

SITE DETAILS SHOWN ON THIS PLAN HAVE BEEN OBTAINED BY SITE MEASUREMENTS &/OR USING EXISTING DATA INCLUDING: TITLE DETAILS, EXISTING SURVEY DATA, STATE MAPPING DATA AND SATELLITE IMAGERY. BOUNDARIES SHOULD BE ESTABLISHED AND SITE MEASUREMENTS VERIFIED PRIOR TO CONSTRUCTION.

SITE NOTES

BUILDER TO VERIFY ALL BOUNDARY SETBACKS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BUILDER TO VERIFY LOCATIONS OF ALL SERVICES AND ENSURE ADEQUATE FALLS TO SITE CONNECTION POINTS IN ACCORDANCE WITH AS 3600 BEFORE COMMENCEMENT OF CONSTRUCTION.

RETAINING WALLS GREATER THAN 1m HIGH MUST BE DESIGNED AND CERTIFIED BY A STRUCTURAL ENGINEER.

BATTERS TO COMPLY WITH NCC VOL. 2 PARTS 3.1.1.1 & 3.1.1.2

VEHICULAR CROSSOVERS TO BE CONSTRUCTED TO COUNCIL REQUIREMENTS

SURFACE DRAINS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA 3.1.2.2

FINISHED SURFACES TO BE GRADED AWAY FROM HOUSE AT A MINIMUM 1:50 FOR AT LEAST 1m

SOIL EROSION & WATER MANAGEMENT

DOWNPIPES TO BE CONNECTED TO STORMWATER DISPOSAL AS SOON AS ROOF IS INSTALLED.

AG DRAINS WHERE SHOWN ARE TO BE INSTALLED PRIOR TO FOOTING EXCAVATION. AG DRAINS ARE TO BE 1000, 650 DEEP WITH FILTER SOCK U.N.O.

ALL EXCAVATED MATERIALS AND WASHDOWN AREAS TO BE PLACED UP SLOPE OF AG DRAIN OR A TEMPORARY SEDIMENT CONTROL FENCE. EXCAVATED MATERIALS TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS.

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET OR DRIVEWAY ONCE CONSTRUCTED TO PREVENT TRANSFERRING DEBRIS ONTO STREET

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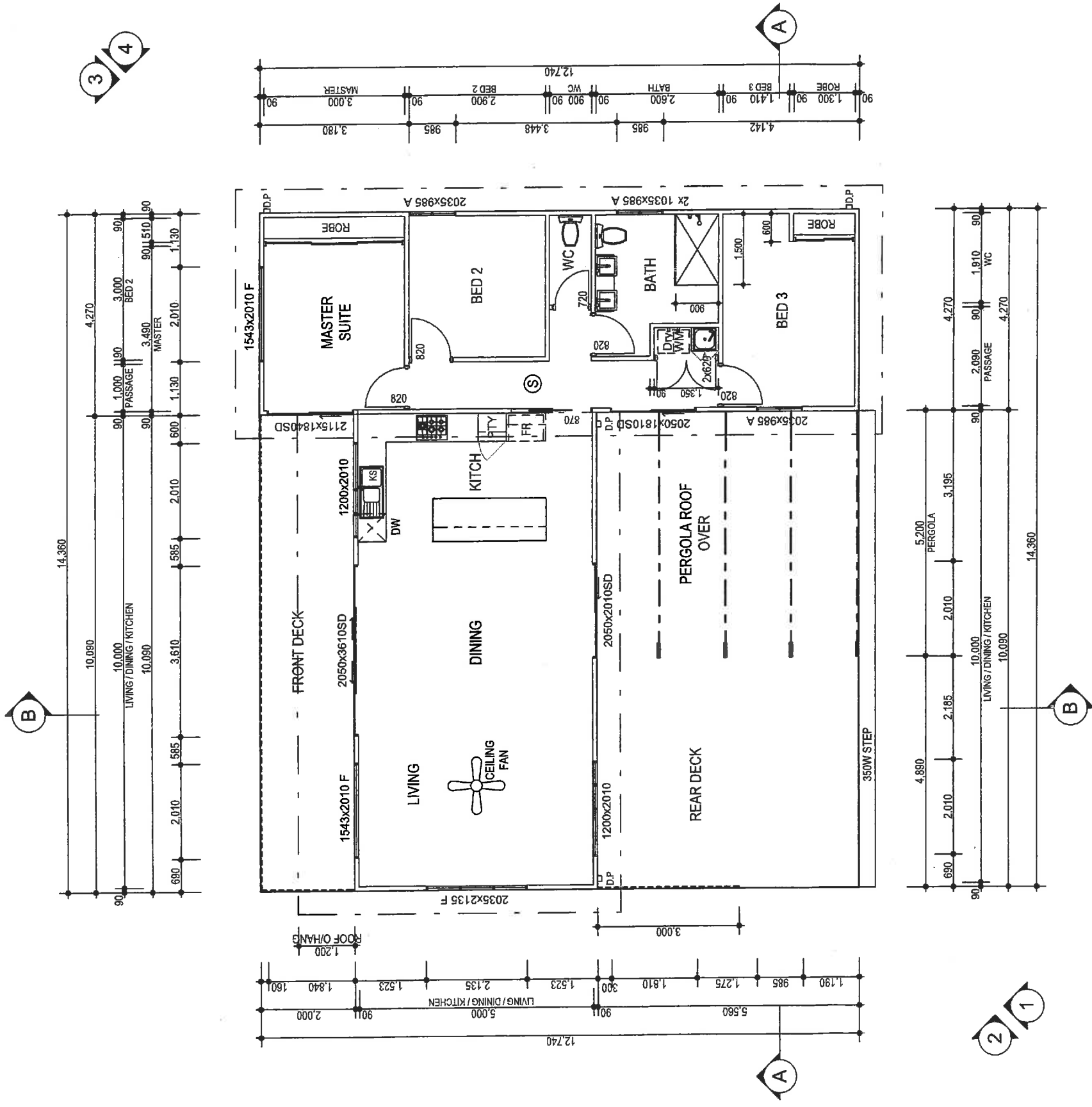
ACCREDITED BUILDING DESIGNER - MICHAEL KELLY CC6697

Streamline
DRAFTING & DESIGN

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REV	COMMENT
A	DRAFT ONLY (NOT FOR APPROVAL OR CONSTRUCTION)
B	ISSUED FOR APPROVAL / CONSTRUCTION
C	FLOOR LEVEL RAISED 40mm

DATE	06/04/18	KHAN RESIDENCE
	13/04/18	
	08/06/18	SITE PLAN
CLIENT:	MUHAMMED & ALLISON KHAN	
ADDRESS:	54B CHARLES STREET ORFORD	
DRAWN BY:	MICHAEL KELLY	
JOB NO:	18009	PAGE SIZE: A3
DATE:	08/05/18	SHEET: A02
SCALE:	1:200	REV: C



FLOOR PLAN LEGEND

90mm STUD FRAMED WALL WITH PLASTERBOARD LINING INTERNALLY AND SELECT CLADDING EXTERNALLY (REFER ELEVATIONS), INSULATION AS PER ENERGY RATING REPORT

(S) DENOTES SMOKE ALARM, HARD WIRED WITH BATTERY BACKUP TO AS 3786 & NCC VOL. 2 PART 3.7.2

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REV	COMMENT	DATE
A	DRAFT ONLY (NOT FOR APPROVAL OR CONSTRUCTION)	06/04/18
B	ISSUED FOR APPROVAL / CONSTRUCTION	13/04/18
C	FLOOR LEVEL RAISED 400mm	08/05/18

KHAN RESIDENCE

GROUND FLOOR PLAN

CLIENT: MUHAMMED & ALLISON KHAN

DRAWN BY: MICHAEL KELLY

JOB NO: 18009

DATE: 08/05/18

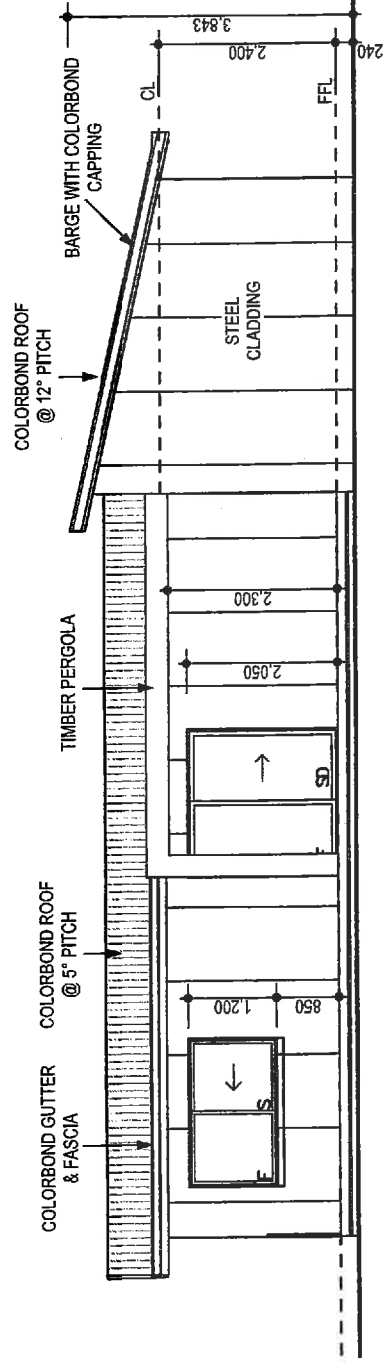
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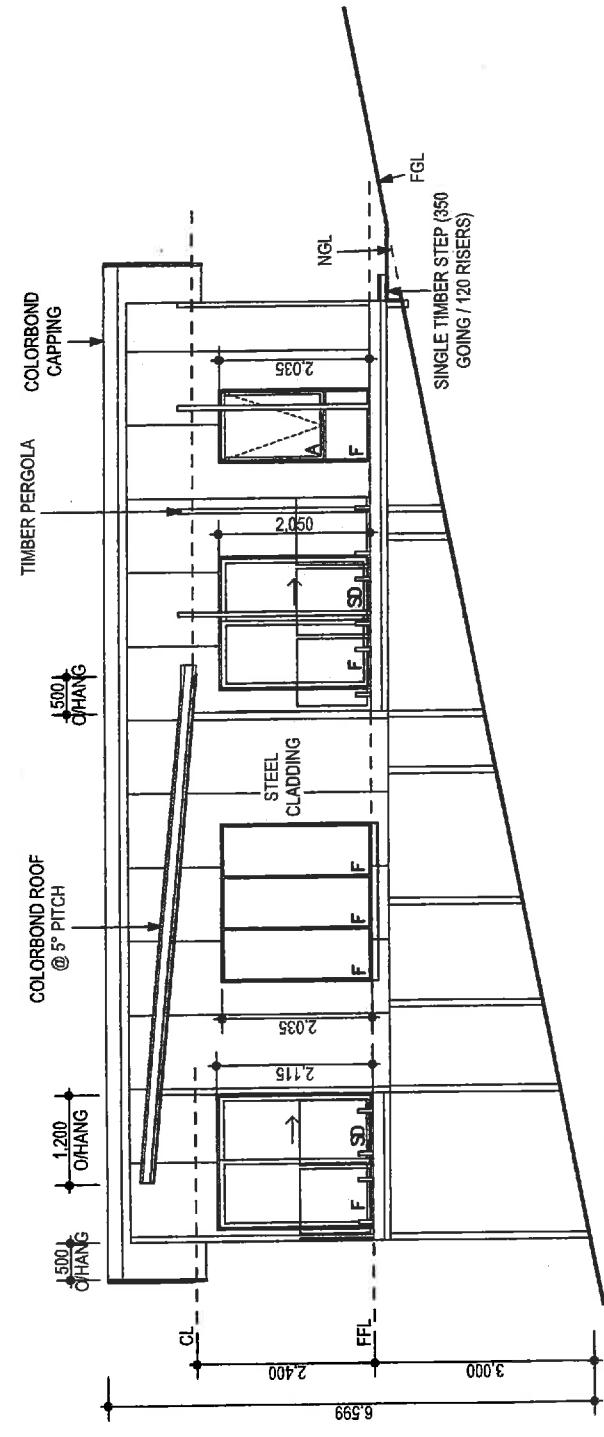
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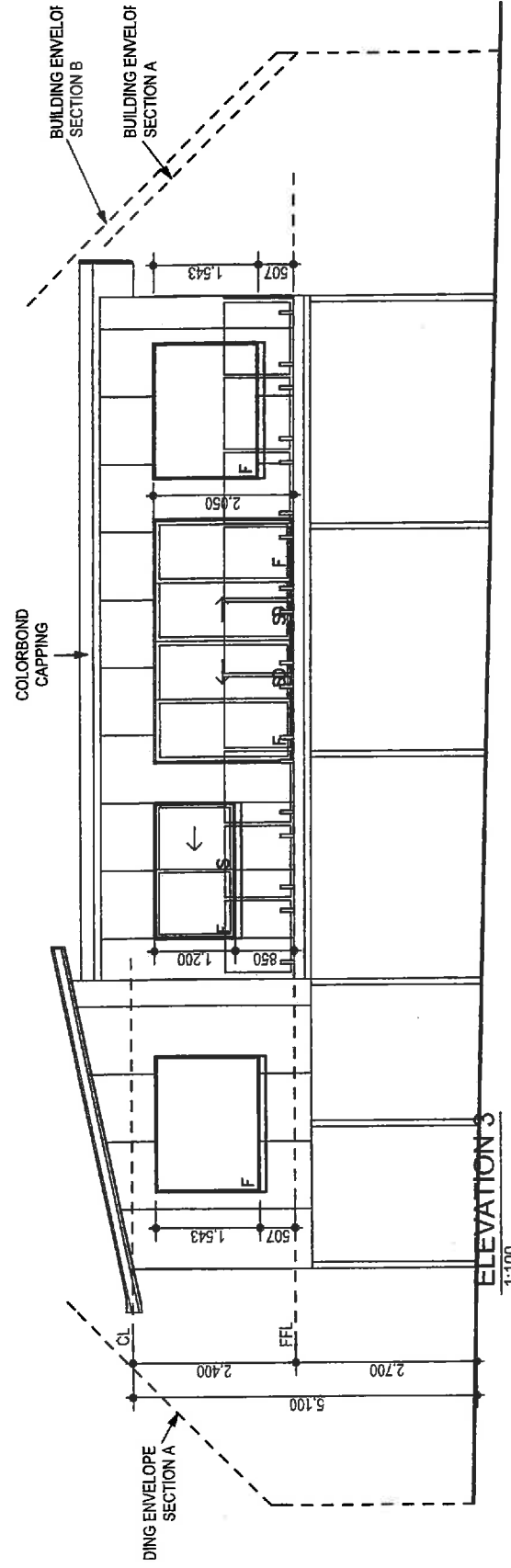
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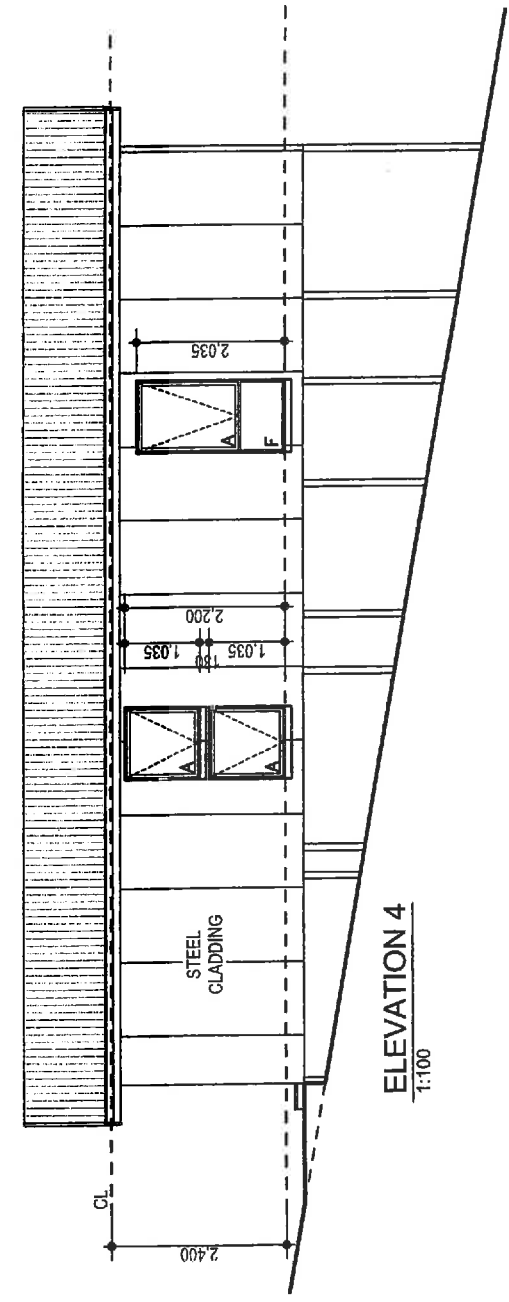
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

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KHAN RESIDENCE
ELEVATIONS

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