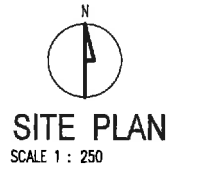


CARPARKING NOTE:
 REQUIREMENT FOR FIVE (5) CARPARKING BAYS FOR PROPOSED UNIT DEVELOPMENT IS MET BY EXISTING PARKING ARRANGEMENT ON SITE:
 UNIT ONE DEDICATED BAYS (x2 INCLUDES EX'G GARAGE)
 UNIT TWO DEDICATED BAYS (x2)
 VISITOR PARKING (x1)



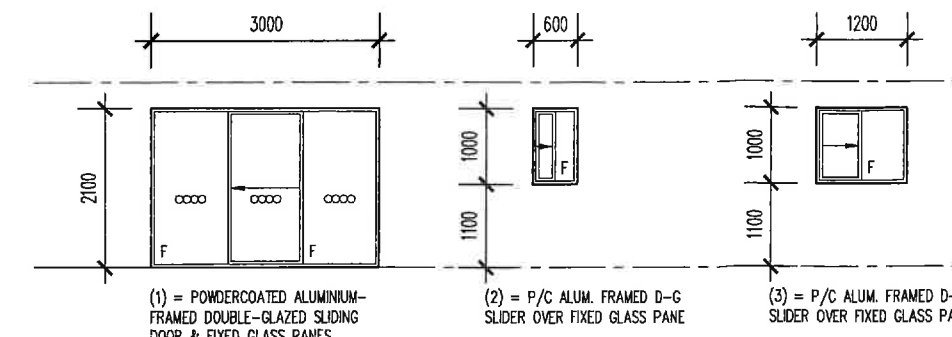
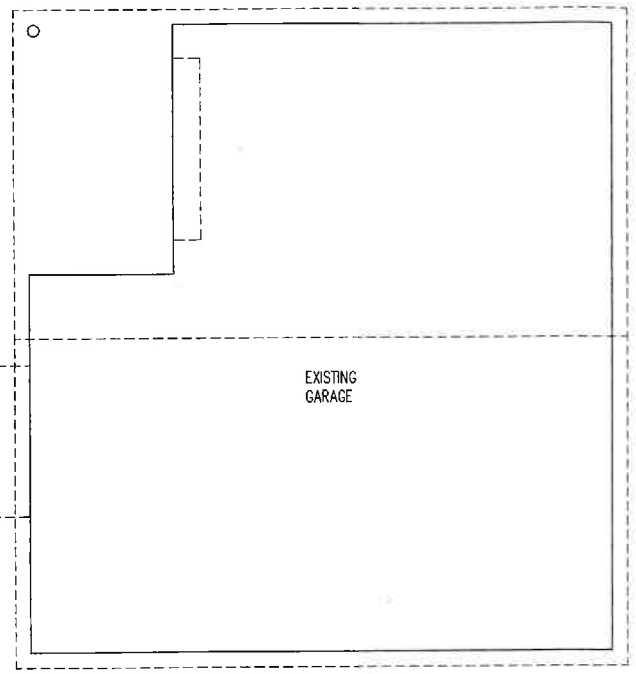
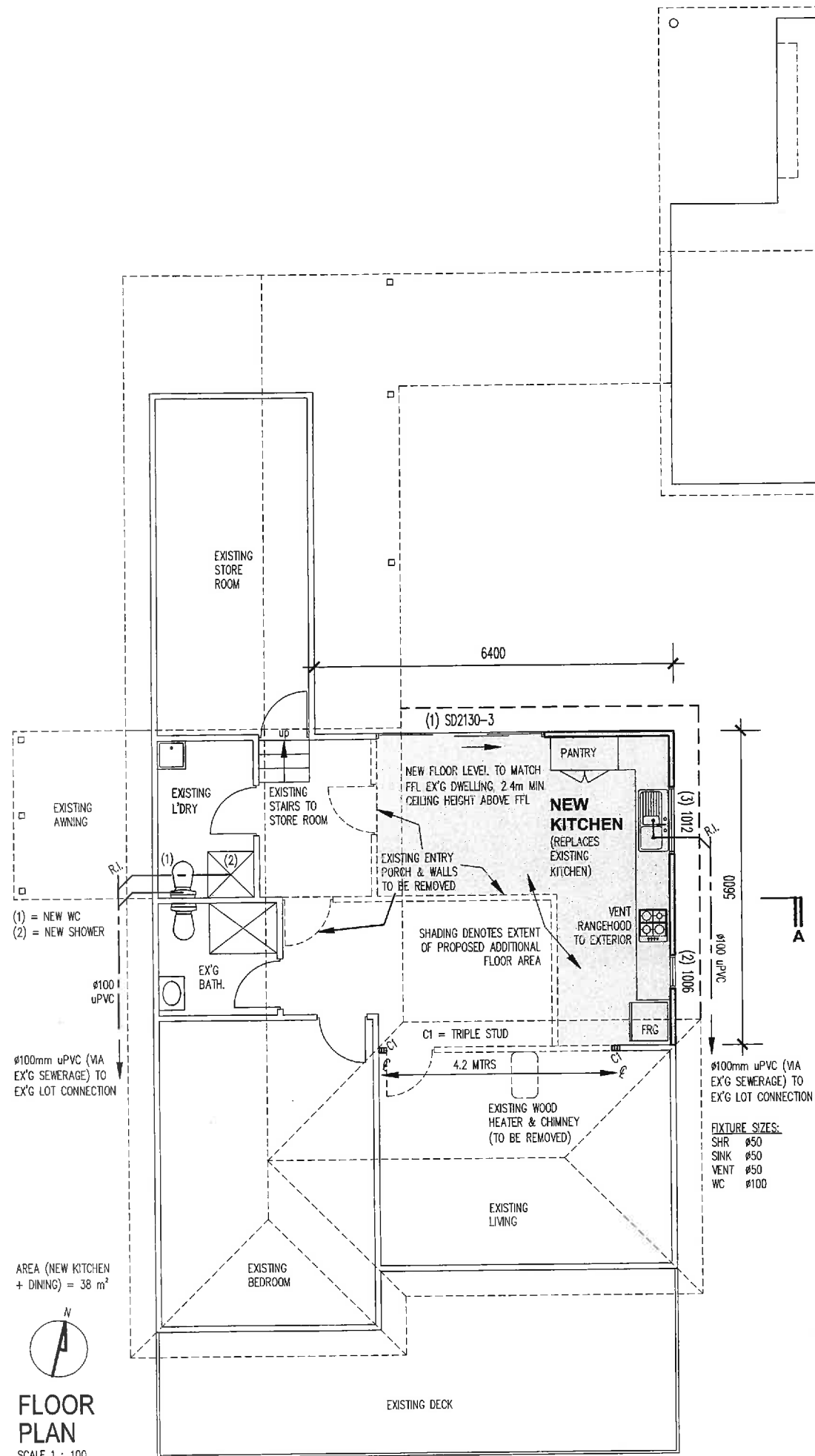
REVISION 'A' - 9/10/2017
 STORMWATER DRAINAGE DETAILS ADDED

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TWO PROPOSED DWELLINGS (ONE NEW + ONE EXISTING) at 1/3 OLD CONVICT RD, ORFORD for NICK & ADELE WALKER

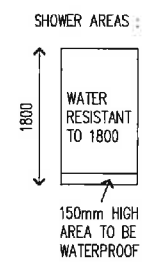
Date : 17/8/2017	Job No. : WALKA1601
Scale : Shown at A3	Sheet : 2A of 4
Drawn : DA	Issue : DEV. APPLIC.

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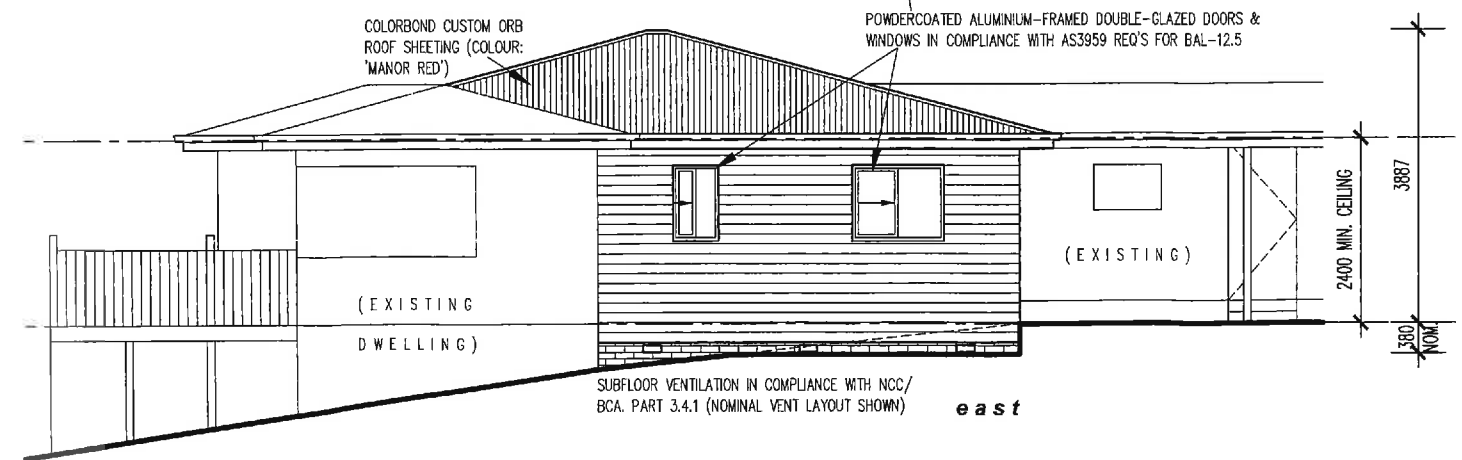
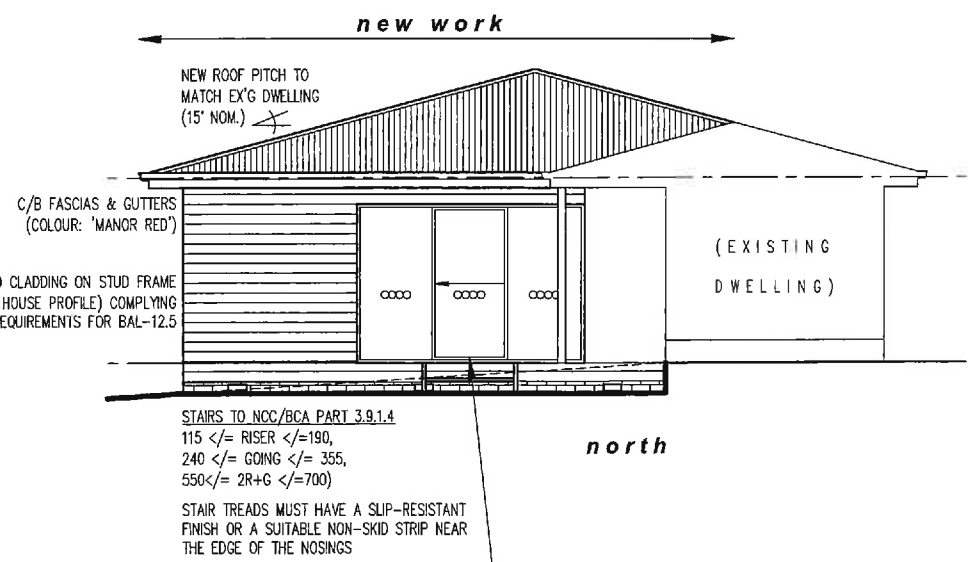
- NOTE:**
- WINDOWS/DOORS VIEWED FROM OUTSIDE;
 - WINDOWS TO BE POWDERCOATED, ALUMINIUM-FRAMED (UNLESS NOTED OTHERWISE);
 - NOMINAL DIMENSIONS SHOWN (CONFIRM OPENING SIZES ON SITE PRIOR TO MANUFACTURE);
 - GLAZING TO BE DOUBLE-GLAZED (10mm NOM. AIR GAP) IN COMPLIANCE WITH AS1288-1994;
 - WINDOW/DOOR SUPPLIER(S) TO PROVIDE U-VALUES & SHGC-VALUES WITH THEIR PRODUCT(S), DOWELL SERIES DOW-021 or 02 SERIES SHOWN NOMINALLY;
 - PROVIDE GLAZING VISIBILITY MARKERS/DECALS IN COMPLIANCE WITH NCC/BCA PART 3.6.4.6;
 - OPENABLE SASHES TO BE SCREENED IN ACCORDANCE WITH AS3959 REQ'S FOR BAL-12.5;
 - WINDOWS & EXTERNAL GLAZED DOORS TO COMPLY WITH AS2047;

- GLAZING NOTE :**
- ALL GLAZING SHALL COMPLY WITH AS 1288 & NCC/BCA PART 3.6. ALL OPENING SASHES & DOORS TO HAVE COMPRESSIBLE FOAM SEALS. WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC/BCA FIGURES 3.6.1 & 3.6.2 & MAN-UF'R'S SPECIFICATIONS. ALL OPENABLE WINDOW SASHES TO BE SCREENED TO BAL-12.5 REQ'S



- NOTES :**
- WET AREAS TO BE IN ACCORDANCE WITH AS 3740 & NCC/BCA PART 3.8.1. INSTALL CERAMIC TILES OR LAMPANEL OVER WATER RESISTANT PLASTERBOARD TO PROVIDE AN IMPERVIOUS SURFACE.
 - SHOWER BASE TO BE PROPRIETARY ITEM (UNLESS NOTED OTHERWISE) GRADED TO WASTE OUTLET.
 - WALLS WITHIN SHOWER AREA TO BE WATERPROOF TO NOT LESS THAN 150mm ABOVE FLOOR SUBSTRATE & WATER RESISTANT TO A HEIGHT NOT LESS THAN 1800 ABOVE FFL SHOWER.
 - ALL WALL JUNCTIONS & PENETRATIONS WITHIN SHOWER AREA TO BE WATERPROOF.
 - WATERPROOF SHELF AREA OF BATH, INCORPORATING WATERSTOP UNDER THE BATH LIP.
 - WALLS TO BE WATERPROOF TO NOT LESS THAN 150mm ABOVE LIP OF BATH / HAND-BASIN.
 - WATERPROOF WALL JUNCTIONS WITHIN 150mm ABOVE BATH / HANDBASIN.
 - WATERPROOF TAP & SPOUT PENETRATIONS WHERE THEY OCCUR IN HORIZONTAL SURFACES.
 - ALL WALL/FLOOR JUNCTIONS TO BE WATERPROOF.
 - FLOORS TO BE WATERPROOF.
- BATHROOMS NOTE :**
11. FLOOR TO BE WATER RESISTANT.
 12. WALL/FLOOR JUNCTIONS TO BE WATER-PROOF.
- LAUNDRY NOTE :**
13. WALLS ADJOINING OTHER VESSELS (PLUMBING FIXTURES) TO BE WATER RESISTANT TO NOT LESS THAN 150mm ABOVE VESSEL FOR THE EXTENT OF THE VESSEL WHERE IT IS WITHIN 75mm OF A WALL.
 14. WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
 15. WATERPROOF TAP & SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- GLAZING :**
16. GRADE 'A' SAFETY GLAZING TO BE USED FOR SHOWER SCREENS IN ACCORDANCE WITH BCA PART 3.6
- SLIP RESISTANCE :**
17. STAIR TREADS MUST HAVE A SLIP-RESISTANT FINISH OR A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.

GLAZING SCHEDULE
SCALE 1 : 100



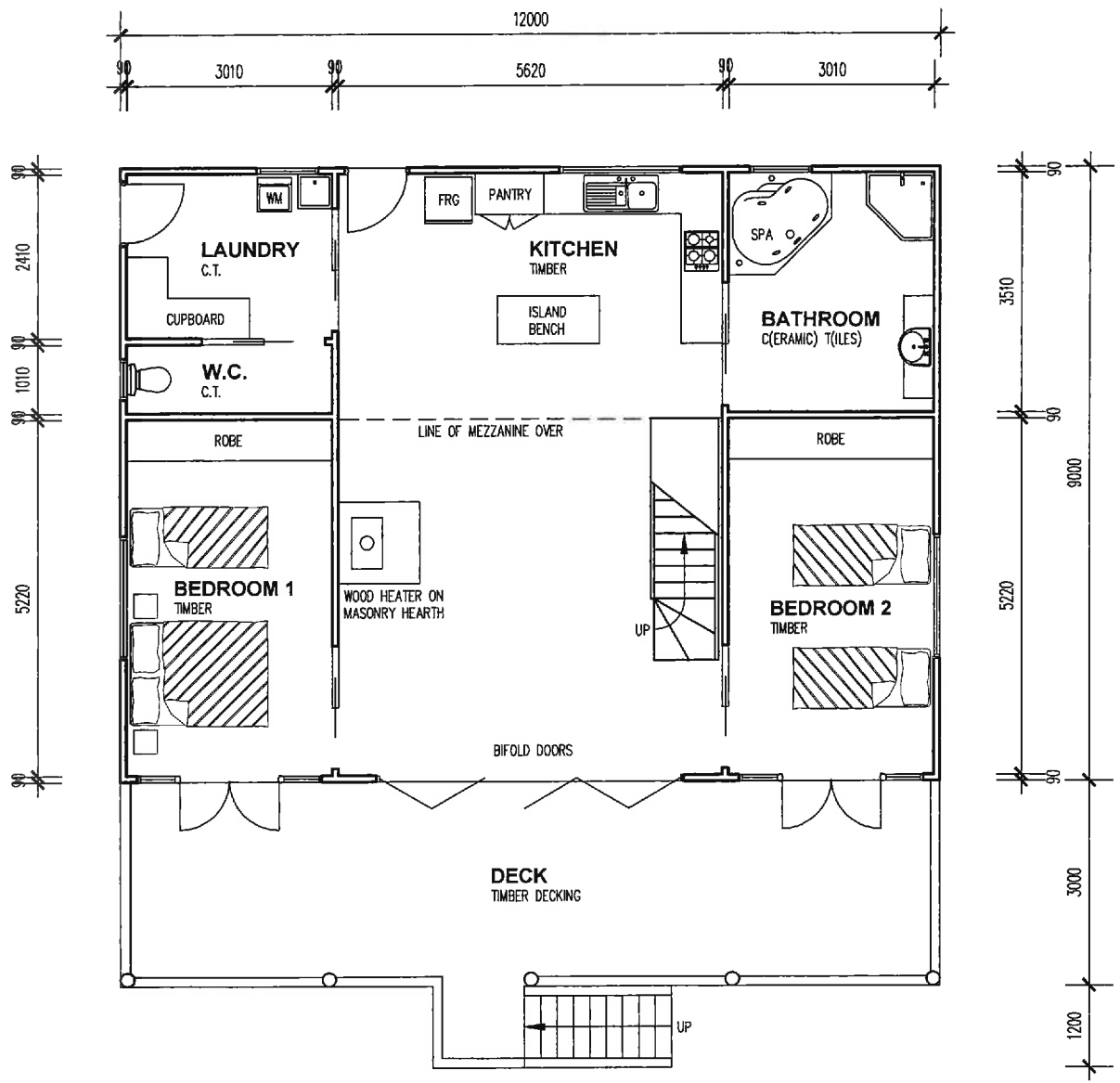
ELEVATIONS
SCALE 1 : 100

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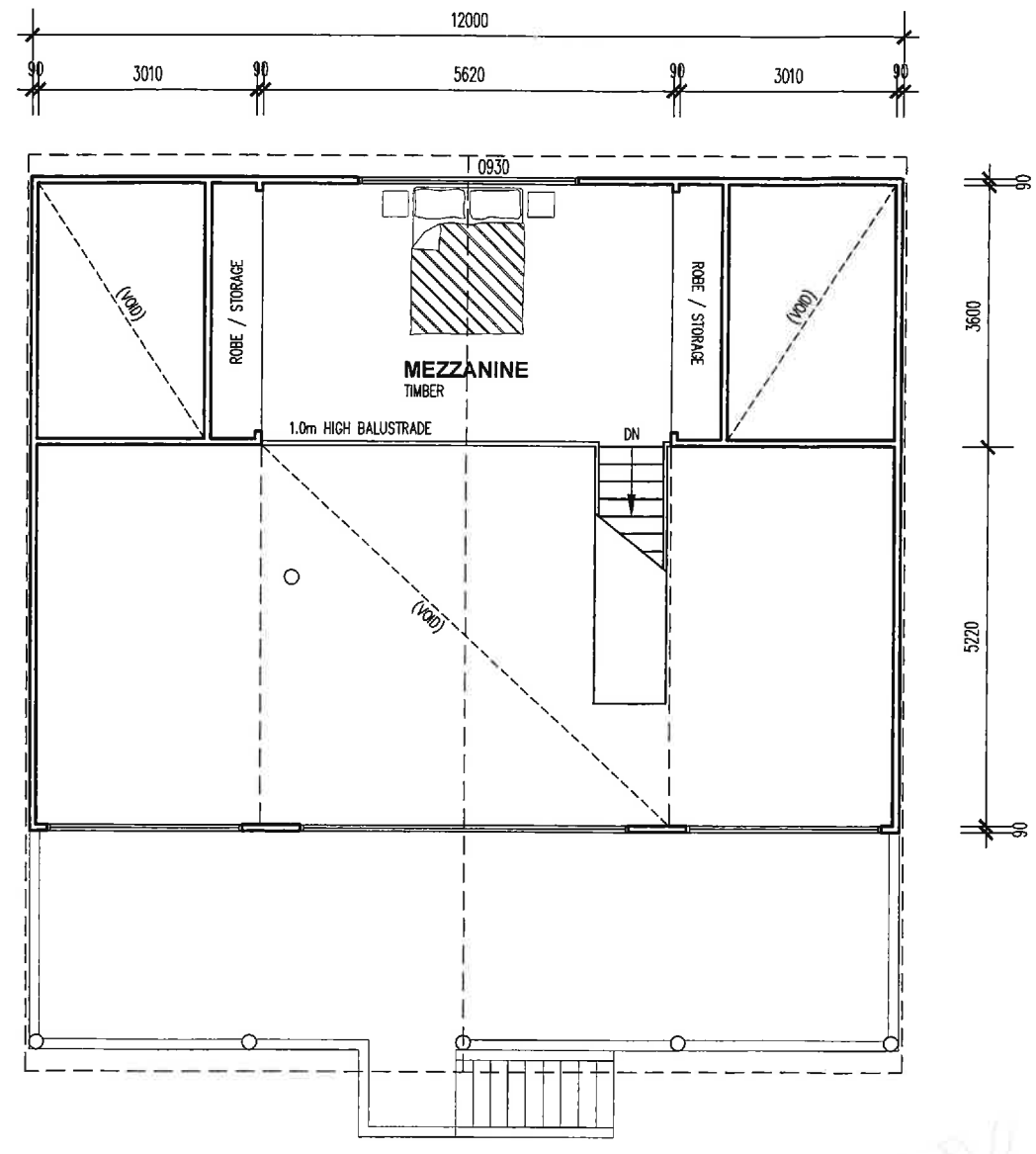
ALTERATIONS & ADDITIONS TO EXISTING DWELLING at 1/3 OLD CONVICT RD, ORFORD for NICK & ADELE WALKER

Date :	4/7/2017	Job No. :	WALKA1601
Scale :	Shown at A3	Sheet :	3 of 6
Drawn :	DA	Issue :	CLC

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GROUND FLOOR PLAN
 SCALE 1 : 100



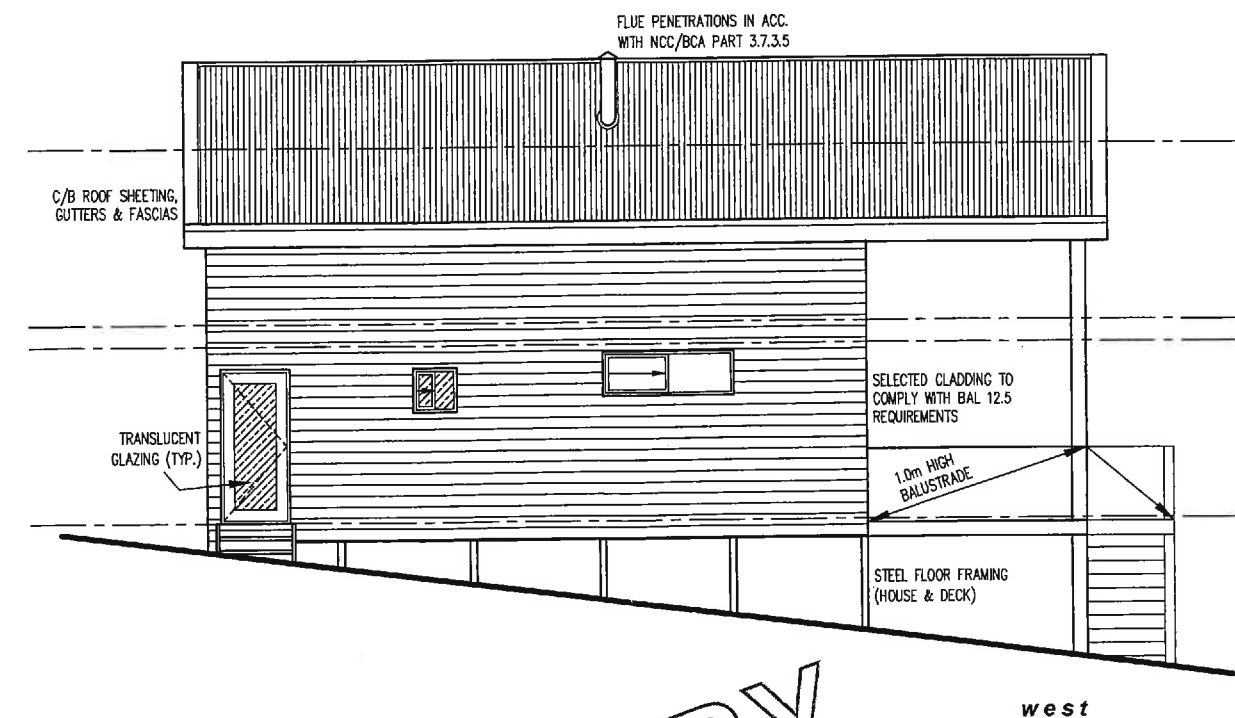
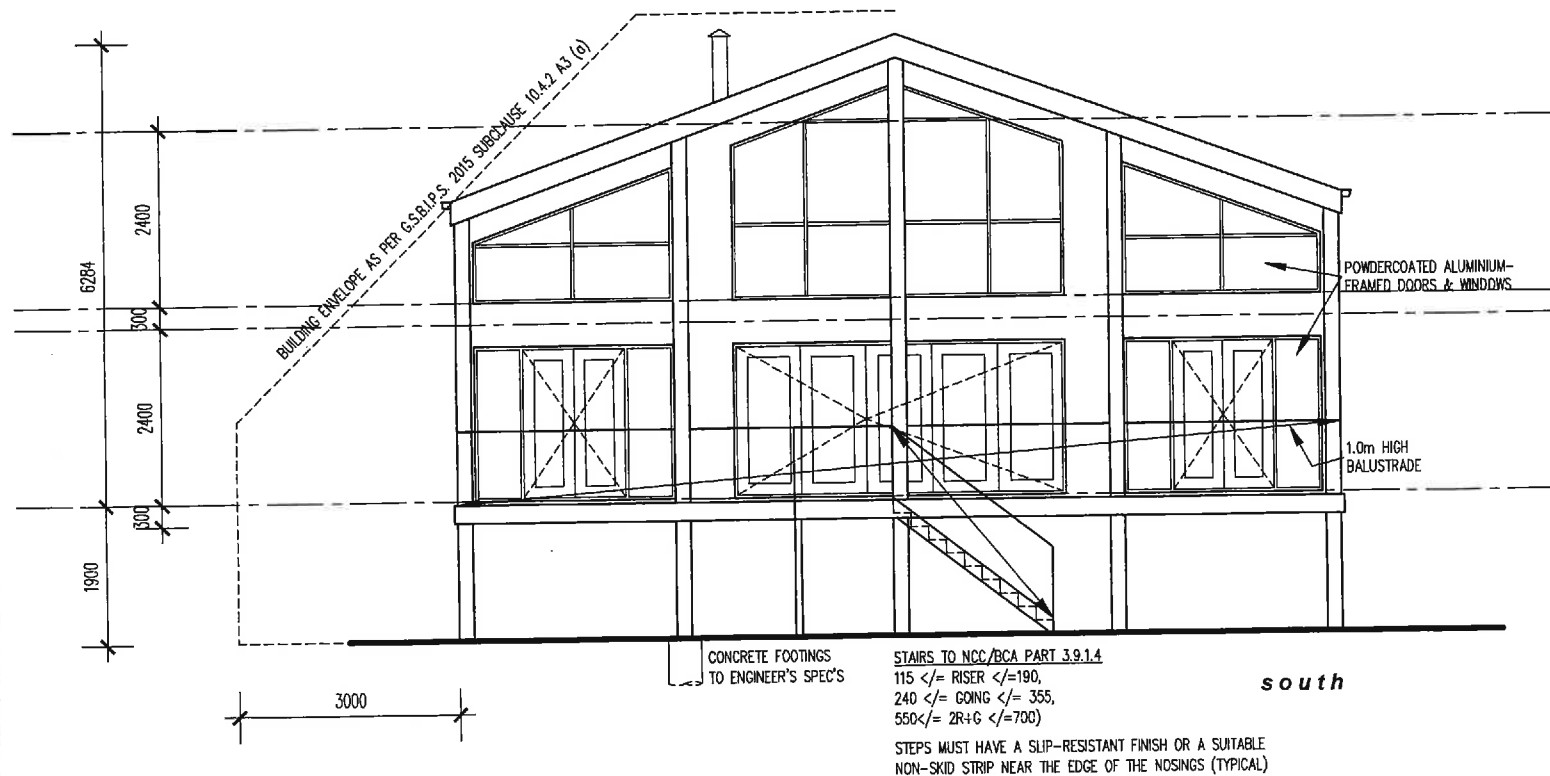
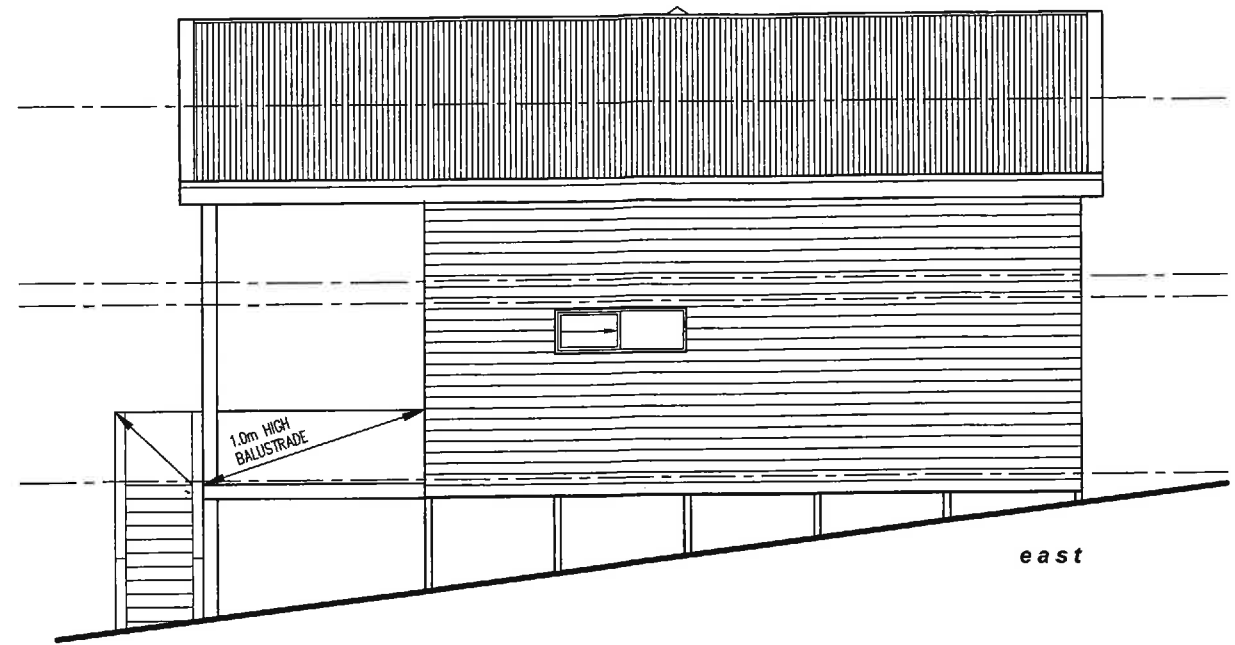
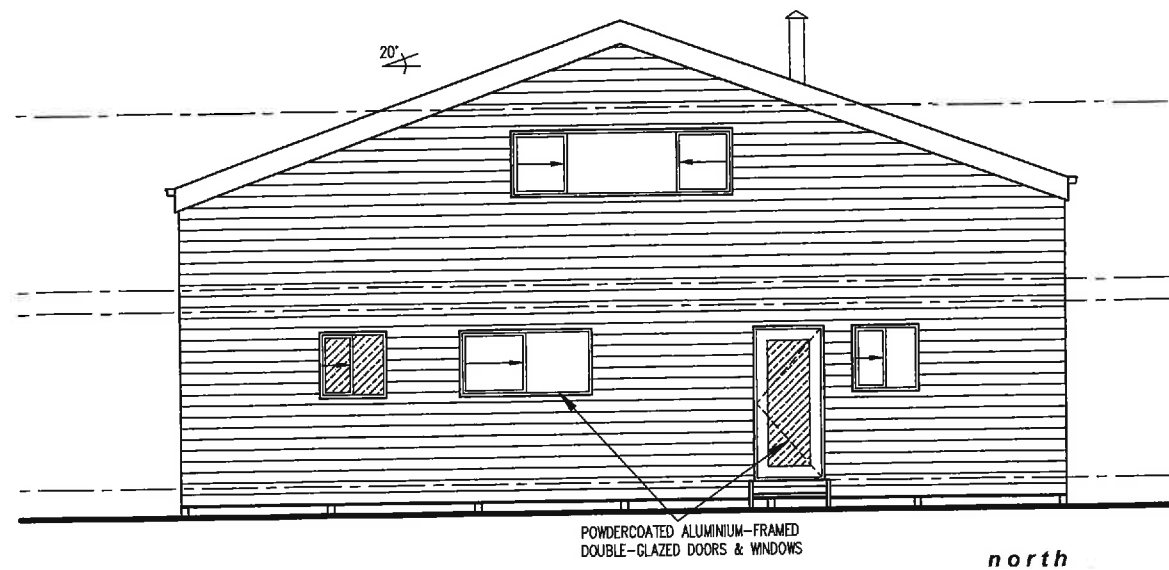
MEZZANINE FLOOR PLAN
 SCALE 1 : 100

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**TWO PROPOSED DWELLINGS
 (ONE NEW + ONE EXISTING) at
 1/3 OLD CONVICT RD, ORFORD
 for NICK & ADELE WALKER**

Date :	16/8/2017	Job No. :	WALKA1601
Scale :	Shown at A3	Sheet :	3 of 3
Drawn :	DA	Issue :	PRELIMINARY

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ELEVATIONS
SCALE 1 : 100

PRELIMINARY
NOT FOR CONSTRUCTION

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TWO PROPOSED DWELLINGS (ONE NEW + ONE EXISTING) at 1/3 OLD CONVICT RD, ORFORD for NICK & ADELE WALKER	Date : 16/8/2017	Job No. : WALKA1601
	Scale : Shown at A3	Sheet : 3 of 3
	Drawn : DA	Issue : PRELIMINARY

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