

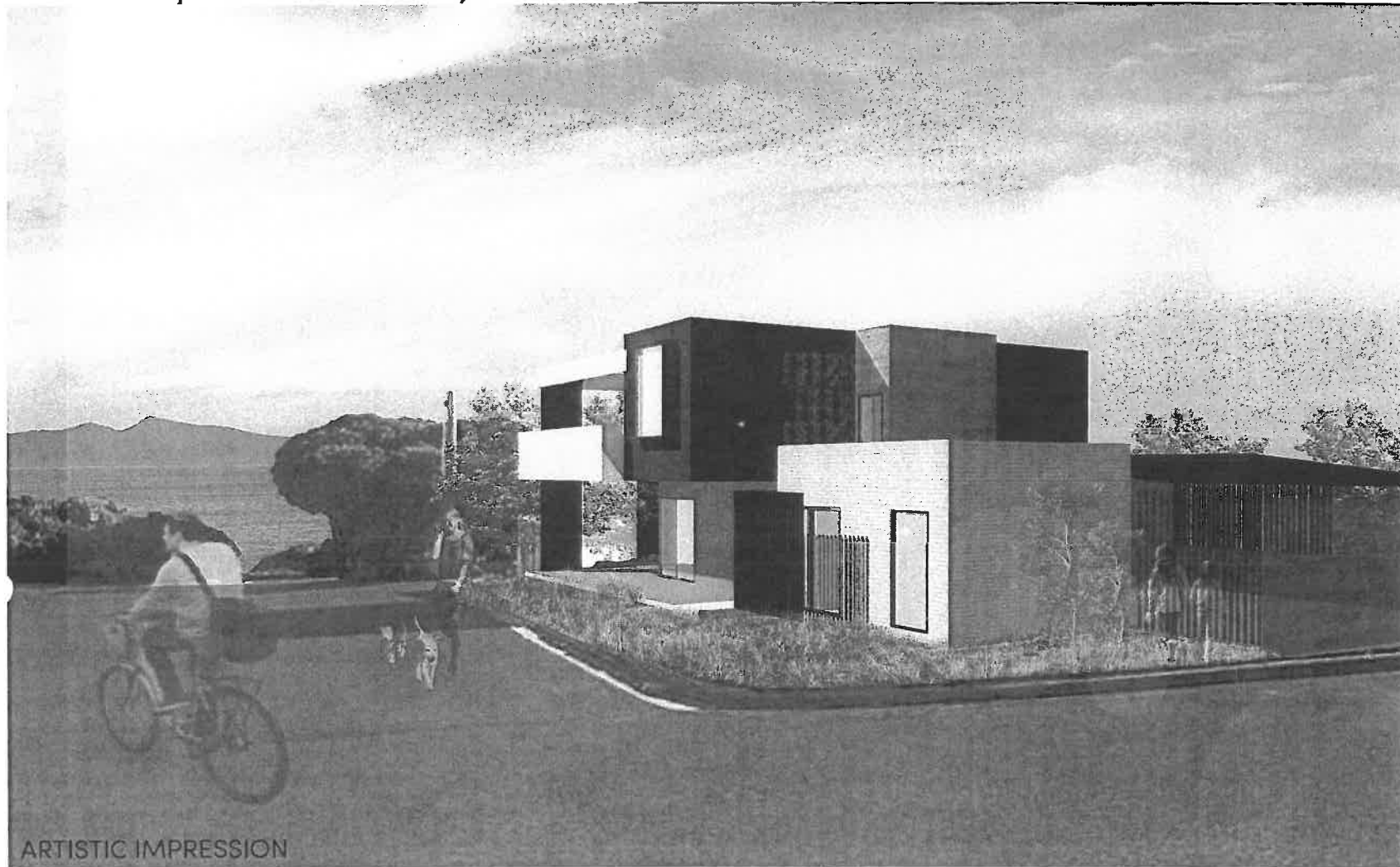
DWG	DWG no	REV DATE	REV
Cover	A0-000	16/11/17	A
Site	A1-001	16/11/17	A
Floor Plan	A2-001	16/11/17	A
Elevations	A3-001	16/11/17	A
Elevations	A3-002	16/11/17	A
Roof Plan	A5-001	16/11/17	A
Reflected Ceiling	A5-002	16/11/17	A
Roof Framing	A5-003	16/11/17	A
Floor Framing	A5-004	16/11/17	A

NOTES

architect
 accreditation no
 land title ref number
 climate zone
 upper floor area
 ground floor area
 deck area

Sam Haberle
 CC5618 U
 VOL 28836 FOLIO 2
 7
 83m2
 99m2
 19m²

proposed dwelling LOT 2 JETTY ROAD, BICHENO



ARTISTIC IMPRESSION

PRELIMINARY



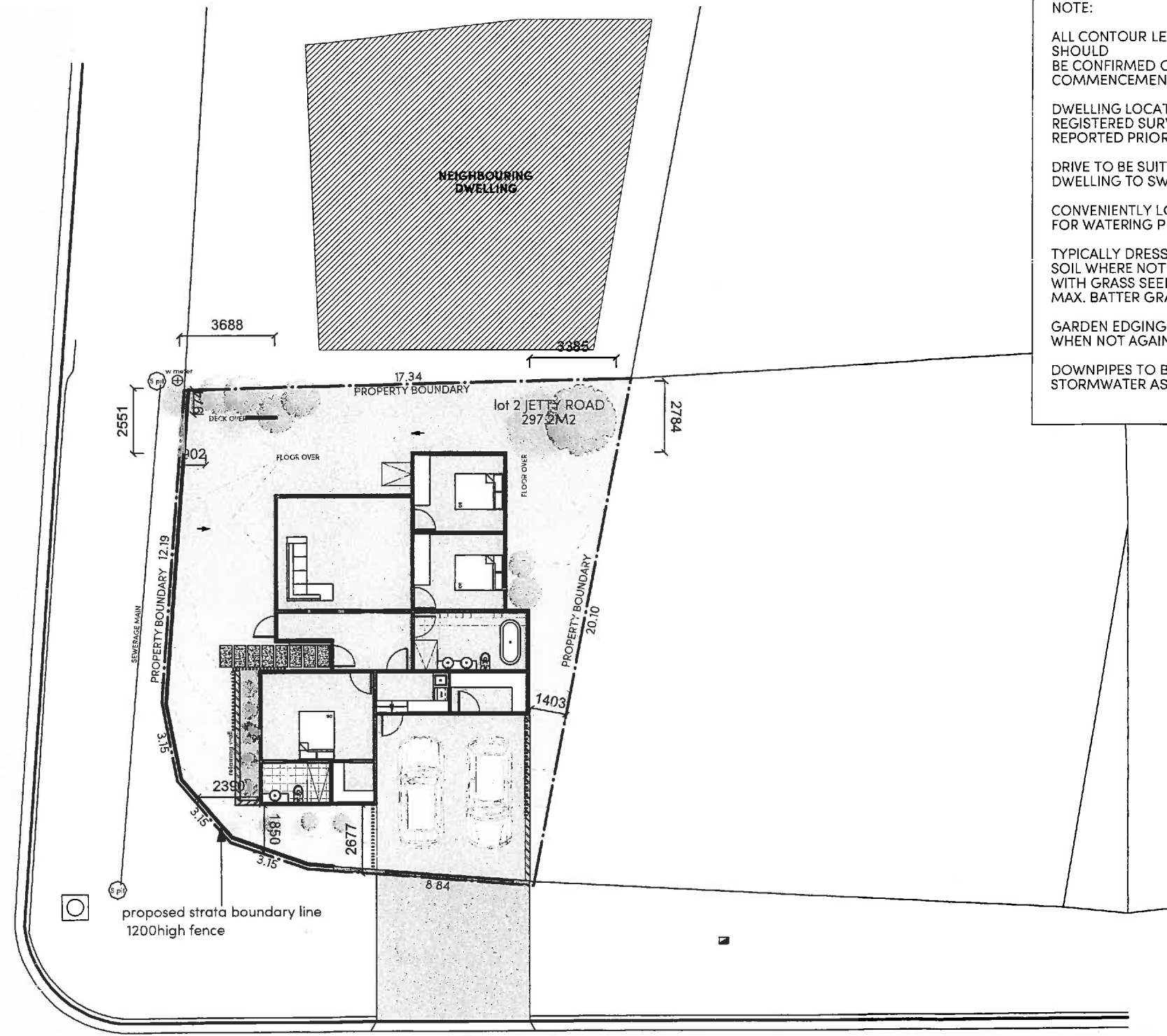
REVISION	DATE	DESCRIPTION	DA
A	16/11/17		

ADDRESS	Jetty Road	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE	DA	
CLIENT	Josh & Bec Scott	SCALE @ A3	1:100	DWG #	A0-000
DWG	Cover	DRAWN	SG	PROJECT#	J002937
		CHKD	SH		

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NOTE:
 ALL CONTOUR LEVELS ARE APPROX. ONLY AND SHOULD BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT
 DWELLING LOCATION TO BE SET OUT BY REGISTERED SURVEYOR DISCREPANCIES REPORTED PRIOR TO COMMENCEMENT
 DRIVE TO BE SUITABLY DRAINED AWAY FROM DWELLING TO SW PITS + CONNECTED TO MAINS
 CONVENIENTLY LOCATED TAPS TO BE INSTALLED FOR WATERING PURPOSES
 TYPICALLY DRESS AROUND HOUSE WITH TOP SOIL WHERE NOT OTHERWISE SPECIFIED SOW WITH GRASS SEED SET DOWN 150MM FROM FFL MAX. BATTER GRADE 1:20
 GARDEN EDGING TYPICALLY TREATED PINE WHEN NOT AGAINST CONCRETE
 DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER AS SOON AS ROOF IS INSTALLED

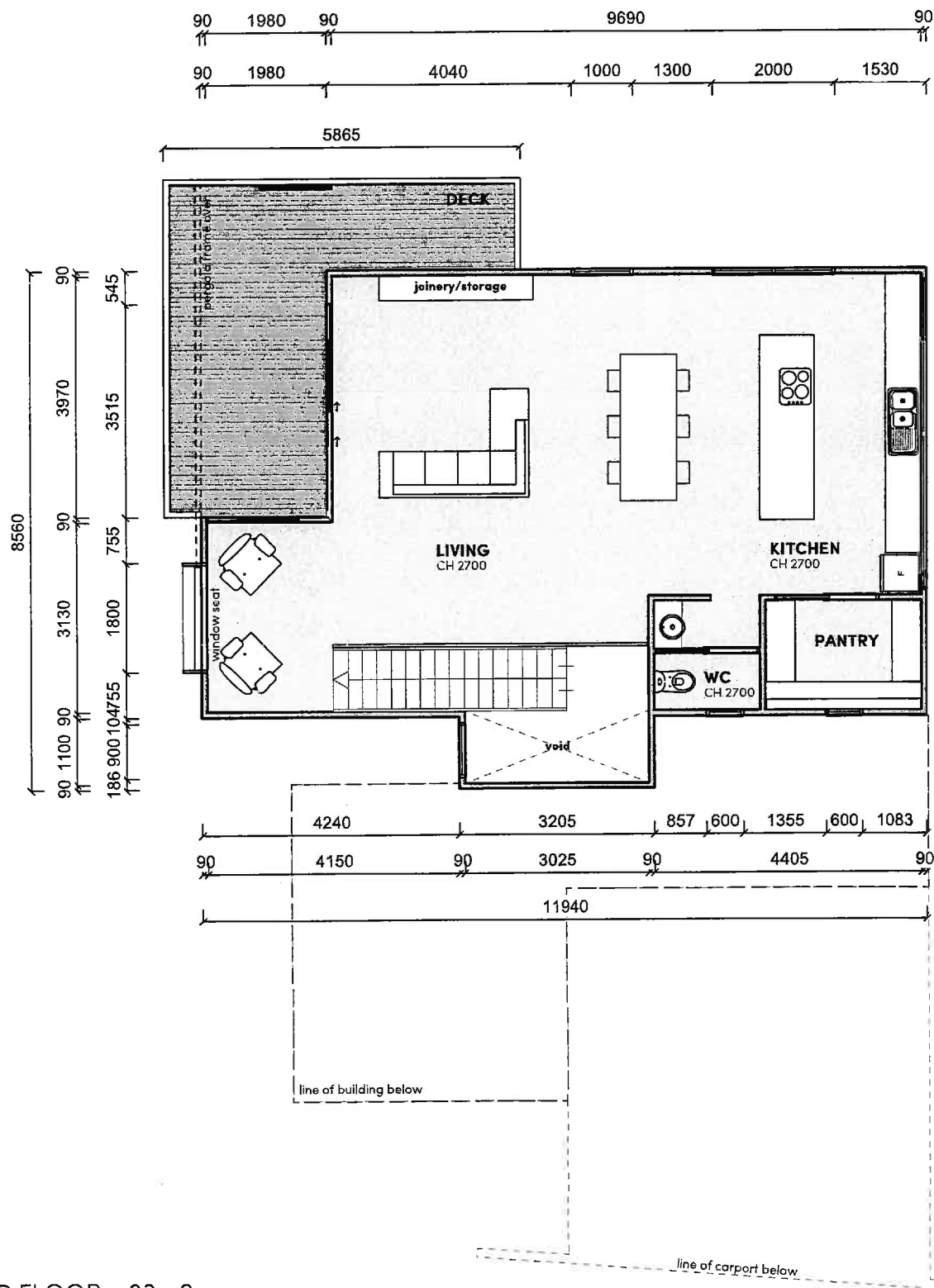


PRELIMINARY

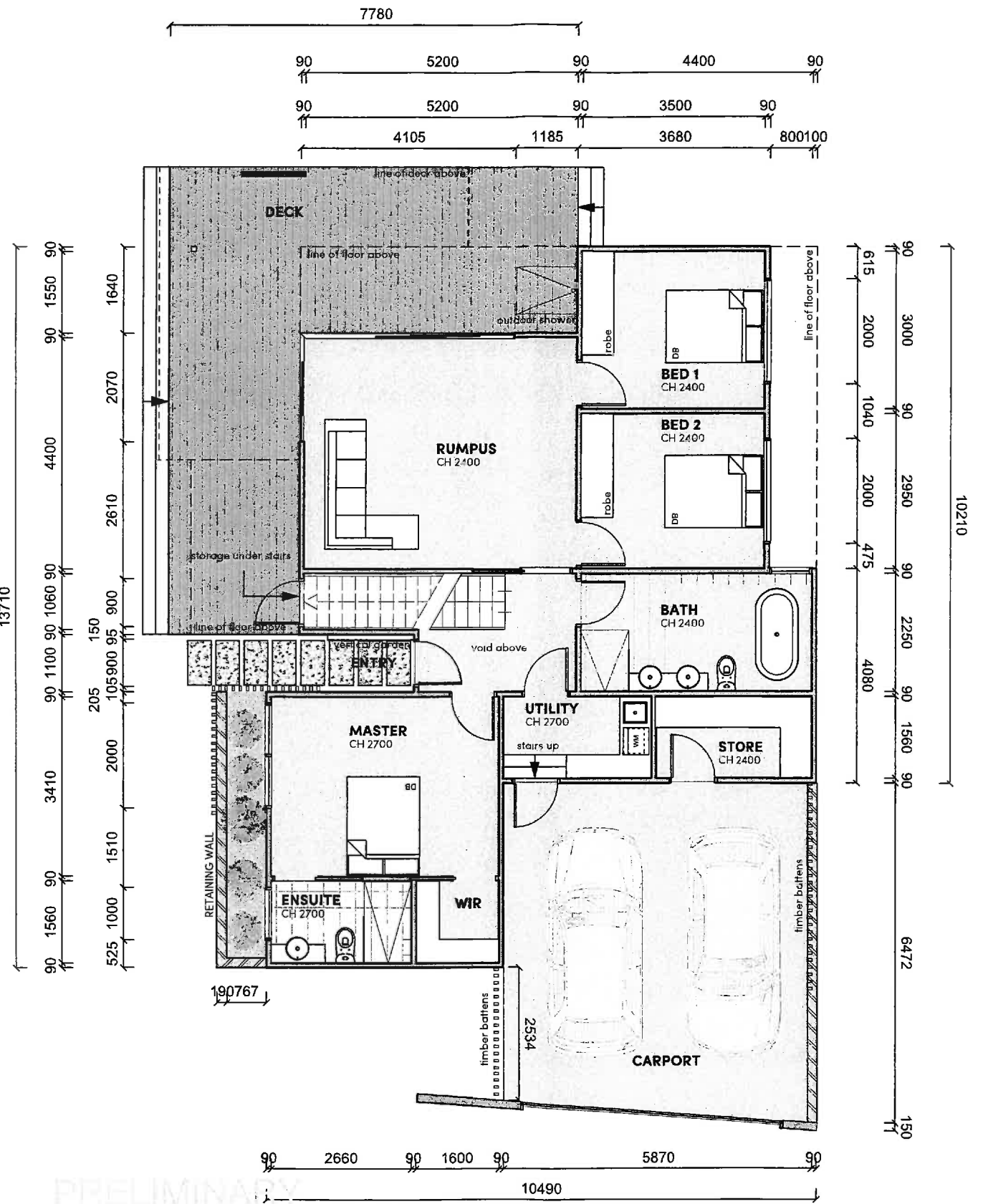
CONFIRM ALL DIMENSIONS ON SITE
 ALL DIMENSIONS TO WALL FRAME
 LOCATION OF SITE FEATURES DERIVED
 FROM AERIAL PHOTOGRAPHY



REVISION A	DATE 16/11/17	DESCRIPTION DA	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
ADDRESS Jetty Road			SCALE @ A3 1:200	DWG # A1-001
CLIENT Josh & Bec Scott			DRAWN SG	PROJECT# J002937
DWG Site			CHKD SH	
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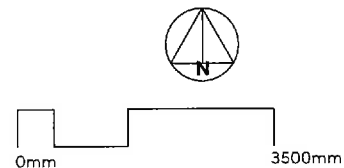


UPPER FLOOR - 83m²
DECK - 19m²

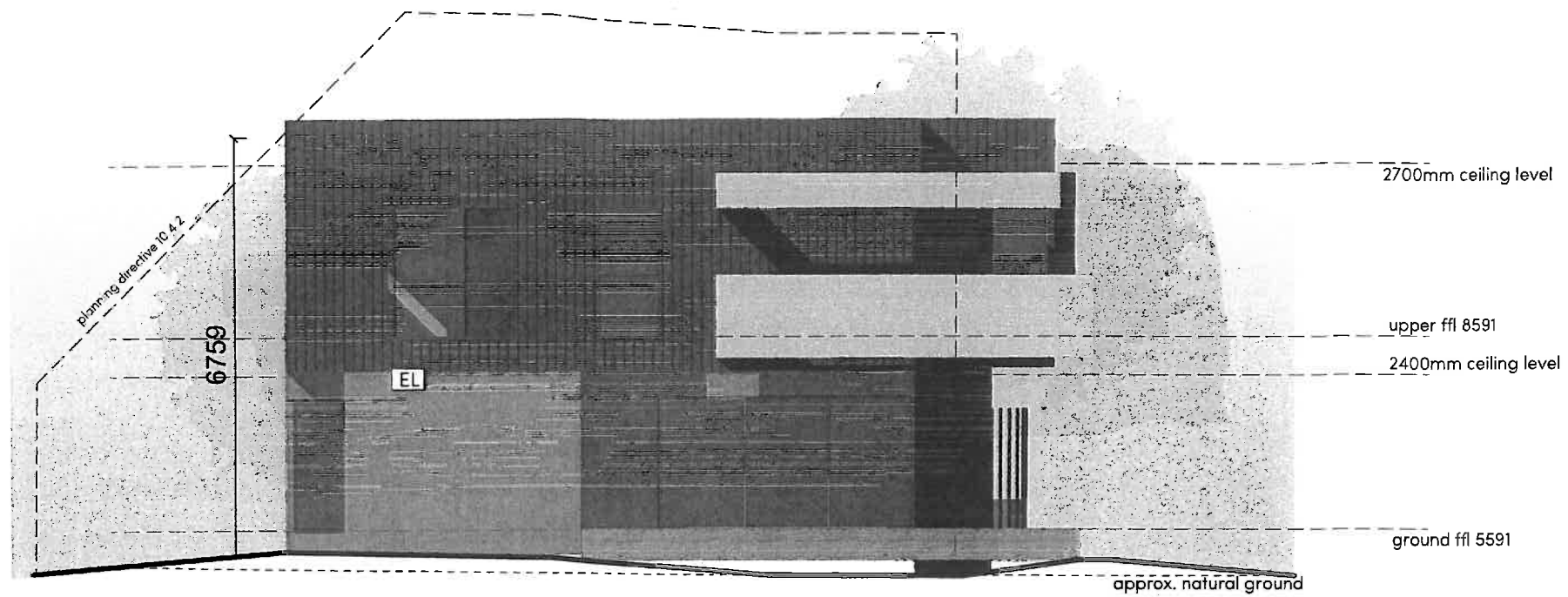


GROUND FLOOR - 99m²
CARPORT - 36m²
PAVED AREA - 39m²

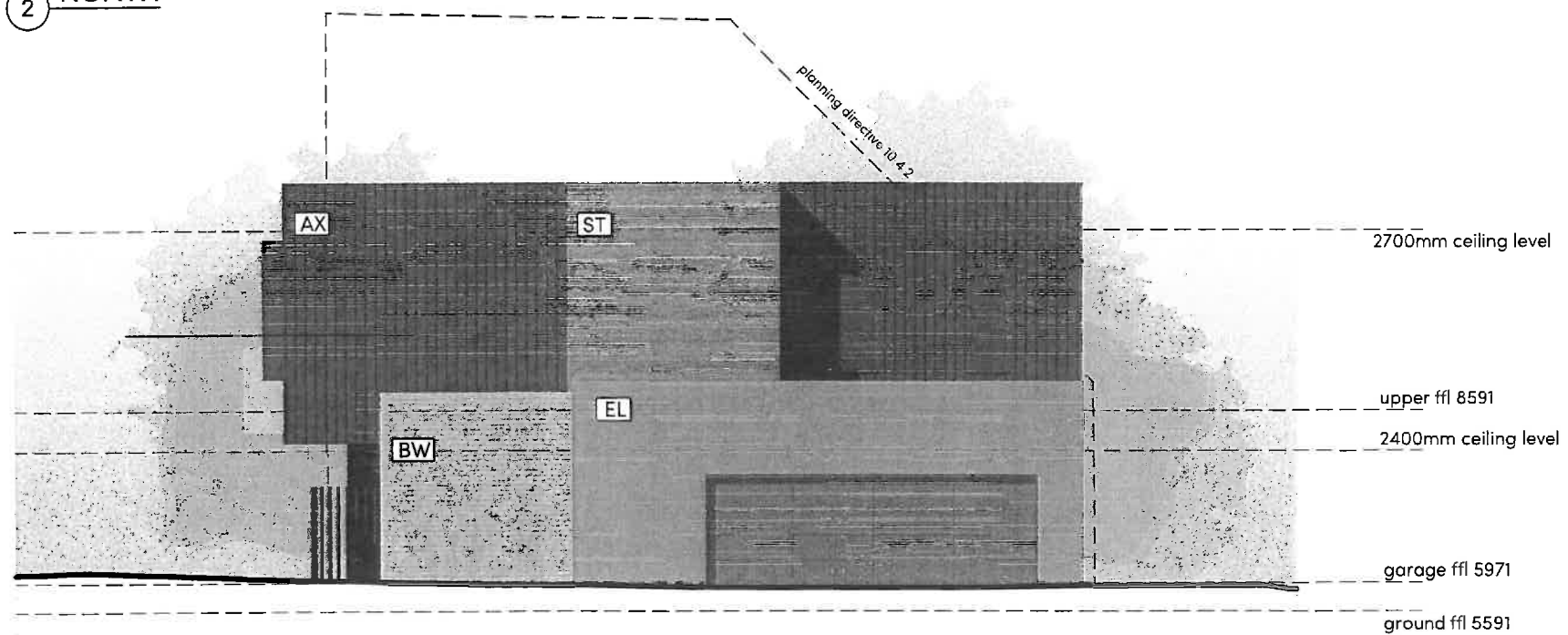
NOTES:
all window dimensions to aluminium to be confirmed on site
window location dimension taken from external stud frame
all glazing to comply with NCC 3.6 and AS1288 & AS2047
all wet areas to be comply with NCC 3.8.1 and AS3740
all timber framing to comply with NCC 3.4.3 and AS1684
all works to be in compliance with NCC 3.12 energy efficiency
all works to comply with BAL ASSESSMENT



REVISION A	DATE 16/11/17	DESCRIPTION DA	do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS	ISSUE DA
ADDRESS Jetty Road			SCALE @ A3 1:100	DWG # A2-001
CLIENT Josh & Bec Scott				
DWG Floor Plan			DRAWN SG	PROJECT# J002937
			CHKD SH	
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2 NORTH



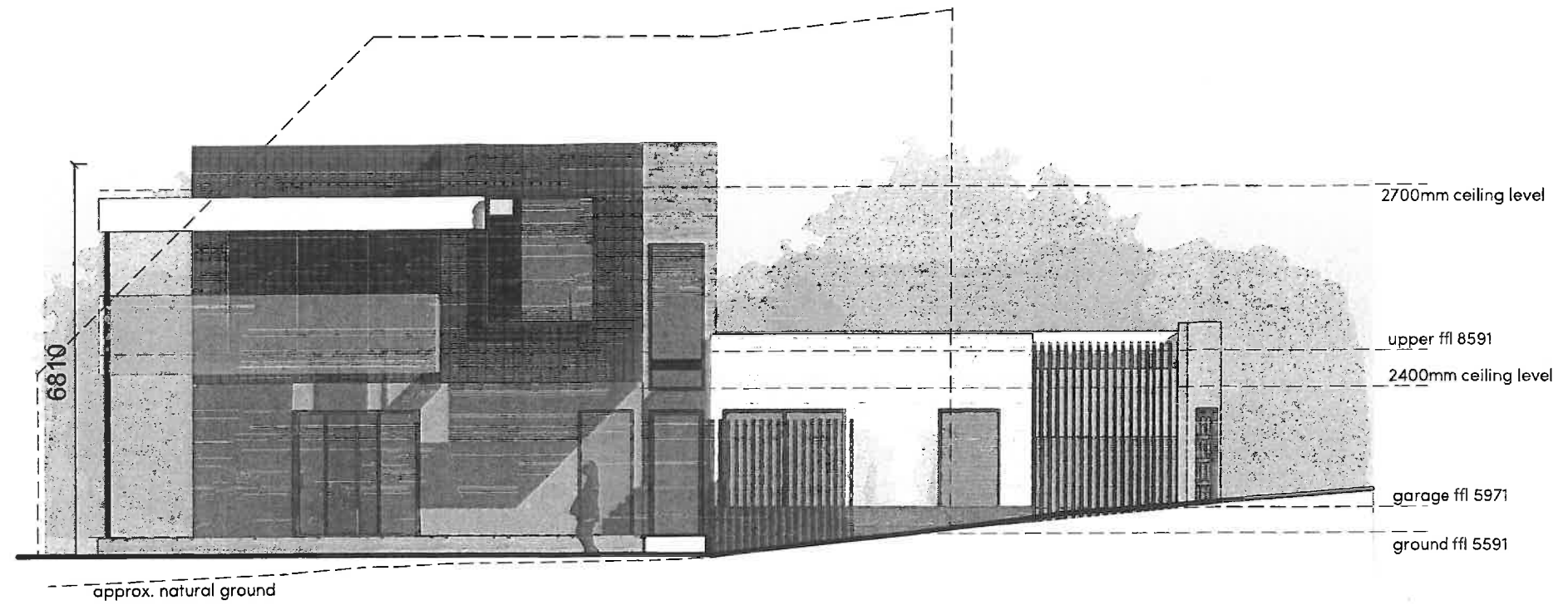
4 SOUTH

CLADDING TYPES	
EL	EASYLAP, JAMES HARDIE TEXTURED PAINT FINISH (TEXTURE FINISH TO MANUFACTURERS SPECIFICATIONS AND APPLIED TO COVER FIXINGS), JOINT PAINTED TO MATCH
ER	EASYLAP, JAMES HARDIE RAW FINISH, SEALED
AX	SCYON AXON, PAINTED FINISH, JOINT PAINTED TO MATCH
ST	SELECTED STAINED TIMBER STAINED FINISH TO FUTURE SELECTION
BW	SELECTED BRICKWORK, 'BAGGED PAINT FINISH'
ALL CLADDINGS INSTALLED TO MANUFACTURERS SPECIFICATIONS	
ALL COLOURS TO FUTURE SELECTION, COMPLIMENTARY AND RESPONSIVE TO SURROUNDINGS	
note: all external vents to be painted to match wall colour	

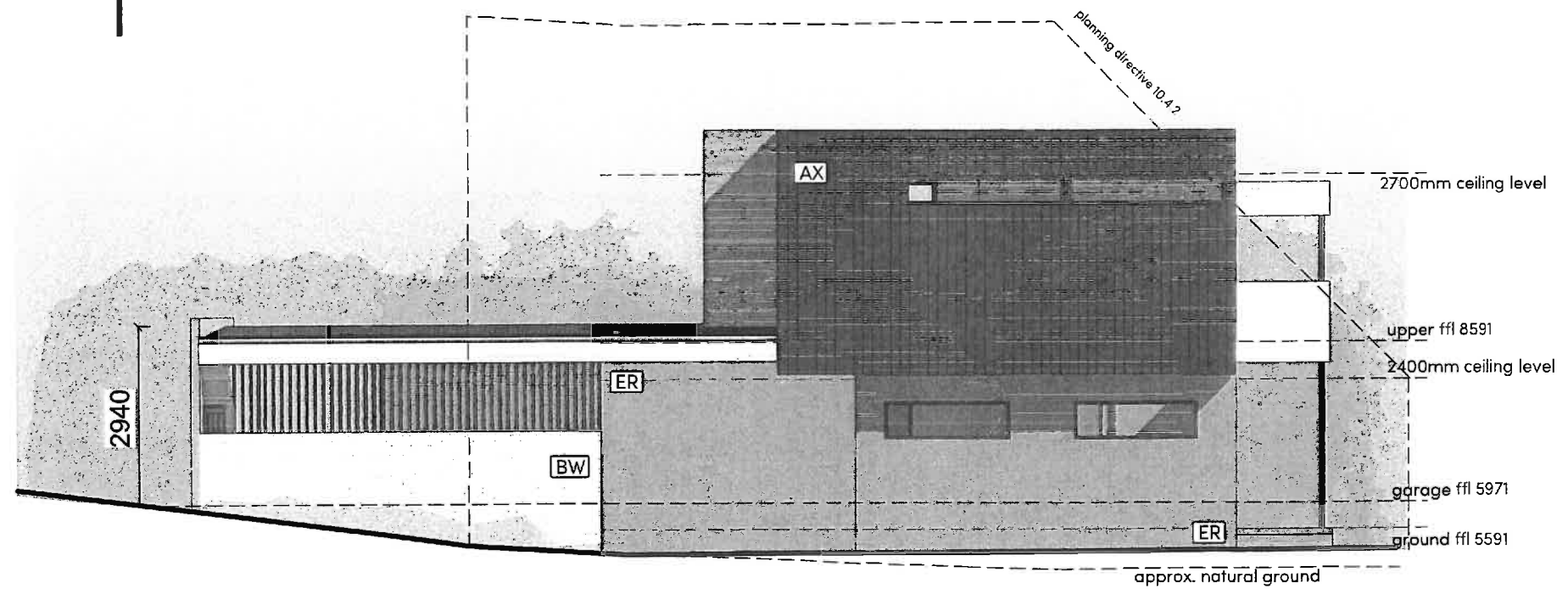
PRELIMINARY



REVISION	DATE	DESCRIPTION	ISSUE
A	16/11/17	DA	DA
ADDRESS			do not scale off plans all dimensions in millimetres confirm all dimensions on site all work to relevant NCC and AS
CLIENT			DWG #
Elevations			A3-001
DRAWN			SCALE @ A3 1:100
CHKD			SH PROJECT# J002937
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8 WEST



7 EAST

CLADDING TYPES	
EL	EASYLAP, JAMES HARDIE TEXTURED PAINT FINISH (TEXTURE FINISH TO MANUFACTURERS SPECIFICATIONS AND APPLIED TO COVER FIXINGS), JOINT PAINTED TO MATCH
ER	EASYLAP, JAMES HARDIE RAW FINISH, SEALED
AX	SCYON AXON, PAINTED FINISH, JOINT PAINTED TO MATCH
ST	SELECTED STAINED TIMBER STAINED FINISH TO FUTURE SELECTION
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ALL COLOURS TO FUTURE SELECTION, COMPLIMENTARY AND RESPONSIVE TO SURROUNDINGS	
note: all external vents to be painted to match wall colour	

PRELIMINARY



REVISION	DATE	DESCRIPTION	DA
A	16/11/17		
ADDRESS			Jetty Road
CLIENT			Josh & Bec Scott
DWG			Elevations
SCALE @ A3			1:100
DRAWN			SG
CHKD			SH
ISSUE			DA
DWG #			A3-002
PROJECT#			J002937

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