	GA	
Rev	Date	Description	Initial	Checked	

3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSEY

Drawing List

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.
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Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.
All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	NTS
Drawn	AA
Checked	GA
Project No.	2307
Status	Planning
Plot Date	
Plot File	
Drawing No.	
[Revision]	

A00.000 01

ANCHER ARCHITECTURE OFFICE

182 Prospect Hill Rd
Canterbury VIC 3126
M 0428 444 485
email:
anna@ancherao.com.au

36 Frankston St
Reservoir VIC 3073
M 0400 183 237
email:
garth@ancherao.com.au



1 Existing Site Plan
1:250

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3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSY
Existing Site Plan



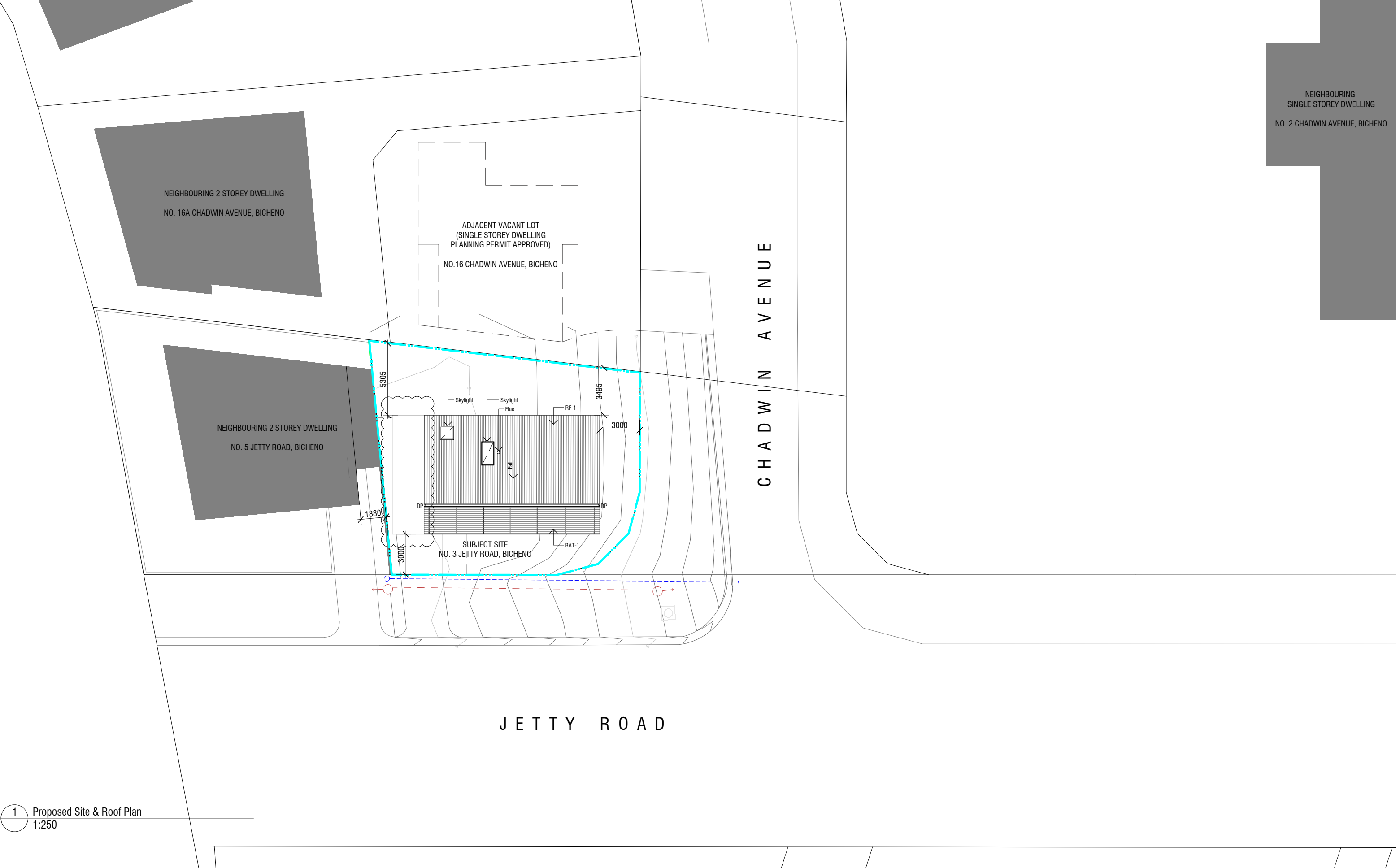
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Drawn	AA	Checked	GA
Project No.	2307		
Status	Planning		
Plot Date			
Plot File			
Drawing No.	A01.000		[Revision] 01

ANCHER ARCHITECTURE OFFICE

182 Prospect Hill Rd
Canterbury VIC 3126
M 0428 444 485
email:
anna@ancherao.com.au

36 Frankston St
Reservoir VIC 3073
M 0400 183 237
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FINISHES LEGEND:

SPI-1	Spiral staircase, metal / galv finish
RF-1	Metal roof, light colour
BAT-1	Batten roof screen, timber/ natural finish

02	06.03.2024	RFI response - revisions clouded	AA	GA
01	05.03.2024	Development Application	AA	GA
Rev	Date	Description	Initial	Checked

3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSEY

Proposed Site Plan

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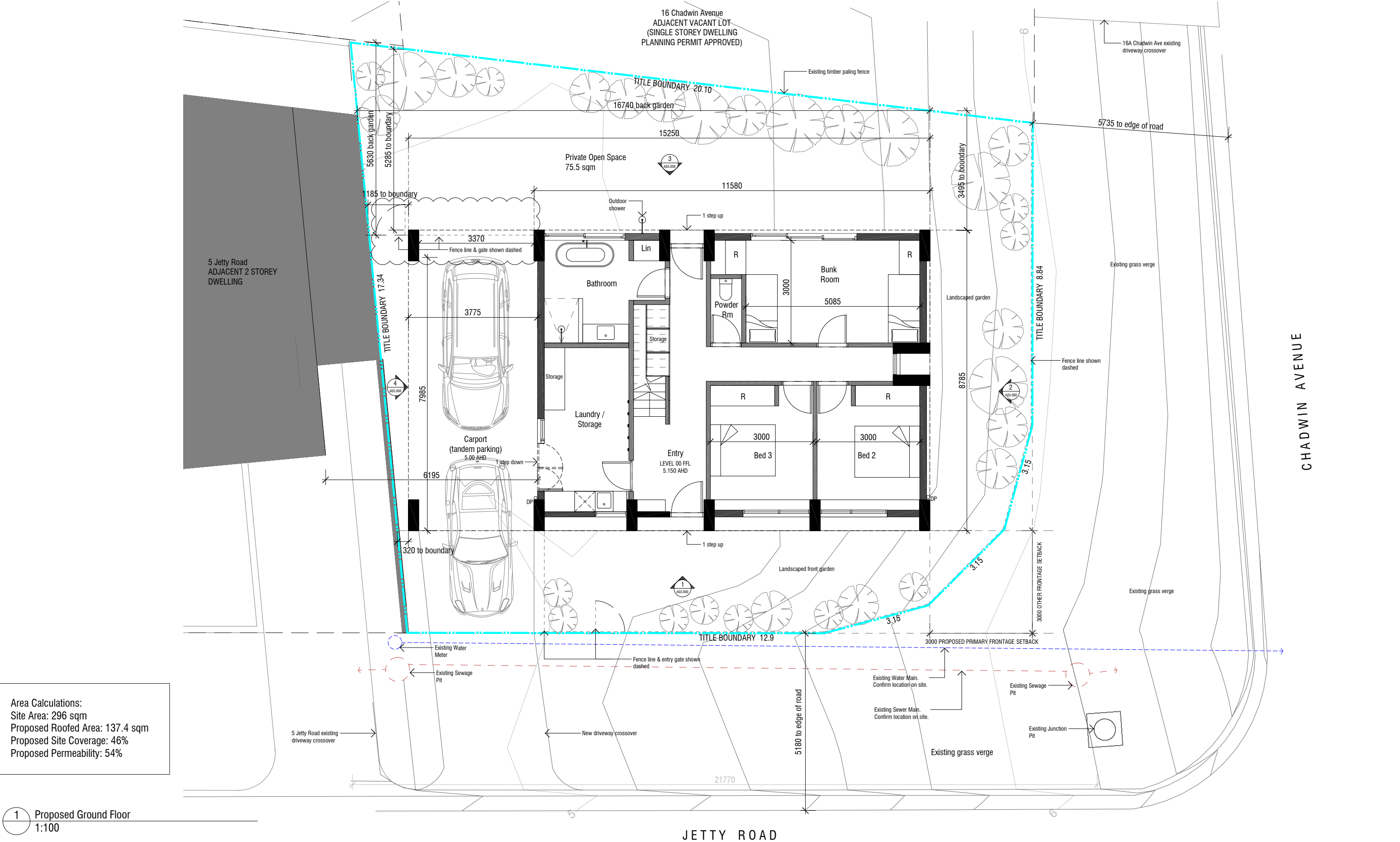
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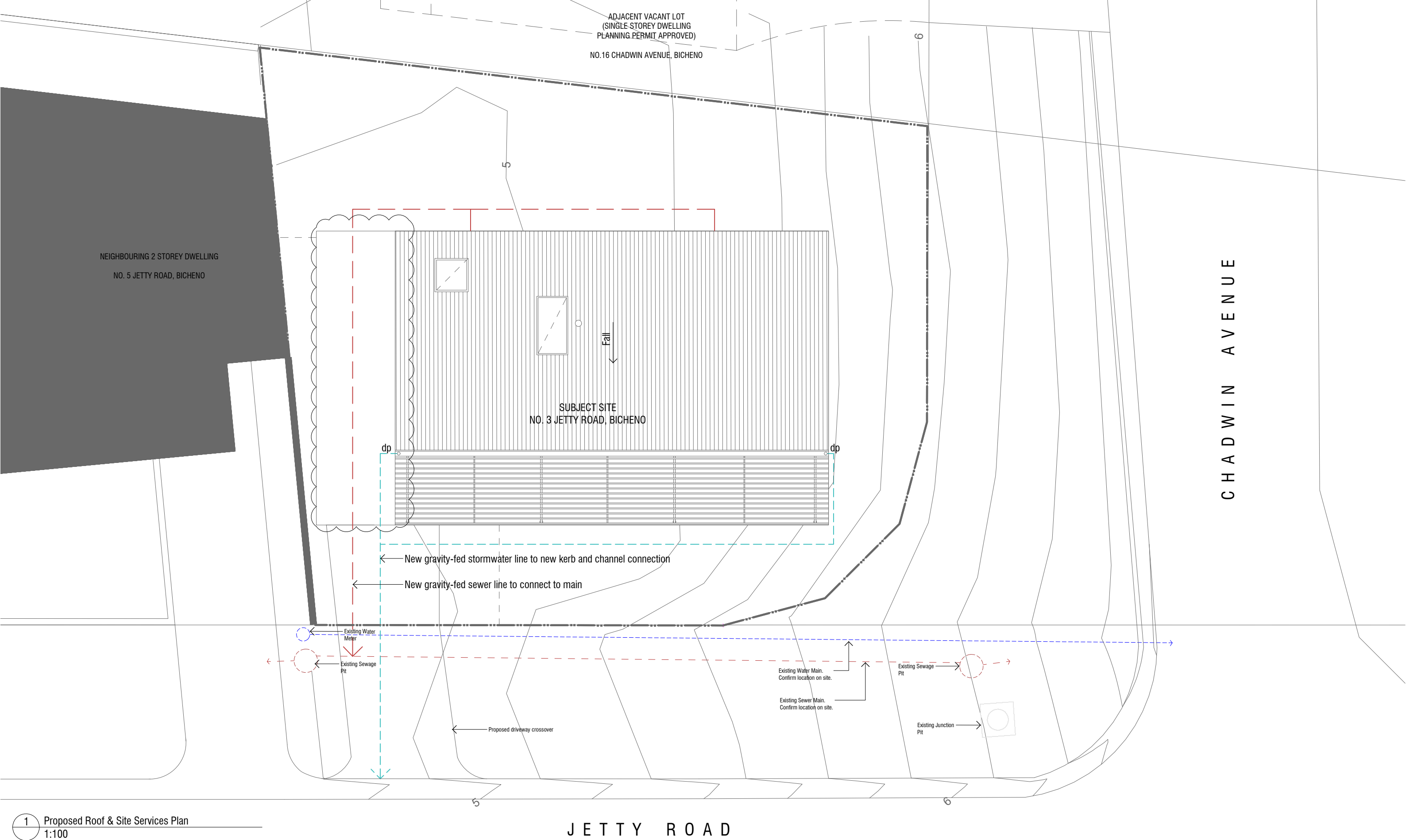
Drawn	AA	Checked	GA
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Status	Planning		
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Plot File			
Drawing No.	A03.000		[Revision] 02

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182 Prospect Hill Rd
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M 0428 444 485
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anna@ancherao.com.au

36 Frankston St
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1 Proposed Roof & Site Services Plan
1:100

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LEGEND:
STORMWATER ———
SEWER ———

02	06.03.2024	RFI response - revisions clouded	AA	GA	
01	05.03.2024	Development Application	AA	GA	
Rev	Date	Description	Initial	Checked	

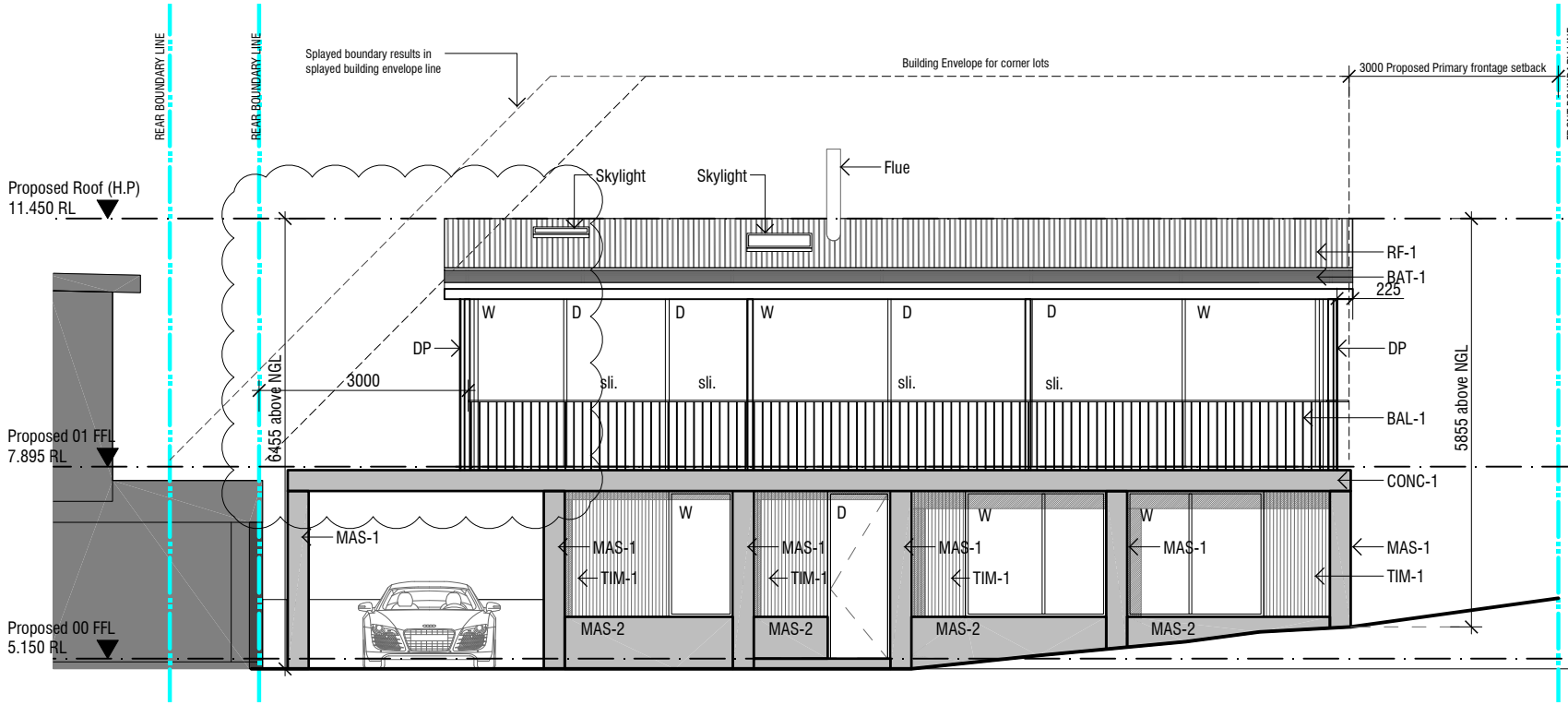
3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSY
Proposed Site Services Plan



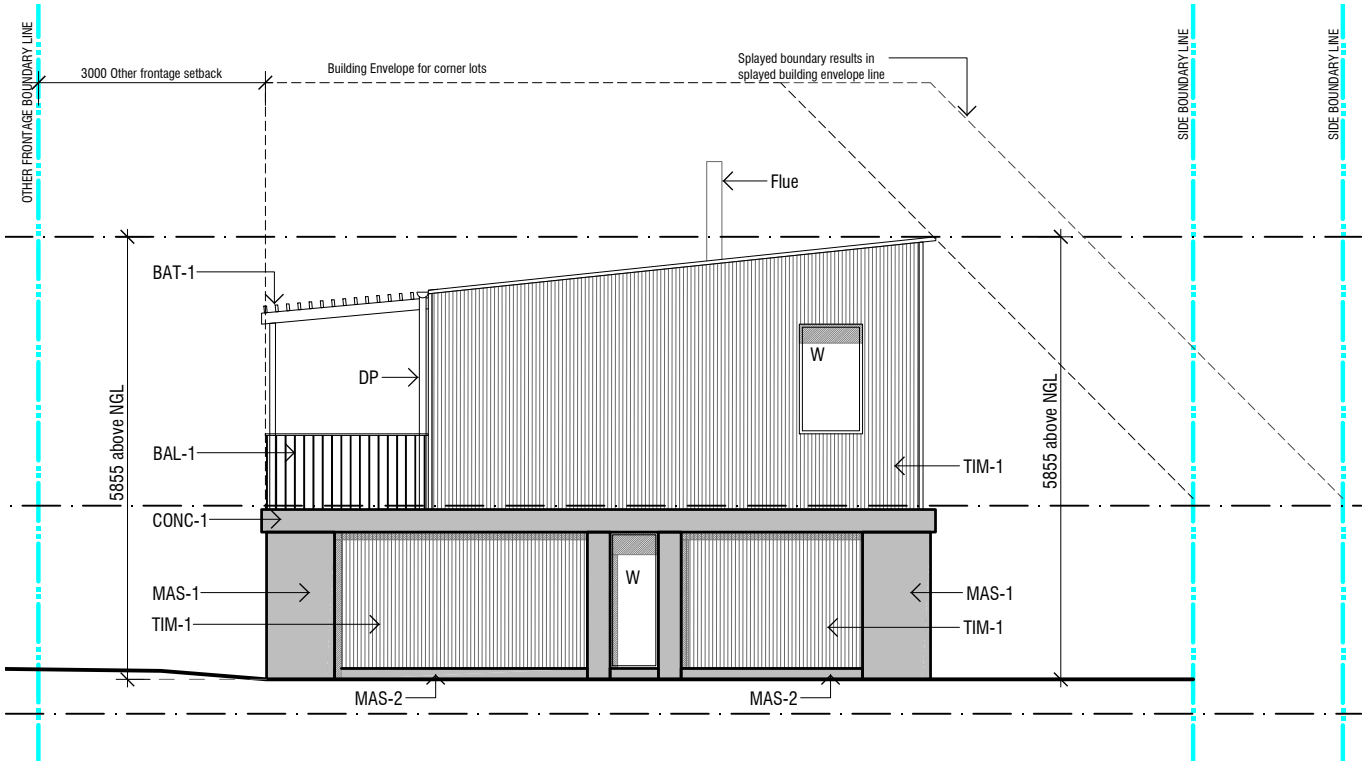
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Scale 1:100@A3
Drawn AA Checked GA
Project No. 2307
Status Planning
Plot Date
Plot File
Drawing No. A03.003 [Revision] 02

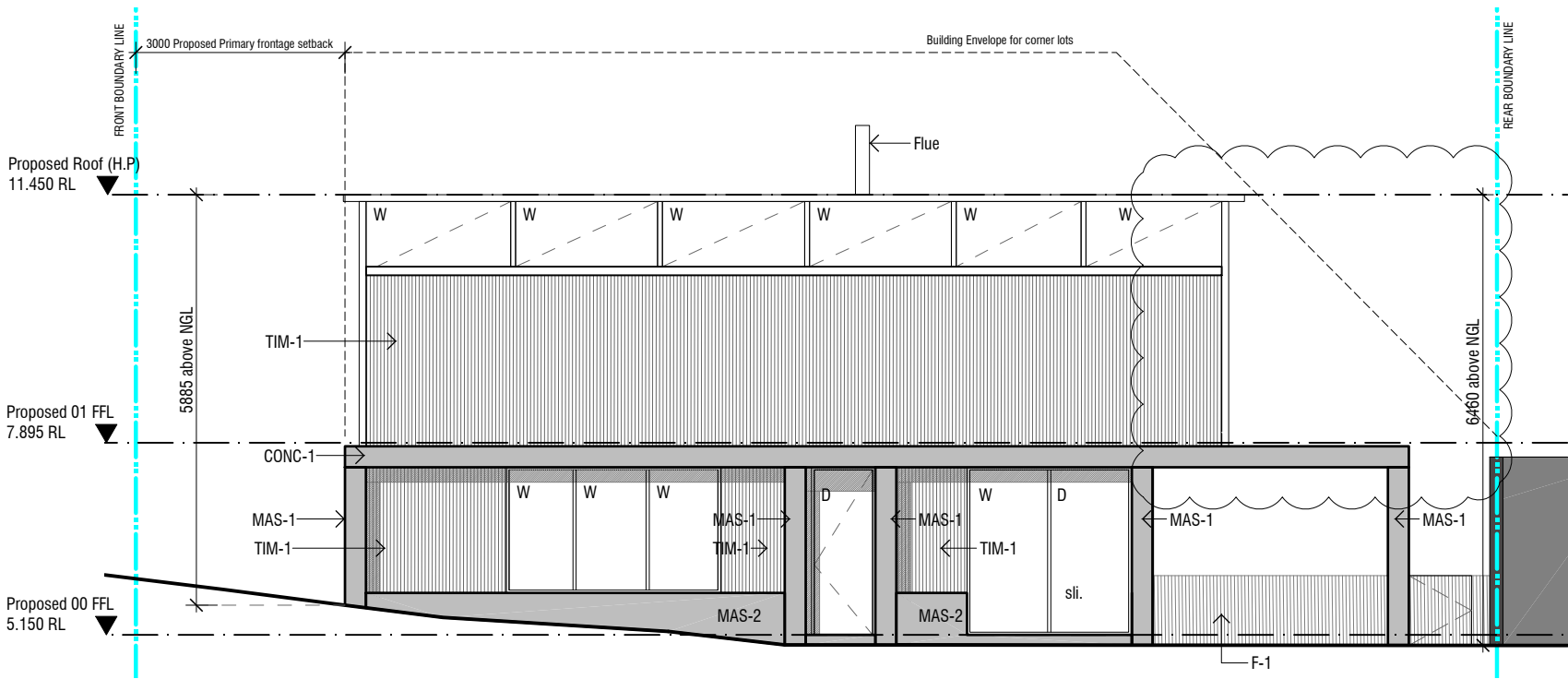
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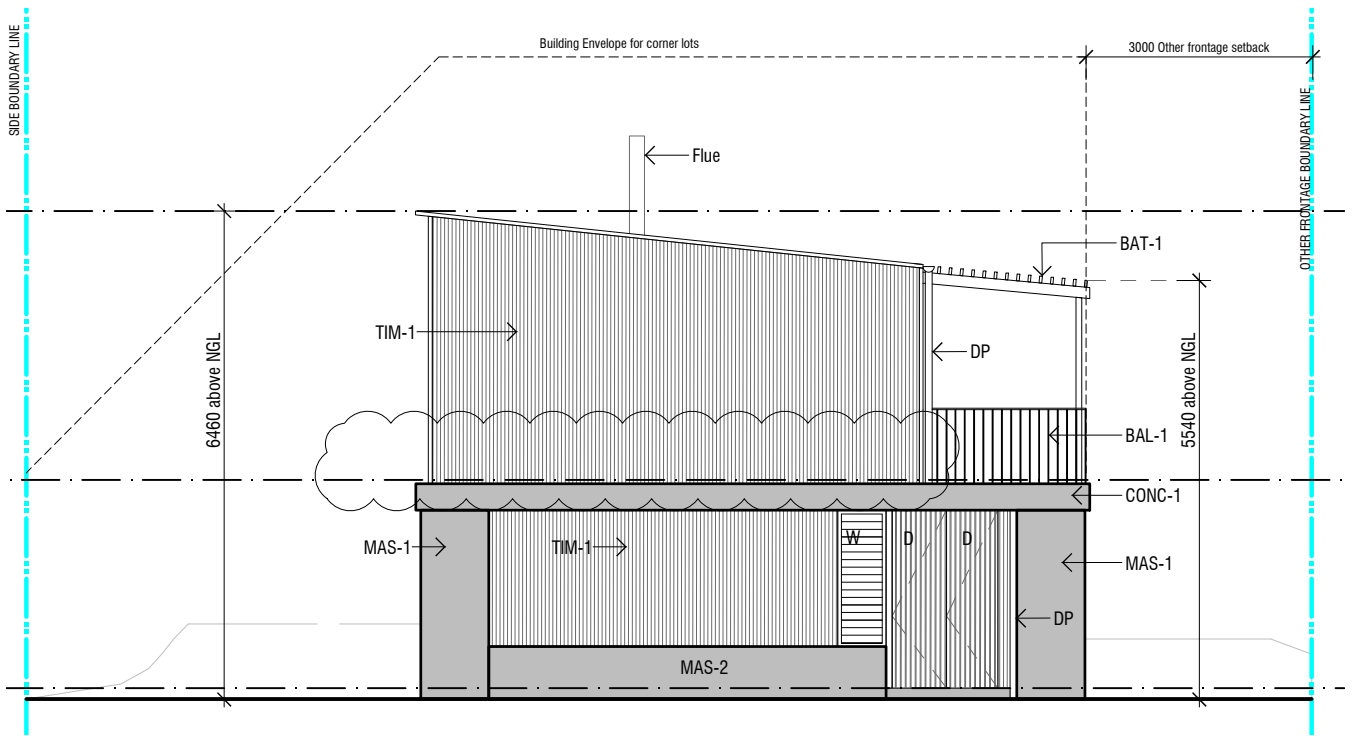
1 Proposed West Elevation
1:100



2 Proposed South Elevation
1:100



3 Proposed East Elevation
1:100



4 Proposed North Elevation
1:100

GENERAL NOTES

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FINISHES LEGEND:

TIM-1 Timber cladding, natural finish
MAS-1 Masonry, light colour
MAS-2 Masonry, bagged finish / light colour
CONC-1 Concrete slab
BAL-1 Metal balustrade, galv finish
RF-1 Metal roof, light colour
BAT-1 Batten roof screen, timber/ natural finish

W Window
D Door
F-1 Timber fence & gate

Rev	Date	Description	Initial	Checked
02	06.03.2024	RFI response - revisions clouded	AA	GA
01	05.03.2024	Development Application	AA	GA

3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSEY

Proposed Elevations

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Plot File	
Drawing No.	[Revision]

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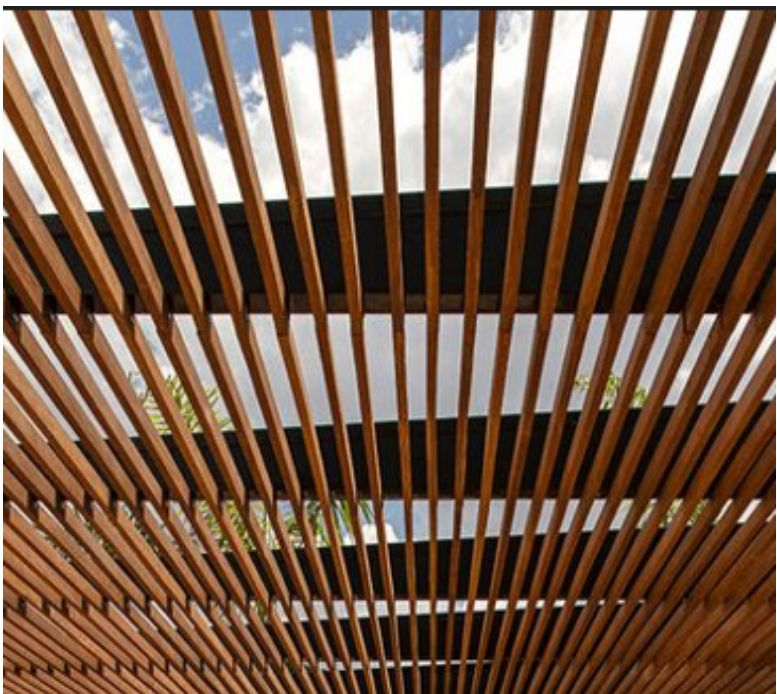
MAS-2
Masonry, bagged finish / light colour



TIM-1
Timber cladding, natural finish



RF-1
Metal roof, light colour



BAT-1
Batten roof screen, timber / natural finish



MAS-1
Masonry, light colour



CONC-1
Concrete slab



BAL-1
Metal balustrade, galvanised finish



F-1
Garden fence and gate, timber / natural finish



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W Window
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3 JETTY ROAD, BICHENO
ALEX MOLLARD & JAMES O'SHANNESSEY

Material Schedule

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Status	Planning		
Plot Date			
Plot File			
Drawing No.	A05.001		[Revision] 02


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M 0428 444 485
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anna@ancherao.com.au

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3 JETTY ROAD, BICHENO

APPENDIX A
PLANNING STUDY IN SUPPORT OF PROPOSED SETBACKS

PLANNING STUDY - PRIMARY FRONTAGE SETBACKS

ANALYSIS OF THE EXISTING PATTERNS OF DEVELOPMENT

A bird’s eye view analysing the existing street facing setbacks in the surrounding area of Bicheno reveals a pattern of buildings sited closer than the required 4.5m when they are located on smaller parcels of land and where the existing verge to the street is already creating a considerable setback from the road.

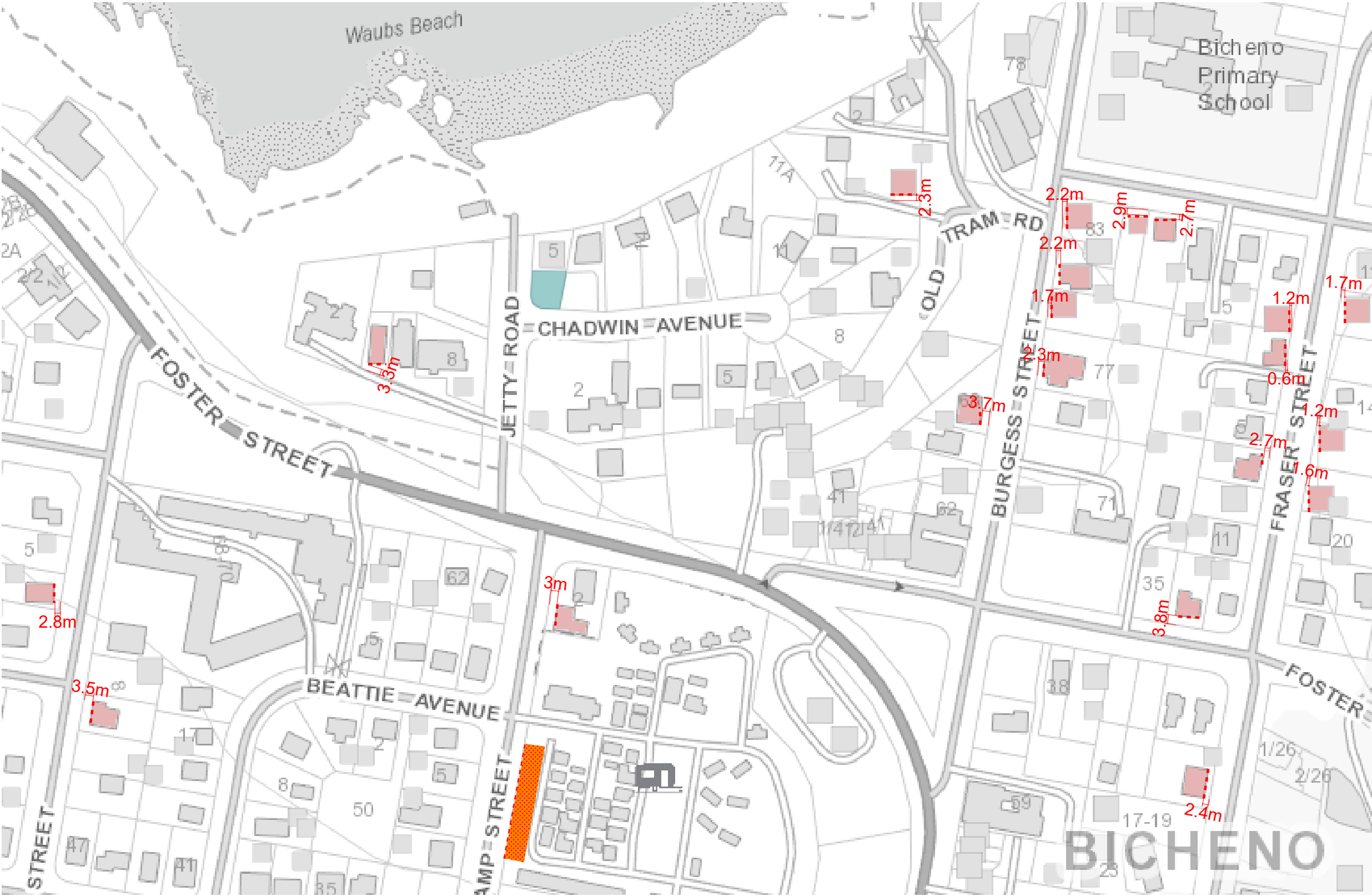
While this is not apparent for the immediate neighbouring buildings along Chadwin Avenue, these are typically very large single lots. The subject site and adjoining neighbour at 5 Jetty Road represent the smallest lot sizes in the immediate vicinity.

However as the area of analysis is widened slightly to consider the streetscape only 3 of 4 streets away from the subject site a pattern of development for smaller sites becomes evident.

The typically ample verge between the edges of the street and the title boundaries allows the Primary Frontage on lots that are smaller or narrower to be less than the required 4.5m under the Planning Scheme while still presenting a generous setback from the street edge itself.

This pattern also shows a consistent relationship between building site coverage and private open space which does not appear to rely on larger lot size. This discretionary reduction in Primary Frontage setback dimension appears to have been used judiciously by the Authority to achieve this consistency.

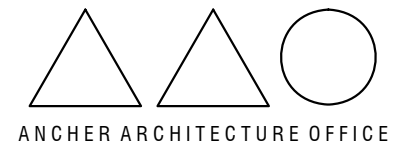
Based on this analysis, the proposal to permit 3m for both Primary Frontage and Other Frontage setbacks at the subject site 3 Jetty Road is considered to satisfy the Performance Criteria (P1) of Clause 8.4.2 as it works in harmony with the surrounding pattern of development for smaller lot sizes in this area of Bicheno.



AAO Analysis of primary frontage setback patterns to existing development in surrounding area of Bicheno

Topographic Map background accessed via maps.thelist.tas.gov.au

ANALYSIS OF COMPLIANT SETBACKS VS PROPOSED SETBACKS



The subject site 3 Jetty Road occupies the corner of Jetty Road and Chadwin Avenue.

In addition to required setbacks, there are considerable areas of publicly trafficable grass verge to both Jetty Road and Chadwin Avenue frontages before reaching the Title Boundaries for 3 Jetty Road.

Typically the site is set back approximately 5m from the edge of Jetty Road, between 5.7m to 6.4m from Chadwin Avenue, and over 8.5m setback from the splay of the corner.

Clause 8.4.2 of the Tasmanian Planning Scheme addresses setback and building envelope for all dwellings.

In accordance with the definitions under the Tasmanian Planning Scheme, the subject site's Primary Frontage is that with the shortest dimension measured parallel with the road - therefore the Chadwin Avenue frontage becomes the Primary Frontage.

The Acceptable Solutions (A1) for Clause 8.4.2 include not less than 4.5m setback for the Primary Frontage of a dwelling, and not less than 3m setback from a frontage that is not the Primary Frontage.

The subject site is a corner lot with a site area of 296m², but in accordance with Tasmanian Planning Scheme Figure 8.2 '*Building envelope for corner lots as required by clause 8.4.2 A3(a) and clause 8.5.1 A2(a)*', compliant setbacks reduce the developable area to 175m².

It is proposed that due to the generous grass verges to both sides of this corner site and in lieu of the compliant Primary Frontage setback, both Primary and Other Frontage setbacks are instead permitted to achieve a 3m setback.

The Primary Frontage setback is the southern boundary, so this proposal represents a very minor amendment to the compliant condition with negligible impact to adjacent properties or the public domain.

It is further noted that upon conducting analysis of the existing patterns of development in the surrounding streets of Bicheno, there is clear precedent in support of this proposal.

