



GLAMORGAN/SPRING BAY COUNCIL
NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: **32 Kunzea Circuit, Coles Bay**
CT 182776/76

PROPOSAL: **Residential Dwelling & Outbuilding**

Any person may make representation on the application(s) by letter (PO Box 6, Triabunna) or electronic mail (planning@freycinet.tas.gov.au) addressed to the General Manager.

Representations must be received before midnight on 09 February 2024

APPLICANT: **Design To Live**
DATE: **22/12/2023**
APPLICATION NO: **DA 2023 / 259**

Application for Planning Approval

Advice:

Use this form for all no permit required, permitted and discretionary planning applications including visitor accommodation, subdivision as well as for planning scheme amendment & minor amendments to permits.

Completing this form in full will help ensure that all necessary information is provided and avoid any delay. The planning scheme in clause 6.0 provides details of other information that may be required. A checklist of application documents is provided on page 4 of this form.

Often, it is beneficial to provide a separate written submission explaining in general terms what is proposed and why and to justify the proposal against any applicable performance criteria.

If you have any queries with the form or what information is required, please contact the office.

Details of Applicant and Owner			
Applicant:	Design To Live		
Contact person: (if different from applicant)	Lyndon Stubbs		
Address:	202 Wellington Street		
Suburb:	South Launceston	Post Code:	7249
Email:	info@designtolive.com.au	Phone: / Mobile:	6344 7319

Note: All correspondence with the applicant will be via email unless otherwise advised

Owner (if different from applicant)	TIMOTHY AND NICOLLE MAXWELL		
Address:	[REDACTED]		
Suburb:	[REDACTED]	Post Code:	[REDACTED]
Email:	[REDACTED]	Phone: / Mobile:	[REDACTED]

Details of Site (Note: If your application is discretionary, the following will be placed on public exhibition)			
Address of proposal:	32 KUNZEA CIRCUIT		
Suburb:	COLES BAY	Post Code:	7215
Size of site: (m ² or Ha)	1131m ²		
Certificate of Title(s):	182776/76		
Current use of site:	VACANT		

General Application Details *Complete for All Applications*

Description of proposed use or development:	PROPOSEDDWELLING AND SHED	
Estimated value of works: (design & construction) The estimated cost is to include the cost of labour and materials using current industry pricing and is to include GST. You may be required to verify this estimate.	\$	██████████
Is the property on the State Heritage Register? (Circle one)	<input type="checkbox"/> Yes	/ <input checked="" type="checkbox"/> No

For all Non-Residential Applications

Hours of Operation	N/A
Number of Employees	
Describe any delivery of goods to and from the site, including the types of vehicles used and the estimated average weekly frequency	
Describe any hazardous materials to be used or stored on site	
Type & location of any large plant or machinery used (refrigeration, generators)	
Describe any retail and/or storage of goods or equipment in outdoor areas	

Personal Information Protection Statement

The personal information requested will be managed in accordance with the *Personal Information Protection Act 2004*. The personal information is being collected by Glamorgan Spring Bay Council for the purposes of managing, assessing, advising on, and determining the relevant application in accordance with the *Land Use Planning and Approvals Act 1993*(LUPPA) and other related purposes, including for the purpose of data collection.

The information may be shared with contractors and agents of the Council for this purpose, law enforcement agencies, courts and other organisations and it may also be made publicly available on the Council's website and available for any person to inspect in accordance with LUPAA. If you do not provide the information sought, Council will be unable to accept and/or process your application.

Applicant Declaration

I/we hereby apply for planning approval to carry out the use or development described in this application and the accompanying documents and declare that:


- The information in this application is true and correct.
- I/we authorise Council employees or consultants to enter the site to assess the application.
- I/we have obtained all copy licenses and permission from the copyright owner for the publication, communication and reproduction of the application and reports, plans and materials provided as part of the application and for the purposes of managing, assessing, advising on, and determining the application.

I/we authorise the Council to:

- Make available the application and all information, reports, plans, and materials provided with or as part of the application in electronic form on the Council's website and in hard copy at the Council's office and other locations for public exhibition if and as required;
- Make such copies of the application and all information, reports, plans and materials provided with or as part of the application which are, in the Council's opinion, necessary to facilitate a consideration of the application;
- Publish and or reproduce the application and all information, reports, plans and materials provided with or as part of the application in Council agendas, for representors, referral agencies and other persons interested in the application; and
- provide a copy of any documents relating to this application to any person for the purpose of assessment or public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.

You indemnify the Council for any claim or action taken against the Council for breach of copyright in respect of the application and all information, report, plan, and material provided with or as part of the application.

I/We declare that the Owner has been notified of the intention to make this application in accordance with section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Applicant Signature:		Date:	8/01/2024
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Owners Consent required if application is on or affects Council or Crown owned or administered land

I declare that I have given permission for the making of this application for use and/or development.

Council General Manager or delegate Signature:		Date:	
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If land affected by this application is owned or administered by the Crown or Council, then the written permission of the relevant Minister (or their delegate) and/or the General Manager must be provided. For Crown land, a copy of the instrument of delegation must be provided.

It is the applicant's responsibility to obtain any owners consent prior to lodgement. Written requests for Council consent are via the General Manager. Request for Ministerial consent is to be directed to the relevant department.

Checklist of application documents:

Taken from Section 6 of the Planning Scheme

An application must include:

- ☐ a signed application form;
- ☐ any written permission and declaration of notification required under s.52 of the Act and, if any document is signed by the delegate, a copy of the delegation;
- ☐ details of the location of the proposed use or development;
- ☐ a copy of the current certificate of title for all land to which the permit sought is to relate, including the title plan; and
- ☐ a full description of the proposed use or development.

In addition to the information that is required by clause 6.1.2, a planning authority may, in order to enable it to consider an application, require such further or additional information as the planning authority considers necessary to satisfy it that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or a specific area plan, applicable to the use or development including:

- ☐ any schedule of easements if listed in the folio of the title and appear on the plan, where applicable;
- ☐ a site analysis and site plan at a scale acceptable to the planning authority showing, where applicable:
 - (i) the existing and proposed use(s) on the site;
 - (ii) the boundaries and dimensions of the site;
 - (iii) topography including contours showing AHD levels and major site features;
 - (iv) natural drainage lines, watercourses and wetlands on or adjacent to the site;
 - (v) soil type;
 - (vi) vegetation types and distribution including any known threatened species, and trees and vegetation to be removed;
 - (vii) the location and capacity and connection point of any existing services and proposed services;
 - (viii) the location of easements on the site or connected to the site;
 - (ix) existing pedestrian and vehicle access to the site;
 - (x) the location of existing and proposed buildings on the site;
 - (xi) the location of existing adjoining properties, adjacent buildings and their uses;
 - (xii) any natural hazards that may affect use or development on the site;
 - (xiii) proposed roads, driveways, parking areas and footpaths within the site;
 - (xiv) any proposed open space, common space, or facilities on the site; and
 - (xv) proposed subdivision lot boundaries;
- ☐ where it is proposed to erect buildings, a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200 as required by the planning authority showing, where applicable:
 - (xvi) the internal layout of each building on the site;
 - (xvii) the private open space for each dwelling;
 - (xviii) external storage spaces;
 - (xix) parking space location and layout;
 - (xx) major elevations of every building to be erected;
 - (xxi) the relationship of the elevations to existing ground level, showing any proposed cut or fill;
 - (xxii) shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites; and
 - (xxiii) materials and colours to be used on roofs and external walls.

SEARCH OF TORRENS TITLE

VOLUME 182776	FOLIO 76
EDITION 2	DATE OF ISSUE 01-Jun-2022

SEARCH DATE : 15-Dec-2023

SEARCH TIME : 08.44 AM

DESCRIPTION OF LAND

Parish of MEREDITH Land District of GLAMORGAN
 Lot 76 on Sealed Plan 182776
 Derivation : Part of 665 Acres Gtd. to S W Roberts and Johnson
 Sinclair
 Prior CT 179916/302

SCHEDULE 1

M956373 TRANSFER to TIMOTHY JOHN MAXWELL and NICOLLE FRANCES
 MAXWELL Registered 01-Jun-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP182776 EASEMENTS in Schedule of Easements
 SP182776 FENCING PROVISION in Schedule of Easements
 SP6472, SP175740, SP176017, SP176316, SP177086, SP177640,
 SP179042 & SP179916 FENCING PROVISION in Schedule of
 Easements
 SP107890, SP139308 & SP143490 FENCING COVENANT in Schedule of
 Easements
 SP179042 SEWERAGE AND/OR DRAINAGE RESTRICTION
 C434769 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 19-May-2003 at noon
 E153042 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 26-Oct-2018 at noon
 E166139 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 05-Jun-2019 at noon
 E239953 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 23-Nov-2020 at noon
 E297798 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 10-Mar-2022 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Priority Final Plan

PLAN OF SURVEY

OWNER: COOROLINA PTY LTD

FOLIO REFERENCE: C.T. 179916/302

GRANTEE: PART OF 665 ACRES GRANTED TO
S.W. ROBERTS AND JOHNSON SINCLAIR

BY SURVEYOR: ANDREW JOHN BUTLER

LOCATION:
LAND DISTRICT OF GLAMORGAN
PARISH OF MEREDITH

SCALE 1:1500@A3 LENGTHS IN METRES



EAST COAST
SURVEYING
CONSULTING SURVEYORS
& LAND PLANNERS

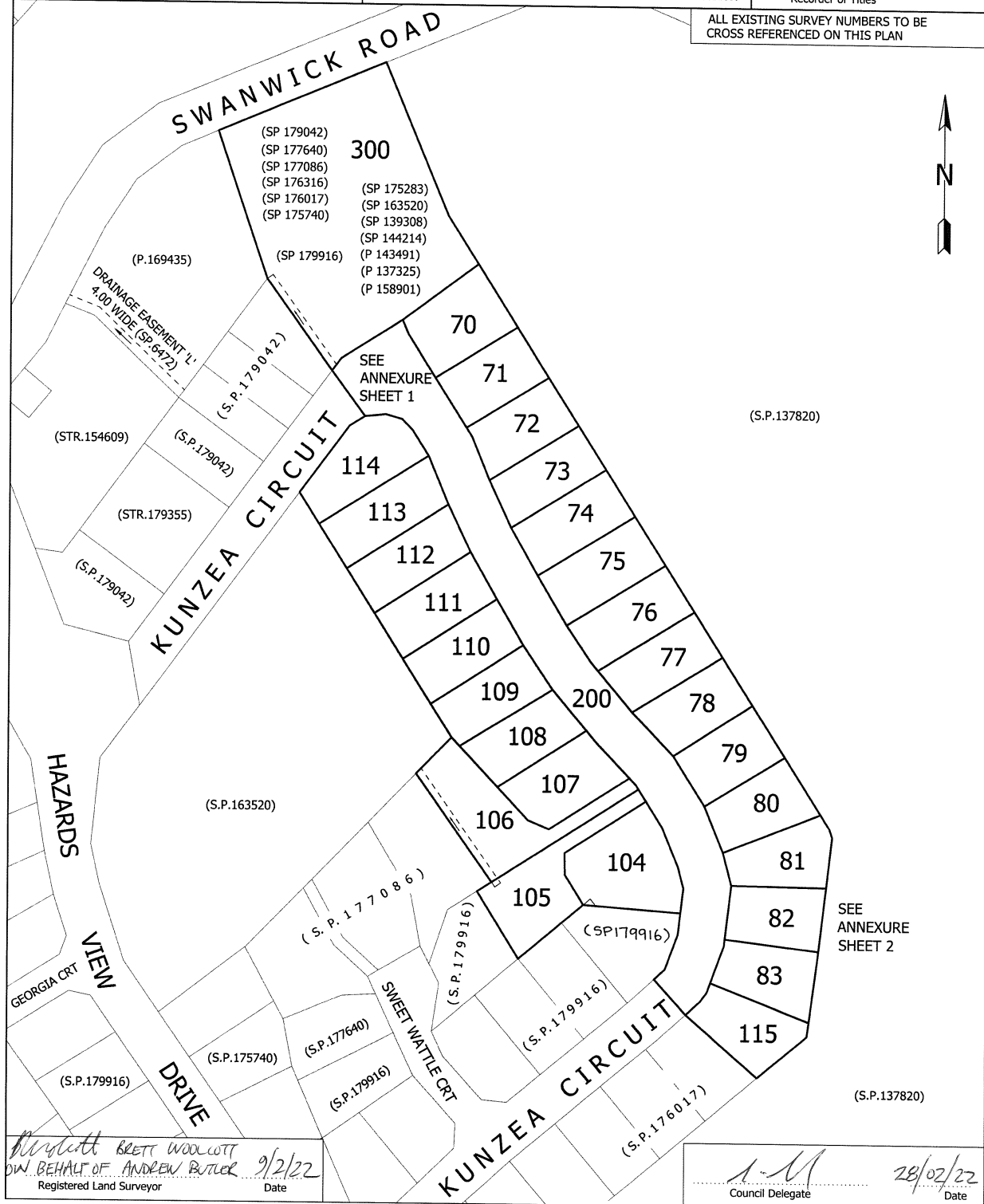
REGISTERED NUMBER

SP182776

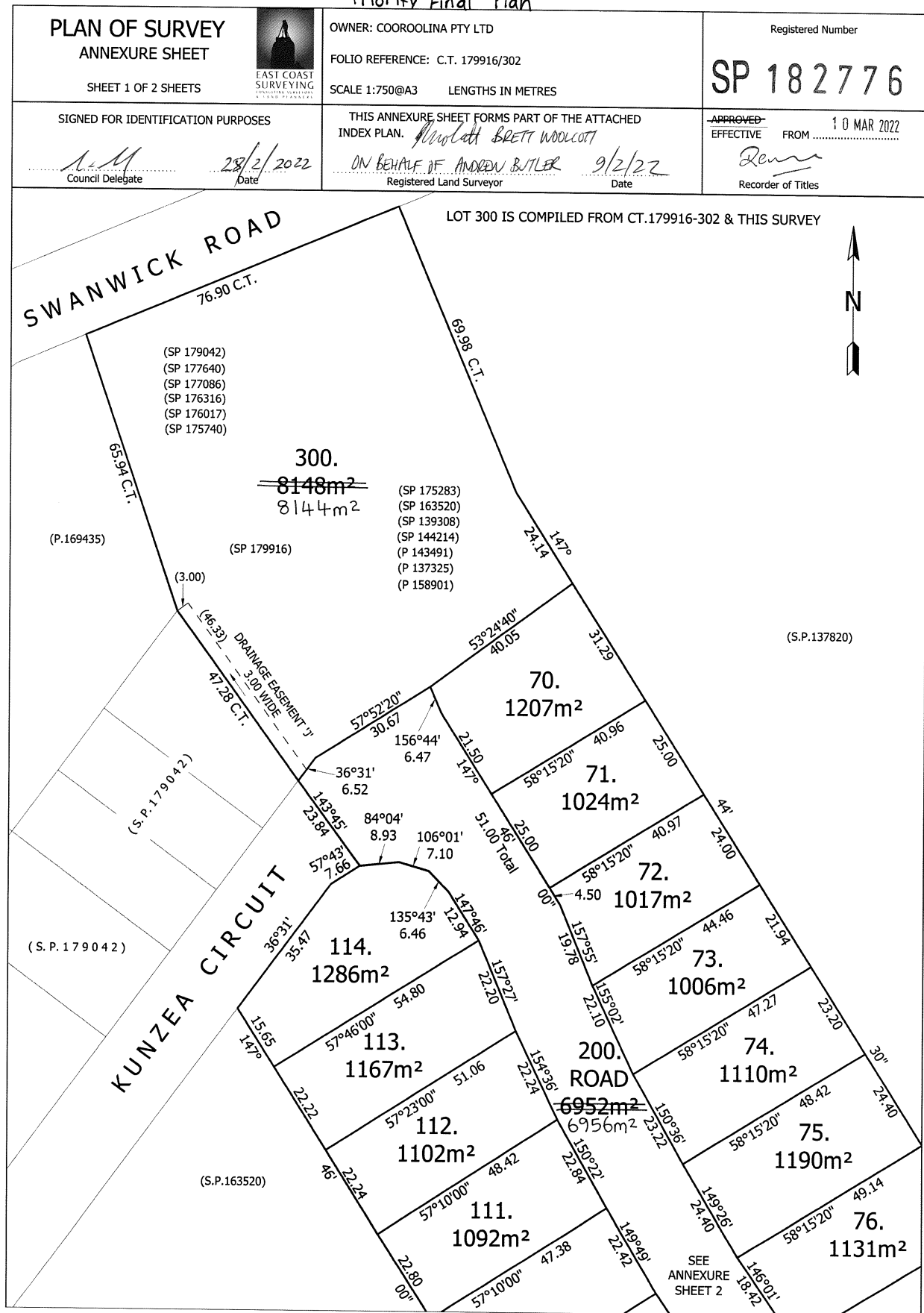
APPROVED
EFFECTIVE FROM 10 MAR 2022

Ren
Recorder of Titles

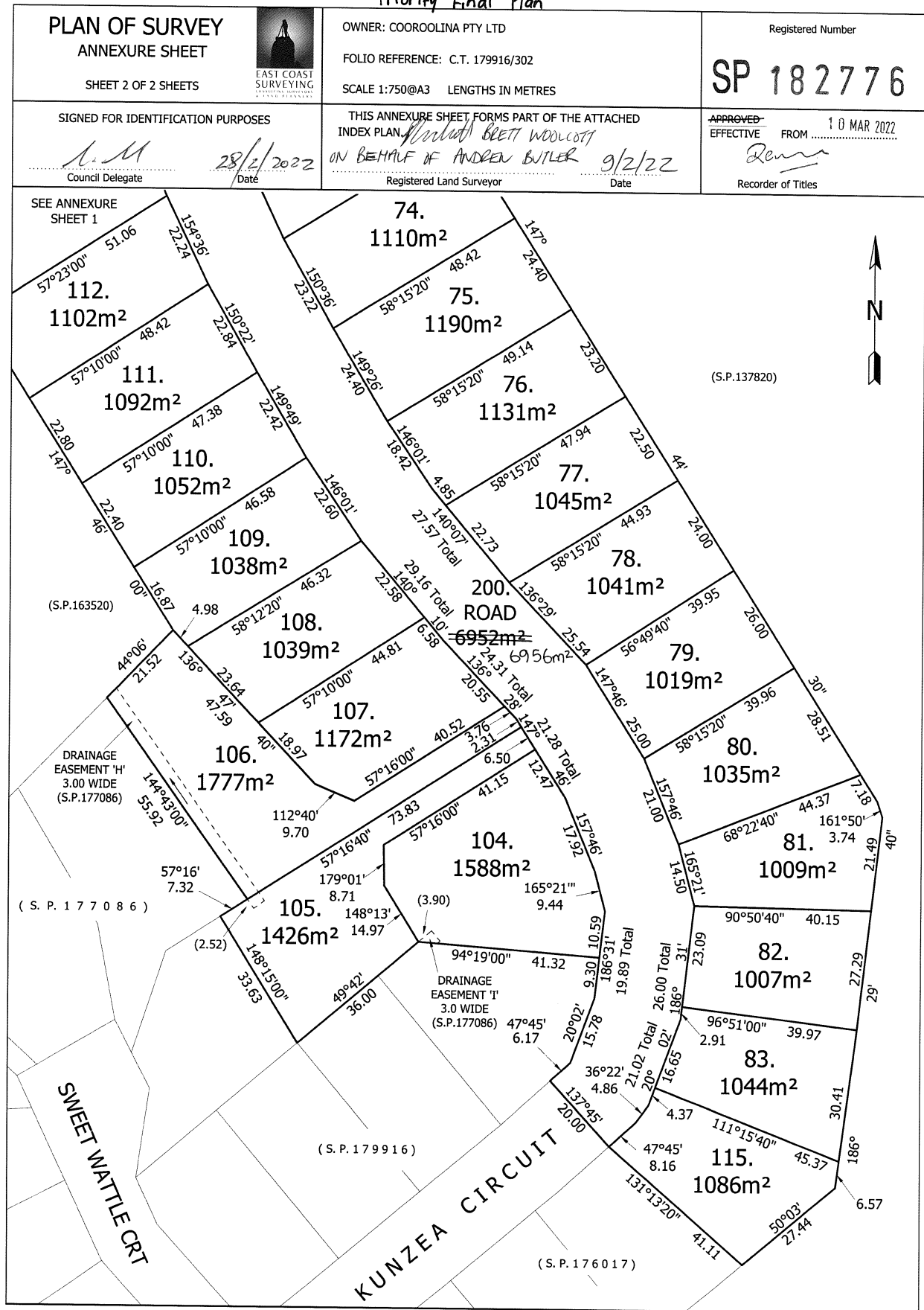
ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN



Priority Final Plan



Priority Final Plan



SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 182776
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PAGE 1 OF 1 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

BURDENING EASEMENTS

Lot 300 on the Plan is SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council over the land marked 'DRAINAGE EASEMENT 'J' 3.00 WIDE' on the Plan.

Lots 105 and 106 on the Plan are SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council and Tasmanian Water and Sewerage Corporation Pty Ltd Limited, its successors and assigns ('TasWater') over the land marked 'DRAINAGE EASEMENT 'H' 3.00 WIDE (S.P.177086)' on the Plan.

Lot 104 on the Plan is SUBJECT TO a Right of Drainage in favour of the Glamorgan-Spring Bay Council and TasWater over the land marked 'DRAINAGE EASEMENT 'I' 3.00 WIDE (S.P. 177086)' on the Plan.

BENEFITING EASEMENTS

Lots 70-83, 104-115 and 300 are TOGETHER WITH a Right of Drainage over the land marked 'DRAINAGE EASEMENT 'L' 4.00 WIDE (SP6472)' on the Plan.

FENCING PROVISION

In relation to the lots on the Plan the Vendor (Cooroolina Pty Ltd) shall not be required to fence.

Executed by **COOROLINA PTY LTD** by its attorney SAMUEL EDWARD PRATT pursuant to Power of Attorney Registered Number PA116270 (and the said Samuel Edward Pratt declares that he has received no notice of revocation of the said Power) in the presence of:

Witness

Full Name Joy Elizabeth Donnellan.

Address 45 Cameron St, Lannceston.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: COOROLINA PTY LTD (ACN 009 493 734) ATF THE JA BAIN SUPERANNUATION FUND FOLIO REF: 179916/302 SOLICITOR & REFERENCE: SIMMONS WOLFHAGEN SEP 220058	PLAN SEALED BY: GLAMORGAN-SPRING BAY COUNCIL DATE: 28/02/2022 REF NO. _____ Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	CUSTOM ORB 0.42 BMT	CB	AA
WALLS	TRIMDEK 0.42 BMT	CB	AA
CORNERS	-	CB	AA
BARGE	-	CB	AA
GUTTER	HI-QUAD	CB	AA

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
1	RD1	Taurean, Domestic PR1ME Series AA 3025 high x 4990 wide Clear Opening Windstrong
1	L650-13	Larnec Door & Frame Kit, 650/37, Std. 2040 x 820 C/Bond
1	KWN1	AMI - Reg A & B, 790x1274 CLR, Window Kit (BDSP)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT
Tim Maxwell

SITE
**32 Kunzea Circuit
COLES BAY TAS 7215**

BUILDING
**SUNDOWN DELUXE
6000 SPAN x 3600 EAVE x 10000 LONG
PLUS 3000 ANNEXE**

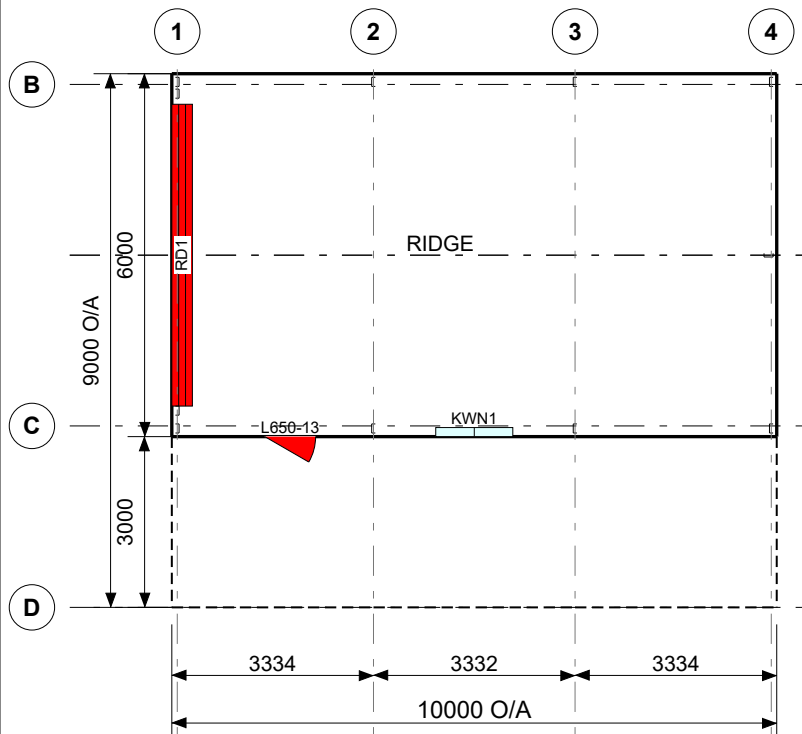
TITLE
FLOOR PLAN & ELEVATION

SCALE
A4 SHEET 1:125

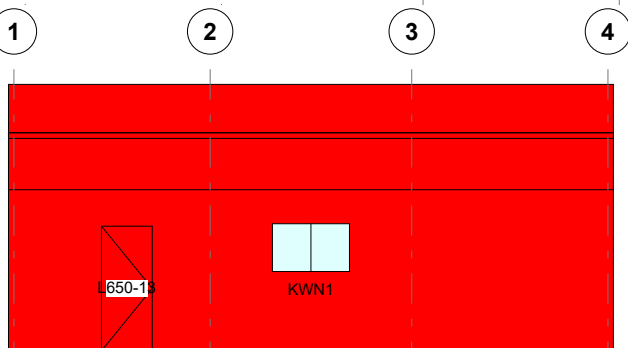
DRAWING NUMBER
LAUNC3-13727

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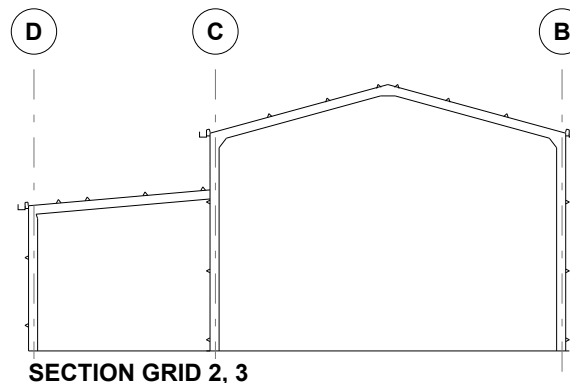
PAGE
1/2



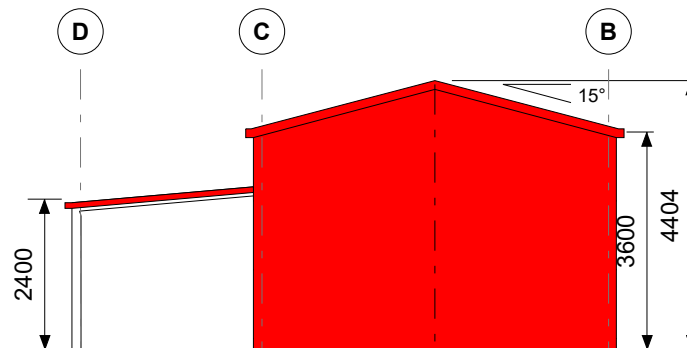
FRAME ROOF PLAN



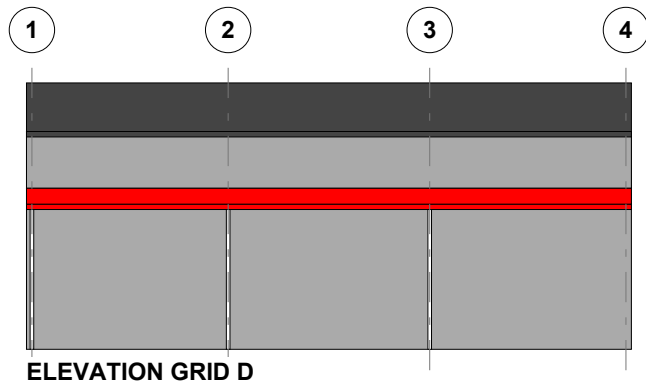
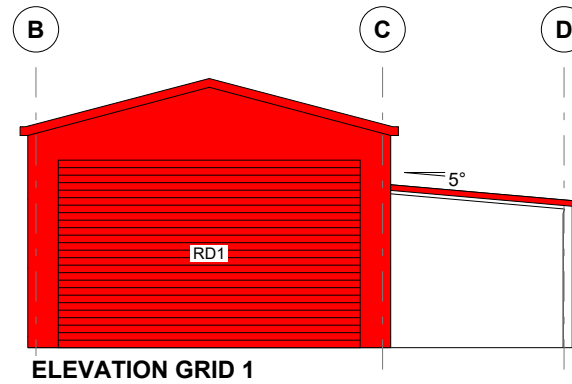
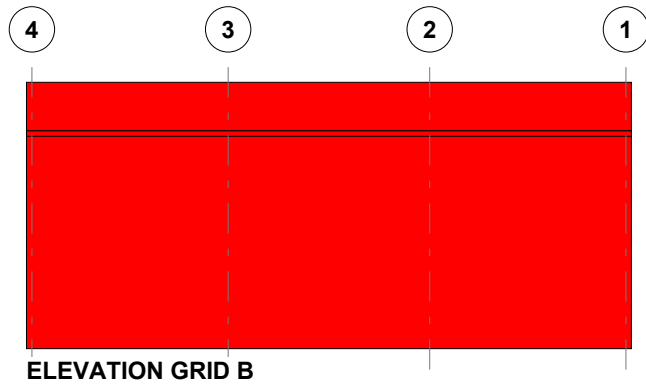
ELEVATION GRID C



SECTION GRID 2, 3



ELEVATION GRID 4



NOTES

ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

IF SLIDING DOORS ARE INCLUDED ON THIS PROJECT, A STRIP FOOTING OR PAD FOOTINGS WILL BE NECESSARY, AND MUST BE POURED IN CONJUNCTION WITH THIS GARAGE'S SLAB OR FOOTINGS.

SEE ERECTION INSTRUCTIONS FOR SECTION & SLAB ADDITIONAL NOTES

SEE ENGINEERING DRAWINGS FOR ADDITIONAL DET'S NOTES & CONCRETE SPECIFICATION

CONTROL JOINTS MUST BE SUPPLIED AT NOT GREATER THAN 4.5m OR CONCRETE POUR AT A RATIO OF NOT MORE THAN 1:1.2 IN ANY DIRECTION

CONSTRUCTION JOINTS MUST BE SUPPLIED WHERE AN UNBROKEN RUN OF CONCRETE POUR EXCEEDS 30m IN ANY DIRECTION

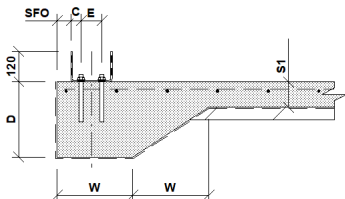
COLUMN SCHEDULE:

COLUMN	SFO	C	E
SGRB15	63	29	90

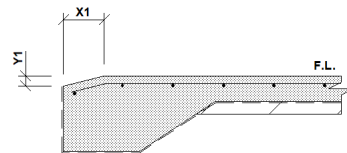
DIMENSION SCHEDULE:

D	W	S1	X1	X2	X3	Y1	Y2
200	200	100	160	93	90	40	30

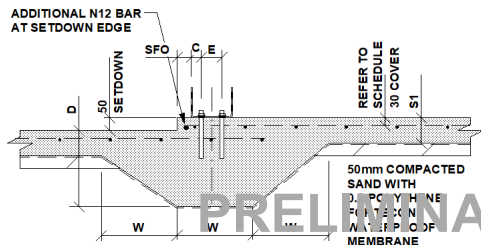
Cont. on page 2



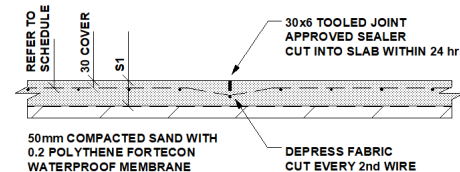
SECTION A-A
DET S1/EB1
CHEMSET BASE



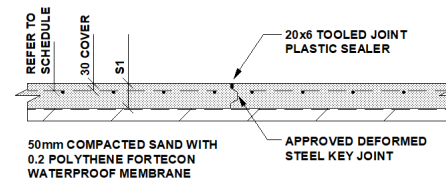
SECTION E-E
TYP SECT AT SETBACK FRAME
END WALL ROLLER DOOR
TYPE A DOORS, OPENING WIDTH PLUS 50mm
TYPE AA & B DOORS, OPENING WIDTH PLUS 100mm.



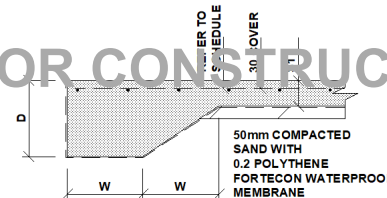
SECTION H-H
DET S1/IB1
TOP MESH TO LAP 300MM MINIMUM
AT SHEETED PARENT BUILDING / OPEN ANNEXE LOCATION
AT PARENT BUILDING / GARAPORT LOCATION SIMILAR



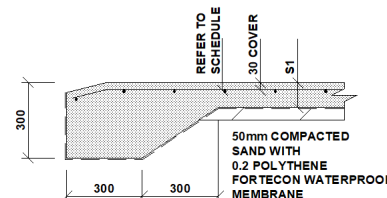
DET S1/A
CONTROL JOINT



DET S1/C
CONSTRUCTION JOINT



DET S1/EB1 FOR RC SLAB
NOT SUITABLE AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC



DET S1/EB2
REQUIRED AT OPENINGS
SUBJECT TO VEHICLE TRAFFIC

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION PURPOSES

CLIENT

Tim Maxwell

SITE

32 Kunzea Circuit
COLES BAY TAS 7215

BUILDING

SUNDOWN DELUXE
6000 SPAN x 3600 EAVE x 10000 LONG
PLUS 3000 ANNEXE

TITLE

RC SLAB PLAN

SCALE
NTS

DRAWING NUMBER
RSP-13727

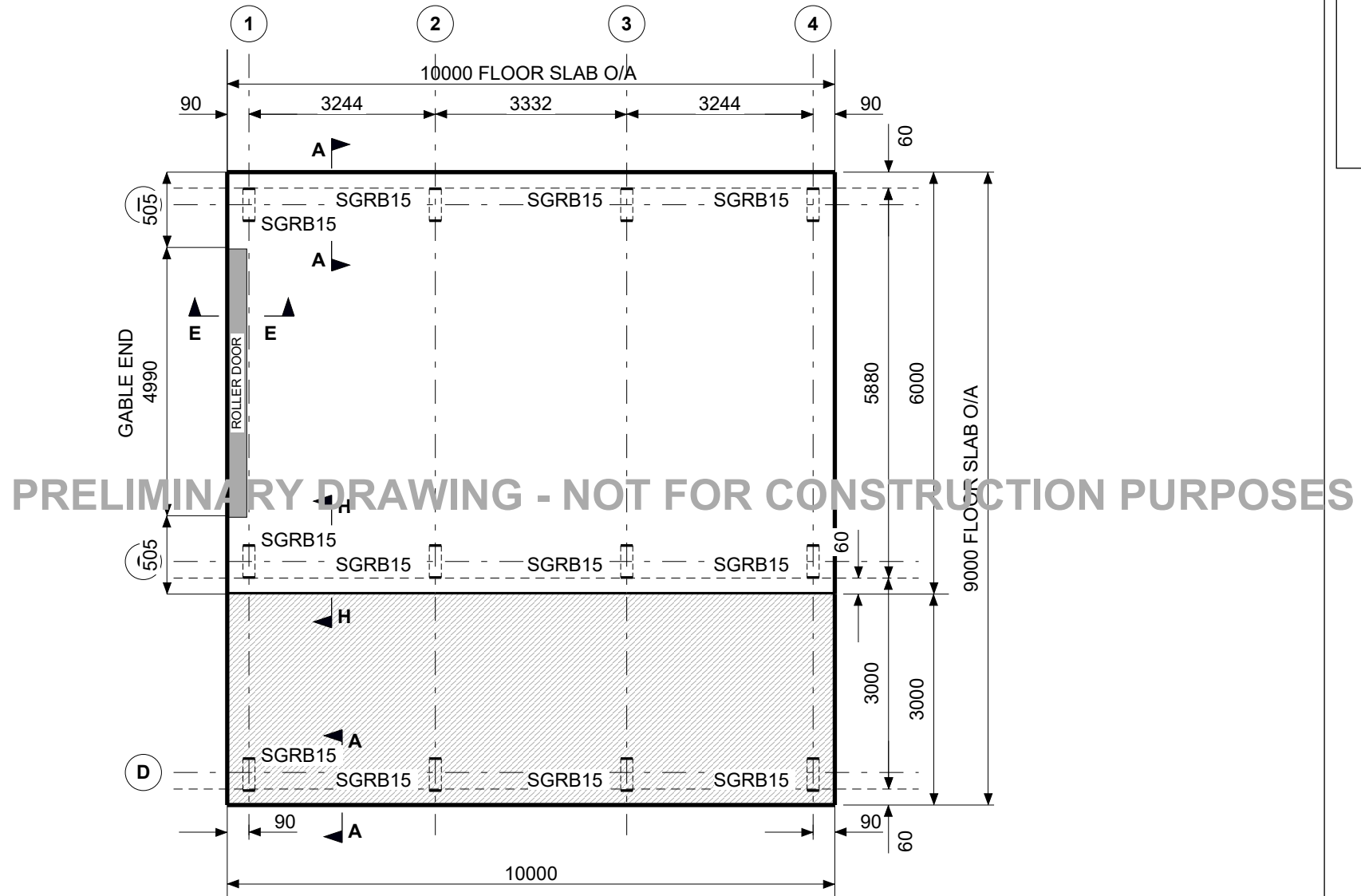
REV
A

PAGE
1/2

SET DOWN ALL SHADED
AREAS 50mm

RANBUILD

Copyright 2023
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD



BASE STRAP & HD BOLT SCHEDULE
12 REQ'D BASE STRAP SGRB15

SCALE NTS	REV A
DRAWING NUMBER RSP-13727	PAGE 2/2



PROPOSED DWELLING AND SHED
32 KUNZEA CIRCUIT,
COLES BAY, 7215.

NOTE: STAGED DEVELOPMENT
STAGE 1: SHED
STAGE 2: DWELLING

DRAWING #	DRAWING
KNZC32-1	COVER PAGE
KNZC32-2	SITE PLAN
KNZC32-3	DWELLING PLANS
KNZC32-4	SHED FLOOR PLAN
KNZC32-5	EXTERNAL SERVICES

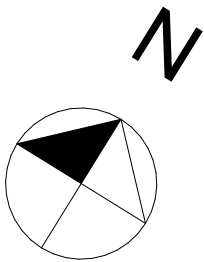
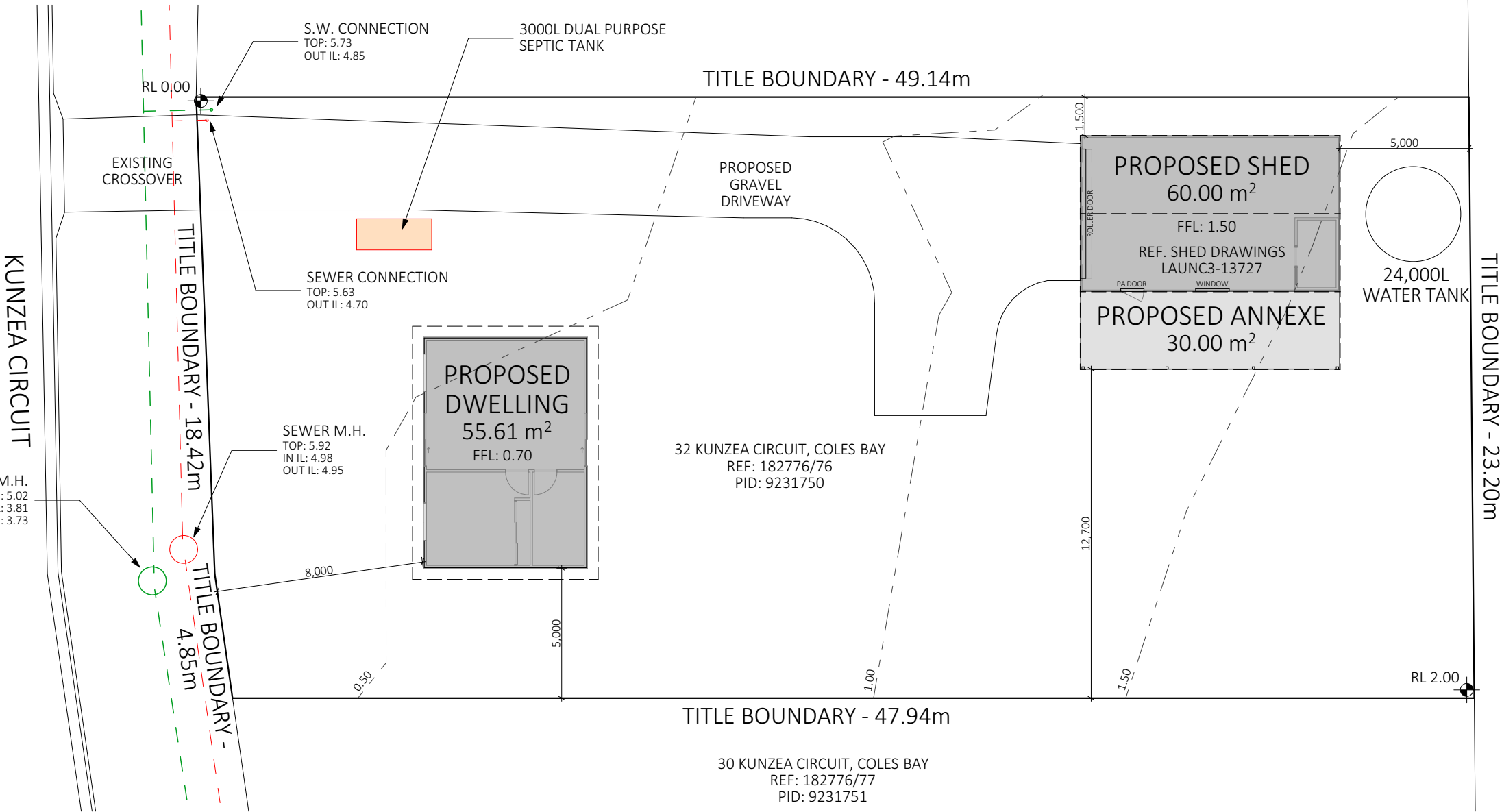
AREAS	(m²)	COUNCIL	GLAMORGAN-SPRING BAY	ZONE	LOW DENSITY RESIDENTIAL
PROPOSED SHED	60.00	LAND TITLE REFERENCE	182776/76	ENERGY STAR RATING	TBC
PROPOSED ANNEXE	30.00	PROPERTY ID	9231750	CLIMATE ZONE	7
PROPOSED DWELLING	55.61	LOT SIZE (M²)	1131	ALPINE AREA	N/A
		BAL RATING	TBC	CORROSION ENV'	TBC
		DESIGN WIND CLASS	TBC	SITE HAZARDS	N/A
		SOIL CLASSIFICATION	TBC		
		PLANNING OVERLAY	PRIORITY VEGETATION AREA		

ATTACHMENTS

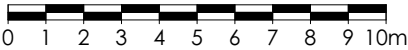
LAUNC3-13727	SHED DOCUMENTS
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LOCALITY PLAN
NOT TO SCALE



AREA	m ²
PROPOSED SHED	60.00
PROPOSED ANNEXE	30.00
PROPOSED DWELLING	55.61



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

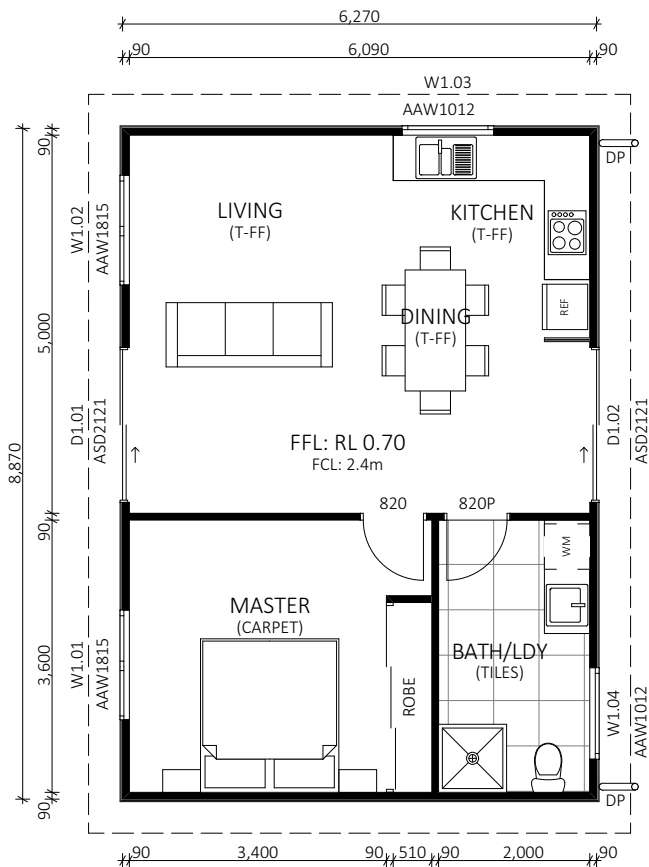
CLIENT/S:
TIMOTHY AND NICOLLE
MAXWELL
SITE ADDRESS:
32 KUNZEA CIRCUIT,
COLES BAY, 7215.

**DRAWING
SITE PLAN**

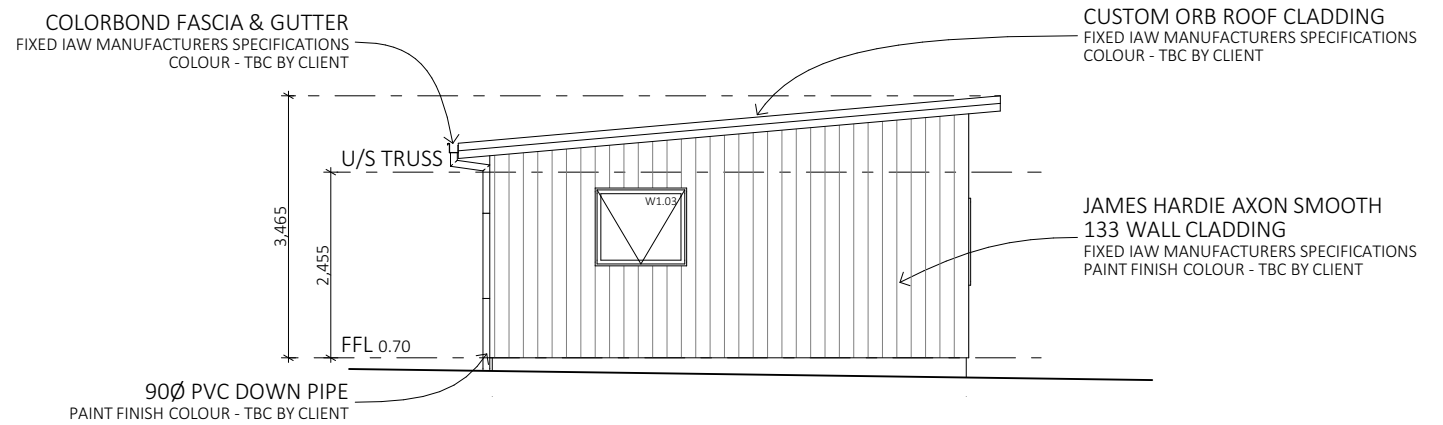
I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.
SIGNATURE:
SIGNATURE:
DATE:
DATE:

COPYRIGHT:
This is the sole property of Design To
Live, and may not be used in whole,
or in part without written or formal
consent from Design To Live. Legal
action will be taken against any
person/s infringing the copyright.

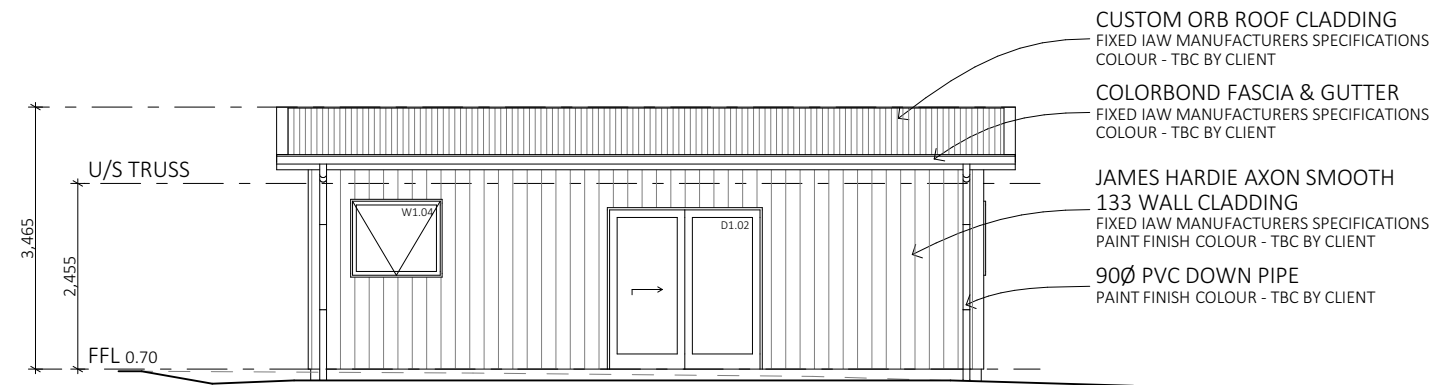
REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	KNZC32
R1	21/12/2023	FOR D.A.	DRAWN	L.S.	DRAWING	2/5
			CHECKED	M.L.	SCALE (@A3)	1:200



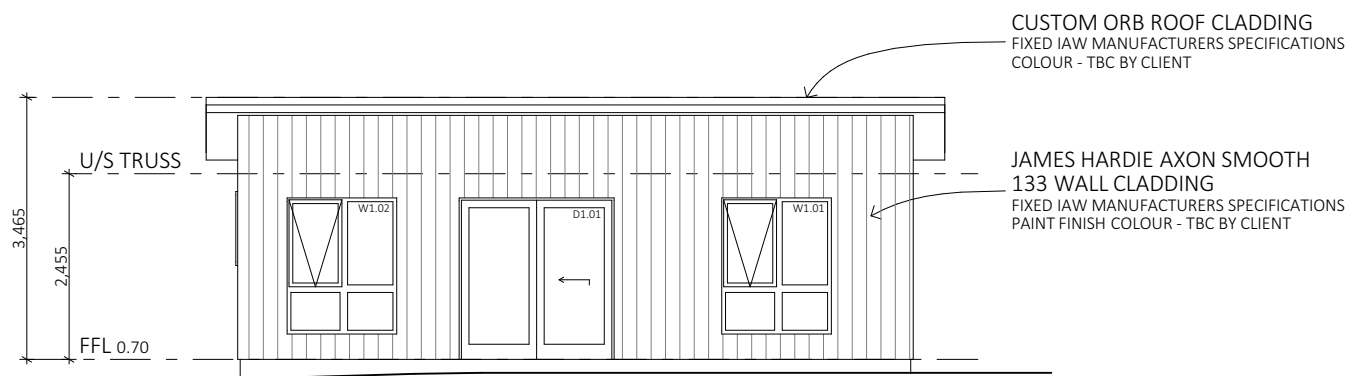
GROUND PLAN



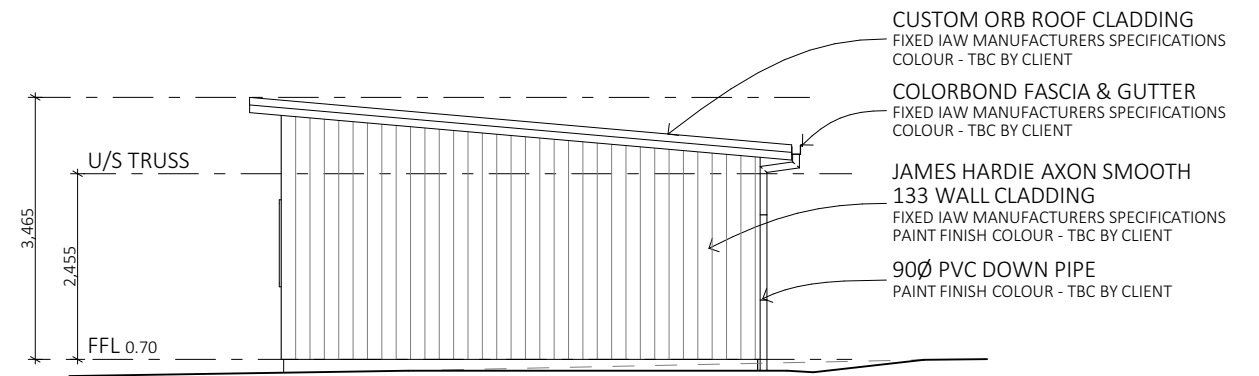
NORTHERN ELEVATION



EASTERN ELEVATION




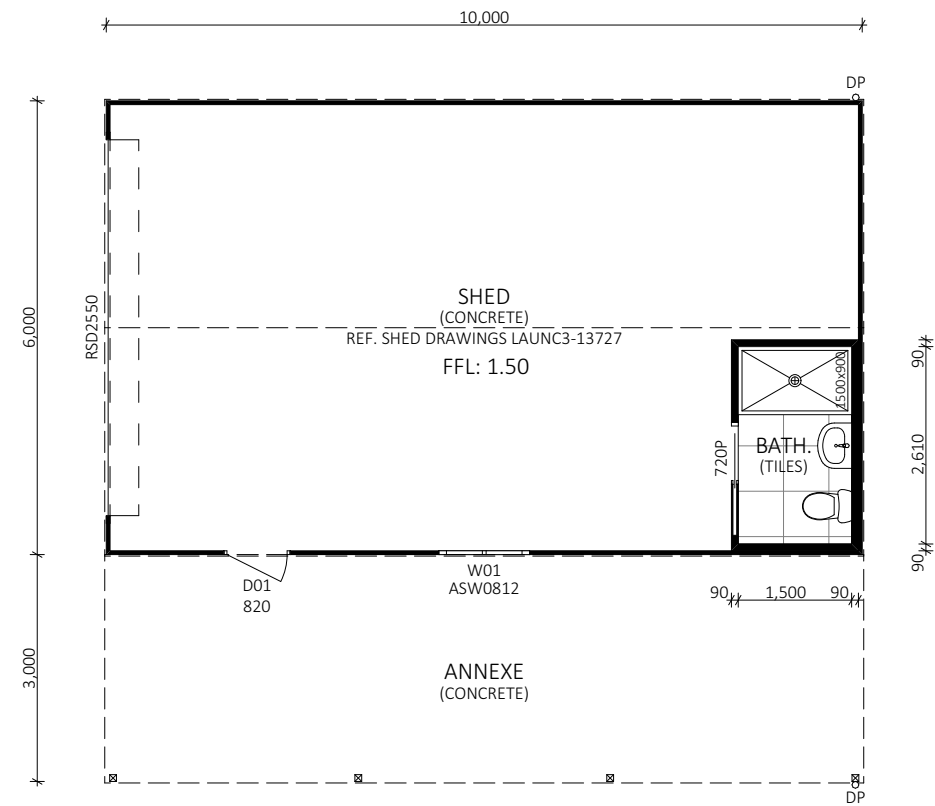
WESTERN ELEVATION



SOUTHERN ELEVATION



	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: TIMOTHY AND NICOLLE MAXWELL SITE ADDRESS: 32 KUNZEA CIRCUIT, COLES BAY, 7215.	DRAWING DWELLING PLANS	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.		REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	KNZC32
								R1	21/12/2023	FOR D.A.	DRAWN	L.S.	DRAWING	3/5
											CHECKED	M.L.	SCALE (@A3)	1:100



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MAXWELL
SITE ADDRESS:
32 KUNZEA CIRCUIT,
COLES BAY, 7215.

**DRAWING
SHED FLOOR
PLAN**

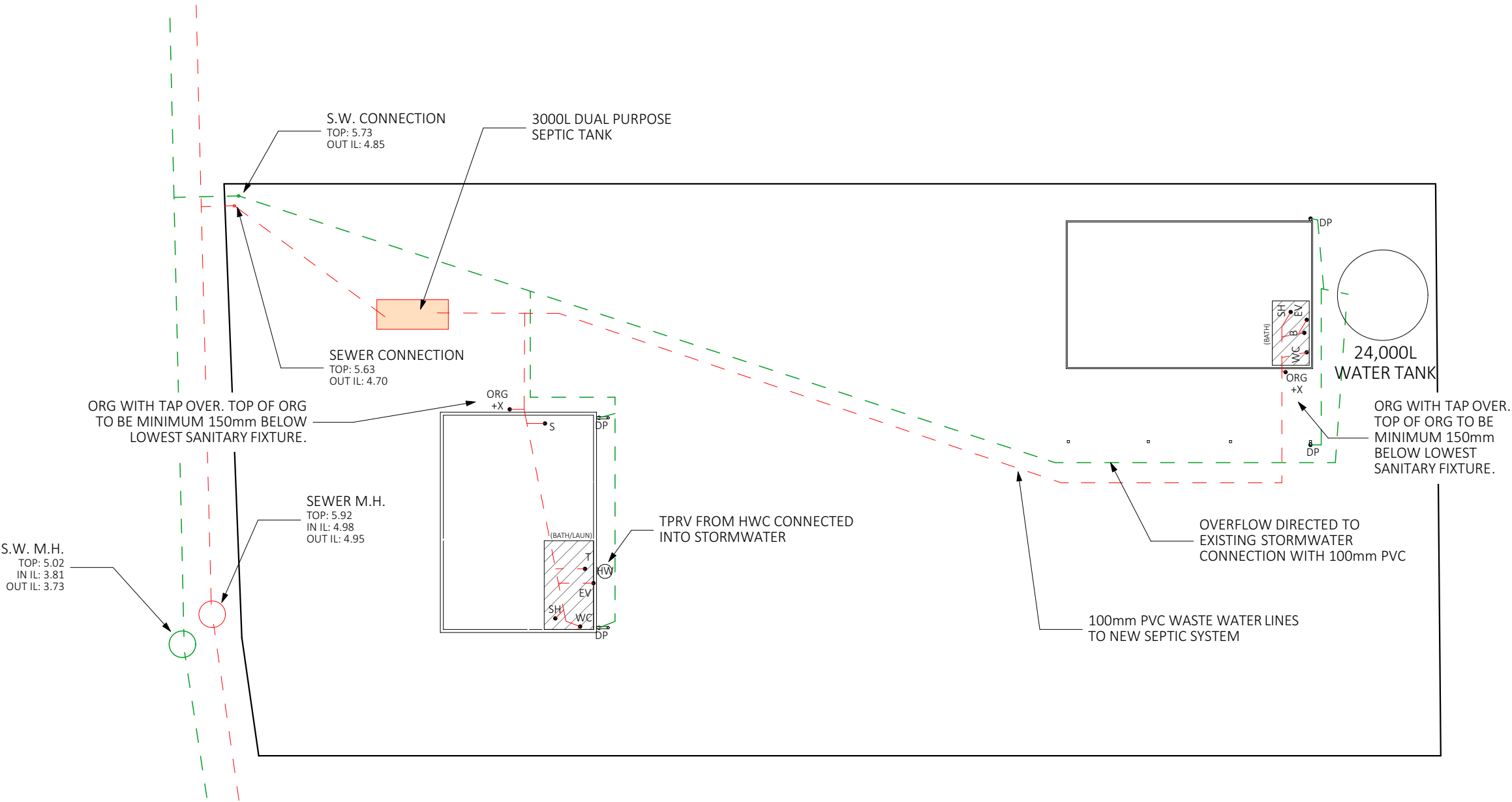
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LEGEND

- B - BASIN
- Ba - BATH
- S - SINK (65Ø)
- T - LAUNDRY TUB (65Ø)
- SH - SHOWER
- WC - WATER CLOSET
- FW - FLOOR WASTE
- EV - VENT (THROUGH TO ROOF)
- FWG - FLOOR WASTE GULLY
- IO - INSPECTION OPENING
- ORG - O/FLOW RELIEF GULLY
- RE - RODDING EYE
- HW - HOT WATER CYLINDER
- X - EXTERNAL TAP
- P - DRAINAGE PIT (450 x 450mm)
- DP - DOWNPIPE (90 Ø)
- WET AREAS
- STORMWATER LINE (100mm PVC)
- SEWER LINE (100mm PVC)
- UNDERGROUND ELECTRICAL SUPPLY



INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS: OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

- a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE

- a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES.

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.



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DRAWING
EXTERNAL
SERVICES

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			CHECKED	M.L.	SCALE (@A3)	1:200