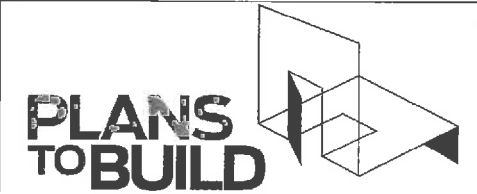


# NEW RESIDENCE

## at 11 CATHCART STREET, SWANSEA TAS 7190

### for CAMERON WATTS



**L.M.DELL ACC. No. CC5932 G**  
 Level 2, 73 Palerson street, Launceston Tas  
 7250. P.O Box 378  
 Tel - 633 89914 - Mob - 0400 655 771  
 Email - leigh@planstobuild.com.au

### DRAWING SCHEDULE

- A00 COVERPAGE
- A01 SITE AND LOCATION PLAN
- A02 FLOOR PLAN
- A03 ROOF PLAN
- A04 ELEVATIONS
- A05 ELEVATIONS

**GENERAL NOTES:**

IN ACCORDANCE WITH THE N.C.C.S BUILDING CODE OF AUSTRALIA VOLUME TWO, ALL BUILDING WORK SHALL BE IN STRICT COMPLIANCE WITH COUNCIL LAWS, REFERENCED AUSTRALIAN STANDARDS, BUILDING ACTS & REGULATIONS REFER ALSO TO THE GENERAL REQUIREMENTS PAGE.

THE BUILDER SHALL SECURE AND MAKE SAFE THE WORKSITE IN ACCORDANCE WITH WORK SAFE TASMANIA & WHS GUIDELINES & REGULATIONS.

THE BUILDER SHALL CARRY OUT DIAL BEFORE YOU DIG REFERRAL FOR LOCATIONS OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCING ANY EARTHWORKS.

THE BUILDER SHALL INSTALL SILT TRAPS & SCREENS AT THE PROPERTY BOUNDARY TO PREVENT SILT RUNOFF INTO THE COUNCIL MAIN SYSTEM FOR THE DURATION OF SITE WORKS.

THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETOUT OF ALL WORKS. A LAND SURVEYOR IS RECOMMENDED BY THE DESIGNER FOR ALL SETOUT. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS.

ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING DRAWINGS AND SPECIFICATIONS. THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES WITH THE DRAWINGS.

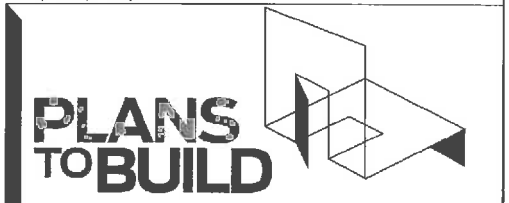
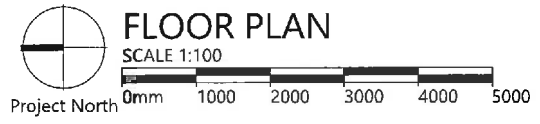
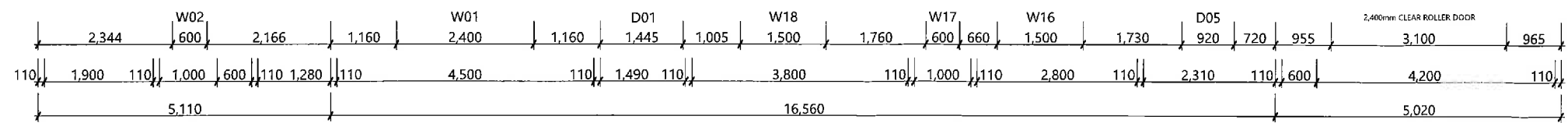
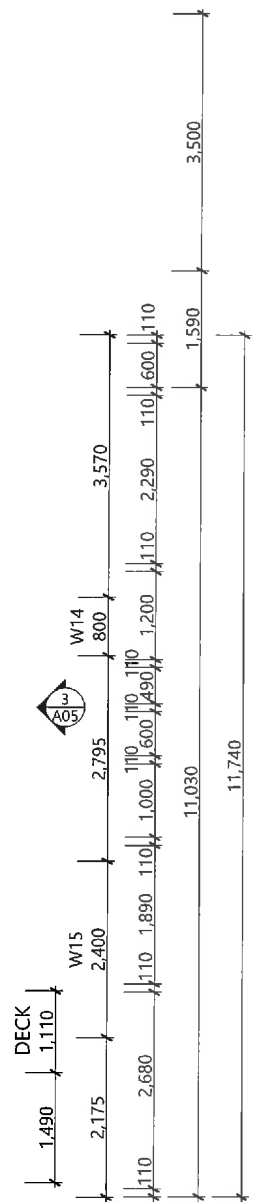
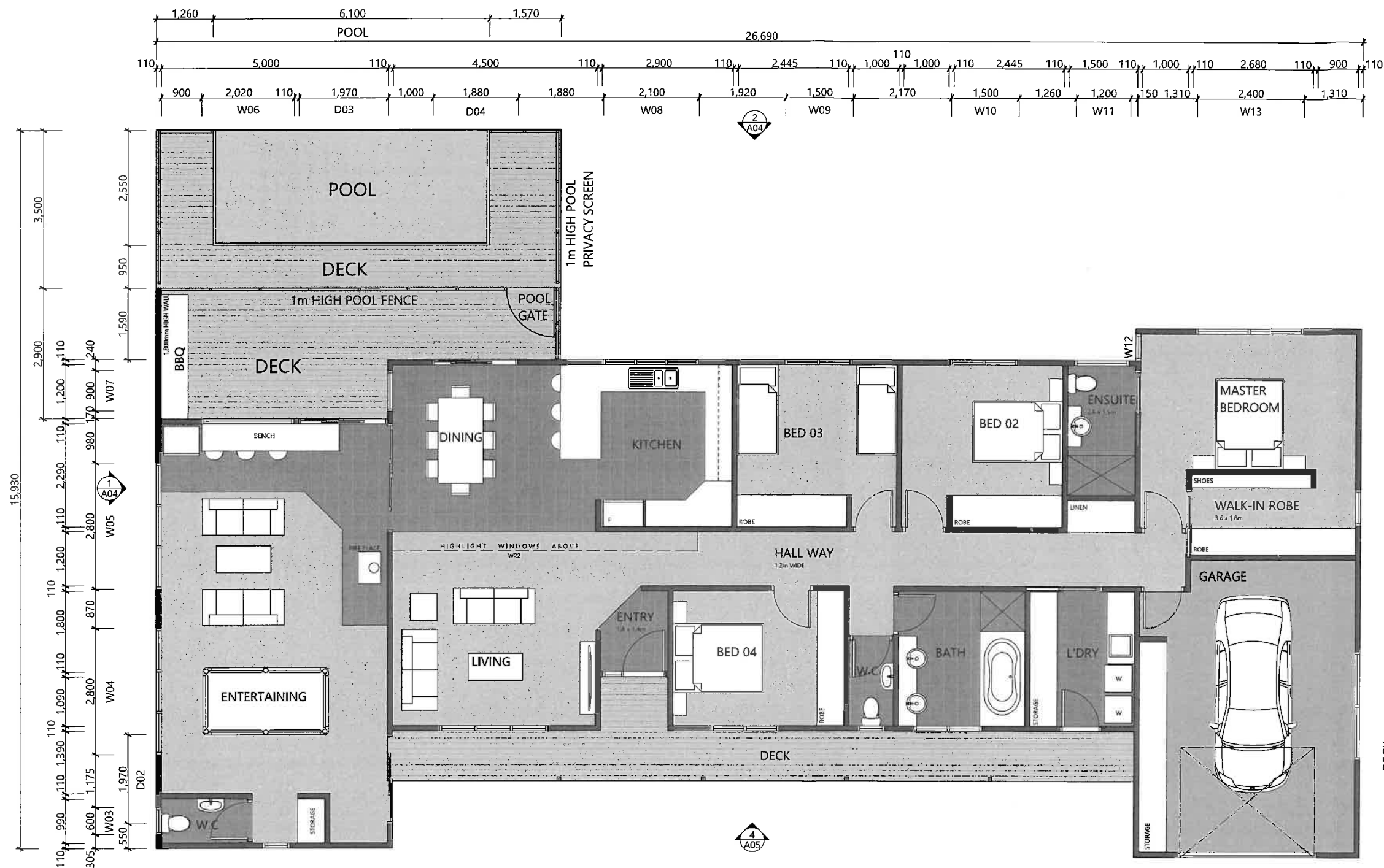
ALL FITTINGS & FIXTURES INSTALLED SHALL BE PURCHASED AS NEW CONDITION & QUALITY & CARRY THE RELEVANT AUSTRALIAN STANDARD COMPLIANCES.

**PROJECT INFORMATION:**

FLOOR AREAS: NEW RESIDENCE FLOOR AREA -253.30m <sup>2</sup> NEW DECK & POOL AREA -52.15m <sup>2</sup> NEW FRONT DECK AREA -19.00m <sup>2</sup>			LAND TITLE, VOLUME & FOLIO <b>CT-</b>		
SITE OVERLAYS:	CLIMATE ZONE: <b>7</b>	ALPINE AREA: <b>N/A</b>	SITE CLASSIFICATION : <b>N/A</b>	BUSHFIRE ATTACK LEVEL: <b>BAL N/A</b>	
SITE OVERLAYS:	TERRAIN CLASSIFICATION: <b>T2</b>	WIND REGION: <b>A3</b>	DESIGN WIND SPEED <b>N2</b>		
SCHEME/ZONE:	PROJECT NUMBER: <b>157043</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>07-Jul-17</b>	DRAWING No: <b>A00</b>	ISSUE: APPROVAL REV: 0

0. ISSUED FOR DEVELOPMENT APPROVAL	05/07/17
rev. Amendment	Date





**L. M. DELL ACC. No. CC5932 G**  
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**Client:**  
**CAMERON WATTS**

0.	ISSUED FOR DEVELOPMENT APPROVAL	05/07/17
rev.	Amendment	Date

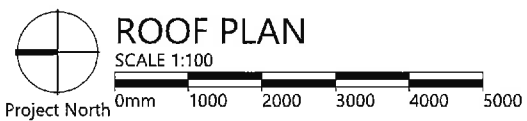
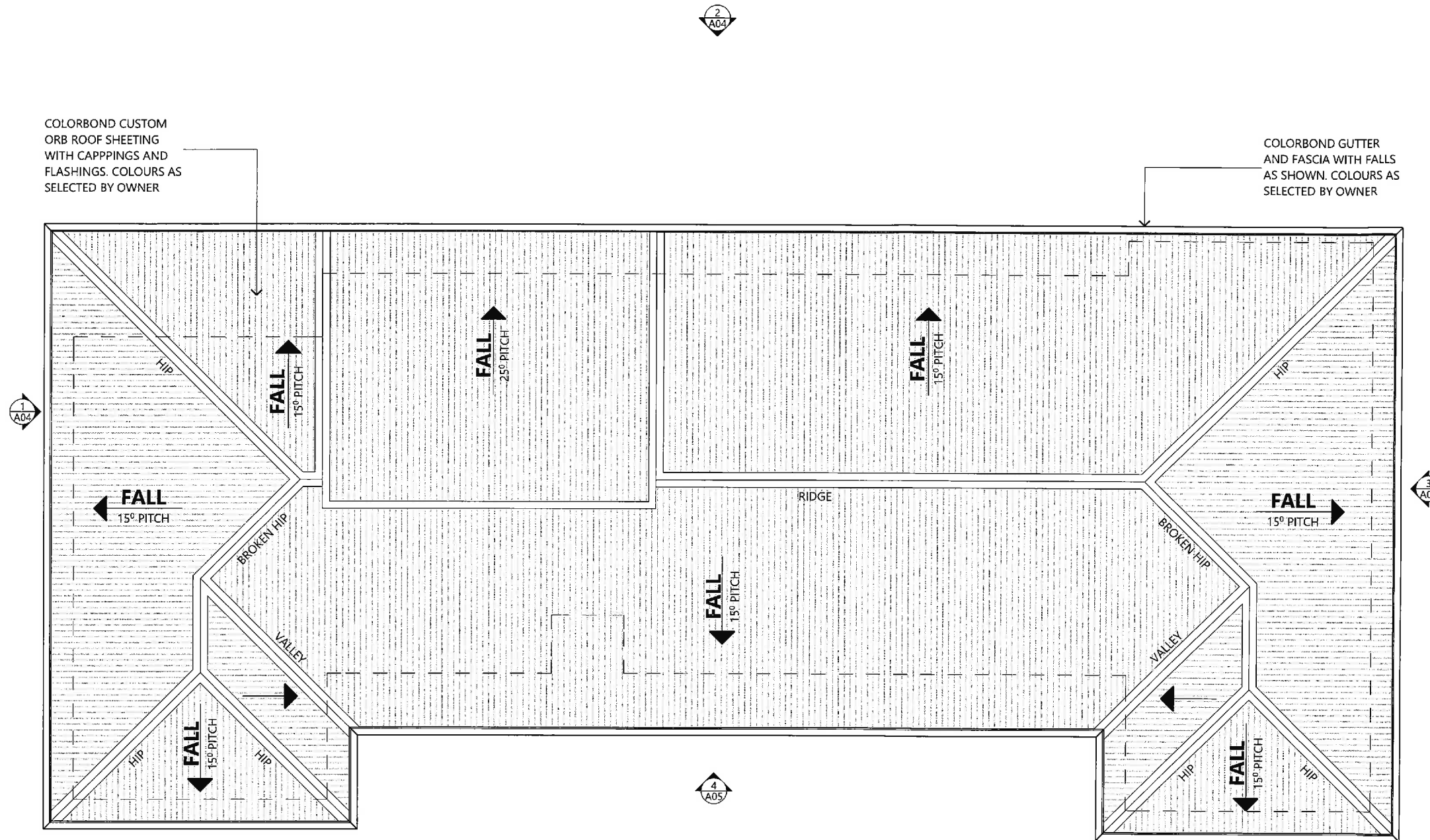
# NEW RESIDENCE

## at 11 CATHCART STREET, SWANSEA TAS 7190

PROJECT NUMBER: <b>157043</b>	CLIMATE ZONE: <b>7</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>07-Jul-17</b>	DRAWING No: <b>A02</b>	ISSUE: APPROVAL REV: 0
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COLORBOND CUSTOM  
ORB ROOF SHEETING  
WITH CAPPINGS AND  
FLASHINGS. COLOURS AS  
SELECTED BY OWNER

COLORBOND GUTTER  
AND FASCIA WITH FALLS  
AS SHOWN. COLOURS AS  
SELECTED BY OWNER



ROOF PLAN  
SCALE 1:100

## NEW RESIDENCE

at 11 CATHCART STREET, SWANSEA TAS 7190

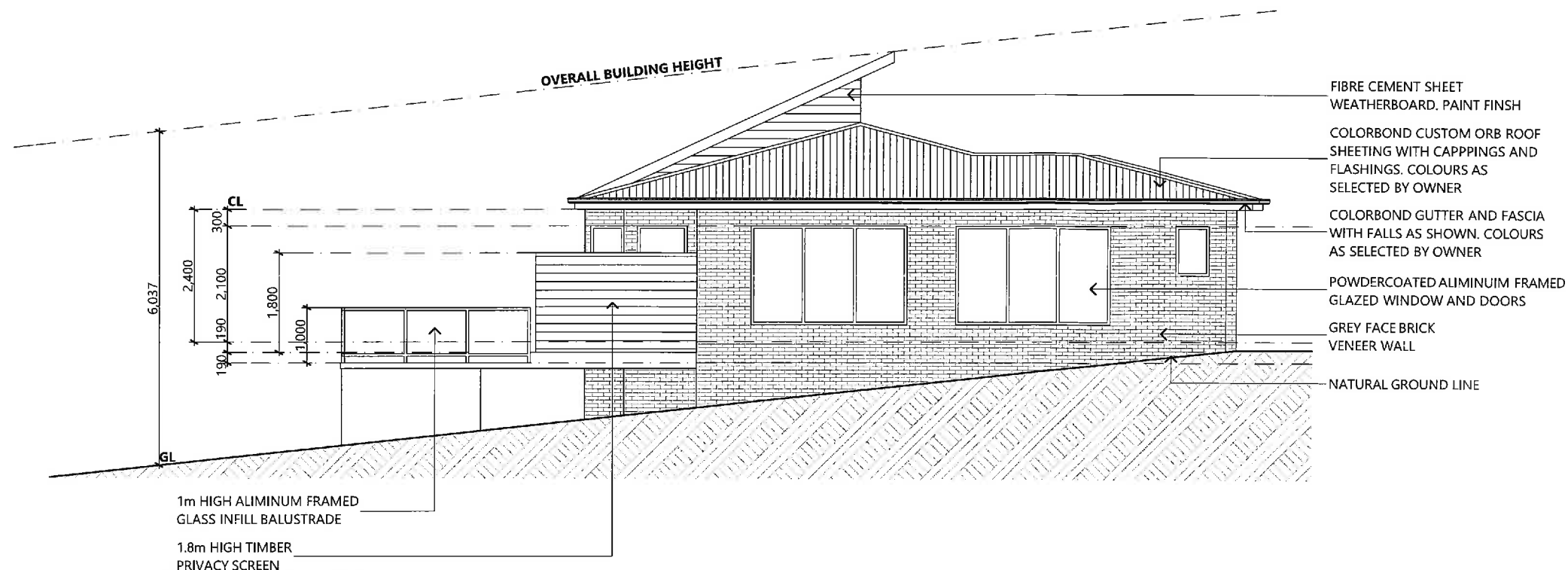
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DRAWING No: <b>A03</b>			ISSUE: APPROVAL REV: 0

**PLANS TO BUILD**

**L.M.DELL ACC. No. CC5932 G**  
Level 1, 10-14 Paterson street, Launceston  
Tas 7250. P.O Box 378  
Tel - 633 89914 - Mob - 0400 655 771  
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**CAMERON WATTS**

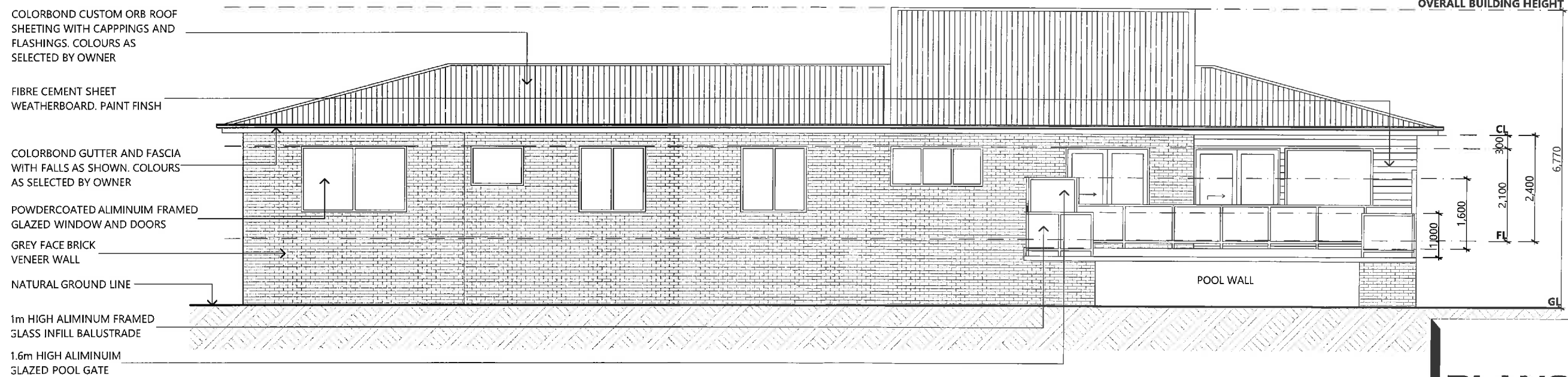
0.	ISSUED FOR DEVELOPMENT APPROVAL	05/07/17
rev.	Amendment	Date



- FIBRE CEMENT SHEET WEATHERBOARD, PAINT FINISH
- COLORBOND CUSTOM ORB ROOF SHEETING WITH CAPPINGS AND FLASHINGS. COLOURS AS SELECTED BY OWNER
- COLORBOND GUTTER AND FASCIA WITH FALLS AS SHOWN. COLOURS AS SELECTED BY OWNER
- POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOW AND DOORS
- GREY FACE BRICK VENEER WALL
- NATURAL GROUND LINE

1m HIGH ALUMINUM FRAMED GLASS INFILL BALUSTRADE  
 1.8m HIGH TIMBER PRIVACY SCREEN

**1** NORTHERN ELEVATION  
 SCALE 1:100  
 0mm 1000 2000 3000 4000 5000



- COLORBOND CUSTOM ORB ROOF SHEETING WITH CAPPINGS AND FLASHINGS. COLOURS AS SELECTED BY OWNER
- FIBRE CEMENT SHEET WEATHERBOARD, PAINT FINISH
- COLORBOND GUTTER AND FASCIA WITH FALLS AS SHOWN. COLOURS AS SELECTED BY OWNER
- POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOW AND DOORS
- GREY FACE BRICK VENEER WALL
- NATURAL GROUND LINE
- 1m HIGH ALUMINUM FRAMED GLASS INFILL BALUSTRADE
- 1.6m HIGH ALUMINIUM GLAZED POOL GATE

**2** EASTERN ELEVATION  
 SCALE 1:100  
 0mm 1000 2000 3000 4000 5000

**PLANS TO BUILD**

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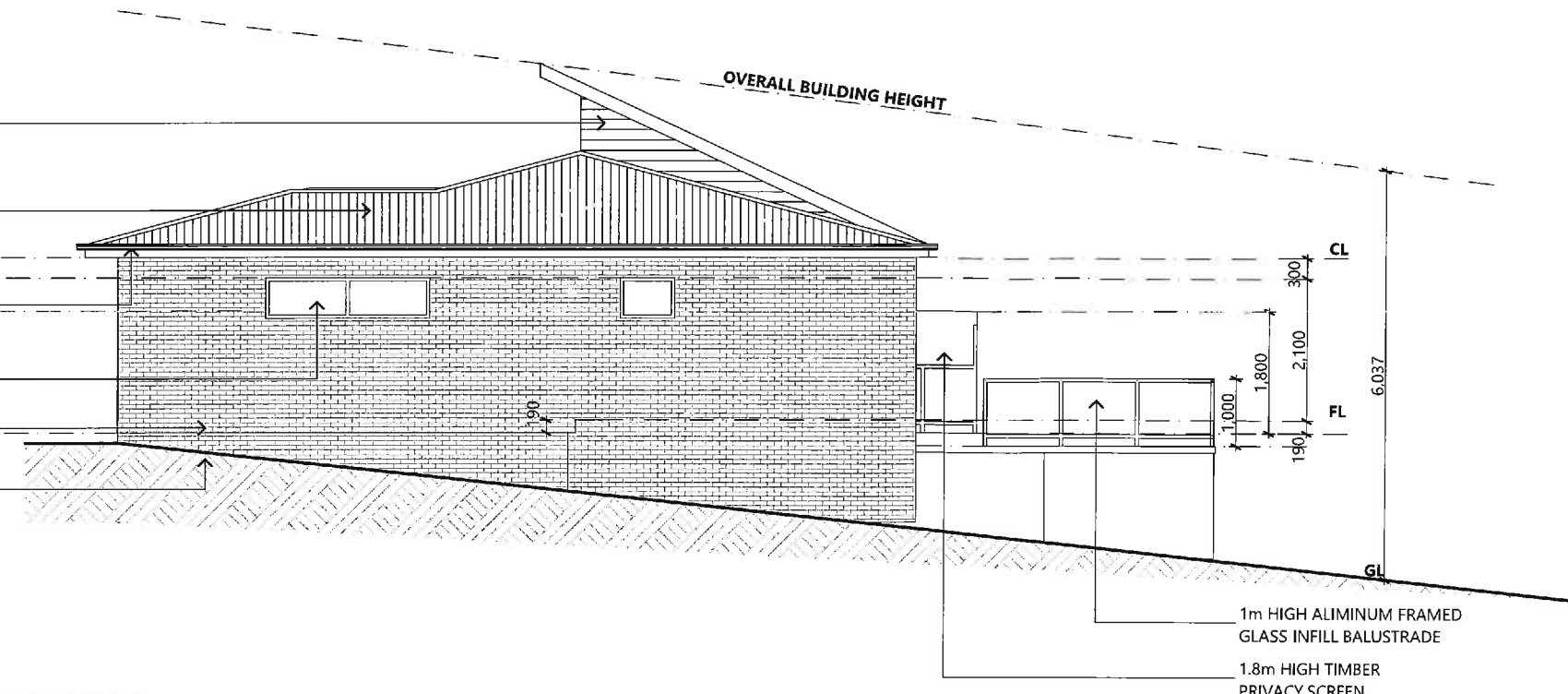
**NEW RESIDENCE**

**at 11 CATHCART STREET, SWANSEA TAS 7190**

PROJECT NUMBER: <b>157043</b>	CLIMATE ZONE: <b>7</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>07-Jul-17</b>
DRAWING No: <b>A04</b>		ISSUE: APPROVAL	
5 of 6		REV: 0	

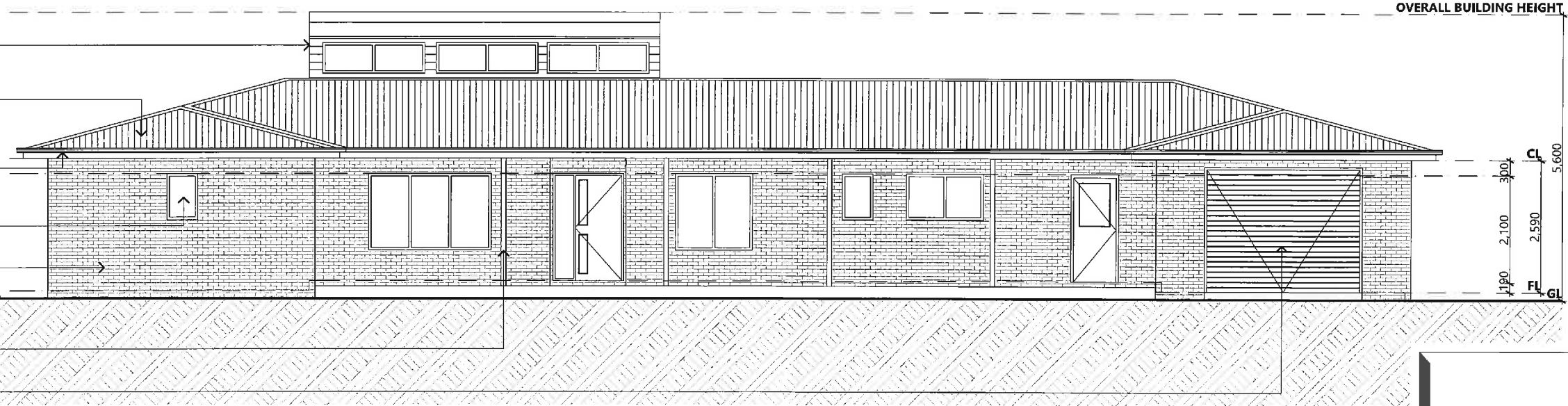
0. ISSUED FOR DEVELOPMENT APPROVAL	05/07/17
rev. Amendment	Date

- FIBRE CEMENT SHEET WEATHERBOARD. PAINT FINSH
- COLORBOND CUSTOM ORB ROOF SHEETING WITH CAPPINGS AND FLASHINGS. COLOURS AS SELECTED BY OWNER
- COLORBOND GUTTER AND FASCIA WITH FALLS AS SHOWN. COLOURS AS SELECTED BY OWNER
- POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOW AND DOORS
- GREY FACE BRICK VENEER WALL
- NATURAL GROUND LINE



**3 SOUTHERN ELEVATION**  
SCALE 1:100

- FIBRE CEMENT SHEET WEATHERBOARD. PAINT FINSH
- COLORBOND CUSTOM ORB ROOF SHEETING WITH CAPPINGS AND FLASHINGS. COLOURS AS SELECTED BY OWNER
- COLORBOND GUTTER AND FASCIA WITH FALLS AS SHOWN. COLOURS AS SELECTED BY OWNER
- POWDERCOATED ALUMINIUM FRAMED GLAZED WINDOW AND DOORS
- GREY FACE BRICK VENEER WALL
- NATURAL GROUND LINE
- 90mm x 90mm TREATED PINE TIMBER POST
- NEW ROLLER DOOR AS SELECTED BY OWNER



**4 WESTERN ELEVATION**  
SCALE 1:100

**PLANS TO BUILD**

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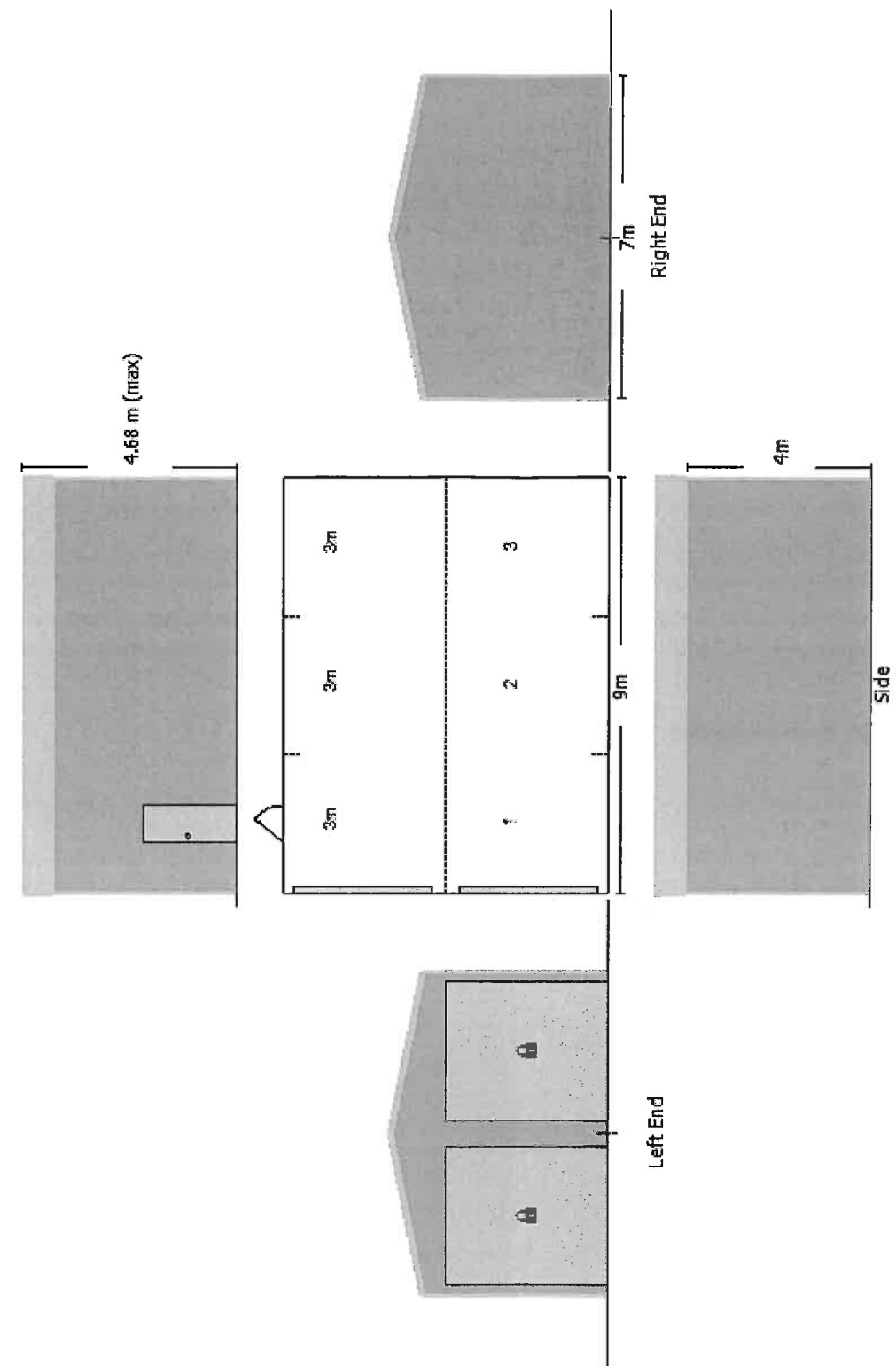
**NEW RESIDENCE**

**at 11 CATHCART STREET, SWANSEA TAS 7190**

PROJECT NUMBER: <b>157043</b>	CLIMATE ZONE: <b>7</b>	SCALE: IF IN DOUBT ASK <b>SCALE @ A3</b>	PRINT DATE: <b>07-Jul-17</b>
DRAWING No: <b>A05</b>		ISSUE: APPROVAL REV: 0	
6 of 6			

0. ISSUED FOR DEVELOPMENT APPROVAL	05/07/17
rev. Amendment	Date





**TERMS & CONDITIONS OF SALE**

**EXCLUSIONS**

- Site specific plans
- Any construction works
- Council or other statutory fees

**VALIDITY OF PRICE**

The price quoted is valid for 30 days but may be subject to price rises outside of our control.

**PAYMENT DIRECT TO SKYLINE SHEDS & GARAGES**

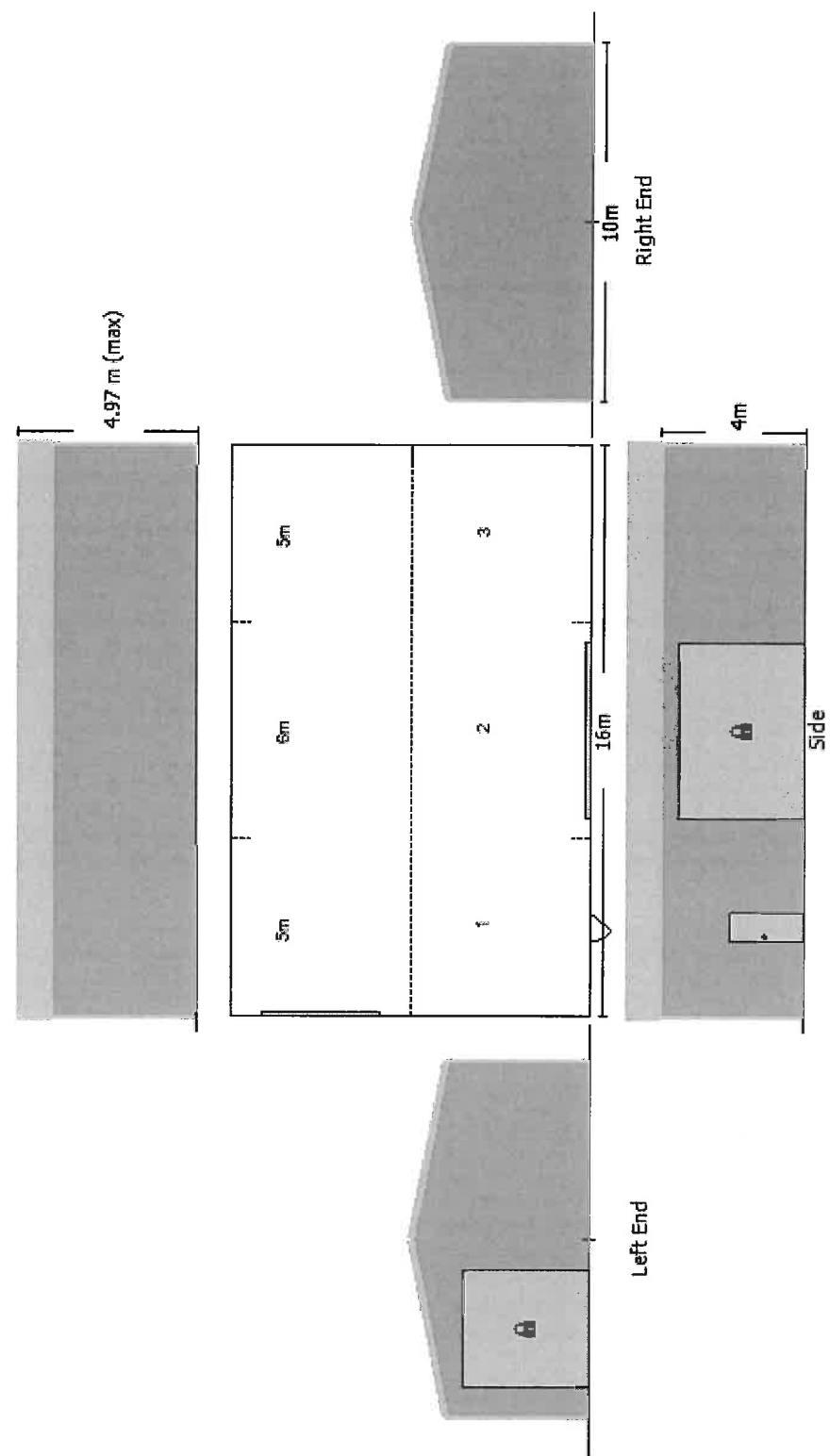
The following payment terms are required and by signing this document, you (the Customer) are agreeing to abide by these payment terms. Components may not be released until full payment has been received by Skyline Sheds and Garages.

Payment prior to receiving plans and engineering documentation -	\$55.00
Payment prior to commencing manufacture of you shed -	35% of Total Amount
Payment 7 days prior to delivery -	Balance of Total Amount

Skyline Sheds and Garages offer the following payment options.

**Get it into your head and get a FAIR DINKUM SHED!!**

Quotation for CAMERON WATTS at SWANSEA



**TERMS & CONDITIONS OF SALE**

**EXCLUSIONS**

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